



Meeting Date: September 29, 2025

## PLAN COMMISSION REPORT

Item No. **6D**

Proposal: Cooperative Boundary Agreement Conditional Use & Site Plan Review

Description: Review a request to construct and utilize a ±9,440 square-foot metal building for the purpose of a licensed commercial vehicle storage facility located at USH 41 in the Village of Raymond.

Applicant(s): Scott Truehl

Address(es): USH 41 (Lot 2 of CSM # 3425)

**Suggested Motion:** That the Plan Commission recommends to the Village Board that the building, site, and operation plan for the construction of a ±9,440 square-foot metal building for the purpose of a semi-trailer storage and repair facility on the property at USH 41 be approved for the following reasons:

1. The proposed use is allowed by underlying zoning through the cooperative boundary agreement review process.
2. The proposed use meets the intent of the Village of Caledonia development standards and find that the proposed use is a spectacular use for this parcel without connecting to sewer and water in accordance with the Cooperative Boundary Agreement between the Villages of Caledonia and Raymond.
3. Any change of use will require review by the Village of Raymond and the Village of Caledonia.

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Owner(s): STI Holdings LLC

Tax Key(s): 168-04-21-25-004-200

Lot Size(s): 39.85 acres

Current Zoning District(s): B-3, Business Service District

Overlay District(s): N/A

Wetlands: ☒ Yes ☐ No

Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Industrial and Business Park and Isolated Natural Resource Area

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**Background:** The applicant proposes construction of a ±9,440 square-foot metal building along USH 41 in the Village of Raymond for office use and semi-trailer parking, storage, and repair. The site plan includes 16 standard parking stalls and 594 trailer spaces. For phase one of this development, only 336 semi-trailer stalls will be constructed. The building and parking lot meet zoning setback requirements.

Under the Cooperative Boundary Agreement, development within the Village of Raymond boundary area requires review by both Raymond and Caledonia. Raymond approved a site plan and conditional use for this project in 2021; since then, the applicant has reduced the scope to a single building.

The Boundary Agreement intends to ensure consistent, high-quality development along the Interstate. The Plan Commission must determine whether this proposal meets the design standards in Exhibit K and whether it represents a “spectacular” development.

The building will be constructed of metal wall panels. The entrance elevation includes office windows; the east and west elevations contain four overhead doors for repair and washing bays.

### Design Standards Review

1. Loading Docks/Mechanicals/Shipping Areas – Requires screening or high visual appeal.
  - Overhead doors are located on east and west elevations. The east elevation is set back with landscaping to soften views from the interstate; west doors face the site interior. *Meets standard.*
2. Street Edge Landscaping – Requires frontage landscaping with trees 50’ on center and/or berms.
  - Site wetlands limit landscaping. The plan includes maples and spruces on the east side, retention of southern vegetation, and yew bushes at the entrance. West side remains wetlands and retention pond with turf. *Meets standard.*
3. Four-Sided Architecture – Requires consistent materials and design on all facades.
  - The building is rectangular, clad entirely in metal panels, with minimal variation. *Plan Commission discretion.*
4. Roof Style/Materials – Requires hip, gambrel, or gable roofs unless flat/metal roofs complement the area.
  - A flat roof is proposed. Similar roof types exist nearby. *Plan Commission discretion.*
5. Rooftop Mechanicals – Requires screening with similar materials.
  - None shown.
6. Building Massing/Height/Form – Requires distinct base, middle, and top.
  - No banding or articulation proposed beyond limited windows. Size and form consistent with area structures.
7. Building Materials – Primary façade should use finish-grade materials (brick, stone, glass, etc.).
  - All elevations are metal panels with no patterning or variation.
8. Building Placement – Requires facades parallel or perpendicular to right-of-way.
  - Oriented parallel to Fourteen Point Lane and perpendicular to frontage road. *Meets standard.*
9. Lighting Specifications – Requires ≤0.5 foot-candles at property lines, cutoff fixtures, 15–20 ft poles.
  - No lighting plan submitted for this review; a plan was approved by Raymond in 2021.
10. Signage – One ground sign proposed at site entrance; no building signs at this time. All signs must meet Raymond’s sign code and Cooperative Boundary Agreement standards. *Not approved with this review.*

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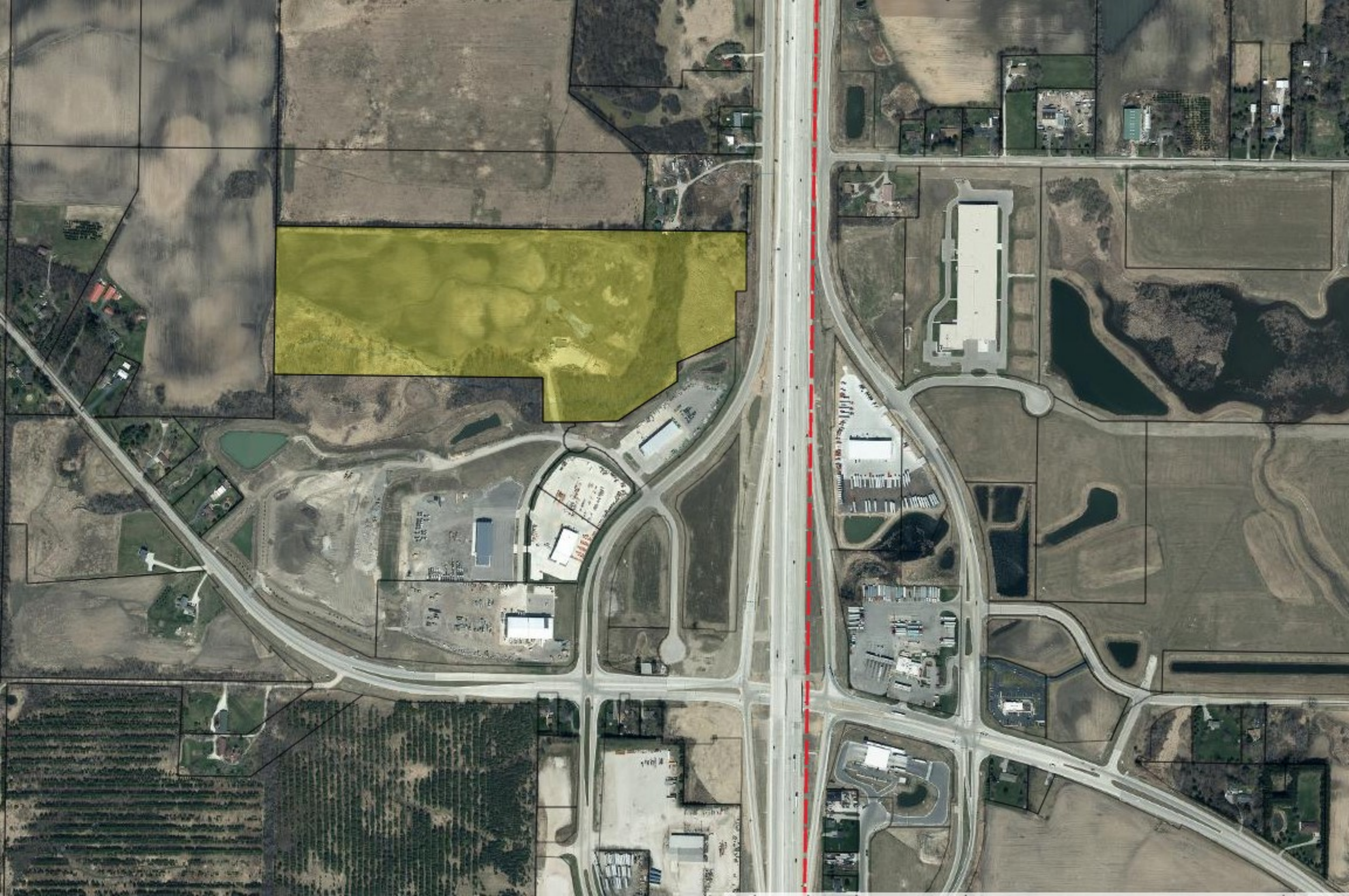
Staff finds the proposed development does not fully meet the minimum design standards in Exhibit K. The Plan Commission may, at its discretion, determine whether the design is acceptable and whether it achieves the intent of the Boundary Agreement. A suggested motion to approve the development as presented has been prepared for Commission consideration.

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Respectfully submitted:



Peter Wagner, AICP  
Development Director



SHEET INDEX

- T1.0 TITLE SHEET  
C1.02 PROPOSED SITE PLAN  
A1.0 OVERALL FLOOR, MEZZANINE & REFLECTED CEILING PLAN  
A1.1 ENLARGED FLOOR PLAN  
A2.0 BUILDING ELEVATIONS  
A3.0 BUILDING SECTIONS  
S1.0 FOUNDATION PLAN

BUILDING & FIRE AREA  
SQUARE FOOTAGES

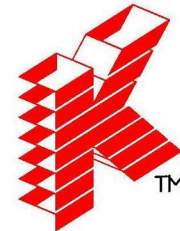
| FLOOR AREAS                 | PROPOSED    |
|-----------------------------|-------------|
| SECOND FLOOR                | ----- S.F.  |
| FIRST FLOOR                 | 9,440 S.F.  |
| CANOPIES (COLUMN SUPPORTED) | ----- S.F.  |
| BASEMENT                    | ----- S.F.  |
| BUILDING AREA SUB-TOTALS    | 9,440 S.F.  |
| MEZZANINES                  | 644 S.F.    |
| FIRE AREA TOTALS            | 10,084 S.F. |

BUILDING CODE ANALYSIS

|                                                     |                             |
|-----------------------------------------------------|-----------------------------|
| APPLICABLE CODES                                    |                             |
| 2015 International Building Code (w/ WI Amendments) |                             |
| 2015 IECC                                           |                             |
| 2015 IEBC (Level # Alteration)                      |                             |
| OCCUPANCY                                           |                             |
| S1, B                                               |                             |
| Accessory Use                                       |                             |
| Incidental Use                                      |                             |
| High-Piled Combustible Storage                      | NO                          |
| Hazardous Materials                                 | NO                          |
| Multiple Control Areas                              | NO                          |
| HEIGHT & AREA                                       |                             |
| Building Height: "-"                                | Maximum Allowed: "-"        |
| Number of Stories: "--                              | Maximum Allowed: "--        |
| Total Building Area: "-,-- S.F.                     | Maximum Allowed: "-,-- S.F. |
| Total Fire Area: "-,-- S.F.                         | Maximum Allowed: "-,-- S.F. |
| Mixed/Separated Occupancies                         |                             |
| Unlimited Area Building                             | NO                          |
| CONSTRUCTION TYPE                                   |                             |
| Construction Classification                         | IIB                         |
| Fire Separation Distance                            | "-"                         |
| FIRE PROTECTION SYSTEMS                             |                             |
| Assumed Sprinkler Type                              | NONE                        |
| Fire Alarm System                                   | NO                          |
| MEANS OF EGRESS                                     |                             |
| Occupant Load --                                    |                             |
| Panic Hardware NO                                   |                             |
| STRUCTURAL DESIGN                                   |                             |
| Risk Category                                       | II                          |
| Design Loads                                        |                             |
| Roof Live Load                                      | -- psf                      |
| Walk-on IMP Ceiling Live Load                       | -- psf                      |
| Steel Framing                                       |                             |
| Collateral Load                                     | --psf                       |
| Wood Truss                                          |                             |
| Top Chord Dead Load                                 | --psf                       |
| Bottom Chord Load                                   | --psf                       |
| Mezzanine/Second Floor/Basemen                      |                             |
| Live Load                                           | -- psf                      |
| Point Load (Partition)                              | -- psf                      |
| Snow Load Criteria                                  |                             |
| Ground Snow Load (Pg)                               | -- psf                      |
| Exposure Factor (Ce)                                | --                          |
| Thermal Factor (Ct)                                 | --                          |
| Wind Loads                                          |                             |
| Wind Load                                           | -- MPH                      |
| Surface Roughness                                   | --                          |
| Exposure Category                                   | --                          |
| Earthquake Load Criteria                            |                             |
| Soil Site Class                                     | --                          |
| Ss                                                  | --                          |
| S1                                                  | --                          |
| PLUMBING SYSTEMS                                    |                             |
| Mens WC Required                                    | #                           |
| Womens WC Required                                  | #                           |
| Drinking Fountain Required                          | #                           |
| Other Source                                        | YES/NO                      |
| Ambulatory Stall Required                           | YES/NO                      |
| MECHANICAL SYSTEMS                                  |                             |
| NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU       |                             |
| NO BOILERS OVER 15PSI AND 10 HORSEPOWER             |                             |

SITE INFORMATION

|                        |                               |          |
|------------------------|-------------------------------|----------|
| SITE CONTENT           |                               |          |
| Building Size          | -- S.F.                       | --%      |
| Hard Surface           | -- S.F.                       | --%      |
| Green Space            | -- S.F.                       | --%      |
| Parcel Size (Approx.)  | -- S.F.                       | -- Acres |
| Parking Provided       | -- Stalls                     |          |
| Area of Disturbance    | -- S.F.                       |          |
| ZONING                 |                               |          |
| Property Zoning        | --                            |          |
| Setbacks               | FY "-,--" SY "-,--" RY "-,--" |          |
| Hard Surface Setback   | "-"                           |          |
| Coverage Limit         | --%                           |          |
| Greenspace Requirement | --%                           |          |
| Parking Required       | -- Stalls                     |          |
| Refuse Enclosure       | YES/NO                        |          |
| RTU SCREENING          | YES/NO                        |          |



Keller

PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES  
N216 State Road 55  
P.O. Box 620  
Kaukauna, WI 54130  
PHONE (920) 766-2795 /  
1-800-236-2534  
FAX (920) 766-5004

MADISON  
711 Loka Dr.  
Sun Prairie, WI 53590  
PHONE (608) 318-2336  
FAX (608) 318-2337

MILWAUKEE  
W204 N11509  
Coldendale Rd  
Germantown, WI 53022  
PHONE (262) 250-9710  
1-800-236-2534  
FAX (262) 250-9740

WAUSAU  
5605 Libac Ave  
Wausau, WI 54401  
PHONE (715) 849-3141  
FAX (715) 849-3181

www.kellerbuilds.com

PROPOSED FOR:  
**STOUGHTON TRAILERS**

3030 COUNTY ROAD 'K'  
FRANKSVILLE,  
WISCONSIN 53126

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REVISIONS

|   |            |     |
|---|------------|-----|
| 1 | 02.28.2025 | ACM |
| 2 | 04.02.2025 | ACM |
| 3 | 04.08.2025 | ACM |
| 4 |            |     |
| 5 |            |     |
| 6 |            |     |

PROJECT MANAGER:

B. POCH

DESIGNER:

S. KLESSIG

INTERIOR DESIGNER:

-----

DRAWN BY:

ACM

EXPEDITOR:

-----

SUPERVISOR:

-----

PRELIMINARY NO:

P25042

CONTRACT NO:

-----

DATE:

02.12.2025

SHEET:

**T1.0**

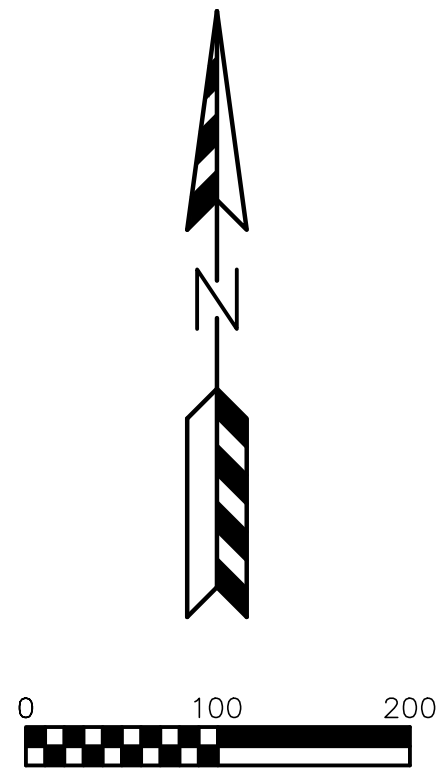
PROPOSED FOR:

**STOUGHTON TRAILERS**

FRANKSVILLE,

WISCONSIN





|                                                                                       |                                   |
|---------------------------------------------------------------------------------------|-----------------------------------|
| — 896 —                                                                               | — EXISTING MINOR CONTOUR.         |
| — -895- —                                                                             | — EXISTING MAJOR CONTOUR.         |
| — OHLE —                                                                              | — OVERHEAD ELECTRIC LINE.         |
| — BUel —                                                                              | — BURIED ELECTRIC LINE.           |
| — BUtel —                                                                             | — BURIED TELEPHONE LINE.          |
| — FO —                                                                                | — FIBER OPTIC LINE.               |
| — GAS —                                                                               | — GAS LINE.                       |
| — SAN —                                                                               | — SANITARY SEWER MAIN OR LATERAL. |
| — WAT —                                                                               | — WATER MAIN OR SERVICE.          |
| — — — — —                                                                             | — STORM SEWER LINE.               |
|    | — ELECTRIC METER.                 |
|   | — GAS METER.                      |
|  | — GAS VALVE.                      |
|  | — FIRE HYDRANT.                   |
|  | — POWER POLE.                     |
|  | — SANITARY SEWER MANHOLE.         |
|  | — STORM SEWER MANHOLE.            |
|  | — STORM SEWER INLET.              |
|  | — TELEPHONE PEDESTAL.             |
|  | — TRANSFORMER.                    |
|  | — WATER VALVE.                    |

[illegible]

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122 Wisconsin Street, West Bend, WI 53095  
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[www.parishse.com](http://www.parishse.com)

PROJECT TITLE: **STOUGHTON TRAILERS  
TROPHY LANE  
FRANKSVILLE, WI 53126**

PLAN TITLE:

**EXISTING  
CONDITIONS  
PLAN**

DRAWN BY: JDR  
DESIGNED BY: JDR  
CHECKED BY: KJP

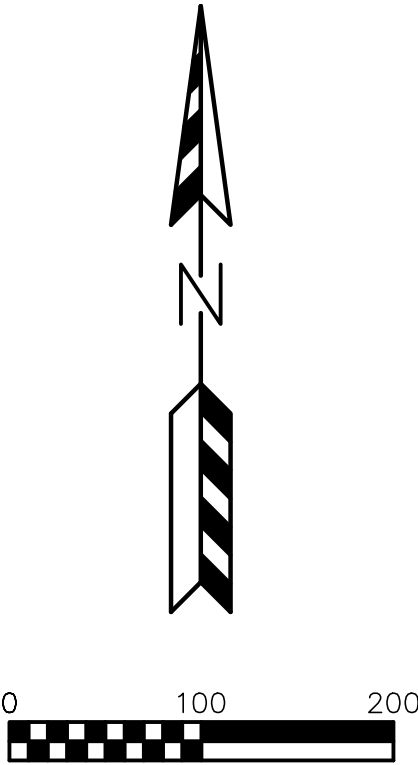
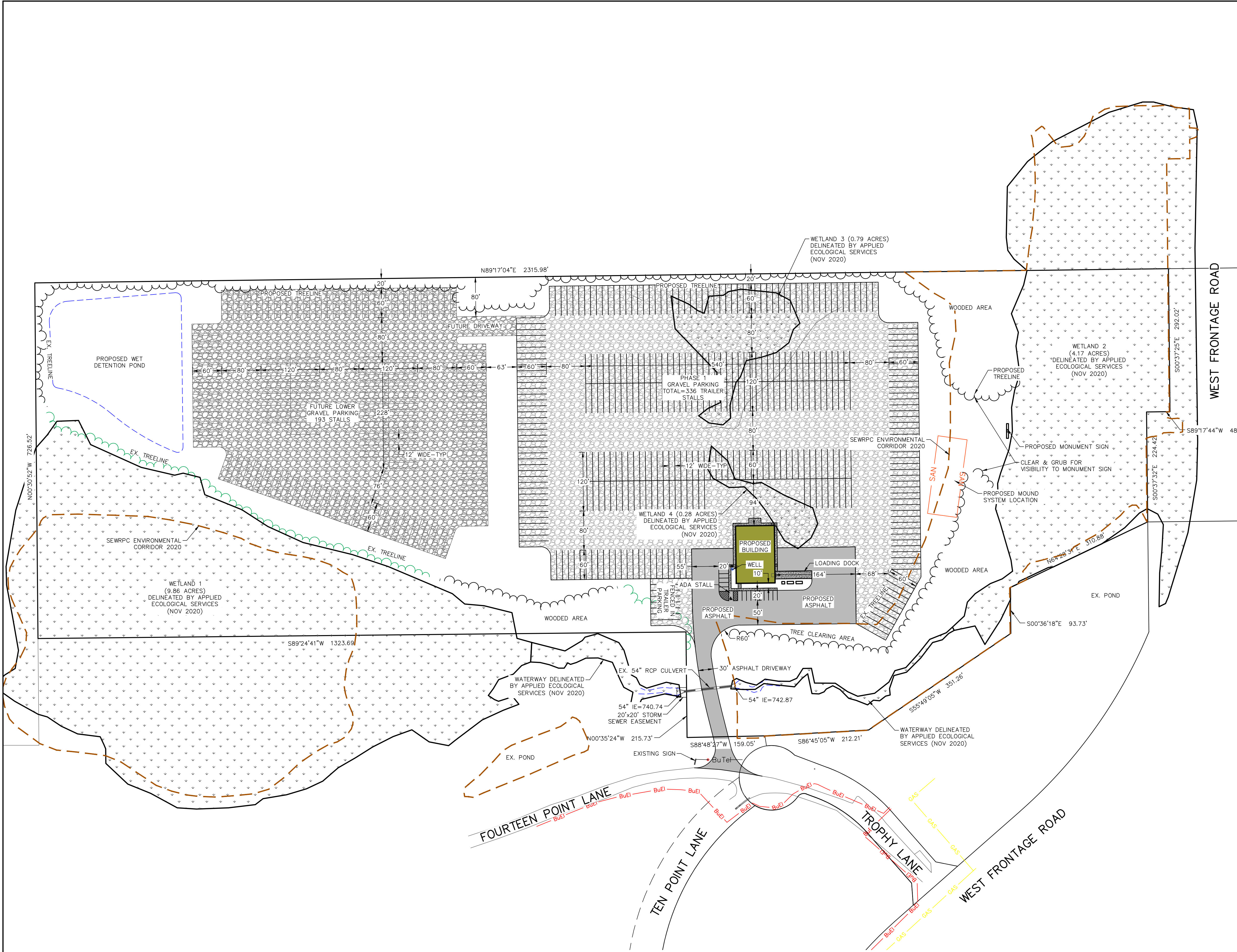
PLAN DATE:  
**8/28/2025**

PROJECT NO:  
**\DD-01-25**

## PRELIMINARY

SHEET NO:

# C1.01



| PAVING LEGEND |                                                                                                                                                                                         |
|---------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|               | ASPHALT PAVEMENT<br>6" - 3" CRUSHED AGGREGATE BASE COURSE<br>6" - 1 1/4" CRUSHED AGGREGATE BASE COURSE<br>2 3/4" ASPHALTIC BINDER 3 MT 58-28 S<br>2 1/4" ASPHALTIC SURFACE 4 MT 58-28 S |
|               | GRAVEL PARKING<br>6" - 3" CRUSHED AGGREGATE<br>6" - 1 1/4" CRUSHED AGGREGATE                                                                                                            |
|               | CONCRETE LOADING DOCK<br>6" CRUSHED AGGREGATE BASE COURSE<br>7" 4,000 PSI CONCRETE                                                                                                      |
|               | CONCRETE SIDEWALK<br>6" CRUSHED AGGREGATE BASE COURSE<br>5" 4,000 PSI CONCRETE                                                                                                          |

| SITE INFORMATION BLOCK        |                    |              |
|-------------------------------|--------------------|--------------|
| Site Address:                 | Trophy Lane        |              |
| Legal Description:            | Lot 2 CSM No. 3425 |              |
| Site Acreage:                 | 39.845 Acres       |              |
| Current Zoning:               | B-3                |              |
| Building Setback Requirements |                    |              |
| Front                         | 25 feet            |              |
| Side                          | 10 feet            |              |
| Rear                          | 25 feet            |              |
| Proposed Site Areas           |                    |              |
| Description                   | Area (sf)          | % Impervious |
| Building                      | 9,440              | 0.54         |
| Asphalt/Concrete              | 52,869             | 3.05         |
| Gravel                        | 734,287            | 42.31        |
| Pond                          | 64,192             | 3.70         |
| Impervious                    | 860,788            | 49.60        |
| Lawn                          | 874,832            | 50.40        |
| Total                         | 1,735,620          | 100.00       |

| SITE PLAN NOTES: |                                                                                                                     |
|------------------|---------------------------------------------------------------------------------------------------------------------|
| 1.               | DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.                                         |
| 2.               | WHERE CURB ENDS AT CONNECTIONS SMOOTHLY TRANSITION FROM FULL CURB HEIGHT TO ZERO CURB HEIGHT WITHIN A 3' LENGTH.    |
| 3.               | ALL STRIPING AND SIGNAGE SHALL COMPLY WITH THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. |

| REVISIONS: |             |
|------------|-------------|
| NO.        | DESCRIPTION |
|            |             |
|            |             |
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|            |             |
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PROJECT TITLE:  
**STOUGHTON TRAILERS  
TROPHY LANE  
FRANKSVILLE, WI 53126**

PLAN TITLE:  
**PROPOSED  
SITE PLAN**

DRAWN BY:  
**KJP**  
DESIGNED BY:  
**KJP**  
CHECKED BY:  
**KJP**

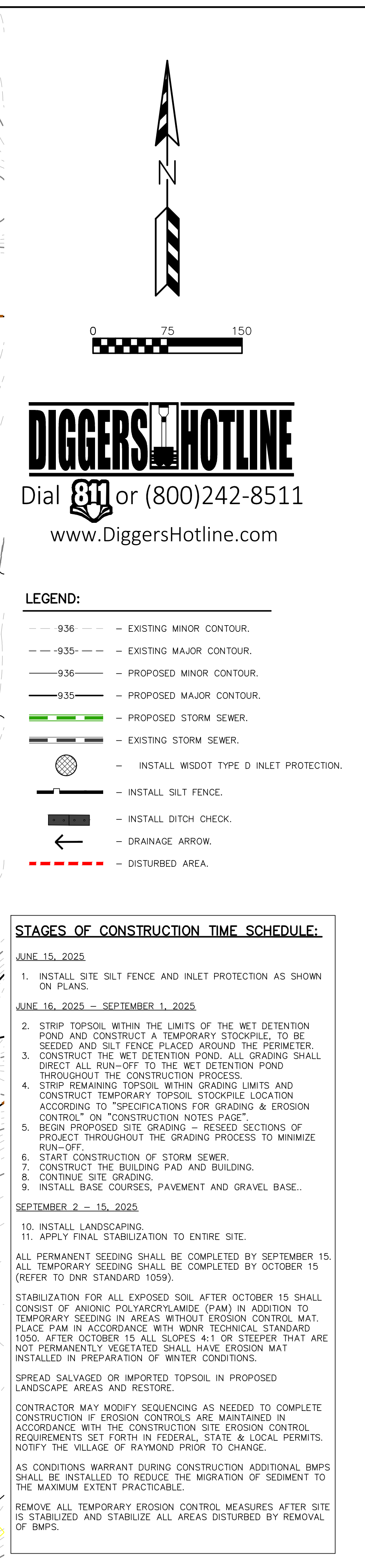
PLAN DATE:  
**8/28/2025**

PROJECT NO:  
**\\DD-01-25\\**

**PRELIMINARY**

SHEET NO:  
**C1.02**



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PROJECT TITLE:

**STOUGHTON TRAILERS  
TROPHY LANE  
FRANKSVILLE, WI 53126**

PLAN TITLE:  
**INTERIM  
EROSION  
CONTROL  
PLAN**

DRAWN BY:  
**KJP**

DESIGNED BY:  
**KJP**

CHECKED BY:  
**KJP**

PLAN DATE:  
**8/28/2025**

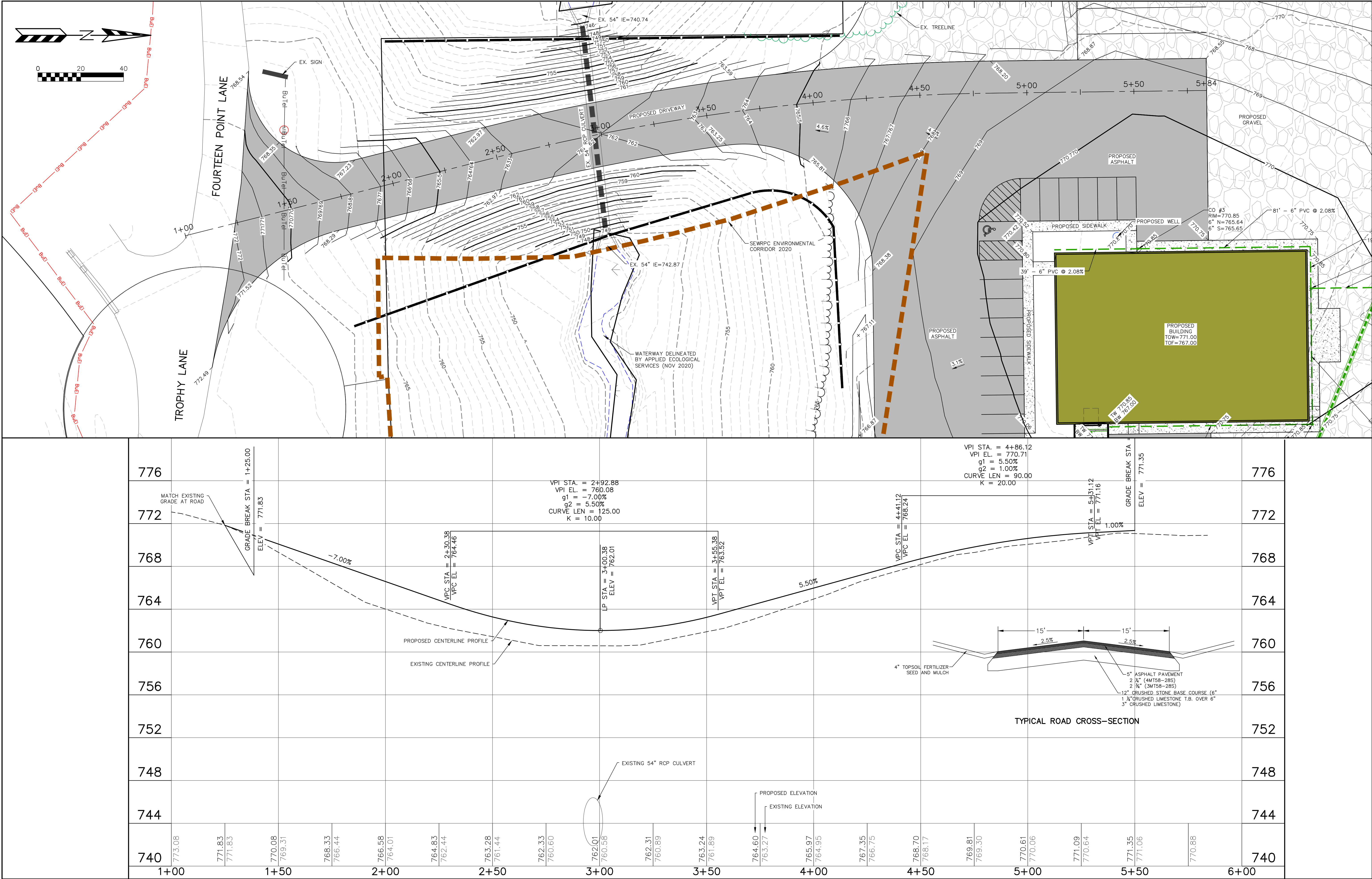
PROJECT NO:  
**\DD-01-25\**

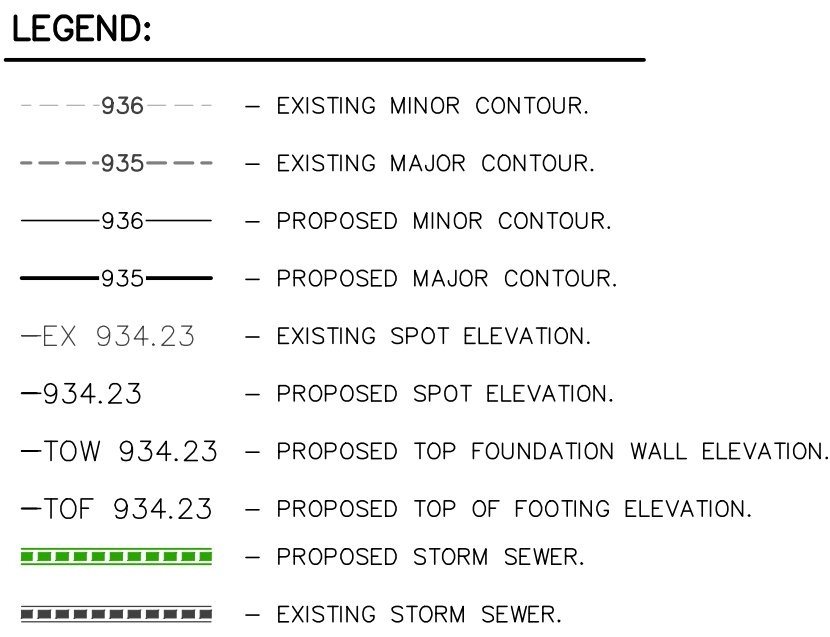
**PRELIMINARY**

SHEET NO:

**C1.04**







| STORM SEWER TABLE |                    |                |
|-------------------|--------------------|----------------|
| Structure         | Structure Diameter | Neenah Casting |
| Number            | (Inches)           | or Equivalent  |
| CB #3             | 48                 | R-2510         |
| CB #3.1           | 48                 | R-2510         |
| CB #3.2           | 48                 | R-2510         |
| CB #5             | 48                 | R-2510         |
| CB #5.2           | 48                 | R-2510         |



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PROJECT TITLE: **STOUGHTON TRAILERS  
TROPHY LANE  
FRANKSVILLE, WI 53126**

PLAN TITLE:

**PHASE 1  
GRADING  
PLAN**

DRAWN BY: **KJP**  
DESIGNED BY: **KJP**  
CHECKED BY: **KJP**

PLAN DATE:  
**8/28/2025**

PROJECT NO:  
**\DD-01-25**

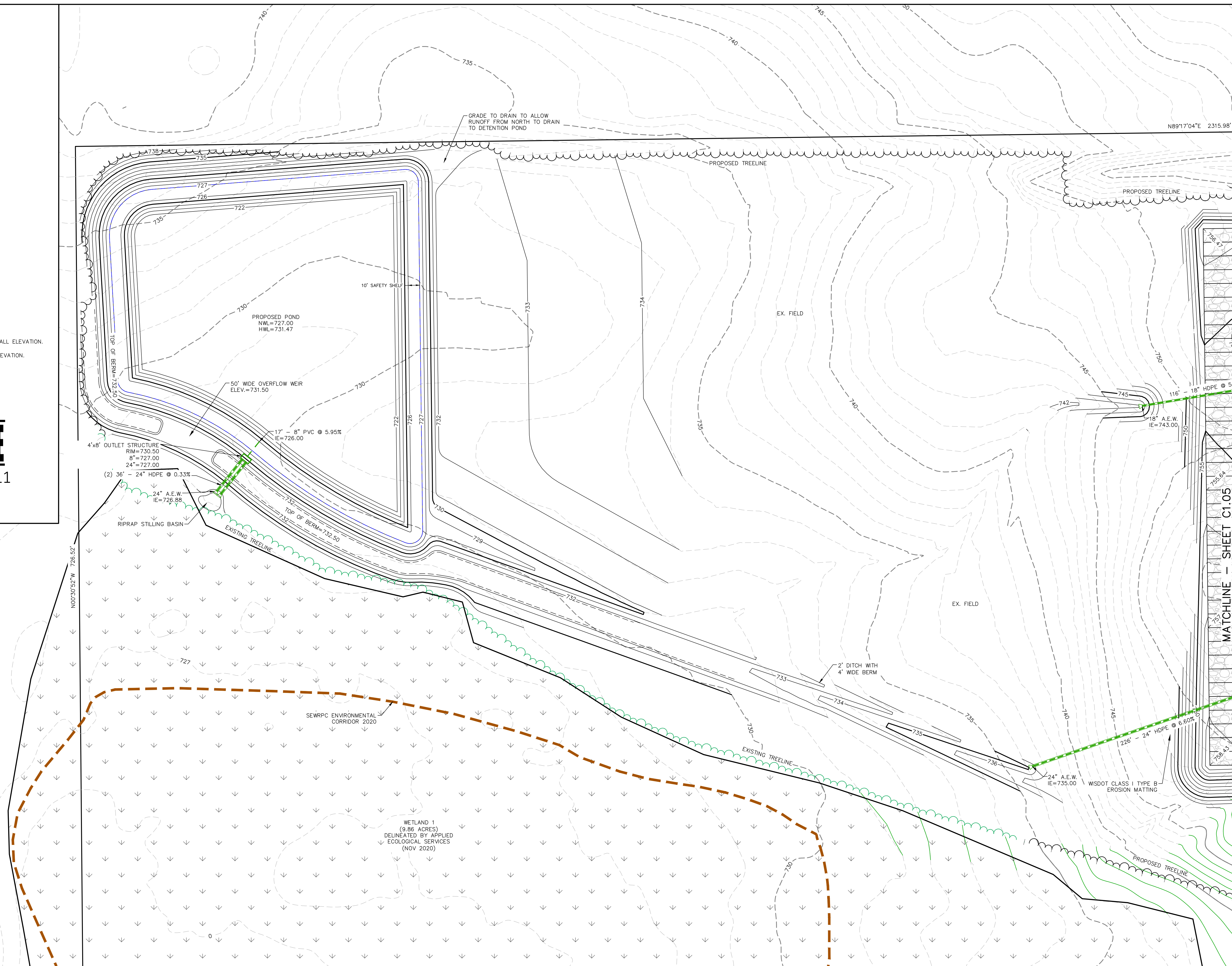
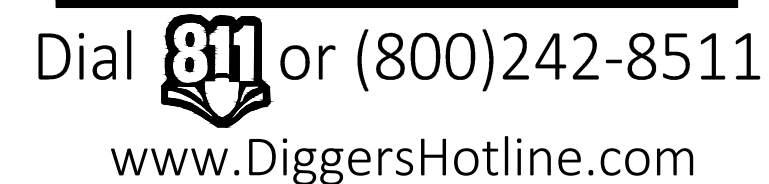
## PRELIMINARY

SHEET NO:

## C1.07



- - - 936 - - - - EXISTING MINOR CONTOUR.  
 - - - 935 - - - - EXISTING MAJOR CONTOUR.  
 ——— 936 ——— - PROPOSED MINOR CONTOUR.  
 ——— 935 ——— - PROPOSED MAJOR CONTOUR.  
 -EX 934.23 - EXISTING SPOT ELEVATION.  
 -934.23 - PROPOSED SPOT ELEVATION.  
 -TOW 934.23 - PROPOSED TOP FOUNDATION WALL ELEVATION.  
 -TOF 934.23 - PROPOSED TOP OF FOOTING ELEVATION.  
 ■■■■■■■■■■ - PROPOSED STORM SEWER.  
 ■■■■■■■■■■ - EXISTING STORM SEWER.

[illegible]

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PROJECT TITLE:  
**STOUGHTON TRAILERS  
TROPHY LANE  
FRANKSVILLE, WI 53126**

PLAN TITLE:  
**PHASE 2  
INTERIM  
GRADING  
PLAN**

DRAWN BY: **KJP**  
DESIGNED BY: **KJP**  
CHECKED BY: **KJP**

PLAN DATE:  
**8/28/2025**

PROJECT NO:  
**\DD-01-25\**

**PRELIMINARY**

SHEET NO:

## C1.08



- 936- -- EXISTING MINOR CONTOUR.
- -935-- -- EXISTING MAJOR CONTOUR.
- 936--- -- PROPOSED MINOR CONTOUR.
- ===935=== -- PROPOSED MAJOR CONTOUR.
- EX 934.23 -- EXISTING SPOT ELEVATION.
- 934.23 -- PROPOSED SPOT ELEVATION.
- TOW 934.23 -- PROPOSED TOP FOUNDATION WALL ELEVATION
- TOF 934.23 -- PROPOSED TOP OF FOOTING ELEVATION.
- PROPOSED STORM SEWER.
- EXISTING STORM SEWER.

| STORM SEWER TABLE |                    |                |
|-------------------|--------------------|----------------|
| Structure         | Structure Diameter | Neenah Casting |
| Number            | (Inches)           | or Equivalent  |
| CB #2             | 60                 | R-2510         |
| CB #2.1           | 60                 | R-2510         |
| MH #2.2           | 48                 | R-1661         |
| CB #4             | 60                 | R-2510         |
| CB #4.1           | 48                 | R-2510         |
| MH #4.2           | 48                 | R-1661         |



REVISIONS:

[illegible]

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PROJECT TITLE:

PROJECT TITLE:  
**STOUGHTON TRAILERS  
TROPHY LANE  
FRANKSVILLE, WI 53126**

PLAN TITLE:

# FINAL PHASE 2 GRADING PLAN

DRAWN BY:

**KJP**

DESIGNED BY:

KJP

CHECKED BY:

KJP

PLAN DATE:

**8/28/2025**

PROJECT NO:

**\DD-01-25**

## PRELIMINARY

SHEET NO:

## C1.10



**Keller**

PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES  
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P.O. Box 620  
Kaukauna, WI 54130  
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1-800-236-2534  
FAX (920) 766-5004

MILWAUKEE  
W204 N11509  
Coldendale Rd  
Germantown, WI 53022  
PHONE (262) 250-9710  
FAX (262) 250-9740

MADISON  
711 Loka Dr.  
Sun Prairie, WI 53590  
PHONE (608) 318-2336  
FAX (608) 318-2337

WAUSAU  
5605 Lila Ave  
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PHONE (715) 849-3141  
FAX (715) 849-3181

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PROPOSED FOR:  
**STOUGHTON TRAILERS**

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| REVISIONS |            |     |
|-----------|------------|-----|
| 1         | 02.28.2025 | ACM |
| 2         | 04.02.2025 | ACM |
| 3         | 04.08.2025 | ACM |
| 4         |            |     |
| 5         |            |     |
| 6         |            |     |

PROJECT MANAGER:

B. POCH

DESIGNER:

S. KLESSIG

INTERIOR DESIGNER:

DRAWN BY:

ACM

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

P25042

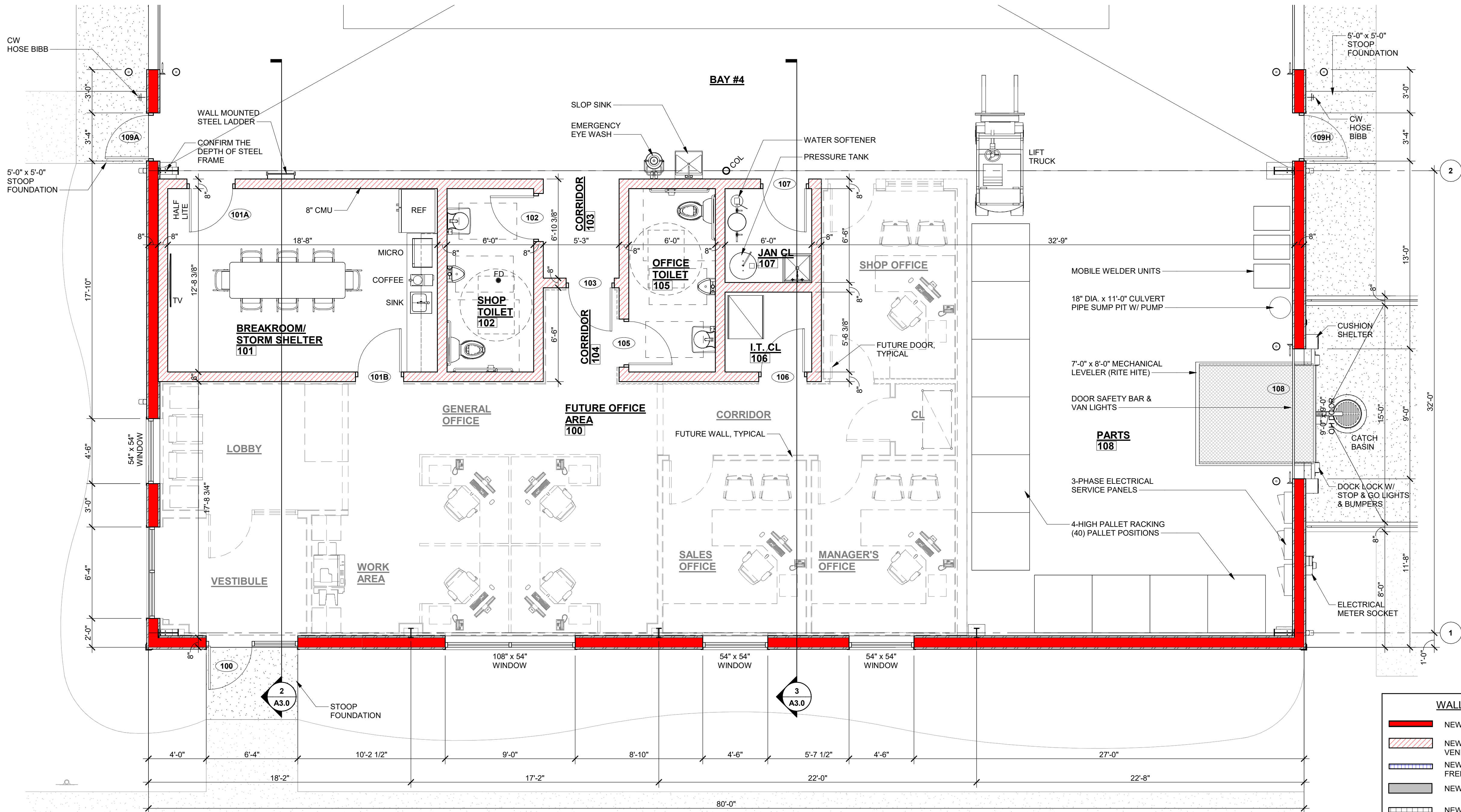
CONTRACT NO:

DATE:

02.12.2025

SHEET:

**A1.1**



1  
A1.1  
1/4" = 1'-0"

**ENLARGED FLOOR PLAN**



**Keller**

PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES

N216 State Road 55  
P.O. Box 620  
Kaukauna, WI 54130  
PHONE (920) 766-2795 /  
1-800-236-2534  
FAX (920) 766-5004

MADISON

711 Loh Dr.  
Sun Prairie, WI 53590  
PHONE (608) 318-2336  
FAX (608) 318-2337

MILWAUKEE

W204 N11509  
Coldendale Rd  
Germanstown, WI 53022  
PHONE (262) 250-9710  
FAX (262) 250-9740

WAUSAU

5605 Lila Ave  
Wausau, WI 54401  
PHONE (715) 849-3141  
FAX (715) 849-3181

www.kellerbuilds.com

**STOUGHTON TRAILERS**

3030 COUNTY ROAD 'K'  
FRANKSVILLE,  
WISCONSIN 53126

PROPOSED FOR:

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REVISIONS

|   |            |     |
|---|------------|-----|
| 1 | 02.28.2025 | ACM |
| 2 | 04.02.2025 | ACM |
| 3 | 04.08.2025 | ACM |
| 4 |            |     |
| 5 |            |     |
| 6 |            |     |

PROJECT MANAGER:

B. POCH

DESIGNER:

S. KLESSIG

INTERIOR DESIGNER:

DRAWN BY:

ACM

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

P25042

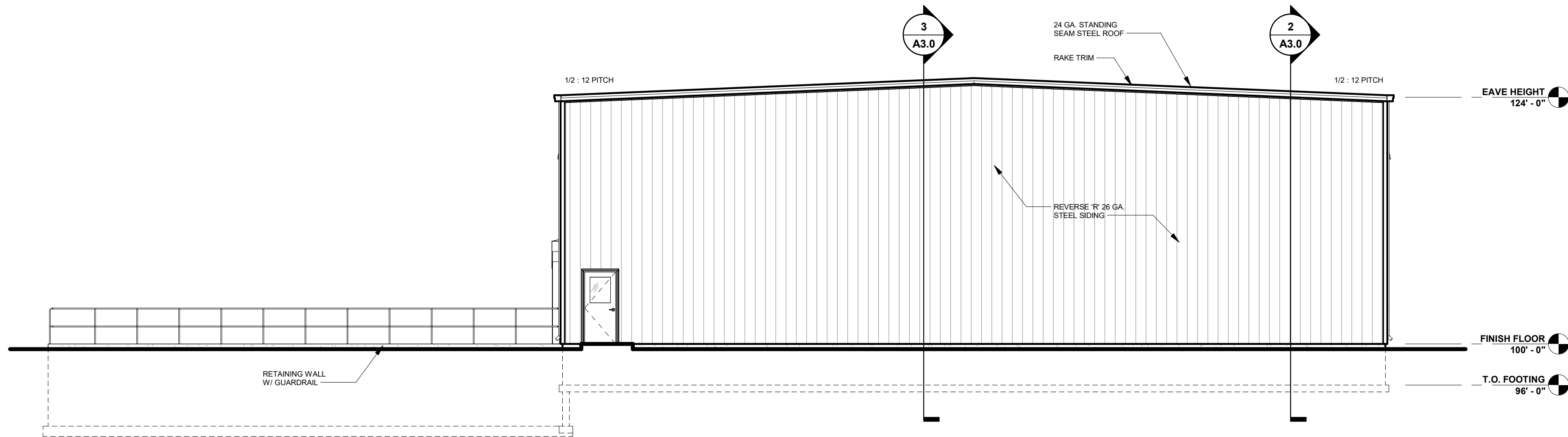
CONTRACT NO:

DATE:

02.12.2025

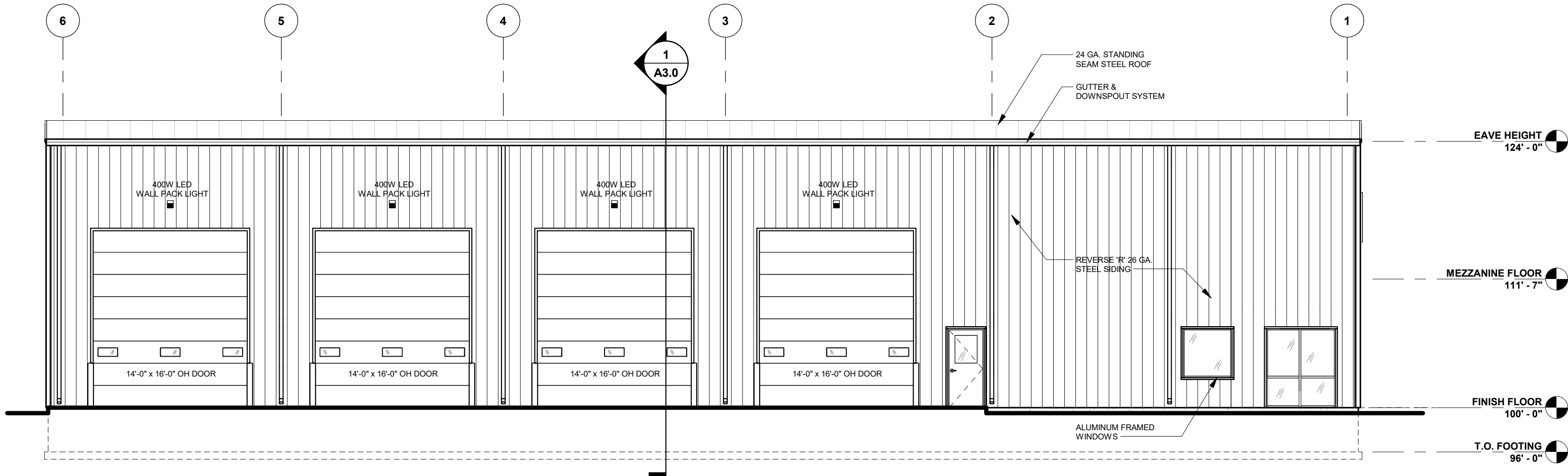
SHEET:

**A2.0**



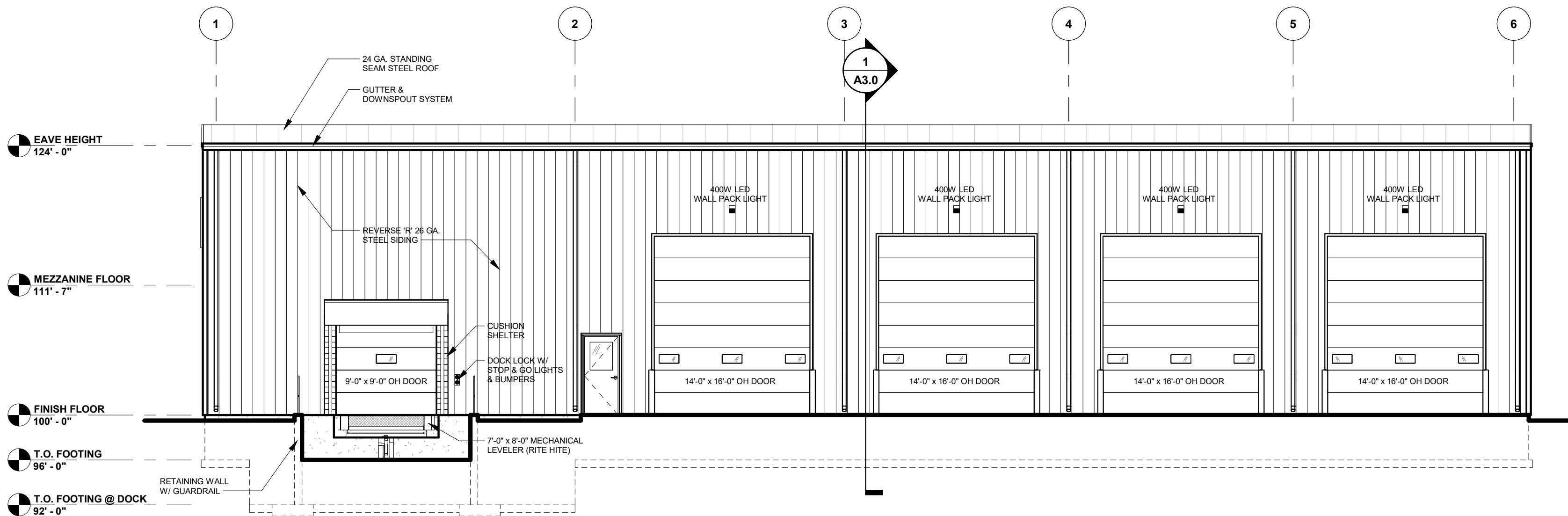
**NORTH ELEVATION**

1/8" = 1'-0"



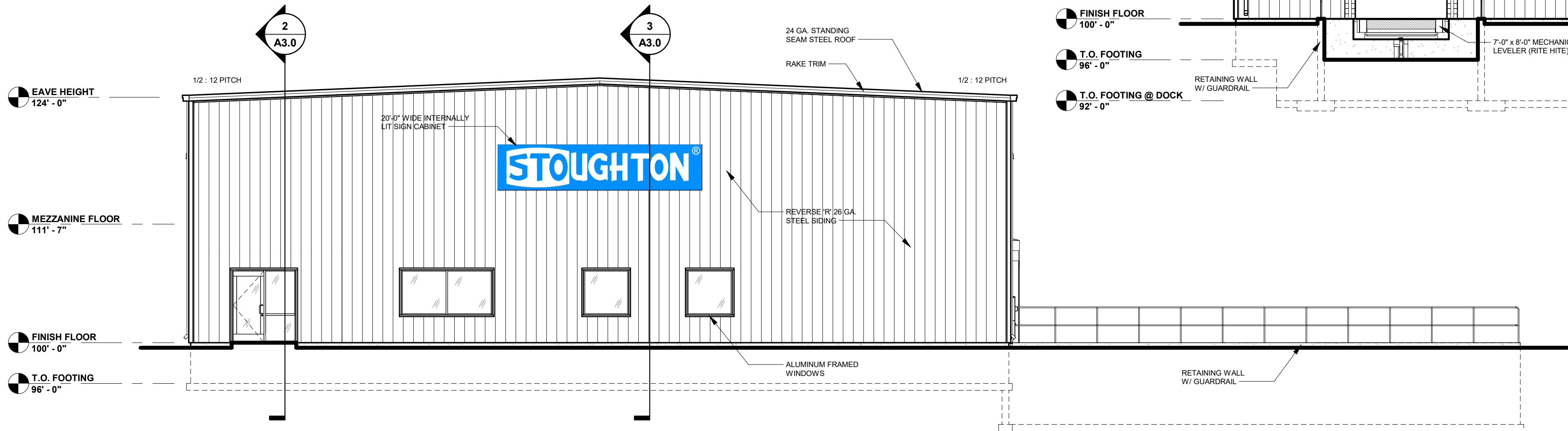
**WEST ELEVATION**

1/8" = 1'-0"



**EAST ELEVATION**

1/8" = 1'-0"



**SOUTH ELEVATION**

1/8" = 1'-0"

DOOR & WINDOW VALUES

|                |         |       |
|----------------|---------|-------|
| WINDOWS:       | U VALUE | 0.4   |
|                | SHGC    | 0.327 |
|                | VT      | 0.6   |
| DOORS:         | U VALUE | 0.38  |
| (SWINGING)     |         |       |
| O.H. DOORS:    | U VALUE | 0.108 |
| (NON-SWINGING) |         |       |
| DOORS:         | U VALUE | 0.701 |
| (90% GLAZING)  | SHGC    | 0.238 |
|                | VT      | 0.39  |

PRELIMINARY - NOT FOR CONSTRUCTION

