

Site Plan Review - Residential
Town of West Bend, Wisconsin

Town of West Bend
6355 County Hwy Z
West Bend, WI 53095

Version: April 19, 2024

OFFICE USE ONLY

Application Number:

Total Fee: \$100.00

Fee Received By: CW

Instructions: Fill out this form as it applies to your project. Some parts may not apply.

Tax Key Number: T13 1180500

Property Address: 5431 German Village Road, West Bend, WI 53095

Property Owner

Agent (if any)

Name: Ross & Heidi Anderson

Street address: 5431 German Village Road

City, state, zip code: West Bend, WI 53095

Daytime telephone: (414) 698-7023

Email address - Both Required: anderson.ross@att.net

Project Type

- Project type checkboxes: New house / addition, Attached deck / addition, Accessory building / addition, Fence, Garage on a garage lot, Above-ground swimming pool/elevated deck, In-ground swimming pool, Hot tub, Other: Boat house foundation repair

General Description of Project

Repair crumbling boat house foundation on existing 100 year old boat house. There will be no expansion of the structure.

Zoning Information (select all zoning districts that apply)

Table with columns for zoning districts (R-1N, R-1R, R-1S, R-1S/SMU, B-1, B-2, M-1, C-1, C-2, P-1) and rows for Subject property and Abutting on left/right/back side.

Building Setbacks

Table for Building Setbacks with columns for Minimum Distance per Zoning Code (feet) and Proposed Distance (feet) for Front-yard, Side-yard, and Rear-yard setbacks.

No change to location of existing structure. Foundation re-build only.

Floor Area of Buildings (in square feet from exterior wall to exterior wall)

Table for Floor Area of Buildings with columns for Existing, Proposed, and Total area for Principal building (first/second floor), Attached garage, and Detached buildings (#1/#2).

New Building with a Basement

Elevation of top of foundation (This should be shown on the grading plan.)

Elevation of top of footing (This should be shown on the grading plan.)

Type of Basement Exposure

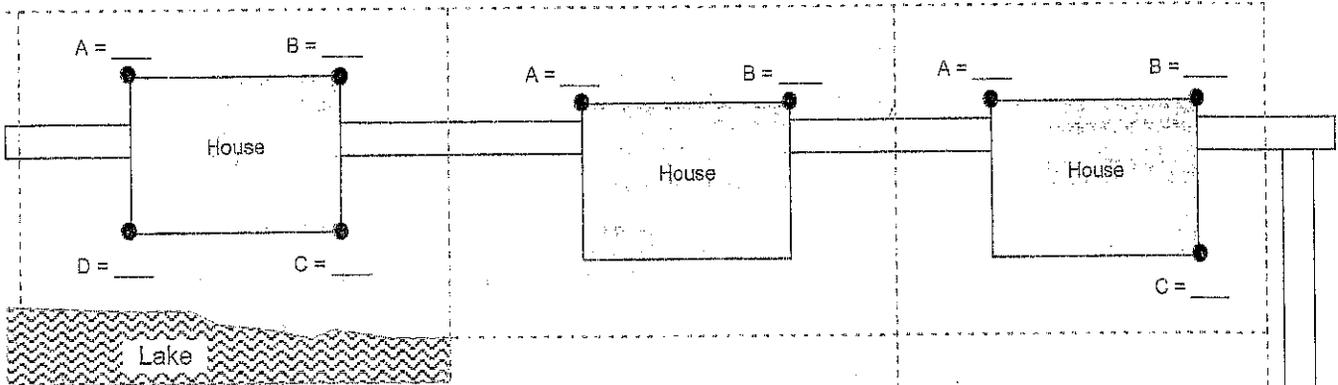
- Walkout (basement wall includes a walkout door at grade)
- Window lookout exposure (bottom of windows are above grade)
- No exposure (may include small windows near top of wall or full egress windows)

Height of House Select the lot type below and provide the building heights as indicated. Building height is measured from the surrounding grade to the highest peak. These should also be shown on the building elevations.

Lake Lot

Interior Lot

Corner Lot



Grade Will the project modify the existing grade within 20-feet of any lot line?

- No  Yes – Please provide a detailed grading plan.

If yes, will the proposed grade within 20 feet of the lot line exceed a slope of 1.5 to 1.

- No  Yes – Please provide representative cross sections in all such areas.

Sanitary Permit (if required)

- Washington County Septic Permit No. \_\_\_\_\_
- Silver Lake Sanitary Permit No. \_\_\_\_\_

*DNR Permit Approval  
(Docket No. 02786) is  
attached.*

Washington County Shoreland Zoning Permit No. \_\_\_\_\_ (if required)

Applicant certification

- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the Zoning Administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be fully reviewed until it is deemed to be complete.
- The Town of West Bend has determined that whenever the services of the Zoning Administrator, Building Inspector, Town Engineer, Town Attorney, or any other Town staff, as well as outside legal, planning, engineering, and other professional and technical advice results in a charge to the Town for professional time and services, the Town Clerk shall charge such service fees incurred by the Town to the property owner, even if the request is not approved.

I have been advised that if the Zoning Administrator, Building Inspector, Town Engineer, Town Attorney, or any other Town staff provides services to the town because of my activities, or outside legal, planning, engineering, and other professional and technical advice is required, whether at my request or the request of the Town, I shall be responsible for the fee incurred by the Town, even if the request is not approved.

Property Owner Signature(s): (required)

*[Signature]*  
*[Signature]*

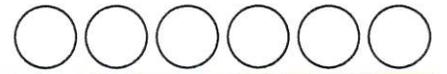
Date:

11-09-2025  
11-09-2025



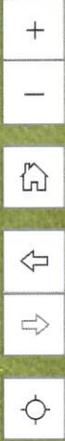
# WASHINGTON COUNTY

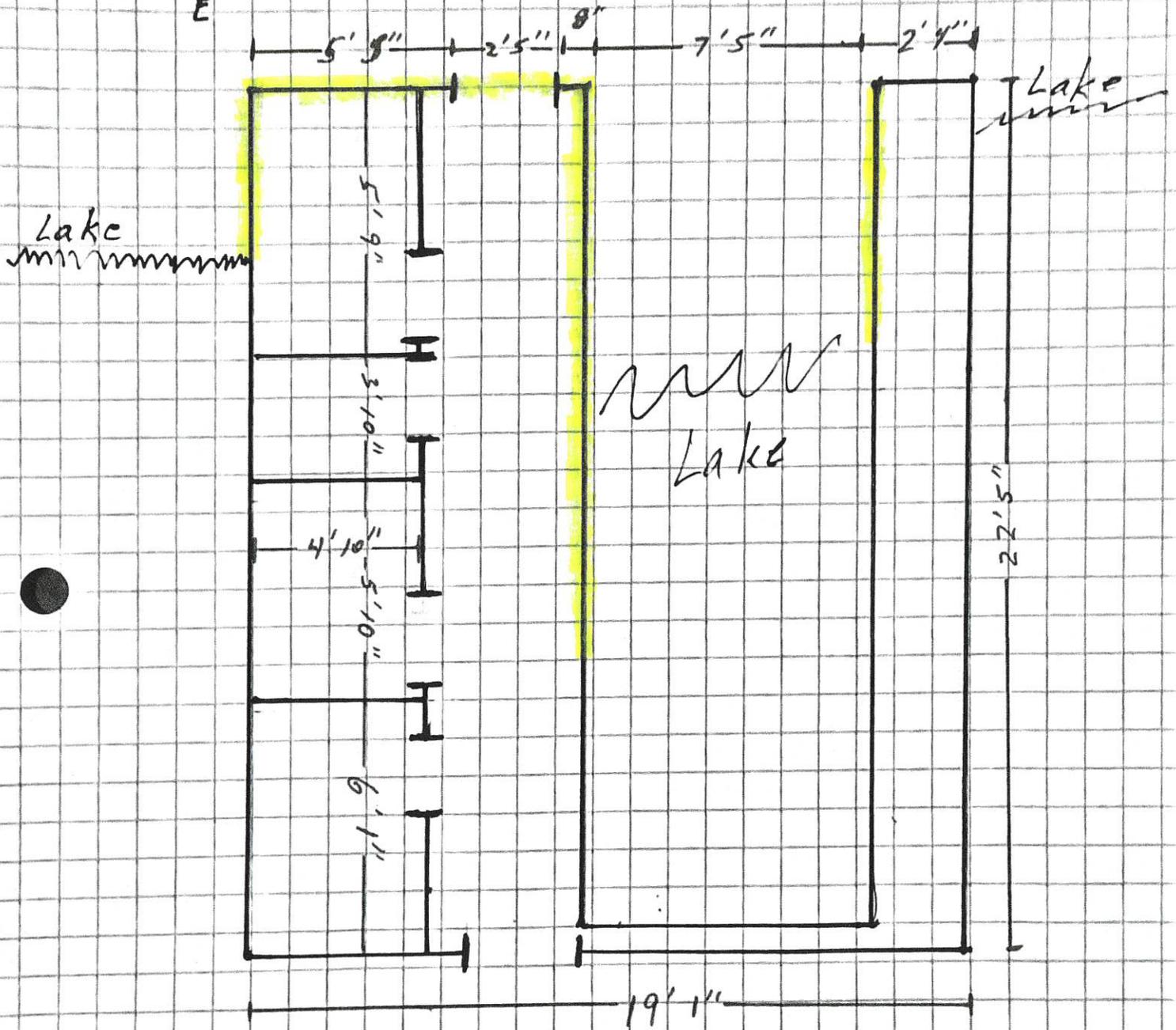
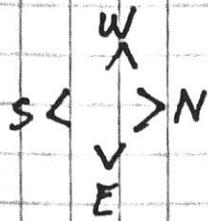
WISCONSIN



5431 German Village Road, West Bend, 530... X

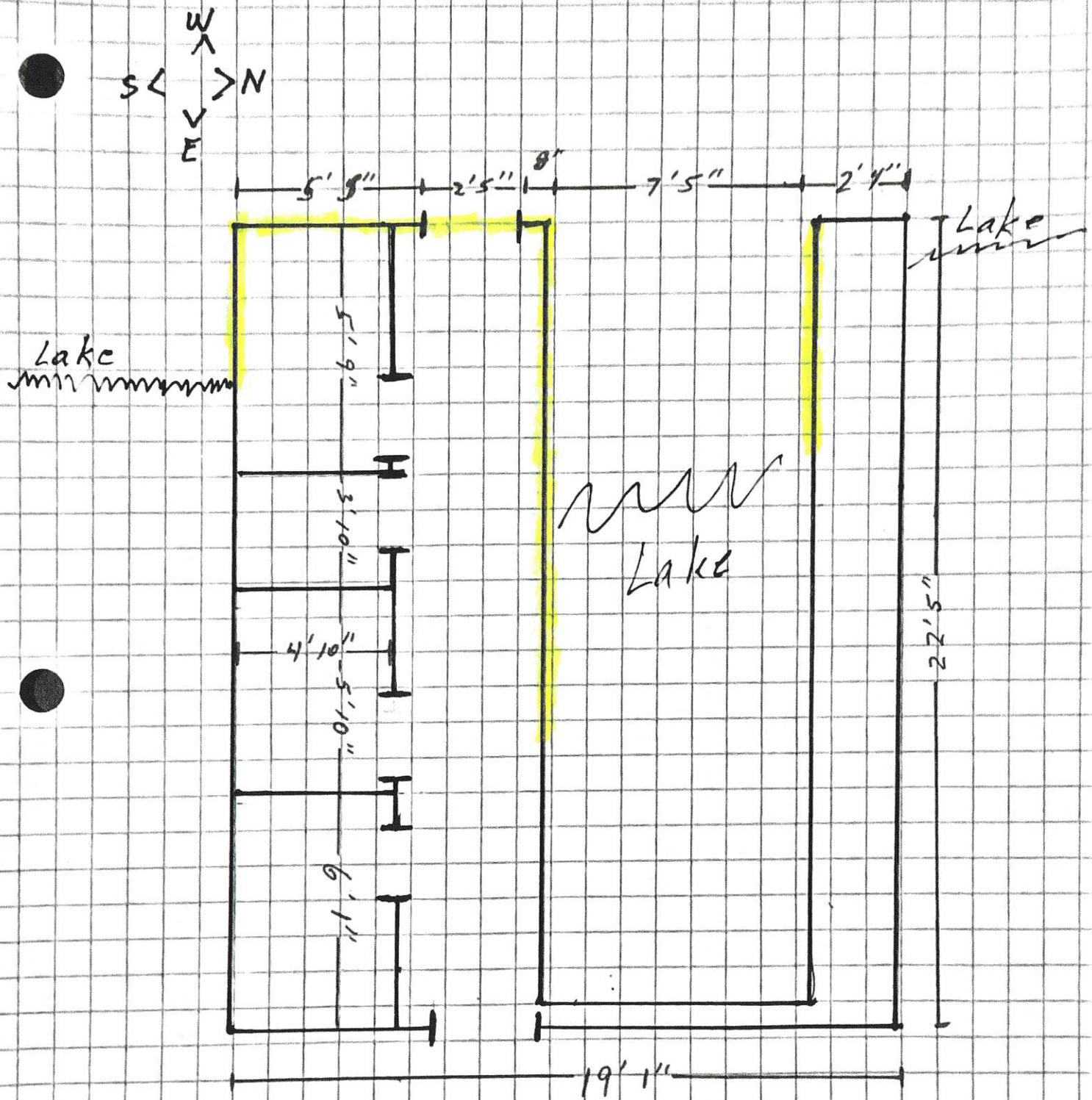
Search result





Foundation Repairs in Yellow

Approximately 29'



Foundation Repairs in Yellow

Approximately 29'

## Carole Ciriacks

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**From:** Ross Anderson <anderson.ross@att.net>  
**Sent:** Tuesday, November 25, 2025 7:52 PM  
**To:** Carole Ciriacks  
**Subject:** Fwd: USACE General Permit Notification

Carol, here is the confirmation that we do not need approval from the Army Corps of Engineers, so you should be able to begin the process on the Town permit at this time. Let me know if you need anything else from me. Thank you.

**ROSS A. ANDERSON**  
**5431 German Village Road**  
**West Bend, WI 53095**

**(414) 698-7023**

**anderson.ross@att.net**

Begin forwarded message:

**From:** "Brock, Cameron J CIV USARMY CEMVP (USA)"  
<Cameron.J.Brock@usace.army.mil>  
**Date:** November 25, 2025 at 8:19:10 AM CST  
**To:** anderson.ross@att.net  
**Subject: USACE General Permit Notification**

The U.S. Army Corps of Engineers, St. Paul District (USACE) has received information about your project involving work in wetlands or waters in Washington County, Wisconsin.

Project name: Ross & Heidi Anderson Boathouse Repair

The proposed work appears to be authorized by a general permit that does not require pre-construction notification to USACE. This means you can proceed without additional approval from USACE, provided you ensure your project meets the terms and conditions of the general permit and applicable Section 401 Water Quality Certification (WQC).

Nationwide Permit 3 Maintenance (2021):

<https://www.mvp.usace.army.mil/Portals/57/docs/regulatory/NWPs/NWP%203.pdf?ver=2017-04-21-103030-117>

2021 NWP WQC - State of Wisconsin (excluding reservations):

<https://www.mvp.usace.army.mil/Portals/57/docs/regulatory/NWPs/2021/NWPdecisiond0c9-14-2021-signed.pdf?ver=arkSqHQE2jvbn9xpJd0zJA%3d%3d>

You should carefully review the terms and conditions of the general permit and WQC to confirm eligibility for your project and identify requirements imposed by use of the general permit.

You may still need permits or permissions from other federal, state, or local authorities.

The USACE point of contact is listed below if you have any questions regarding the above information. Questions about the WQC should be directed to the certifying authority.

Cameron J. Brock  
Regulatory Specialist  
[Cameron.J.Brock@usace.army.mil](mailto:Cameron.J.Brock@usace.army.mil)  
(920) 572-6709

<https://www.mvp.usace.army.mil/Missions/Regulatory/>

**State of Wisconsin**  
**DEPARTMENT OF NATURAL RESOURCES**  
141 NW Barstow St.  
Waukesha, WI, 53188

Tony Evers, Governor  
Karen Hyun, Ph.D., Secretary  
Telephone 608-266-2621  
Toll Free 1-888-936-7463  
TTY Access via relay - 711



10/31/2025

IP-SE-2025-67-02786

Ross Anderson  
5431 German Village Road  
West Bend, WI 53095  
[sent electronically]

RE: Boathouse Repair Certification Exception for a boathouse on Cedar Lake in the Town of West Bend, Washington County

Dear Ross Anderson:

The Department has examined the proposed maintenance and repair of your boathouse. The boathouse is described as having a concrete foundation, changing rooms, storage areas, and referred to as the "Anderson Boathouse". It is located on Cedar Lake (WBIC 25300) located in the NW 1/4, SW 1/4, Section 29, Township 11N, Range 19E, Town of West Bend, Washington County.

The proposed work consists of repairing damaged concrete. No expansion or modifications to the size of the boathouse will be made, and no living quarters are being created.

The planned foundation repair will occur in three areas:

- 1) The southwest corner of the boathouse, extending east along the south wall approximately 4' (to the shoreline) and along the approximate 8' west wall (facing the lake);
- 2) The interior boat slip walls (north and south);
- 3) The northwest corner of the boathouse (mostly on the southern face of that corner).

Section 30.121, Wis. Stats., allows an exception to the 50% maintenance and repair limitation for all existing boathouses that were in existence on December 16, 1979. Your boathouse is verified as meeting this exception. **Your proposed work must meet the certification exception conditions below and may proceed as planned.**

#### CERTIFICATION CONDITIONS

1. You must notify Erin Cox at phone (262) 282-2029 or email [Erin.Cox@wisconsin.gov](mailto:Erin.Cox@wisconsin.gov) before starting construction and again not more than 5 days after the project is complete.
2. This certification exception expires on 10/31/2028. If the repairs are not completed by then, you must apply for an extension prior to the expiration date, or a new application for repair certification must be submitted.
3. This approval allows only repairs to the boathouse which are specifically described in your application and does not authorize any other work in the waterway which may require a permit under Chapter 30 or 31, Wis. Stats.
4. This certification exception does not authorize any work other than what you specifically describe in your application and plans, and as modified by the conditions of this certification exception. If you wish to alter the project or certification conditions, you must first obtain written approval of the Department.
5. You are responsible for obtaining any permit or approval that may be required for your project by local zoning ordinances or by the U.S. Army Corps of Engineers before starting your project.
6. Upon reasonable notice, you shall allow access to your project site during reasonable hours to any Department employee who is investigating the project's construction, operation, maintenance, or certification compliance.





# Do I need a Permit from the County? Landowner/Contractor Self-Certification

By completing the following Permit Triggers Checklist and associated instructions I have verified that my proposed project does not need a permit from Washington County or will impact the septic system on the property identified below.

By answering **YES** to any of the following questions, a County Permit or Approval may be required and will need to be obtained either prior to or in conjunction with the local government permits or approvals.

**County Highway: Right-of-Way / Access Permit**     YES     NO

- My property is along a County Highway and will require a separate access/driveway to road.
- The construction activity of my project will occur within the Road Right-of-Way.

**Shoreland-Wetland-Floodplain Zoning**     YES     NO

- The area of ground disturbance of my project will be within the Shoreland Zone based on the County's GIS Map.

**Private Onsite Wastewater Treatment System**     YES     NO

- My project is a new home, business or will need a connection to the septic system.
- My project increases the number of bedrooms of the home on the property.
- My project/structure will be close to the septic system drain field, within 15 feet from the field or base of the mound.
- My project/structure will be close to the septic tank or holding tank, within 5 feet from the edge of tank (add an additional 10 feet if measuring from the edge of the tank cover).

**Erosion Control and Stormwater Management**     YES     NO

- My project will have more than: 4,000 square feet of ground disturbance; 400 cubic yards of excavation/fill; and/or disturb 300 lineal feet of a ditch or swale.
- My project adds more than 20,000 square feet of impervious surfaces including gravel, that did not exist prior to year 2000.
- My project involves the construction of a new public or private road that will serve two (2) or more homes.

**Nonmetallic Mining**     YES     NO

- My project involves the extraction and sale of nonmetallic minerals that include, but are not limited to, stone, sand, gravel, asbestos, beryl, diamond, clay, coal, feldspar, peat, talc, and topsoil.

Owners Name: Ross + Heidi Anderson Tax Key # 713 1180500

Property Address: 5431 German Village Road, West Bend, WI 53095

Phone - Home/Cell: 414-698-7023 Email: anderson.ross@att.net

Brief description of project: Our boathouse was built in the 1920's. The foundation under the water has broken and is spalling away. We need to restore the existing foundation. There will be no expansion or modification of the current structure.

I assume full responsibility if I neglect or misrepresent the location or scope of my project for any fees, fines or requirements associated with the above regulations and for any damage or function to the property's septic system.

Signature: Heidi Anderson Date: 08/12/2025

NOTICE TO APPLICANT: permits may also be required from other agencies including state department of natural resources, and/or army corps of engineers.

<b>TOWN OF WEST BEND</b> 6355 Cty Hwy Z West Bend, WI 53095 (262)338-3417	<b>BUILDING PERMIT APPLICATION</b>	Permit #: _____ Tax Key: _____
Owner's Name: <u>Ross + Heidi Anderson</u>		
Mailing Address: <u>5431 German Village Road, West Bend, WI 53095</u>		
Project address: <u>Same</u>	Owner's ph. #: <u>414-698-7023</u>	
Owners Email: <u>anderson.ross@att.net</u>		
Contractor's name: <u>Dugaine Concrete</u>		
Contractor's Mailing address: <u>4988 Hon Road, West Bend, WI 53095</u>		
Cont. Phone #: <u>262-338-9988</u>		
Email: <u>ed@dugaineconcrete.com</u>		
Cont. Dwelling Contractor (DC) #:		(DCQ) #:

**Type of project**

- |  |   |
|--|---|
| <input type="checkbox"/> Commercial/industrial/multi-family        | <input type="checkbox"/> Alteration (Reroof, siding, windows, interior remodel, finish basements) |
| <input type="checkbox"/> Accessory buildings (120 Sq. ft. or over) | <input type="checkbox"/> Deck, Pool, Fence, Sign  |
| <input type="checkbox"/> Additions                                 | <input checked="" type="checkbox"/> Other <u>Boathouse foundation repair</u>                      |

<b>Project Description:</b> <u>Repair crumbling boathouse foundation</u>
<b>Used for:</b> <u>Storage</u>
<b>Estimated Cost:</b> <u>\$10-\$12,000</u>
<b>Required with Application</b>

- |  |   |
|--|---|
| <input type="radio"/> 2 sets of building plans   | <input checked="" type="radio"/> 2 copies of survey or site plan- showing location of proposed structure (can be sketched on survey/site plan) (Not needed for Alterations) |
| <input checked="" type="radio"/> Completed Washington County Self-Certification Form or Washington County Shoreland zoning permit if applicable. | <u>See attached DNR Permit No. 02786</u>  |

<b>Signature of Applicant:</b> <u>[Signature]</u> <u>Heidi Anderson</u>	<b>Date:</b> <u>08/25/2025</u>
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The applicant agrees to comply with the Municipal Ordinances, State of WI Building Codes, and with the conditions of this permit; understands that the issuance of the permit creates no legal liability, expressed or implied, of the Department, Municipality, Agency or Inspector; and certifies that all of the above information is accurate.

Approval conditions/inspection requirements will be included with permit approval. To request an inspection: call the Building Inspector at number listed. Please give project address, permit # if possible, and type of inspection. Please give at least 24 hour notice on all inspections. Reroof/reside permit fee is \$50 and can be included with the application.	<b>Certified Building Inspector</b> Jeremy Pfeifer Office: 262-629-1774 Cell: 262-689-7346 Email: jeremy@jpbldginspections.com
<b>*Drop off completed application and required forms at Town Hall- 6355 Cty Hwy Z West bend, WI 53095</b>	

Office use only		Fee will be paid after approved	
Basement SF-	Garage SF-	Zoning-	Plan Review-
Living space SF-	Decks/Porch SF-	Erosion-	Inspection-
Commercial SF-		Other-	Occupancy-
			<b>TOTAL-\$</b>

Issued: \_\_\_\_\_ / \_\_\_\_\_ /20\_\_\_\_\_