

TOWN OF WEST BEND 6355 Cty Hwy Z West Bend, WI 53095 (262)338-3417	BUILDING PERMIT APPLICATION	Permit #: _____ Tax Key: _____
Owner's Name: <u>Ross + Heidi Anderson</u>		
Mailing Address: <u>5431 German Village Road, West Bend, WI 53095</u>		
Project address: <u>Same</u>	Owner's ph. #: <u>414-698-7023</u>	
Owners Email: <u>anderson.ross@att.net</u>		
Contractor's name: <u>Dugaine Concrete</u>		
Contractor's Mailing address: <u>4988 Hwy Road, West Bend, WI 53095</u>		
Cont. Phone #: <u>262-338-9988</u>		
Email: <u>ed@dugaineconcrete.com</u>		
Cont. Dwelling Contractor (DC) #:		(DCQ) #:

Type of project

- | | |
|--|---|
| <input type="checkbox"/> Commercial/industrial/multi-family | <input type="checkbox"/> Alteration (Reroof, siding, windows, interior remodel, finish basements) |
| <input type="checkbox"/> Accessory buildings (120 Sq. ft. or over) | <input type="checkbox"/> Deck, Pool, Fence, Sign |
| <input type="checkbox"/> Additions | <input checked="" type="checkbox"/> Other <u>Boathouse foundation repair</u> |

Project Description: <u>Repair crumbling boathouse foundation</u>
Used for: <u>Storage</u>
Estimated Cost: <u>\$10-\$12,000</u>
Required with Application

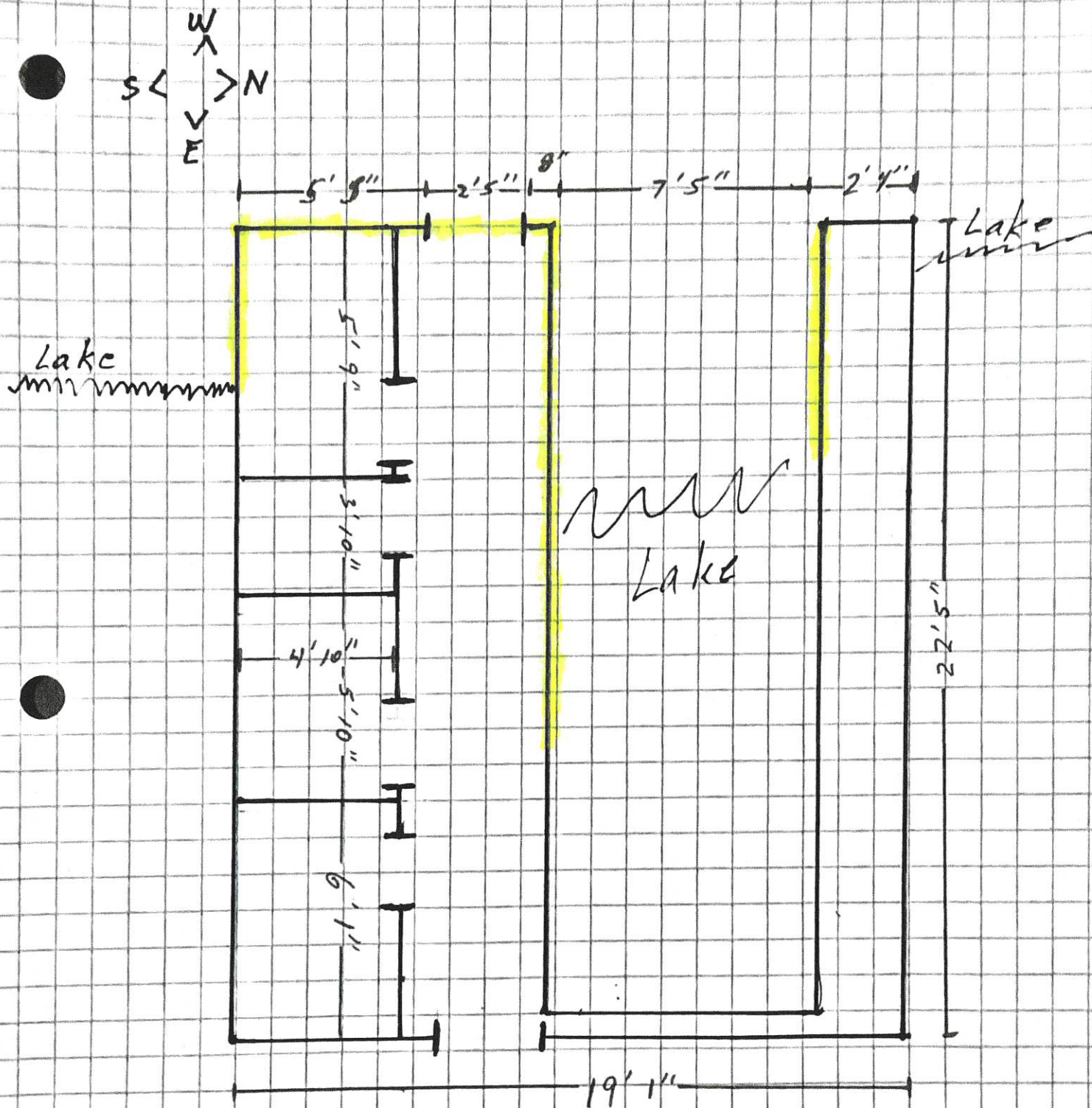
- | | |
|--|---|
| <input type="radio"/> 2 sets of building plans | <input checked="" type="radio"/> 2 copies of survey or site plan- showing location of proposed structure (can be sketched on survey/site plan) (Not needed for Alterations) |
| <input checked="" type="radio"/> Completed Washington County Self-Certification Form or Washington County Shoreland zoning permit if applicable. | <u>See attached DNR Permit No. 02786</u> |

Signature of Applicant: Heidi Anderson **Date:** 08/25/2025

The applicant agrees to comply with the Municipal Ordinances, State of WI Building Codes, and with the conditions of this permit; understands that the issuance of the permit creates no legal liability, expressed or implied, of the Department, Municipality, Agency or Inspector; and certifies that all of the above information is accurate.

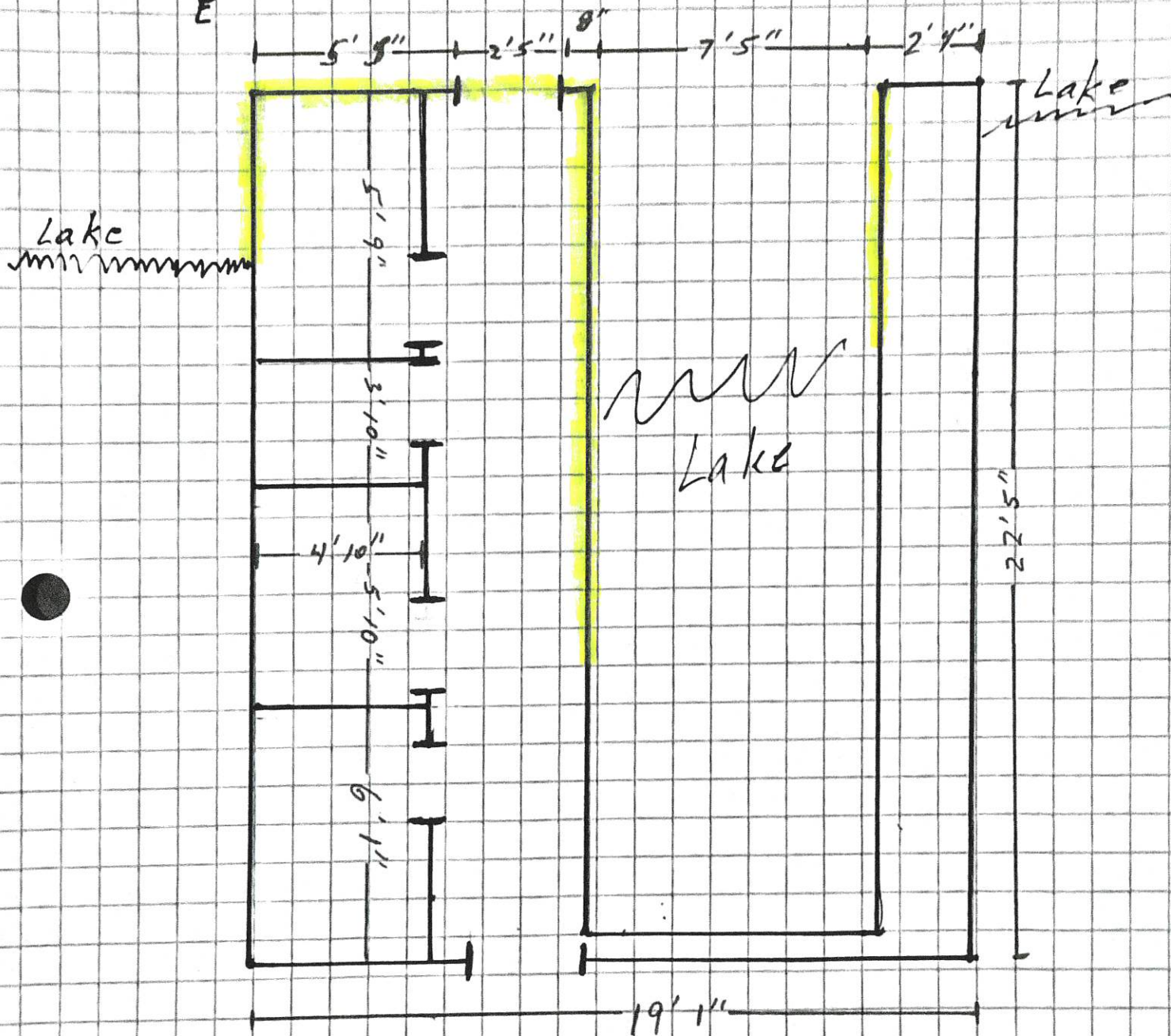
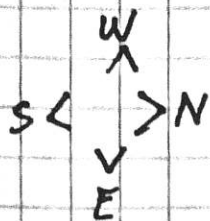
Approval conditions/inspection requirements will be included with permit approval. To request an inspection: call the Building Inspector at number listed. Please give project address, permit # if possible, and type of inspection. Please give at least 24 hour notice on all inspections. Reroof/reside permit fee is \$50 and can be included with the application. *Drop off completed application and required forms at Town Hall- 6355 Cty Hwy Z West bend, WI 53095		Certified Building Inspector Jeremy Pfeifer Office: 262-629-1774 Cell: 262-689-7346 Email: jeremy@jpbldginspections.com	
Office use only Fee will be paid after approved			
Basement SF-	Garage SF-	Zoning-	Plan Review-
Living space SF-	Decks/Porch SF-	Erosion-	Inspection-
Commercial SF-		Other-	Occupancy-
			TOTAL-\$

Issued: / /20



Foundation Repairs in Yellow

Approximately 29'



Foundation Repairs in Yellow

Approximately 29'

State of Wisconsin
DEPARTMENT OF NATURAL RESOURCES
141 NW Barstow St.
Waukesha, WI, 53188

Tony Evers, Governor
Karen Hyun, Ph.D., Secretary
Telephone 608-266-2621
Toll Free 1-888-936-7463
TTY Access via relay - 711



10/31/2025

IP-SE-2025-67-02786

Ross Anderson
5431 German Village Road
West Bend, WI 53095
[sent electronically]

RE: Boathouse Repair Certification Exception for a boathouse on Cedar Lake in the Town of West Bend, Washington County

Dear Ross Anderson:

The Department has examined the proposed maintenance and repair of your boathouse. The boathouse is described as having a concrete foundation, changing rooms, storage areas, and referred to as the "Anderson Boathouse". It is located on Cedar Lake (WBIC 25300) located in the NW 1/4, SW 1/4, Section 29, Township 11N, Range 19E, Town of West Bend, Washington County.

The proposed work consists of repairing damaged concrete. No expansion or modifications to the size of the boathouse will be made, and no living quarters are being created.

The planned foundation repair will occur in three areas:

- 1) The southwest corner of the boathouse, extending east along the south wall approximately 4' (to the shoreline) and along the approximate 8' west wall (facing the lake);
- 2) The interior boat slip walls (north and south);
- 3) The northwest corner of the boathouse (mostly on the southern face of that corner).

Section 30.121, Wis. Stats., allows an exception to the 50% maintenance and repair limitation for all existing boathouses that were in existence on December 16, 1979. Your boathouse is verified as meeting this exception. **Your proposed work must meet the certification exception conditions below and may proceed as planned.**

CERTIFICATION CONDITIONS

1. You must notify Erin Cox at phone (262) 282-2029 or email Erin.Cox@wisconsin.gov before starting construction and again not more than 5 days after the project is complete.
2. This certification exception expires on 10/31/2028. If the repairs are not completed by then, you must apply for an extension prior to the expiration date, or a new application for repair certification must be submitted.
3. This approval allows only repairs to the boathouse which are specifically described in your application and does not authorize any other work in the waterway which may require a permit under Chapter 30 or 31, Wis. Stats.
4. This certification exception does not authorize any work other than what you specifically describe in your application and plans, and as modified by the conditions of this certification exception. If you wish to alter the project or certification conditions, you must first obtain written approval of the Department.
5. You are responsible for obtaining any permit or approval that may be required for your project by local zoning ordinances or by the U.S. Army Corps of Engineers before starting your project.
6. Upon reasonable notice, you shall allow access to your project site during reasonable hours to any Department employee who is investigating the project's construction, operation, maintenance, or certification compliance.

7. The Department may modify or revoke this certification if the project is not completed according to the terms of the certification, or if the Department determines the activity is detrimental to the public interest.
8. You must post a copy of this certification exception at a conspicuous location on the project site, visible from the waterway, for at least five days prior to construction, and remaining at least five days after construction. You must also have a copy of the approved plan available at the project site at all times until the project is complete.
9. Your acceptance of this certification exception and efforts to begin work on this project signify that you have read, understood and agreed to follow all conditions of this certification exception.
10. You must submit a series of photographs to the Department, within one week of completion of work on the site. The photographs must be taken from different vantage points and depict all work authorized by this certification.
11. You, your agent, and any involved contractors or consultants may be considered a party to the violation pursuant to Section 30.292, Wis. Stats., for any violations of Chapter 30, Wisconsin Statutes or this certification.
12. All repairs and maintenance may not affect the size, location, or configuration of the boathouse.
13. Repair and maintenance may not include any change in roof pitch or addition of decks, walkways, railings, or other architectural features.
14. Decks, walkways, railings, or piers that are permanently attached to the boathouse are part of the boathouse and subject to repair certification.
15. This structure shall be used for the storage of watercraft and associated materials and cannot be converted to allow permanent or temporary human habitation.
16. An exception certification must be obtained each time you wish to make repairs.
17. You must prevent any construction materials from being deposited into any surface waters.

Dated at the Waukesha Service Center, Wisconsin on 10/31/2025

STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES
For the Secretary

BY: *Erin Cox*

Erin Cox
Water Management Specialist

Copy to: Email CC:
Julie Ihlenfeld – Town of West Bend



Do I need a Permit from the County? Landowner/Contractor Self-Certification

By completing the following Permit Triggers Checklist and associated instructions I have verified that my proposed project does not need a permit from Washington County or will impact the septic system on the property identified below.

By answering **YES** to any of the following questions, a County Permit or Approval may be required and will need to be obtained either prior to or in conjunction with the local government permits or approvals.

County Highway: Right-of-Way / Access Permit

☐ YES ☒ NO

- My property is along a County Highway and will require a separate access/driveway to road.
- The construction activity of my project will occur within the Road Right-of-Way.

Shoreland-Wetland-Floodplain Zoning

☒ YES ☐ NO

- The area of ground disturbance of my project will be within the Shoreland Zone based on the County's GIS Map.

Private Onsite Wastewater Treatment System

☐ YES ☒ NO

- My project is a new home, business or will need a connection to the septic system.
- My project increases the number of bedrooms of the home on the property.
- My project/structure will be close to the septic system drain field, within 15 feet from the field or base of the mound.
- My project/structure will be close to the septic tank or holding tank, within 5 feet from the edge of tank (add an additional 10 feet if measuring from the edge of the tank cover).

Erosion Control and Stormwater Management

☐ YES ☒ NO

- My project will have more than: 4,000 square feet of ground disturbance; 400 cubic yards of excavation/fill; and/or disturb 300 lineal feet of a ditch or swale.
- My project adds more than 20,000 square feet of impervious surfaces including gravel, that did not exist prior to year 2000.
- My project involves the construction of a new public or private road that will serve two (2) or more homes.

Nonmetallic Mining

☐ YES ☒ NO

- My project involves the extraction and sale of nonmetallic minerals that include, but are not limited to, stone, sand, gravel, asbestos, beryl, diamond, clay, coal, feldspar, peat, talc, and topsoil.

Owners Name:

Ross + Heidi Anderson

Tax Key #

713 1180500

Property Address:

5431 German Village Road, West Bend, WI 53095

Phone - Home/Cell:

414-698-7023

Email:

anderson.ross@att.net

Brief description of project:

Our boathouse was built in the 1920's. The foundation under the water has broken and is spalling away. We need to restore the existing foundation. There will be no expansion or modification of the current structure.

I assume full responsibility if I neglect or misrepresent the location or scope of my project for any fees, fines or requirements associated with the above regulations and for any damage or function to the property's septic system.

Signature:

Heidi Anderson

Date:

08/12/2025

NOTICE TO APPLICANT: permits may also be required from other agencies including state department of natural resources, and/or army corps of engineers.



WASHINGTON COUNTY

WISCONSIN



5431 German Village Road, West Bend, 530... X

Search result



