

Zoning Permit Application  
Town of Eagle (Waukesha County), Wisconsin

Town of Eagle  
820 E. Main Street  
Eagle, WI 53119

**OFFICE USE ONLY**

Application Number: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_ Receipt No: \_\_\_\_\_ Date Received: **11/25/25**

**General instructions:** Complete this application and submit to Kassie Slotty, Assistant Town Planner via email ([kslotty@waukeshacounty.gov](mailto:kslotty@waukeshacounty.gov)) or to the Town Clerk. Alternatively, you can submit your application online at <https://townfeagle.zoninghub.com>. An application fee is also required. An invoice number will be provided to you after the initial intake review to pay the required application fee.

Please contact the Assistant Town Planner with any questions or if you would like to discuss the application before making a formal submittal. The Assistant Town Planner can also review your application. If you have any questions, do not hesitate to contact the Assistant Town Planner at (262) 548-7812 or via email at [kslotty@waukeshacounty.gov](mailto:kslotty@waukeshacounty.gov).

Parcel Number: **EGLT1818999003** Property Address: **N90W35680 Hwy NN Eagle**

Property Owner	Agent, if any
Name	<b>Robert Chapman</b>
Street address	<b>103445 9450 Jericho Dr</b>
City, state, zip code	<b>Eagle WI 53119</b>
Daytime telephone	<b>262-844-0185</b>
Email address	<b>Chapmansbpeagle@gmail.com</b>

General description of proposed project:

**Tenant Northwoods Taxidermy.**

**Zoning District(s) (check all that apply)**

- P-1 Public
- Q-1 Quarry
- C-1 Conservancy
- UC Upland Conservancy
- A-P Agricultural Preservation
- RR Rural Residential
- R-1 Residential
- B-1 Neighborhood Business
- B-2 Local Business
- B-4 Mixed Business
- M-1 Limited Manufacturing
- M-2 General Manufacturing
- PUD: \_\_\_\_\_

**Setbacks and Offsets**

- Front-yard setback: **200** feet from building foundation to base setback line (road right-of-way)
- Side-yard offset: **30+** feet from building foundation to **West** property boundary line
- Side-yard offset: **150+** feet from building foundation to **east** property boundary line
- Rear-yard offset: **50+** feet from building foundation to **North** property boundary line

For assistance in the zoning districts please visit: <https://townfeagle.zoninghub.com/home.aspx>

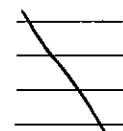
**Floor Area of Buildings (in square feet from exterior wall to exterior wall)**

	<b>Existing</b>	<b>Proposed</b>
Principal building (first floor)	_____	<b>2,750</b>
Principal building (second floor)	_____	<b>-</b>
Attached garage	_____	<b>-</b>
Detached building	_____	<b>-</b>
Detached building	_____	<b>-</b>
Total	_____	<b>2,750</b>

**Sanitary Permit No.** (Buildings requiring sanitation only): \_\_\_\_\_

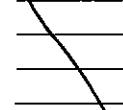
**New Building with a Basement**

Elevation of top of foundation



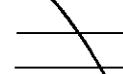
(This should be shown on the grading plan.)

Elevation of top of basement floor



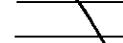
(This should be shown on the grading plan.)

Elevation of top of footing



(This should be shown on the grading plan.)

Elevation of seasonal high-water table



(This is listed in the Seasonal High Groundwater Determination Report.)

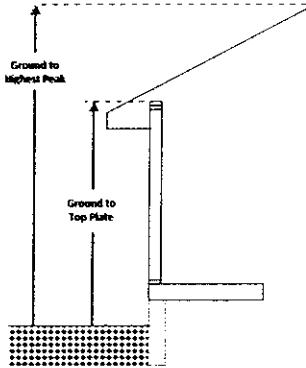
**Note:** The top of the basement floor must be one foot or more above the seasonal high-water table.

**Height of Proposed Building(s)**

Building Height Maximums are found in Appendix C. To determine the height of the building, use the following equation:

$$\text{Ground to top plate} + (\text{Ground to highest peak} - \text{Ground to top plate}) / 2 = \text{Height of Bldg}$$

	Building 1			Building 2		
	Ground to Top Plate	Ground to Highest Peak	Height of Building	Ground to Top Plate	Ground to Highest Peak	Height of Building
Front	13'8"	20'11 1/2"				
Left	13'8"	20'11 1/2"				
Right	13'8"	20'11 1/2"				
Rear	13'8"	20'11 1/2"				



**Applicant certification**

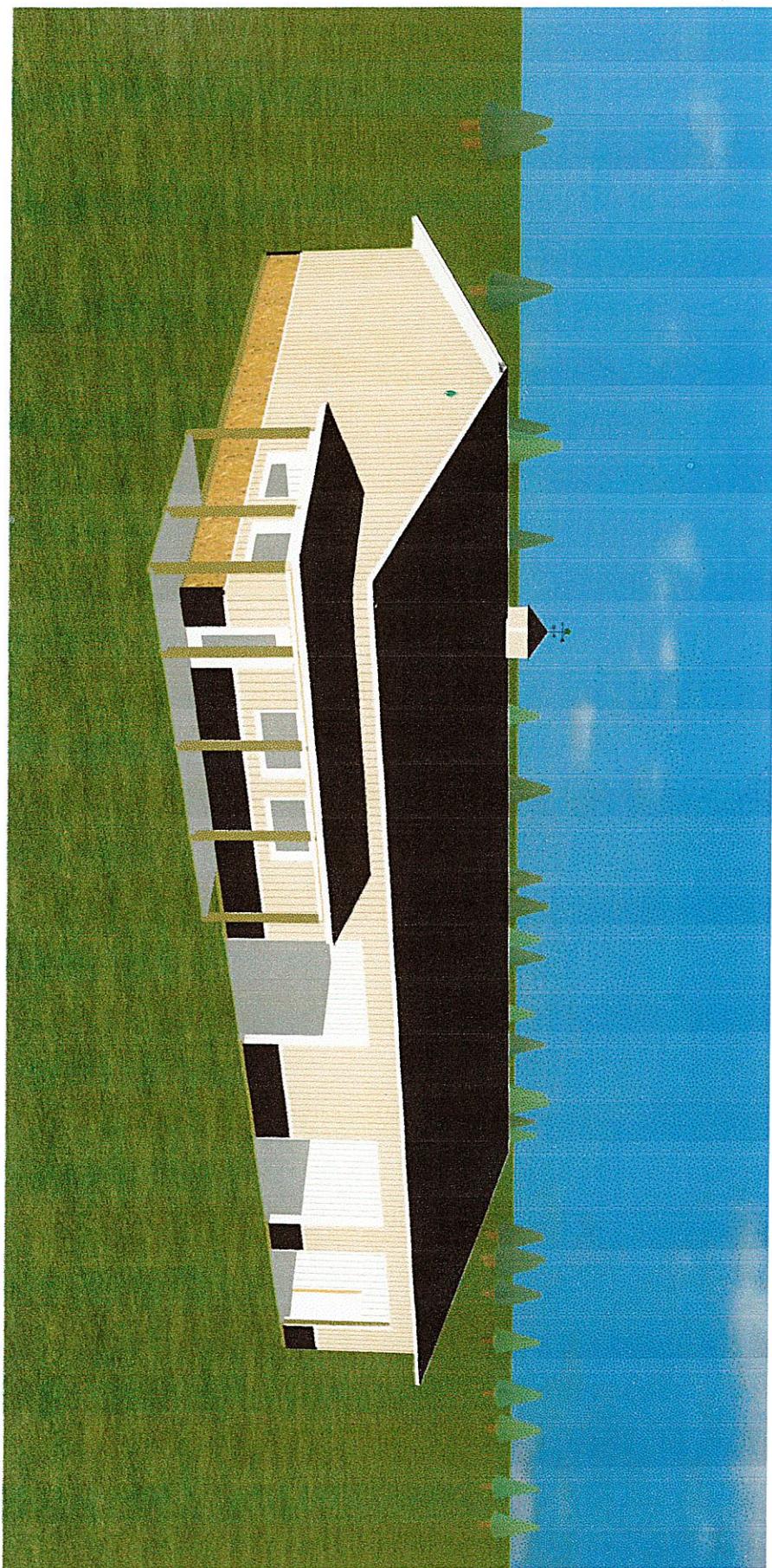
- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the Zoning Administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.
- I understand that my application may require review by the Town Engineer, Town Attorney or any other Town Professional, which will require that I submit a Professional Reimbursement Form to the Town Clerk.

Property Owner Signature(s):

Date:

\_\_\_\_\_

\_\_\_\_\_





P.O Box 930220  
Verona, WI 53593-0220  
Phone: (608) 845-9700  
Fax: (608) 845-7070

1/28/2025  
CHAPMAN, ROBERT  
Doc ID: 9910120250128134646

## Cleary/Owner Project Proposal - Erected

This contract has not been reviewed for energy code compliance. Conformance to the International Energy Conservation Code (IECC) may necessitate additional costs not included in this contract.

### Building Structure

#### Building Name: Building 1

Commercial – WxLxH: 50' 0" x 104' 0" x 13' 8" (See "Interior Clearances and Exterior Heights" Section)

Width: 50' 0"

Length: 13 Bays at 8' o.c. (Note: See drawing for any custom bay sizes)

Eave Height: 13' 8"

11' 8" Interior (Truss) Clearance from the Concrete Floor (See "Interior Clearances and Exterior Heights" Section)

Roof System: Truss (Standard Lower Chord)

Default Ceiling Design: Designed to Support a Liner Steel Panel Ceiling

Roof Pitch: 3.5/12

Purlins: 2"x4" Continuous 2' 0" inch on center

#### Additional Accessories

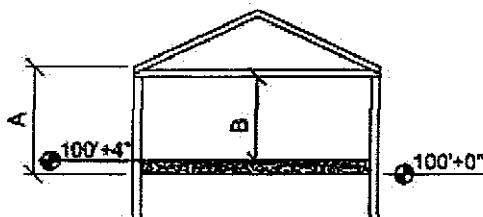
Purlin Blocking: Both Endwalls are purlin blocked, and @ 56' 0";

#### Foundation

Type: In Ground

Concrete Floor: Yes - Supplied by Cleary (Concrete not included unless otherwise noted in writing in the Additional Building Components section)

### Interior Clearances and Exterior Heights



Standard Lower Chord Truss (SLC)

#### Interior Clearances:

"B"=Clearance from finished floor to bottom of truss: 11' 8"  
(Clearance is reduced by the thickness of any ceiling and the thickness of any floor covering)

#### Exterior Heights:

"A" = Actual Eave Height: 13' 8"  
Roof Peak Height: 20' 11 1/2"  
Roof Pitch: 3.5/12

Top of concrete floor must be at 100'+4" for this foundation type. If thicker concrete floor is desired, the extra thickness will be below the 100'+0" mark.



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## Cleary/Owner Project Proposal - Erected

Distance from 100'+0" mark to bottom of door plus: 4"

Anchor: ANCHOR KIT (WOOD)

Closer: CLOSER, HEAVY DUTY

Dead Bolt: No Deadbolt

Door Chain: No Chain

Embossment: No Embossment

Frame: 2x6

Hinge: 4" 304 STAINLESS STEEL FIXED PIN

Jamb: 3 1/2" Insulated Jamb

Kick Plate: No Kick Plate

Latch Guard: No Latch Guard

Latch: None

Lockset: Lever/Lever

Panic Hardware: No Panic Hardware

Skin: Blank

Swing: Left Hand Swing Out Single Door

Window: None

Keyed Alike. Group 1

### Interior Finishes / Insulation

Side Wall 1 on Building 1

Condensation Control: None

Insulation: 6" fiberglass batt, sidewalls with vapor barrier (cannot be left exposed, must be covered by some type of liner)  
R-21

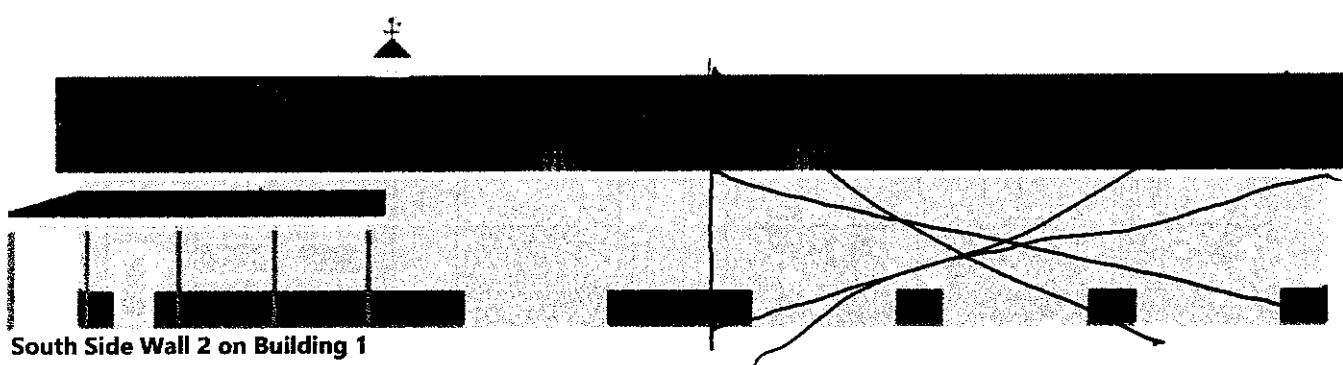
Interior Nailers: 2" x 4" Nailers 24" oc

Liner: Liner Steel Panel Steel (Snow color only)

Distance from 100'+0" mark to bottom of liner plus: 0' 4"

Bottom Trim: Not Included

A total of 0 cut outs are included in this total project (for electrical/plumbing, etc) in the interior finishes, any additional cut outs will be an extra charge.



Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

### Exterior Finishes

Side Wall 2 on Building 1

C-110  
v12/10

*built with pride before the*  *is applied*®



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## Cleary/Owner Project Proposal - Erected

Slide: Fixed Lite

Tempered: N/A

Tint: N/A

### Interior Finishes / Insulation

Side Wall 2 on Building 1

Condensation Control: None

Insulation: 6" fiberglass batt, sidewalls with vapor barrier (cannot be left exposed, must be covered by some type of liner)

R-21

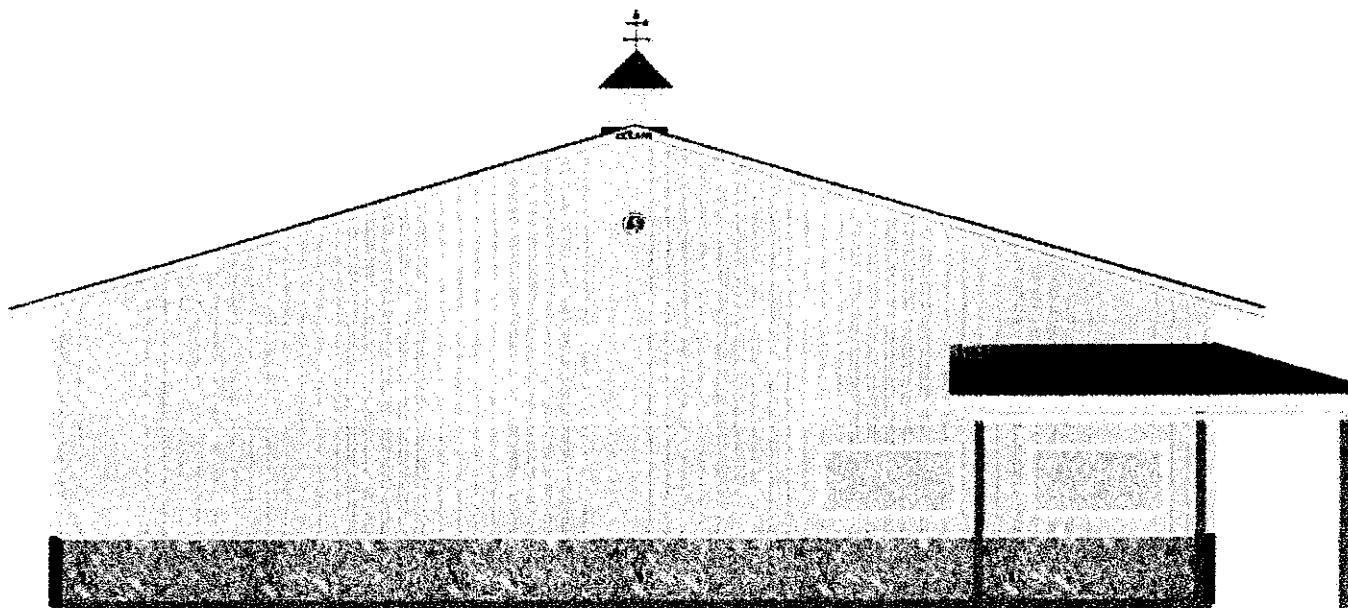
Interior Nailers: 2" x 4" Nailers 24" oc

Liner: Liner Steel Panel Steel (Snow color only)

Distance from 100'+0" mark to bottom of liner plus: 0' 4"

Bottom Trim: Not Included

A total of 0 cut outs are included in this total project (for electrical/plumbing, etc) in the interior finishes, any additional cut outs will be an extra charge.



**West End Wall 1 on Building 1**

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

### Exterior Finishes

End Wall 1 on Building 1

Siding: Premium Steel Panel

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

House Wrap: None



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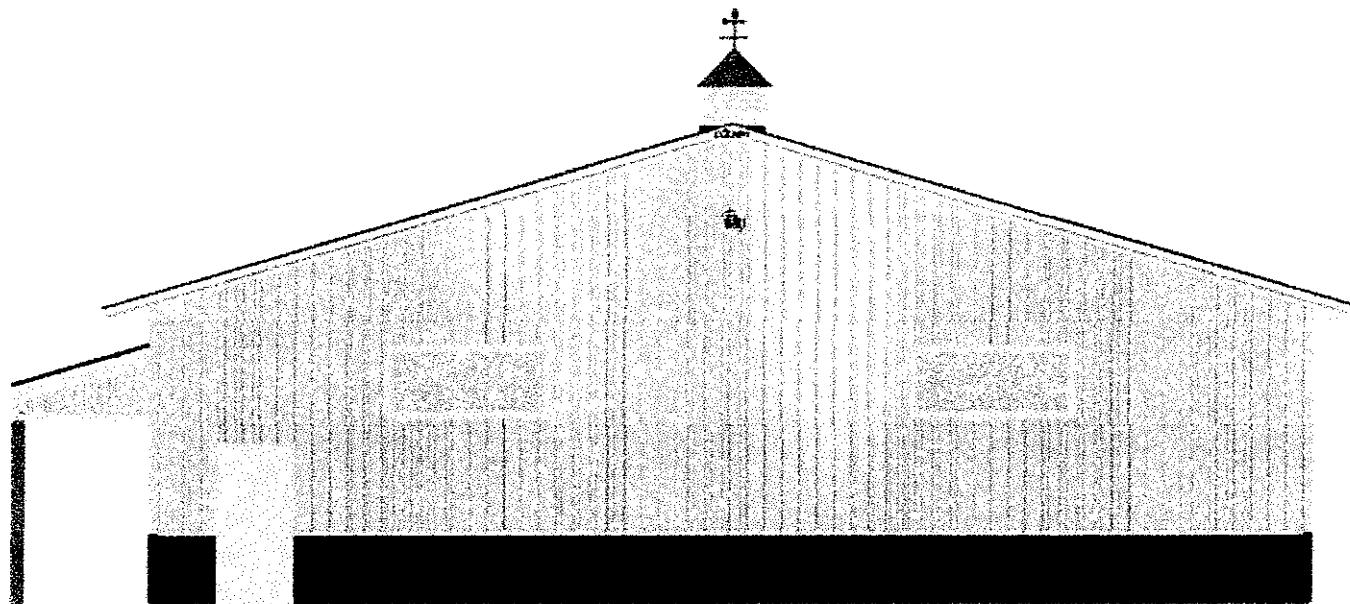
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## Cleary/Owner Project Proposal - Erected

Liner: Liner Steel Panel Steel (Snow color only)  
Distance from 100'+0" mark to bottom of liner plus: 0' 4"

Bottom Trim: Not Included

A total of 0 cut outs are included in this total project (for electrical/plumbing, etc) in the interior finishes, any additional cut outs will be an extra charge.



**East End Wall 2 on Building 1**

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

### Exterior Finishes

End Wall 2 on Building 1

Siding: Premium Steel Panel

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

House Wrap: None

Wainscot: Premium Steel Panel (Height is 3'-4" above the 100' mark)

Wainscot Filler Strips: None

Gable Filler Strips: Gable filler strips not included.

Treated Plank Filler Strips: None

### Ventilation

End Wall 2 on Building 1

Overhang: 24" Aluminum soffit (Endwall) with vented soffit

### Accessories

End Wall 2 on Building 1

Walk Door(s):



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## Cleary/Owner Project Proposal - Erected

### Subcontractors

#### Gutters

Unknown/Unapproved: White

#### Overhead Doors

Unknown/Unapproved: White

## Project Color Chip Review

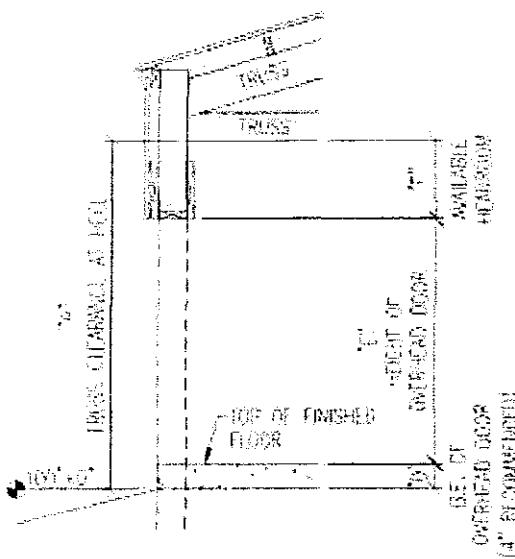
All applicable Wall Steel, Roof Steel, Walk Door, Window, Overhead Door, Gutter, and Trim colors have been reviewed using steel color chips.

#### Purchaser Initials

Purchaser and BSS to meet at a later date to confirm colors with color chips. This will be documented with a change order.

#### Purchaser Initials

## Overhead Frameout & Headroom



"D" = Bottom elevation (B.E.) of overhead door: **0' 4"**

The bottom of all overhead doors (top of finished floor) are recommended to be placed at 4" above the 100'-0" mark (100'-4"). In building without paved floors, B.E. of doors may be lower - e.g. 100'-0".

"E" = Height of overhead door: **10' 0"**

Overhead door height = the height of the overhead door being placed in this building.

"F" = Available headroom: **1' 7"**

Available headroom = the space available for overhead door tracks and openers. If a ceiling is installed, headroom will be reduced by about 1". Door headroom requirements must be confirmed with the door supplier.

Headroom calculation formula:

$$("B") - ("D") - ("E") = ("F")$$

(Truss Clearance) - (B.E. of overhead door) - (Overhead door height) = (Available headroom)

Example:

$$(10'-0") - (4") - (8'-0") = (1'-8" of available headroom)$$

