

Date: October 15, 2025

To: Town of West Bend Plan Commission From:
Kristen Hoss, Asst. Zoning Administrator

Subject: Conditional Use Permit for an addition to an existing single-family residence located at 4968 Lake Drive (T13_1720100); Douglas Riesop, applicant

Application: 2025-09

Meeting: October 23, 2025, Plan Commission meeting

General description Douglas Riesop owns the 0.34-acre subject property located at 4968 Lake Drive. The property contains a single-family residence, detached garage, and boathouse. The existing house is located 2.4 feet from the side property line, which does not conform to the current R-1S Shoreland Residential District side yard setback requirement of 7 feet.

The applicant is proposing a 168-square-foot addition to the existing residence to create an enclosed patio room. The proposed addition would be located at the rear of the residence, replacing a portion of the existing deck. Because the residence is nonconforming, the zoning code requires that the owner obtain a conditional use permit prior to any expansion of the building footprint.

The proposed addition would meet the absolute minimum setback of 3 feet permitted through the CUP process, thereby improving the existing nonconformity by moving the structure slightly further from the lot line. The applicant has submitted the CUP request to allow the addition and to be in compliance with these standards, while maintaining the residential character of the property and minimizing additional encroachment. The proposed addition would remain within the limits of the existing non-conforming footprint and is intended to improve the functionality of the home without increasing the degree of nonconformity.



Zoning requirements The property is in the R-1S Shoreland Residential District (R-1S District). Below is a table showing the dimensional standards of a principal structure in the R-1S District.

Standards	Requirement	Proposed
Height, Maximum (ft.)	35	~9.5
Street Setback, Minimum (ft.)	25	154
Side Setback, Minimum (ft.)	7*	3
Shore Setback, Minimum (ft.)	75	157

*With a CUP granted to a residential use as stated in the zoning code, the absolute minimum side yard setback would now be 3 feet instead of 7 feet.

Jurisdiction The subject property is located in Washington County's shoreland jurisdiction.

Development standards Section 325-42 (E)(1)(d) of the zoning ordinance reads as follows:

(C) New or existing principal or accessory structures that do not meet permitted street, rear, or side yard setbacks must not encroach beyond the existing street, rear, or side yard footprints. In no case shall the side setback be less than three feet (absolute minimum side setback)

Notice requirements A notice of public hearing was published in the Washington County Daily News on October 8 and 15, 2025. In addition, the public hearing notice was mailed to all property owners within 200 feet of the subject property.

Review procedures The Plan Commission plays an advisory role to the Town Board who makes the final decision. Following the closure of the public hearing, the Plan Commission may recommend (1) approval, (2) approval with conditions, or (3) denial. If approval is recommended, the Plan Commission can recommend conditions deemed necessary to protect the public health, safety, and welfare.

Possible motion for Plan Commission: Recommend to the Town Board the approval of the conditional use as proposed subject to the following conditions and based on the following findings:

1. **Setback Compliance.** The addition must be located no less than three (3) feet from the side yard setback.
2. **Site Plan Issuance** Final approval of the Conditional Use Permit is contingent upon issuance of a Site Plan Permit.
3. **Site Plan Compliance** The addition must comply fully with the terms specified in the authorized Site Plan Permit.
4. **Professional Fees.** Petitioner shall, on demand, reimburse the Town for all costs and expenses of any type that the Town incurs in connection with this development, including the cost of consulting fees, for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in this conditional approval due to a violation of these conditions.

5. **Payment of Charges.** Any unpaid bills owed to the Town by the subject property owner or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for license, permit fees, or any other fees owed to the Town shall be placed upon the tax roll for the subject property if not paid within thirty (30) days of the billing by the Town, pursuant to Section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional approval that is subject to all remedies available to the Town, including possible caused for the termination of the conditional approval.

Findings The surrounding development pattern along Lake Drive reflects similar conditions and setback configurations. The neighboring residences to both the north and south have structures that appear to be built directly adjacent to or very near their side property lines, also not meeting the current 7-foot side yard setback requirement for the R-1S District. As such, approval of this CUP would not disrupt the established character or pattern of development in the neighborhood and would maintain visual and spatial consistency along the corridor.

The proposed addition replaces a portion of the existing deck and stays within the general footprint of the current home. It meets the minimum 3-foot side yard setback allowed through the CUP process, which improves the existing condition by moving the structure slightly farther from the property line.

The neighboring house closest to the addition sits farther toward the shoreline, so the new patio room will not block any views or create visibility concerns. Since the addition is smaller and lower in height than the main house, it won't affect light access, create noticeable shadows, or cause drainage issues on this or surrounding lots.

Overall, the project fits the intent of the zoning standards for nonconforming structures by allowing a modest improvement that brings the property closer to compliance without changing the neighborhood character or creating any negative impacts for nearby property owners.

Attachments:

1. Application materials
2. Site plan
3. Building plans
4. Photos of the project area

Exhibit A

Town of West Bend - Washington County, Wisconsin APPLICATION for CONDITIONAL USE PERMIT

Name of Property Owner: Douglas Riesop

Address: 4968 Lake Dr, West Bend, WI 53095

Phone: 262-224-9919 Email: riesopd@hotmail.com

Name of Applicant (if different from Property Owner): Chakera Jones

Address: 16560 W. Glendale Dr, New Berlin, WI 53151

Phone: 984-224-6343 Email: championpermits@getchampion.com

Property Description:

Tax Key #(s) T13_1720100 Current Zoning: R-1S

Property is currently used for the following purposes: Residential dwelling

Specify the requested Conditional Use: Patio room

as provided for in Section: _____ of Chapter 17: Zoning Regulations.

The Conditional Use Permit is requested so that the property may be used in the following specific manner or for the following specific purposes: To meet the setback requirement.

Additional Comments (if any) _____

Town of West Bend - Washington County, Wisconsin
APPLICATION for CONDITIONAL USE PERMIT

Application Checklist:

(This Application shall be completed in full. The Town of West Bend shall not accept any Application for Conditional Use Permit until all of the information below, as required under Chapter 17.5.03 of the Zoning Ordinance, is submitted as attachment to this Application. Please confirm inclusion of the required information by checking each item below).

- ___ Names and addresses of the applicant, owner of the site, architect, professional engineer, contractor, and all opposite and abutting property owners of record.
- ___ Description of the Subject Site by lot, block, and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the Zoning District within which the subject site is located.
- ___ For floodland Conditional Uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location, and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.
- ___ A Plat of Survey prepared by a registered land surveyor showing all of the information required under Chapter 236 Wis. Stats.; the mean and historic high water lines and floodlands on or within 40 feet of the subject premises; and, existing structures, paving, and landscaping.
- ___ Additional Information as may be required by the Plan Commission, Zoning Secretary, or Zoning Administrator.

Town of West Bend - Washington County, Wisconsin
APPLICATION for CONDITIONAL USE PERMIT

Application Fee:

(\$500.00)

Check Number: 1287

Amount: \$500.00

Applicant Signature: _____

Chakira Jones

Date: 09/08/25

Town Clerk Signature: _____

Cherish

Date: 9-10-25

Professional Services Fee:

The Town of West Bend has determined that whenever the services of the Zoning Administrator, Building Inspector, Town Engineer, Town Attorney, or any other Town staff, as well as outside legal, planning, engineering, and other professional and technical advice results in a charge to the Town for professional time and services, the Town Clerk shall charge such services fees incurred by the Town to the property owner even if the request is not approved.

I have been advised that if the Zoning Administrator, Building Inspector, Town Engineer, Town Attorney, or any other Town staff provides services to the town because of my activities, or outside legal, planning, engineering, and other professional and technical advice is required, whether at my request or the request of the Town, I shall be responsible for the fees incurred by the Town, even if my request is not approved.

Owner Signature: _____

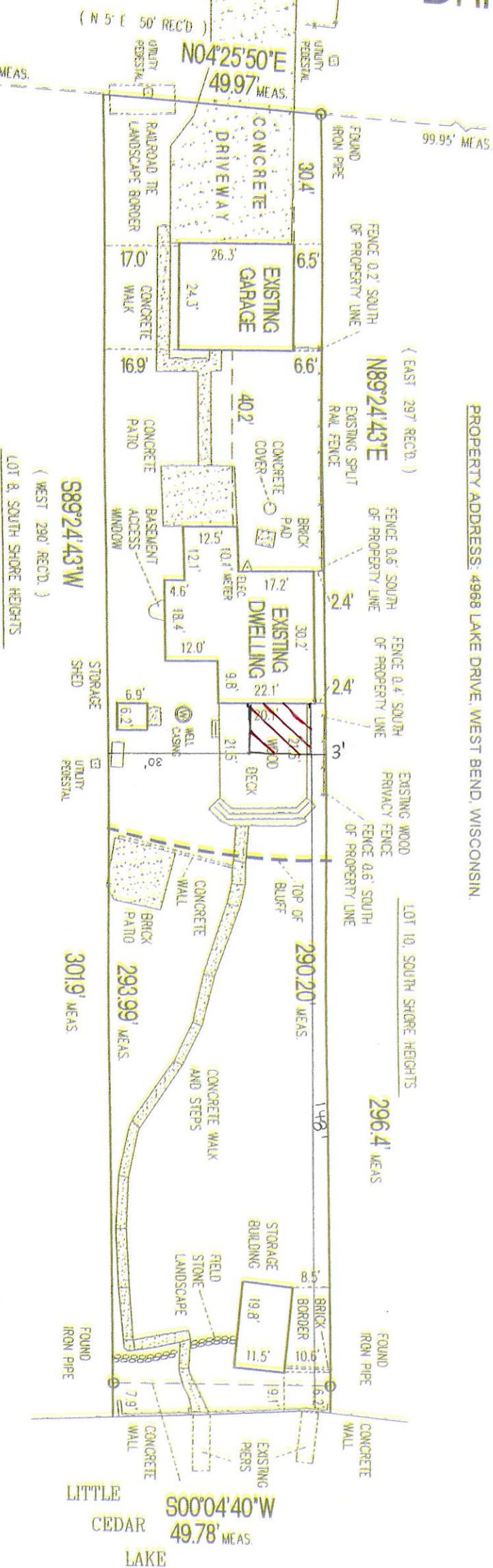
Dyghet B

Date: 09/08/25

LEGAL DESCRIPTION FROM A WARRANTY DEED DOCUMENT NO. 1371946 RECORDED 12/08/2014

LOT 9 IN MAP OF SOUTH SHORE HEIGHTS, A SUBDIVISION IN LOTS 5 AND 6, SECTION 33, TOWNSHIP 11 NORTH, RANGE 19 EAST, IN THE TOWN OF WEST BEND, WASHINGTON COUNTY, WISCONSIN, TOGETHER WITH AND AS APPURTENANT THERETO, A GOOD PRACTICABLE AND CONVENIENT RIGHT OF WAY FROM THE SOUTHWEST CORNER OF SAID SUBDIVISION TO AND CONNECTING WITH THE PUBLIC HIGHWAY UPON THE SOUTH LINE OF SAID SECTION

PROPERTY ADDRESS: 4968 LAKE DRIVE, WEST BEND, WISCONSIN



SURVEYED FOR : **CHAMPION WINDOWS**

PROPERTY OWNERS : DOUGLAS and LYNN RIESOP

I CERTIFY THAT THE SURVEYED THE ABOVE DESCRIBED (PROPERTY), AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY SERVICES, APPARENT EASEMENTS, AND ROADWAYS AND VISIBLE ENCROACHMENTS IF ANY TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THEREOF, WITHIN (1) YEAR FROM THE DATE HEREOF.

AREA OF PROPERTY = 14,879 SQ. FT.

0.34 ACRE

SCALE: 1" = 30'

WILLIAM J. KARPEN RPLS
563 W13007 JANESVILLE ROAD

563 W13007 JANEVILLE ROAD

MUSKEGO, WI 53150

(414) 469-2149 (CELL)

EMAIL : bktsurvey@gmail.com



WISCONSIN REGISTERED LAND SURVEYOR

JULY 8, 2025

DATE _____

TO BE AN ORIGINAL COPY
THIS STAMP MUST BE RED

Exhibit C



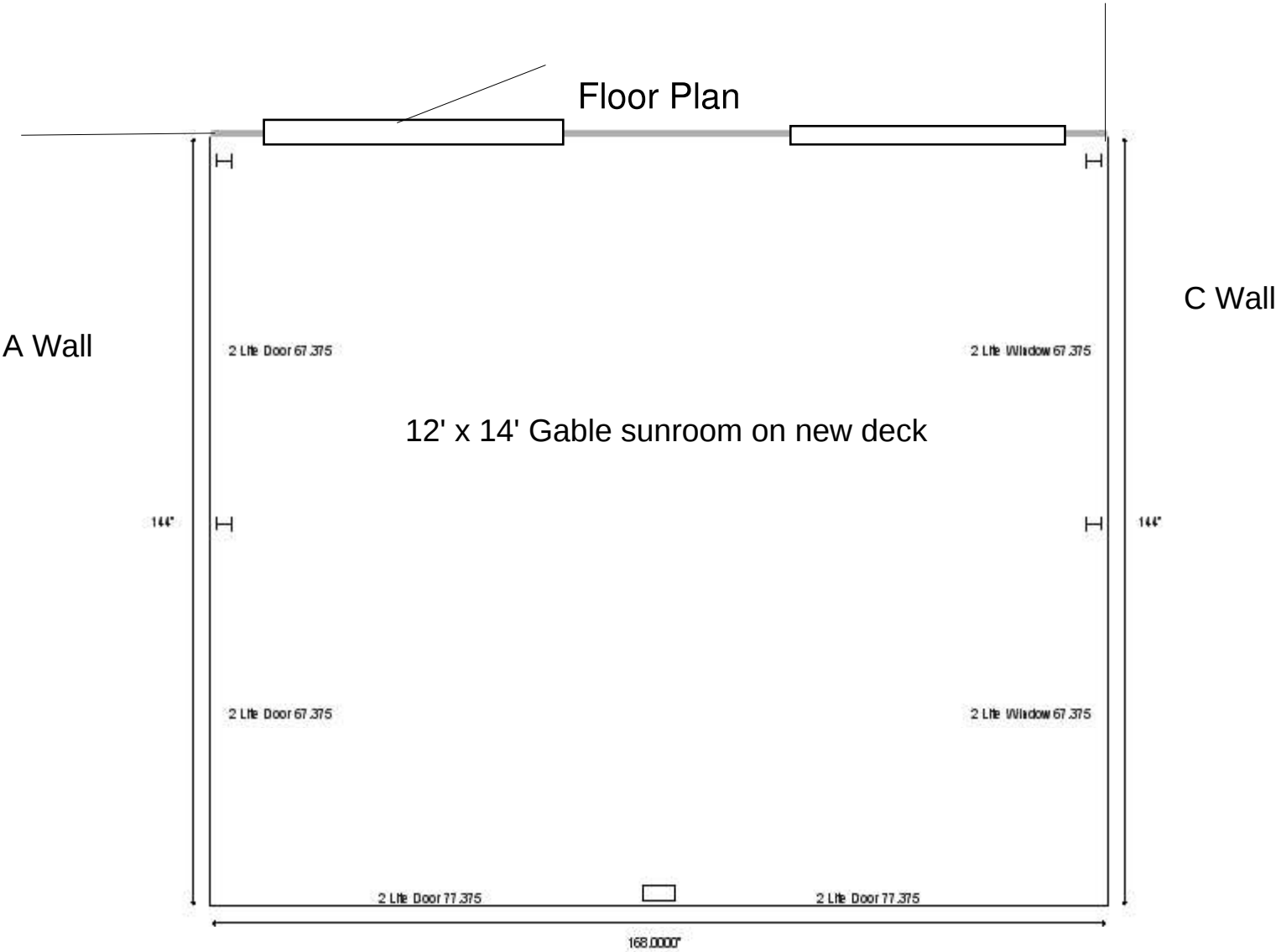
Example of exterior materials and roof, provided from applicant

Outside Looking In (4" White G1)

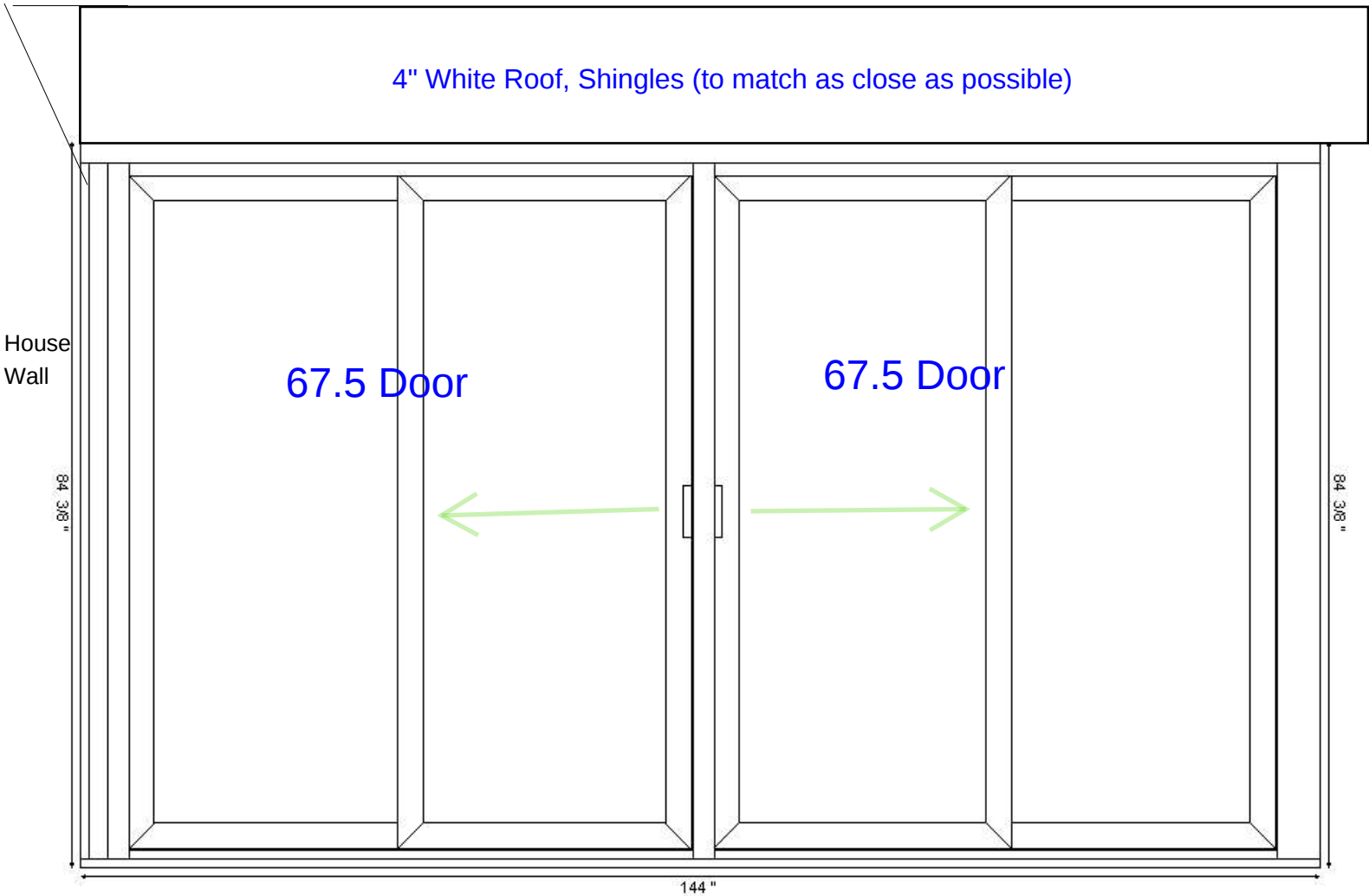
ORDER NO:2253

ITEM:1

DATE:05/30/25

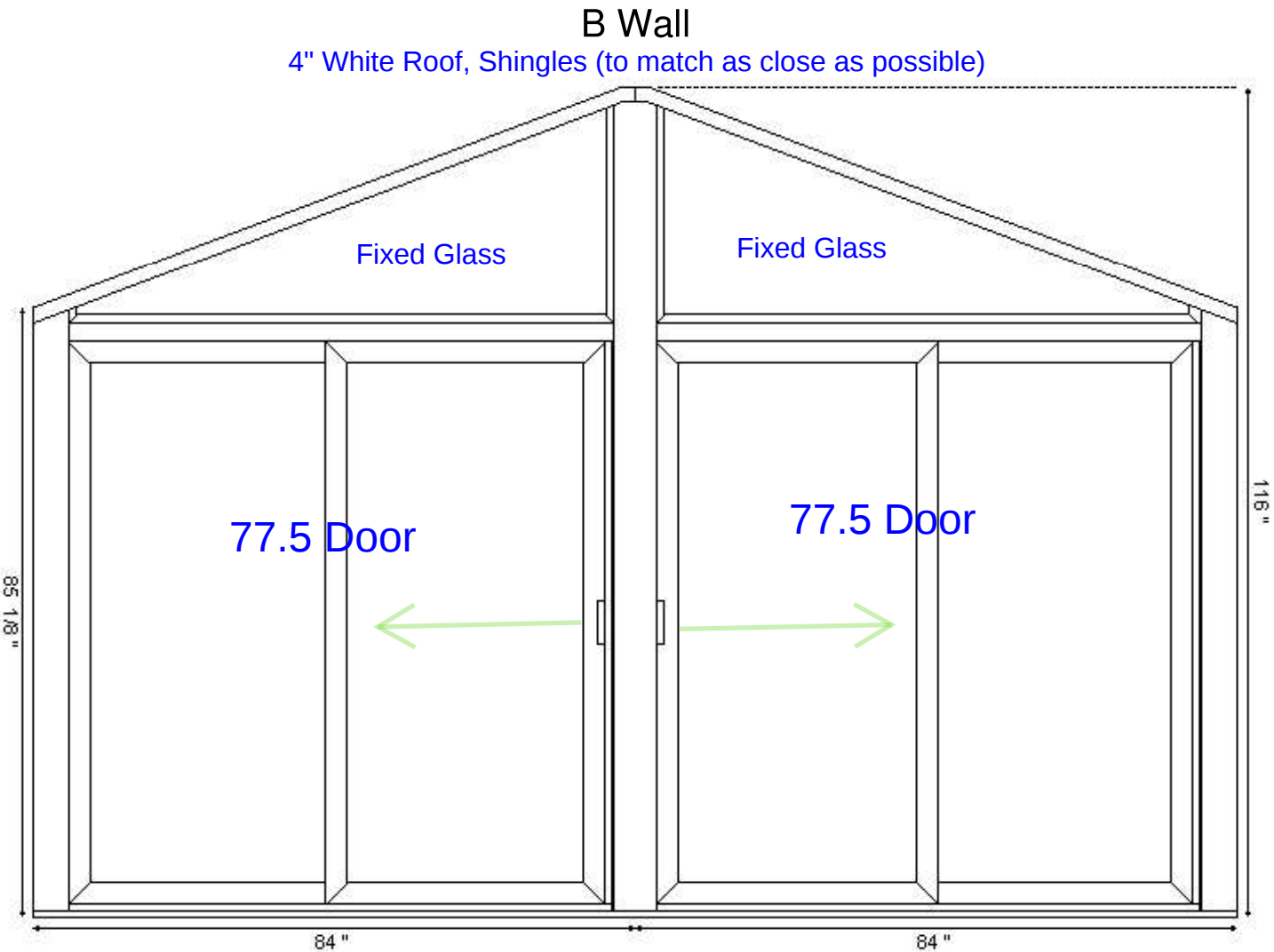


Dimensions
Attachment Height: 116 "
B Wall Height: 84.375 "
B Wall Width: 168 "
A Wall Width: 144 "
C Wall Width: 144 "
Roof Overhang: 6 "



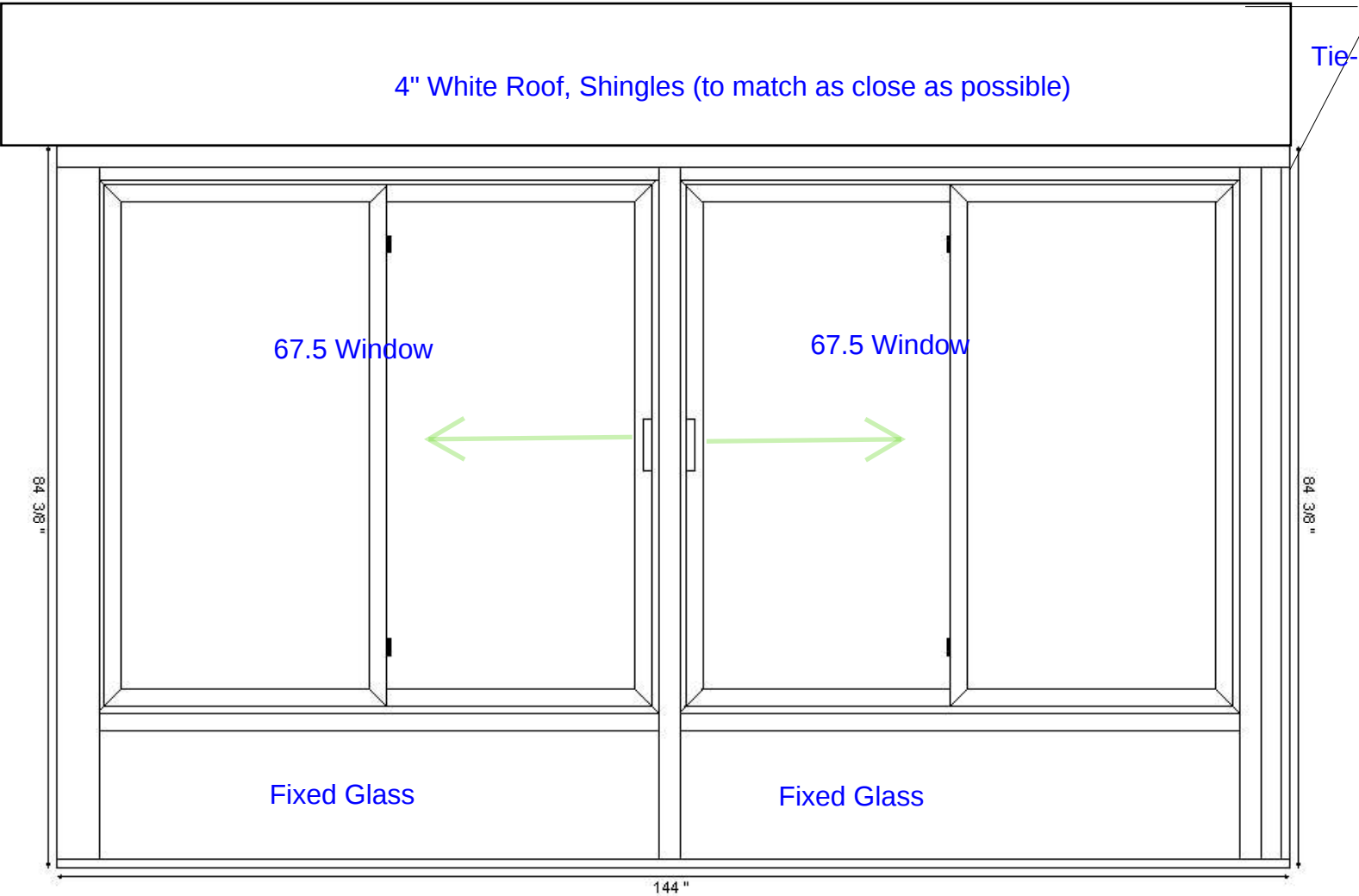
Dimensions
Attachment Height: 116 " B Wall Height: 84.375 " A Wall Width: 144 " Roof Overhang: 6 "

Layout
0" (Fascia) + 4.25" (Foam) + 0.5" (THERMAL H) + 67.375" (2 Lite Door) + 0.5" (THERMAL H) + 67.375" (2 Lite Door) + 4" (Corner Post)

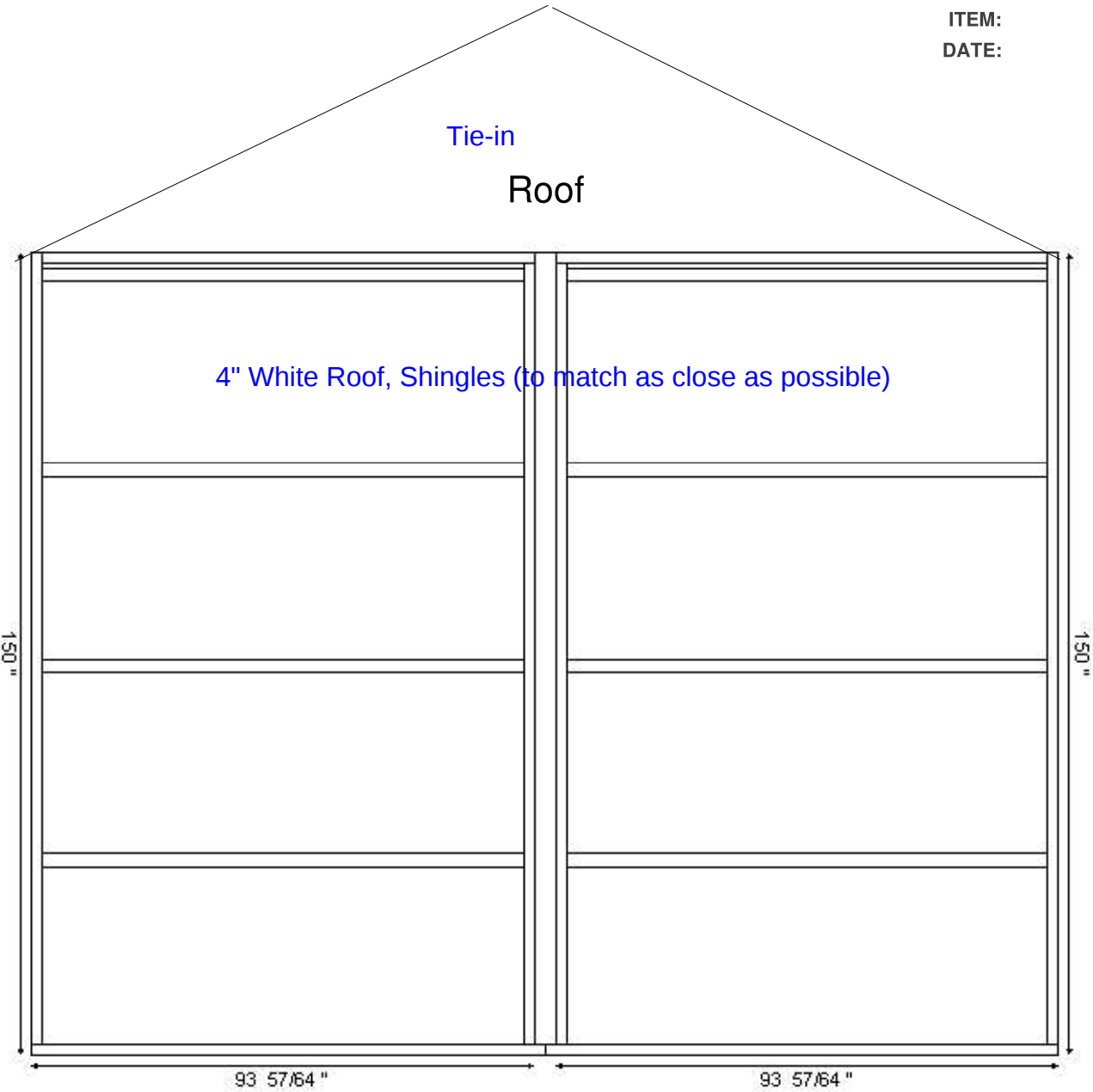


Dimensions
Attachment Height: 116 " B Wall Height: 84.375 " B Wall Width: 168 " Roof Overhang: 6 "

Layout
4" (Corner Post) + 77.375" (2 Lite Door) + 4" (Gable Post) + 0.625" (Remainder - No Fill) + 77.375" (2 Lite Door) + 4" (Corner Post) + 0.625" (Remainder - No Fill)



Dimensions
Attachment Height: 116 " B Wall Height: 84.375 " C Wall Width: 144 " Roof Overhang: 6 "
Layout
4" (Corner Post) + 67.375" (2 Lite Window) + 0.5" (THERMAL H) + 67.375" (2 Lite Window) + 0.5" (THERMAL H) + 4.25" (Foam) + 0" (Fascia)



Dimensions
Attachment Height: 116 "
B Wall Height: 84.375 "
B Wall Width: 168 "
A Wall Width: 144 "
C Wall Width: 144 "
Roof Overhang: 6 "

Exhibit D