



# Conditional Use Village of East Troy, Wisconsin

Version: Sept. 18, 2025

Village of East Troy  
2015 Energy Drive  
East Troy, WI 53120

**Overview:** The Village's zoning code identifies land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Plan Commission conducts a public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Plan Commission serves in an advisory capacity to the Village Board, which makes the final decision. The recommendation of the Plan Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

**Governing regulations:** The procedures and standards governing the review of this application are found in Section § 510-157 of the Village's zoning code.

**General instructions:** Complete this application and submit one copy to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (414) 336-7915 or via email at [orin.sumwalt@foth.com](mailto:orin.sumwalt@foth.com). You may download this form at <https://villageofeasttroy.zoninghub.com/highlights/procedures/procedure.aspx?id=138>

**Application fee:** \$250.00, plus charges for professional services

**Application submittal deadline:** Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

**1. Applicant information**

Applicant name Veronica Clark  
 Street address 2541 Main Street  
 City, state, zip code East Troy  
 Daytime telephone number 414 748 0217  
 Email kidscounttoelc@gmail.com

**2. Agent contact information.** Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	<u>Agent 1</u>	<u>Agent 2</u>
Name	<u>Ray Goodden</u>	<u></u>
Company	<u>Anderson Commercial</u>	<u></u>
Street address	<u>5000 S Towne Drive</u>	<u></u>
City, state, zip code	<u></u>	<u></u>
Daytime telephone number	<u>(414) 858-5203</u>	<u></u>
Email	<u>rgoodden@acgwi.com</u>	<u></u>

**3. Type of application (select one)**

New conditional use  
 Yes  No Are there any other current conditional use approvals for the property?  
 If yes, provide the year of issuance and a short description.

2004

An amendment of a previously approved conditional use  
 If an amendment, attach a copy of the current approval document.

**4. Subject property information**

Physical address 2541 Main Steet  
 Tax key number(s) RA 1396 00001

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

**5. Zoning information** (refer to the Village's current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> RH-35 Rural Holding                | <input type="checkbox"/> TR-8 Two-Family Residential    | <input type="checkbox"/> NB Neighborhood Business       |
| <input type="checkbox"/> SR-3 Estate Residential            | <input type="checkbox"/> AR-9 Attached Residential      | <input checked="" type="checkbox"/> HB Highway Business |
| <input type="checkbox"/> SR-4 Suburban Residential          | <input type="checkbox"/> MR-10 Multi-Family Residential | <input type="checkbox"/> CB Central Business            |
| <input type="checkbox"/> SR-5 Neighborhood Residential      | <input type="checkbox"/> MHR-6 Mobile Home Residential  | <input type="checkbox"/> BP Business Park               |
| <input type="checkbox"/> SR-6 Traditional-Front Residential |   | <input type="checkbox"/> LI Light Industrial            |
| <input type="checkbox"/> SR-7 Traditional-Rear Residential  |   | <input type="checkbox"/> GI General Industrial          |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> PD Planned Development | <input type="checkbox"/> GP Groundwater Protection        | <input type="checkbox"/> FP 100-Year Floodplain |
| <input type="checkbox"/> DD Downtown Design     | <input type="checkbox"/> NFC Natural Features Conservancy | <input type="checkbox"/> FP 500-Year Floodplain |
|   |   | <input type="checkbox"/> SW Shoreland-Wetland   |

**6. Adjoining land uses and zoning**

	Zoning district(s)	Current uses
North	B3	Highway Business
South	R1	M2 General MFG
East	B3	Highway Business
West	B3	Highway Business

**7. Current use.** Describe the current use of the subject property.

Vacant Daycare

**8. Proposed use.** Describe the proposed conditional use or the proposed amendment.

Operating Daycare

**9. Evaluation criteria.** The factors listed below will be used in evaluating this application. Your responses are important.

- Whether the proposed conditional use (**the use in general, independent of its location**) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

This specific unit was an operating daycare, previously approved in 2004.

2. Whether the proposed conditional use (**in its specific location**) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

I believe it is in harmony with the specific goals and standards of the community.

3. Whether the proposed conditional use, in its proposed location and as depicted on the required site plan results in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the zoning code, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development.

I do not believe there is any negative impact to the community

4. Whether the proposed conditional use would maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

I believe it will maintain the consistency with the desired land use.

5. Whether the proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

It will not provide any undue burdens on the Community

6. Whether the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

I do not foresee any adverse impacts

**10. Large development requirements.**

- Yes  No Does the proposed project include indoor sales or service, outdoor display, indoor commercial entertainment, outdoor commercial entertainment, in-vehicle sales or service, commercial indoor lodging, with a total area exceeding 20,000 square feet where one or both the following conditions exist:

1. The parking area is or will be served by an integrated system of off-street parking benefiting all or substantially all improvements within such area.
  2. The area is or will be subject to reciprocal access rights benefiting all or substantially all improvements within such area.
- (See § 510-109 of the zoning code.)

If yes, include each of the following as described in § 510-109 (D) of the zoning code:

1. Large development questionnaire

Conditional Use  
Village of East Troy, Wisconsin  
Page 4

- 2. Economic and fiscal analysis
- 3. Traffic impact analysis
- 4. Detailed neighborhood plan

**11. Supplemental materials.** Attach the following.

- 1. Site plan application and related materials
- 2. A copy of the existing conditional use if this application is intended to amend that approval.

**12. Attachments.** List any attachments included with your application.

**13. Other information.** You may provide any other information you feel is relevant to the review of your application.

We are asking to re-open the existing daycare facility. We believe there is a need in the community for this facility.  
We are asking the occupancy be increased from the previously approved 60 children to 99

**14. Applicant certification**

- ◆ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- ◆ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with § 510-149 (D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property. [Please use the link above to download the form and visit FAQ for current year rates.](#)
- ◆ I understand that submission of this application authorizes Village officials and employees, Plan Commission members, Village Board members, and other designated agents, including those retained by the Village, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- ◆ I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- ◆ I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Adam Raychel F/B/O Citizens Bank  
Name – print

  
Name – Signature

11/7/2025  
Date

\_\_\_\_\_  
Name – print

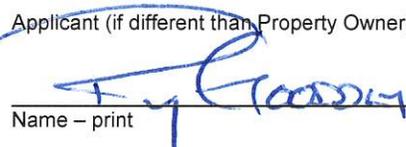
\_\_\_\_\_  
Name – Signature

\_\_\_\_\_  
Date

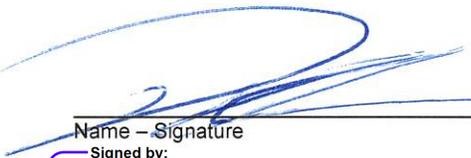
Conditional Use  
Village of East Troy, Wisconsin  
Page 5

---

Applicant (if different than Property Owner):

  
Name - print

Veronica Clark  
Name - print

  
Name - Signature  
Signed by:

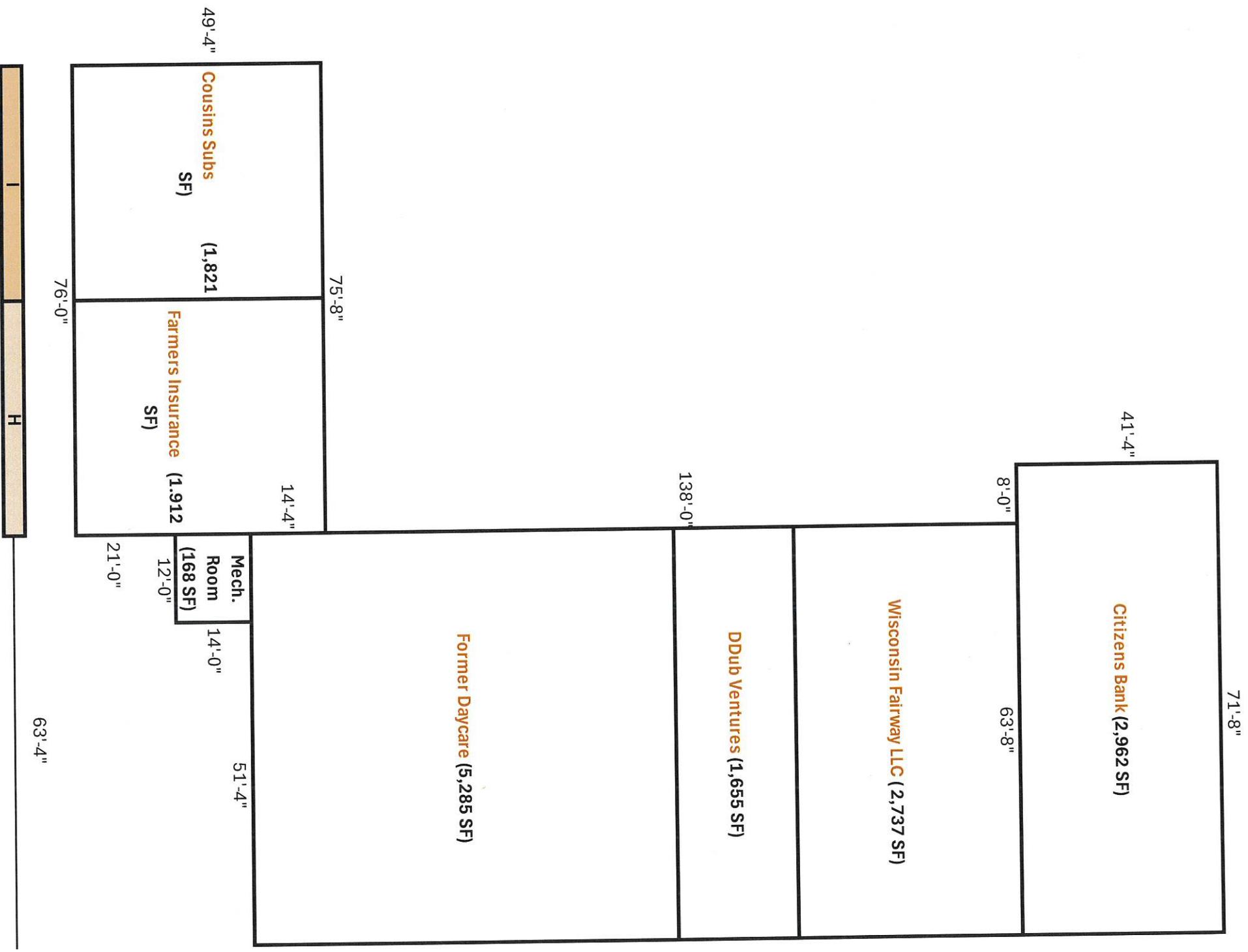
  
Name - print

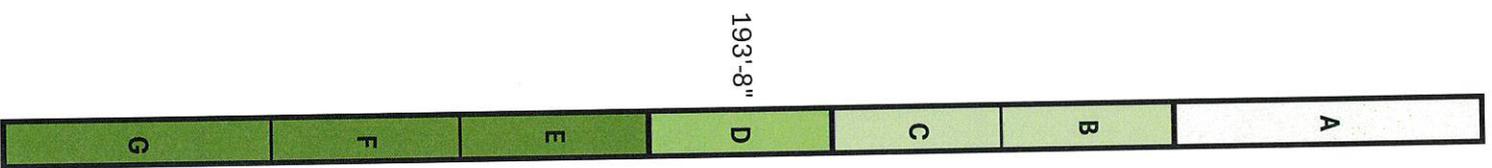
  
Date

10/31/2025  
Date

### BUILDING SKETCH

(Dimensions per Blueprints & Field Verified)





Unit Tenant	SF	% of Bldg	Newly Calc. SF
A Citizens Bank	3,000	18.23%	2,962
B-C Wisconsin Fairway LLC	2,749	16.70%	2,737
D DDub Ventures	1,655	10.05%	1,655
E-G Day Care (Vacant)	5,306	32.24%	5,285
H Farmers Insurance	1,875	11.39%	1,912
I Cousins Subs	1,875	11.39%	1,821
0 TOTAL	16,460	100.00%	16,461

168 Mech R

16,629 SF Total

Overall Building SF Calculations  
(2 Proofs)

193.67 x 63.67	12,330.97
8 x 41.33	330.64
12 x 14	68.00
76 x 35	2,660.00
14.33 x 75.67	1,084.35
<b>16,473.96</b>	

16,474 SF (Total Bldg)  
16,629 SF (Calc. Unit)  
-155 (Difference)

41.33 x 71.67	2,962.12
138 x 63.33	8,786.46
14.33 x 63.67	912.39
75.67 x 49.33	3,732.80
35 x .33	11.55
12 x 14	68.00
<b>16,473.32</b>	

76 x 49.33	3,749.08
14.33 x 63.33	907.52
138 x 63.67	8,786.46
41.33 x 71.67	2962.12
12 x 14	168.00
<b>16,573.18</b>	

8 x 41.33	330.64
63.67 x 193.67	12330.969
75.67 x 49.33	3732.801
.33 x 35	11.55
12 x 14	168
<b>16573.96</b>	





# Site Plan

## Village of East Troy, Wisconsin

Version: Sept. 18, 2025

Village of East Troy  
2015 Energy Drive  
East Troy, WI 53120

**Overview:** The site plan review process ensures that proposed land uses and development activity complies with the requirements of the Village's zoning regulations. This review must occur before any building, occupancy, and building permits can be issued; except that development activity associated with an approved final plat of subdivision or certified survey map, and development activity associated with and approved final development plan of a planned development, is exempt from this requirement.

**Governing regulations:** The procedures and standards governing the review of this application are found in § 510-160 of the Village's zoning code.

**General instructions:** Complete this application and submit one copies to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (414) 336-7915 or via email at [orin.sumwalt@foth.com](mailto:orin.sumwalt@foth.com). You may download this form at <https://villageofeasttroy.zoninghub.com/highlights/procedures/procedure.aspx?id=142>.

When you fill out this application, you should think about how your business operation may expand or be different in the future. For example, if your business will have 5 employees to start and you hope to have 25, tell us. Also, if you foresee an expansion to a building or a parking lot, your site plan should show that. If you invest time to do this now, you will end up with a more thoughtful plan. Not only that, you will save time and the expense of having to submit a new site plan sometime in the future. So, think ahead.

**Application fee:** none

**Application submittal deadline:** Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

### 1. Applicant and property owner information

	<u>Applicant</u>	<u>Property owner</u>
Name	Veronica Clark	
Street address	2541 Main St	
City, state, zip code	East Troy, WI 53120	
Daytime telephone number	414-748-0217	
Email	kidscounttooelc@gmail.com	

### 2. Agent contact information. Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	<u>Agent 1</u>	<u>Agent 2</u>
Name	Ray Goodden	
Company	Anderson Commercial Group, LLC	
Street address	5000 S Towne Dr, Suite 100	
City, state, zip code	New Berlin, WI 53151	
Daytime telephone number	414-858-5203	
Email	rgoodden@acgwi.com	

### 3. Type of application (select one)

- New site plan
- An amendment of a previously approved site plan (i.e., revision and/or expansion)

### 4. Business information

Current business name Kids Count Too, LLC

Date business began 12/1/2025

Previous name, if any N/A

**5. Subject property information**

Physical address 2541 Main St, East Troy, WI 53120

Tax key number(s) RA 1396 00001

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

**6. Zoning information** (refer to the Village's current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> RH-35 Rural Holding                | <input type="checkbox"/> TR-8 Two-Family Residential    | <input type="checkbox"/> NB Neighborhood Business       |
| <input type="checkbox"/> SR-3 Estate Residential            | <input type="checkbox"/> AR-9 Attached Residential      | <input checked="" type="checkbox"/> HB Highway Business |
| <input type="checkbox"/> SR-4 Suburban Residential          | <input type="checkbox"/> MR-10 Multi-Family Residential | <input type="checkbox"/> CB Central Business            |
| <input type="checkbox"/> SR-5 Neighborhood Residential      | <input type="checkbox"/> MHR-6 Mobile Home Residential  | <input type="checkbox"/> BP Business Park               |
| <input type="checkbox"/> SR-6 Traditional-Front Residential |   | <input type="checkbox"/> LI Light Industrial            |
| <input type="checkbox"/> SR-7 Traditional-Rear Residential  |   | <input type="checkbox"/> GI General Industrial          |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> PD Planned Development | <input type="checkbox"/> GP Groundwater Protection        | <input type="checkbox"/> FP 100-Year Floodplain |
| <input type="checkbox"/> DD Downtown Design     | <input type="checkbox"/> NFC Natural Features Conservancy | <input type="checkbox"/> FP 500-Year Floodplain |
|   |   | <input type="checkbox"/> SW Shoreland-Wetland   |

**7. Adjoining land uses and zoning**

	<u>Zoning district(s)</u>	<u>Current uses</u>
North	<u>B3</u>	<u>Highway Business</u>
South	<u>R1</u>	<u>M2 General MFG</u>
East	<u>B3</u>	<u>Highway Business</u>
West	<u>B3</u>	<u>Highway Business</u>

Note: If the subject property abuts a property located in a different zoning district, a bufferyard may be required. You will need to submit a Landscaping and Bufferyard Worksheet if a bufferyard is required.

**8. Current use.** Describe the current use of the subject property.

Vacant Daycare

**9. Proposed use.** Describe the proposed use or the proposed amendment.

Operating Daycare

10. **Hours of operation.** Describe when the proposed use will be open for business (i.e., hours and days).

6:00 AM to 6:00 PM

11. **Employees.** Describe number by type, number on largest works shift, etc.

8-20 employees

12. **Customers / patrons of business.** Describe the customers and patrons, including peak loads.

Children and their parents

13. **Miscellaneous**

Yes  No Has the Village approved a variance for the subject property?

If yes, provide the year of issuance and a short description for each one.

Yes  No Is the subject property currently in violation of the Village's zoning code?

If yes, describe the nature of the violation and what is being done to bring the property into compliance.

Yes  No Are there any nonconforming buildings on the subject property? A nonconforming building does not meet the dimensional requirements for the zoning district in which it is located.

If yes, describe what building is nonconforming and the nature of the nonconformity.

Yes  No Will the proposed use create any detectable ground vibrations? (See § 510-99 of the zoning code.) If

yes, describe.

Yes  No Will the proposed use create any detectable noise beyond the property boundary lines? (See § 510-100 of the zoning code.)

If yes, describe.

Yes  No Will the proposed use create any air pollution? (See § 510-101 of the zoning code.)

If yes, describe.

Yes  No Will the proposed use create any detectable odor beyond the property boundary lines? (See § 510-102 of the zoning code.)

If yes, describe.

Yes  No Will the proposed use create any detectable glare or heat beyond the property boundary lines? (See § 510-104 of the zoning code.)

If yes, describe.

Yes  No Will the proposed use involve any materials which could detonate by any means? (See § 510-105 of the zoning code.)

If yes, describe.

Yes  No Will the proposed use involve any materials that are toxic or noxious or that are considered waste materials? (See § 510-106 of the zoning code.)

If yes, describe.

\_\_\_\_\_

Yes  No Will the proposed use involve any outdoor storage of materials?

If yes, describe.

\_\_\_\_\_

Yes  No If the proposed use involves processing or manufacturing of materials, will water be used in any of those processes?

If yes, describe the nature of the activity and anticipated water demand and sanitary loading

\_\_\_\_\_

Yes  No Is expansion of the proposed use or building anticipated?

If yes, describe the nature of the expansion and potential timeline for such expansion

\_\_\_\_\_

**14. Utilities**

Water  Municipal  Private well

If private well, when was the well installed and approved?

\_\_\_\_\_

Sewer  Municipal  On-site septic system

If septic system, when was the system installed and approved?

\_\_\_\_\_

**15. Licenses and permits**

**Required**

- Beer  Have  To Get
- Liquor  Have  To Get
- Cigarette  Have  To Get
- Food service  Have  To Get
- Amusement Device  Have  To Get
- Other: daycare license  Have  To Get
- Other: \_\_\_\_\_  Have  To Get
- Other: \_\_\_\_\_  Have  To Get

**16. Property access** (refer to § 510-91 of the zoning code for details)

	<u>Current</u>	<u>New</u>
Local street	<u>Main St</u>	_____
County highway	_____	_____
State highway	_____	_____

**17. On-site parking** (refer to § 510-91.1 of the zoning code for details)

	<u>Current</u>	<u>Required [1]</u>	<u>New</u>
Standard spaces	tbd		
Accessible spaces			

Notes:

[1] On-site parking is not required in the Central Business (CB) zoning district

Yes  No Are you proposing shared parking pursuant to § 510-93(G) of the zoning code?

If yes, attach a draft shared parking agreement.

**18. Calculations for maximum building coverage and impervious surface coverage**

- a. Area of subject property as determined by site survey acres N/A
- b. Land located within proposed rights-of-ways of roads and within proposed boundaries of public facilities that are designated within the Village's comprehensive plan and/or required for dedication per subdivision regulations acres N/A
- c. Land which, although part of the same parcel, is not contiguous to or is not accessible from the proposed road network serving the project acres N/A
- d. Land which is proposed for a different development option or a different zoning district acres N/A
- e. Navigable waters (lakes & streams not within a designated floodplain) acres N/A
- f. Designated floodplains acres N/A
- g. Wetlands acres N/A
- h. Lakeshores acres N/A
- i. Woodlands acres N/A
- j. Steep slopes (12 percent or greater) acres N/A
- k. Total of "b" through "j" acres N/A
- l. Net developable area (subtract "k" from "a") acres N/A
- m. Building coverage ratio (see the standard for the appropriate zoning district) percent N/A
- n. Impervious surface coverage ratio (see the standard for the appropriate zoning district) percent N/A
- o. Maximum building coverage on property (multiply "l" by "m") acres N/A
- p. Maximum impervious surface coverage on property (multiply "l" by "n") acres N/A

	<u>Maximum (acres)</u>	<u>Proposed (acres)</u>
Building coverage (For Maximum, enter calculated value for "o" from above table)	<u>N/A</u>	<u>N/A</u>
Impervious surface (For Maximum, enter calculated value for "p" from above table)	<u>N/A</u>	<u>N/A</u>

**19. Supplemental materials.** Attach each of the following as appropriate. Upon written petition, the Village Administrator, Village Engineer, Village Planner, or the Zoning Administrator may waive specific site plan requirements.

Site plan with the following information:

1. Title block showing the name, address, and phone of the current property owner and/or agent(s) (i.e. developer, architect, engineer, or planner) for project.
2. The date of the original plan and the latest date of revision to the plan.
3. A north arrow and a graphic scale (at a minimum scale of 1" = 100').
4. A legal description of the subject property.
5. All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
6. All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
7. Ground contours when any slope exceeds 12 percent
8. All required building setback lines.

9. All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls.
10. If the project is designed to be completed in phases or allow expansion of the building and other features, indicate these.
11. The location and dimension (cross-section and entry throat) of all access points onto public streets.
12. The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by this Chapter.
13. The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.
14. The location of all outdoor storage areas and the design of all screening devices.
15. Floodplains, wetlands, lakeshores, woodlands, steep slopes, and other environmentally sensitive lands.
16. The location, type, height, size, and lighting of all signage on the subject property.
17. The location and type of any permanently protected green space areas.
18. The location of existing and proposed drainage facilities.
19. Environmental and manmade development constraints and hazards including brownfields, contaminated sites, unstable soils, high groundwater, bedrock, and high-pressure natural gas lines
20. In the legend, the following data for the subject property: lot area, building coverage, building coverage ratio, floor area ratio, impervious surface area, impervious surface ratio, and building height.
21. Any additional information as requested by the Plan Commission or Village Board.

**Landscaping plan** prepared at the same scale as the main plan showing the location of all required bufferyard and landscaping areas, and existing and proposed landscape point fencing and berm options for meeting said requirements. The landscaping plan shall demonstrate complete compliance with the requirements of Article XIV of Chapter 510 of the zoning code. Be sure to show the individual plant locations and species, fencing types and heights, and berm heights. In addition to the drawing, include the Worksheet for Landscaping and Bufferyards.

**Grading and erosion control plan** prepared at the same scale as the main plan, showing existing and proposed grades, including retention walls and related devices, and erosion control measures.

**Outdoor lighting plan** (photometric plan) prepared at the same scale as the main plan that shows all existing and proposed exterior light fixtures. Calculations for the photometric plan shall be rounded to the nearest 0.10 foot-candles. A legend must be included to show the following information for each type of fixture: (1) manufacturer name, (2) product number, (3) mounting height, and (4) any other pertinent information. Be sure that current and proposed lighting will not exceed the 0.50 foot-candles threshold at the property boundary line. See § 510-95 of the zoning code for more details.

**Plat of survey** prepared by a registered land surveyor if in the judgment of the Zoning Administrator such accuracy is needed to ensure compliance with all dimensional standards, including setback requirements. The survey shall depict property lines, easements, and other existing and proposed improvements, and other information as may be needed to establish compliance with zoning requirements.

**Architectural review application** for any new buildings or for remodeling of existing buildings. The application must include elevation drawings showing finished exterior treatment, with adequate labels to clearly depict exterior materials, texture, color, and overall appearance. Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings. (Refer to § 510-90 of the zoning code for additional details.)

20. **Attachments.** List any attachments included with your application.

Site development plan

21. **Other information.** You may provide any other information you feel is relevant to the review of your application.

N/A

**22. Applicant certification**

- ◆ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- ◆ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with § 510-149 (D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property. [Please use the link above to download the form and visit FAQ for current year rates.](#)
- ◆ I understand that submission of this application authorizes Village officials and employees, Plan Commission members, Village Board members, and other designated agents, including those retained by the Village, to enter the property to conduct whatever site investigations are necessary

Site Plan  
Village of East Troy, Wisconsin  
Page 7

to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.

- ◆ I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- ◆ I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

**Adam Raychel**

Name – print



Name – Signature

**11/5/2025**

Date

Name – print

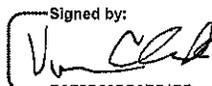
Name – Signature

Date

Applicant (if different than Property Owner):

Veronica Clark

Name – print

Signed by:  


Name – Signature

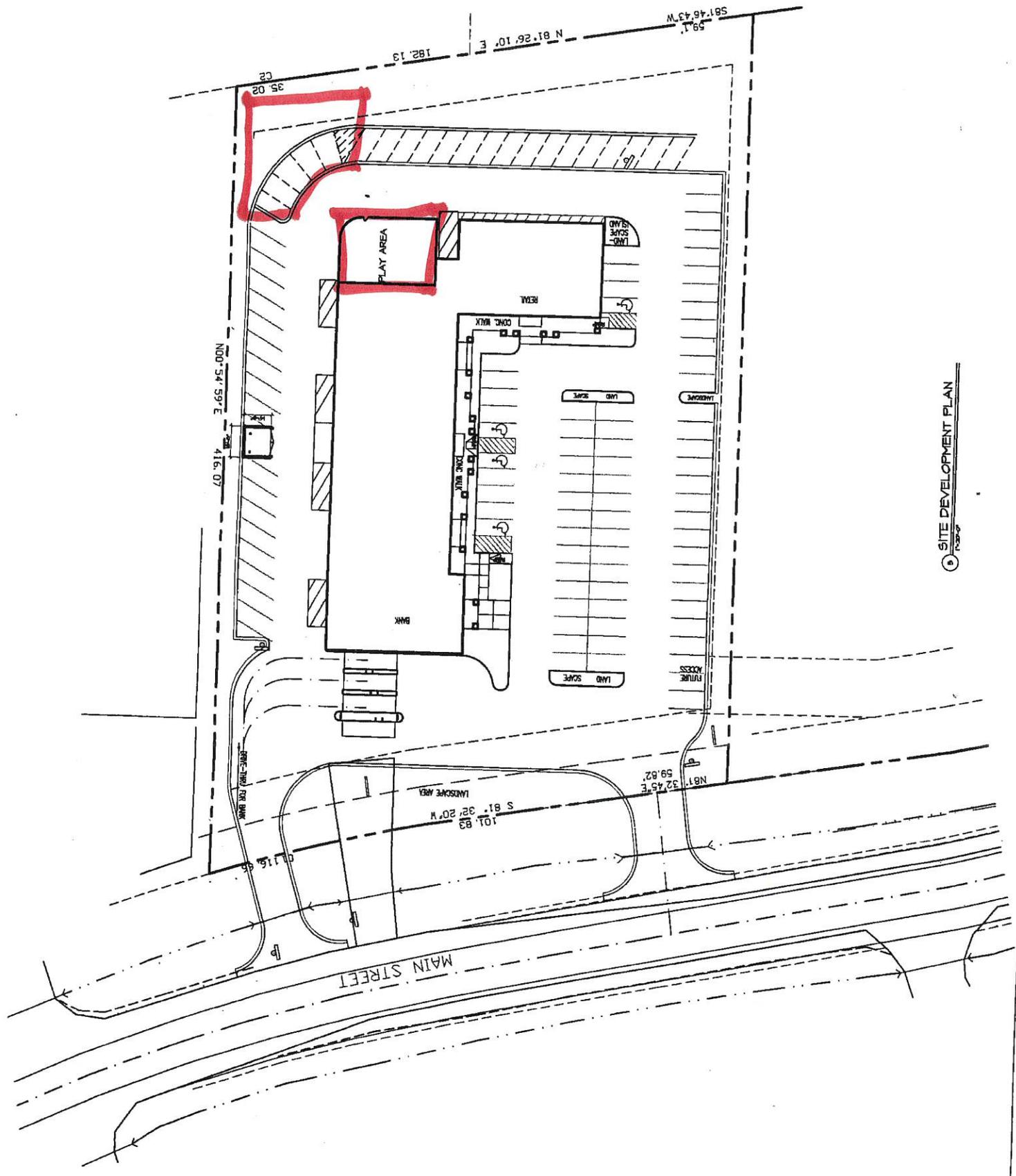
11/5/2025

Date

Name – print

Name – Signature

Date



1 SITE DEVELOPMENT PLAN