



# Conditional Use

## Village of East Troy, Wisconsin

Version: January 1, 2022

Village of East Troy  
2015 Energy Drive  
East Troy, WI 53120

**Overview:** The Village's zoning code identifies land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Plan Commission conducts a public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Plan Commission serves in an advisory capacity to the Village Board, which makes the final decision. The recommendation of the Plan Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

**Governing regulations:** The procedures and standards governing the review of this application are found in Section § 510-157 of the Village's zoning code.

**General instructions:** Complete this application and submit one copy to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (920) 728-2814 or via email at [tim.schwecke@civitekconsulting.com](mailto:tim.schwecke@civitekconsulting.com). You may download this form at <https://villageofeasttroy.zoninghub.com/highlights/procedures/procedure.aspx>.

**Application fee:** \$250.00, plus charges for professional services

**Application submittal deadline:** Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

### 1. Applicant information

Applicant name I-43 Investments, LLC  
Street address N 7152 Bowers Road  
City, state, zip code Elkhorn, WI 53121  
Daytime telephone number 262-342-9286  
Email paulv@teronomy.com

### 2. Agent contact information.

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1	Agent 2
Name	<u>Tom Larson, Member</u>
Company	
Street address	
City, state, zip code	
Daytime telephone number	
Email	

### 3. Type of application (select one)

☐ New conditional use

☐ Yes ☒ No Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

2024, The Lofts of Honey Creek

☒ An amendment of a previously approved conditional use

If an amendment, attach a copy of the current approval document.

### 4. Subject property information

Physical address (None)  
Tax key number(s) RA491500002

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

**5. Zoning information** (refer to the Village's current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> RH-35 Rural Holding                | <input type="checkbox"/> TR-8 Two-Family Residential    | <input type="checkbox"/> NB Neighborhood Business       |
| <input type="checkbox"/> SR-3 Estate Residential            | <input type="checkbox"/> AR-9 Attached Residential      | <input type="checkbox"/> HB Highway Business            |
| <input type="checkbox"/> SR-4 Suburban Residential          | <input type="checkbox"/> MR-10 Multi-Family Residential | <input type="checkbox"/> CB Central Business            |
| <input type="checkbox"/> SR-5 Neighborhood Residential      | <input type="checkbox"/> MHR-6 Mobile Home Residential  | <input type="checkbox"/> BP Business Park               |
| <input type="checkbox"/> SR-6 Traditional-Front Residential |   | <input checked="" type="checkbox"/> LI Light Industrial |
| <input type="checkbox"/> SR-7 Traditional-Rear Residential  |   | <input type="checkbox"/> GI General Industrial          |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- |  |   |   |
|--|---|---|
| <input checked="" type="checkbox"/> PD Planned Development | <input type="checkbox"/> GP Groundwater Protection        | <input type="checkbox"/> FP 100-Year Floodplain |
| <input type="checkbox"/> DD Downtown Design                | <input type="checkbox"/> NFC Natural Features Conservancy | <input type="checkbox"/> FP 500-Year Floodplain |
|  |   | <input type="checkbox"/> SW Shoreland-Wetland   |

**6. Adjoining land uses and zoning**

	Zoning district(s)	Current uses
North	L-1	Office
South	L-1	Industrial
East	L-1	Stormwater control
West	M-10	Multi-family

**7. Current use.** Describe the current use of the subject property.

Vacant

**8. Proposed use.** Describe the proposed conditional use or the proposed amendment.

Self-Storage

**9. Evaluation criteria.** The factors listed below will be used in evaluating this application. Your responses are important.

- Whether the proposed conditional use (**the use in general, independent of its location**) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

Revised Plans

2. Whether the proposed conditional use (**in its specific location**) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

Revised Plans

3. Whether the proposed conditional use, in its proposed location and as depicted on the required site plan results in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the zoning code, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development.

Revised Plans

4. Whether the proposed conditional use would maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Revised Plans

5. Whether the proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

Revised Plans

6. Whether the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

Revised Plans

**10. Large development requirements.**

- ☐ Yes ☒ No Does the proposed project include indoor sales or service, outdoor display, indoor commercial entertainment, outdoor commercial entertainment, in-vehicle sales or service, commercial indoor lodging, with a total area exceeding 20,000 square feet where one or both the following conditions exist:

1. The parking area is or will be served by an integrated system of off-street parking benefiting all or substantially all improvements within such area.
  2. The area is or will be subject to reciprocal access rights benefiting all or substantially all improvements within such area.
- (See § 510-109 of the zoning code.)

If yes, include each of the following as described in § 510-109 (D) of the zoning code:

1. Large development questionnaire

2. Economic and fiscal analysis
3. Traffic impact analysis
4. Detailed neighborhood plan

**11. Supplemental materials.** Attach the following.

1. Site plan application and related materials
2. A copy of the existing conditional use if this application is intended to amend that approval.

**12. Attachments.** List any attachments included with your application.

Revised Site Plan  
Revised Landscape Plan  
Revise Architectural Plans

**13. Other information.** You may provide any other information you feel is relevant to the review of your application.

**14. Applicant certification**

- ◆ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- ◆ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with § 510-149 (D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property.
- ◆ I understand that submission of this application authorizes Village officials and employees, Plan Commission members, Village Board members, and other designated agents, including those retained by the Village, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- ◆ I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- ◆ I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Tom Larson, Member

\_\_\_\_\_  
Name -- print

\_\_\_\_\_  
Name -- Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name -- print

\_\_\_\_\_  
Name -- Signature

\_\_\_\_\_  
Date

2. Economic and fiscal analysis
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Property Owner:

Tom Larson, Member

Name – print



Name – Signature

8/11/2025

Date

Name – print

Name – Signature

Date

Applicant (if different than Property Owner):

**Tom Larson, Member**

\_\_\_\_\_  
Name – print

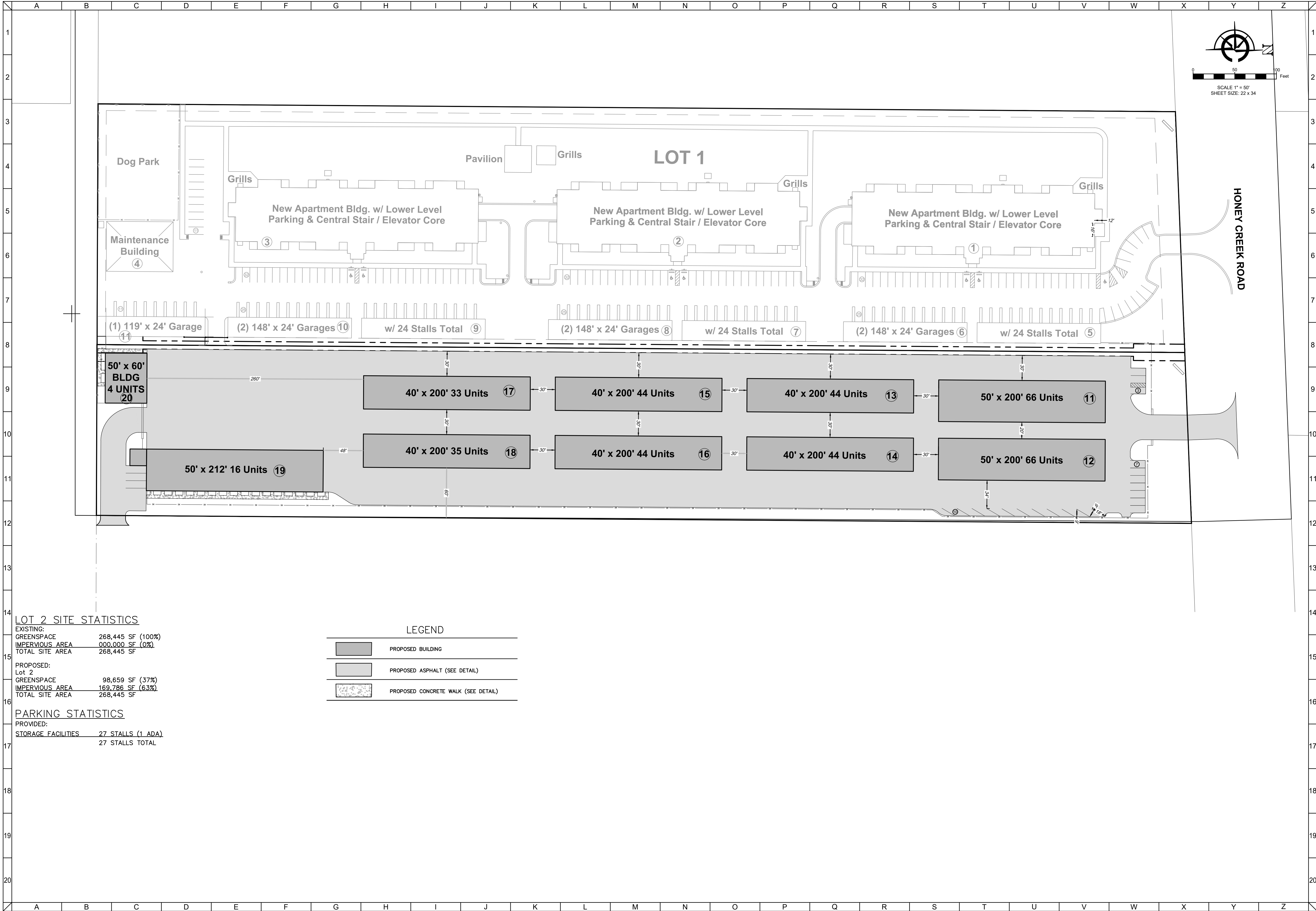
\_\_\_\_\_  
Name – Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name – print

\_\_\_\_\_  
Name – Signature

\_\_\_\_\_  
Date



LOT 2 SITE STATISTICS

EXISTING:	
GREENSPACE	268,445 SF (100%)
IMPERVIOUS AREA	000,000 SF (0%)
TOTAL SITE AREA	268,445 SF

PROPOSED:

Lot 2	
GREENSPACE	98,659 SF (37%)
IMPERVIOUS AREA	169,786 SF (63%)
TOTAL SITE AREA	268,445 SF

PARKING STATISTICS

PROVIDED:	
STORAGE FACILITIES	27 STALLS (1 ADA)
	27 STALLS TOTAL

LEGEND

	PROPOSED BUILDING
	PROPOSED ASPHALT (SEE DETAIL)
	PROPOSED CONCRETE WALK (SEE DETAIL)

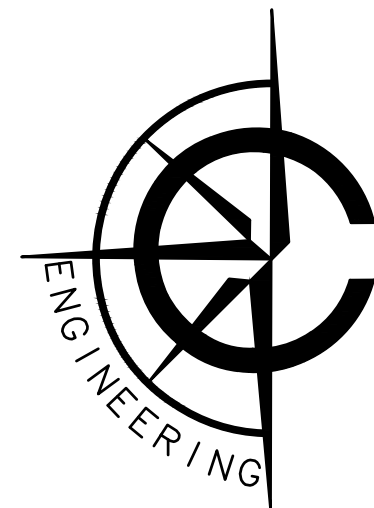
CLIENT



THE LOFTS OF EAST TROY  
VILLAGE OF EAST TROY, WALWORTH COUNTY, WI

SELF STORAGE SITE PLAN

PRELIMINARY



CARDINAL ENGINEERING LLC  
DESIGNING IN TRUE DIRECTIONS

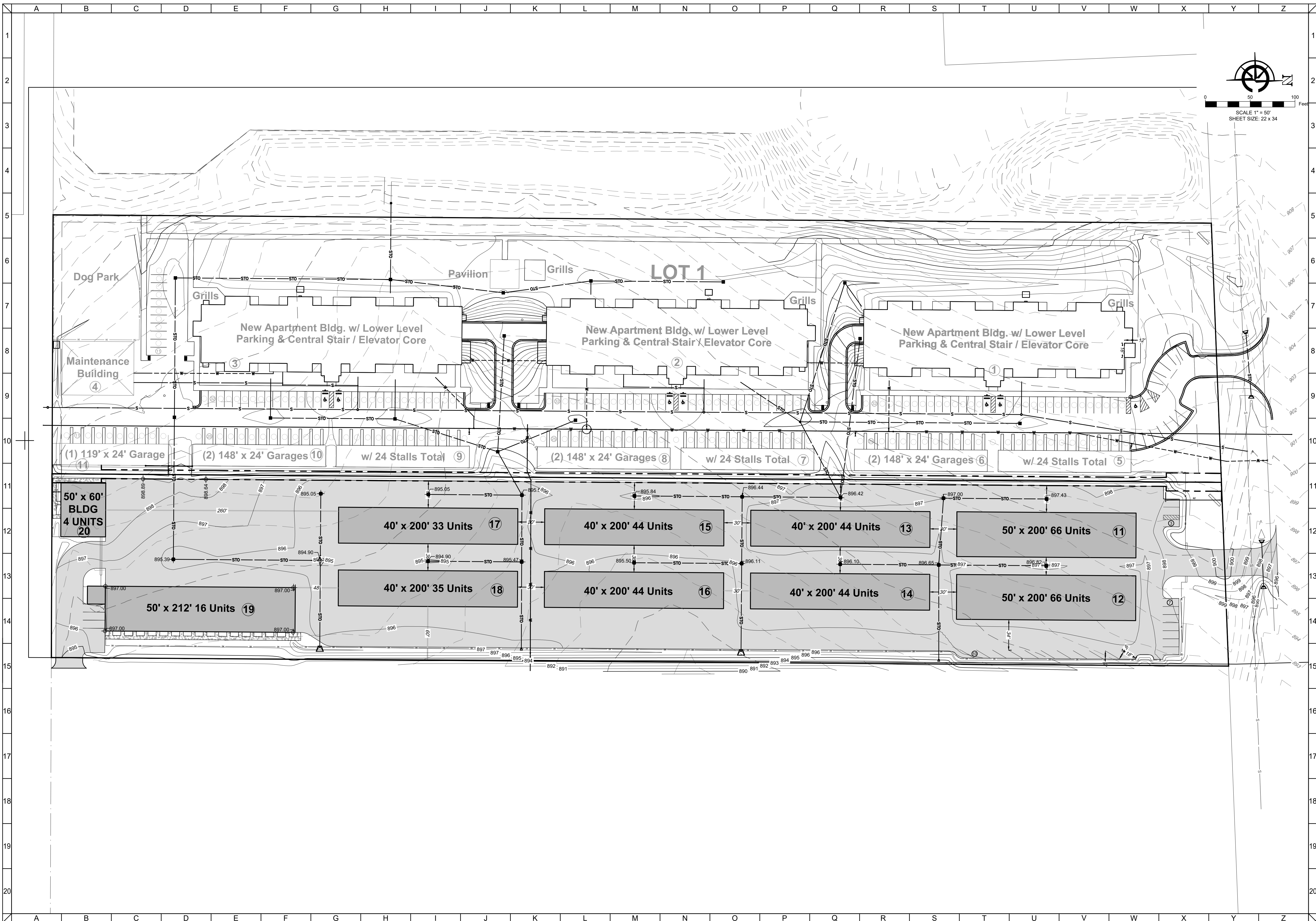
526 SOUTH WELLS STREET,  
LAKE GENEVA, WI 53147  
262-757-8776  
CARDINALENGINEERINGWI.COM

NO.	REVISION DESCRIPTION	REV DATE
13	PLAN UPDATES	08/11/2025
12	PLAN UPDATES	07/18/2025
11	VILLAGE COMMENTS	02/01/2024
10	VILLAGE COMMENTS	11/16/2020

SCALE	1" = 50'
PROJECT NUMBER	1901420
DATE	MAY 26, 2020
PROJECT MGR	RYAN CARDINAL, PE
DRAWN BY	BDP
DESIGNED BY	RWC

SHEET NUMBER

1 OF 3



CLIENT



THE LOFTS OF EAST TROY  
VILLAGE OF EAST TROY, WALWORTH COUNTY, WI

OVERALL GRADING PLAN

PRELIMINARY



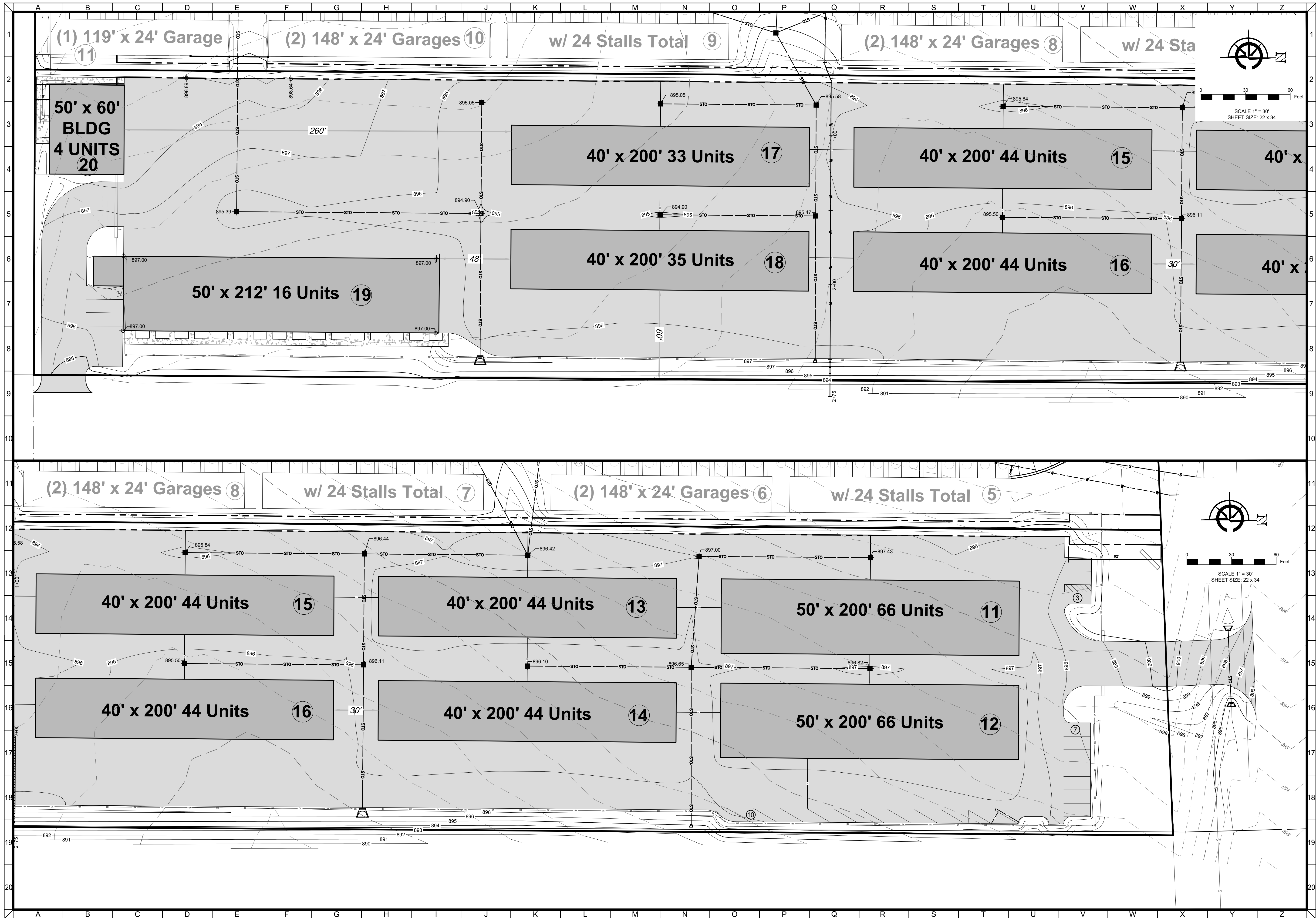
CARDINAL  
PLAN•SURVEY•ENGINEER  
DESIGNING IN TRUE DIRECTIONS

526 S WELLS STREET,  
LAKE GENEVA, WI 53147  
262-757-8776  
PLANSURVEYENGINEER.COM

NO.	REVISION DESCRIPTION	REV DATE
12	PLAN UPDATES	07/16/2025
11	VILLAGE COMMENTS	02/01/2024
10	VILLAGE COMMENTS	11/16/2020
9	VILLAGE COMMENTS	11/13/2020
SCALE		1" = 50'
PROJECT NUMBER		1901420
DATE		07/08/2025
PROJECT MGR		RYAN CARDINAL, PE
DRAWN BY		MMB
DESIGNED BY		MMB

SHEET NUMBER

2 OF 3



No.	Revision/Issue	Date
1		
2		
3		
4		

THE LOFTS OF EAST TROY  
VILLAGE OF EAST TROY

Thomas H. Nordloh  
Landscape Architect  
Reg. # 057-000629

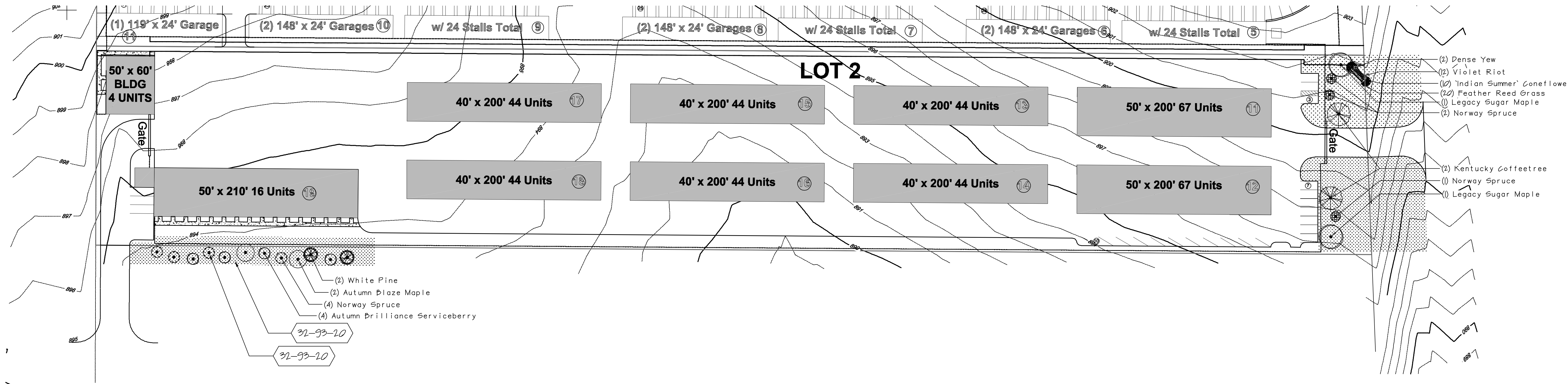
Project **20221014**

Date **8-8-25.1**

Scale

Sheet

L-1.0



PLANT SCHEDULE 50 X 210 UNIT LANDSCAPE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>TREES</b>					
	ACE AL2	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple	25" Cal.	P&B	2
	AME AL2	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	6" Ht.	P&B	4
<b>EVERGREEN TREES</b>					
	PIG AB1	Picea abies / Existing Spruce	6" Ht.	P&B	4
	PS	Pinus strobus / White Pine	6" Ht.	P&B	2

REFERENCE NOTES SCHEDULE 50 X 210 UNIT LANDSCAPE

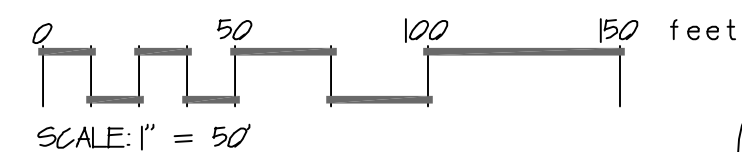
SYMBOL	CODE	DESCRIPTION	QTY
<b>Planting</b>			
	32-93-10	REINARDS PREMIUM 60 TURF-SEED (OR APPROVED EQUAL) 7100 sft AND IN SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. APPLY 15-15-15 FERTILIZER PER MANUFACTURERS APPLICATION RATES BEFORE INSTALLING EROSION BLANKET. LONG TERM AND GREEN NETTED BLANKET AND BENT OVER STAPLES WILL NOT BE ACCEPTED.	
<b>Planting Accessories</b>			
	32-94-136	3" DIAMETER MULCH TREE RING	12
TURF RESTORATION AS REQUIRED			

PLANT SCHEDULE FRONT ENTRY LANDSCAPE

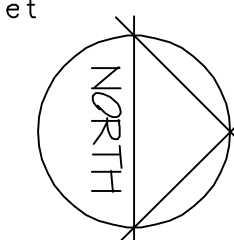
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>TREES</b>					
	ACE LEG	Acer saccharum 'Legacy' / Legacy Sugar Maple	2" Cal.	P&B	2
	GYM D12	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2" Cal.	P&B	2
<b>EVERGREEN TREES</b>					
	PIG AB1	Picea abies / Norway Spruce	6" Ht.	P&B	3
<b>GRASSES</b>					
	CAL KA2	Calamagrostis x acutiflora Karl Foerster' / Feather Reed Grass	1 gal.		20
<b>ANNUALS/PERENNIALS</b>					
	RUD IND	Rudbeckia fulgida 'Indian Summer' / 'Indian Summer' Coneflower	1 gal.		10
	SAL V10	Salvia x sylvestris 'Violet Riot' / Violet Riot	1 gal.		12
<b>SHRUB EVERGREENS</b>					
	TAX DEN	Taxus x media 'Densiflora' / Dense Yew	24"		2

REFERENCE NOTES SCHEDULE FRONT ENTRY LANDSCAPE

SYMBOL	CODE	DESCRIPTION	QTY
<b>Planting</b>			
	32-93-10	REINARDS PREMIUM 60 TURF-SEED (OR APPROVED EQUAL) 18,016 sft AND IN SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. APPLY 15-15-15 FERTILIZER PER MANUFACTURERS APPLICATION RATES BEFORE INSTALLING EROSION BLANKET. LONG TERM AND GREEN NETTED BLANKET AND BENT OVER STAPLES WILL NOT BE ACCEPTED.	
<b>Planting Accessories</b>			
	32-94-119	SHREDDED DARK MULCH, 3-4" DEPTH	254 sf
	32-94-136	3" DIAMETER MULCH TREE RING	7
	32-95-01	EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL	76 lf



ENTRY LANDSCAPE PLAN





**Tony Evers, Governor**  
**Dan Hereth, Secretary**

7/3/2025

BRIAN STAPLES  
STAPLES ARCHITECTURAL SERVICES  
W7898 CREEK ROAD  
DELAVAN, WISCONSIN 53115

## CONDITIONAL APPROVAL

**PLAN APPROVAL EXPIRES:** 07/03/2027  
**CODE APPLIES:** 05/24/2025

**MUNICIPALITY:**  
VILLAGE OF EAST TROY  
WALWORTH COUNTY

**SITE:**  
I-43 STORAGE  
HONEY CREEK ROAD  
EAST TROY, WI 53120

**FOR:**  
HONEY CREEK ROAD

**Building Name:** I-43 STORAGE - BLDG #19  
**Object Type:** Building  
**Major Occupancy:** S-1 - Storage Moderate-Hazard  
**Class of Construction:** VB - Combustible Unprotected Construction  
**Building Review Type:** New  
**Plan Type:** Full/Complete Building  
**Total Floor Area in Sq Ft:** 11,000  
**Sprinklered Type:** None  
**Occupancy:** B - Business  
**Allowable Area Determined By:**  
**Structural Components Included in Review:** None  
**Alteration Level:** None

**Building Name:** 1-43 STORAGE - BLDG #20  
**Object Type:** Building  
**Major Occupancy:** S-1 - Storage Moderate-Hazard  
**Class of Construction:** VB - Combustible Unprotected Construction  
**Building Review Type:** New  
**Plan Type:** Full/Complete Building  
**Total Floor Area in Sq Ft:** 3,000  
**Sprinklered Type:** None  
**Occupancy:** None  
**Allowable Area Determined By:**  
**Structural Components Included in Review:** None  
**Alteration Level:** None

### Identification Numbers

**Plan Review No.:** CB-072500945-PRB

**Application No.:** DIS-052522311

**Site ID No.:** SIT-145839

Please refer to all identification numbers in each correspondence with the Department.

## **SITE REQUIREMENTS**

- Contact both the State Inspector and the local municipality PRIOR to the start of construction.
- A full size copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. If plan index sheets were submitted in lieu of additional full plan sets, a copy of this approval letter and index sheet shall be attached to plans that correspond with the copy on file with the Department. If these plans were submitted in an electronic form, the designer is responsible to download, print, and bind the full size set of plans along with our approval letter. A Department electronic stamp and signature shall be on the plans which are used at the job site for construction.

**The following conditions shall be met during construction or installation and prior to occupancy or use:**

### **SUBMIT:**

- SPS 361.30(3) - This approval does not include heating, ventilating or air conditioning. The owner should be reminded that HVAC plans, calculations, and appropriate fees are required to be submitted for review and approval prior to installation in the field. The HVAC plans shall be submitted on the DSPS website. Building Designer should coordinate with HVAC design to avoid problems with clearance to combustibles, dampers etc. The submitted HVAC plans and calculations shall match the approved building plans. Building Designer is requested to provide a complete set of plans, Energy Calculations and the Building plan review Transaction I.D. number to the HVAC Designer to help coordinate review. Note as per SPS 302.10 installation of HVAC without approved plans could result in double plan review fees.
- SPS 361.30(3) - Submit, prior to installation, one set of properly signed and sealed truss plans, calculations substantiating the design, and associated pertinent information including this transaction number or CB number as a previous transaction. A truss plan submittal may be made on the DSPS website. Note as per SPS 302.31(1)(d)4. the fee for a structural component submitted after installation shall be an additional \$250 plus a \$100 submittal fee.

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed above under **REQUIRED SUBMITTAL(S)**, may also be required.

All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams.

This plan has not been reviewed for compliance with fire code requirements, including those for fire lanes and fire protection water supply, so contact the local fire department for further information.

In granting this approval, the Division of Industry Services reserves the right to require changes or additions, should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. The Division does not take responsibility for the design or construction of the reviewed items.

Per s. SPS 361.40(4), projects for buildings of over 50,000 cubic feet total volume shall have supervising professionals who file compliance statements with this agency and the local code officials prior to occupancy of the project. Compliance statements shall be filed online at <https://esla.wi.gov/PortalCommunityLogin>.

Inquiries concerning this correspondence may be made to me at the contact information listed below, or at the address on this letterhead.

Sincerely,

A handwritten signature in cursive script, reading "Shunlai Zhu".

Shunlai Zhu

Division of Industry Services

Phone: 608 266 2231

Email: [shunlai.zhu@wisconsin.gov](mailto:shunlai.zhu@wisconsin.gov)

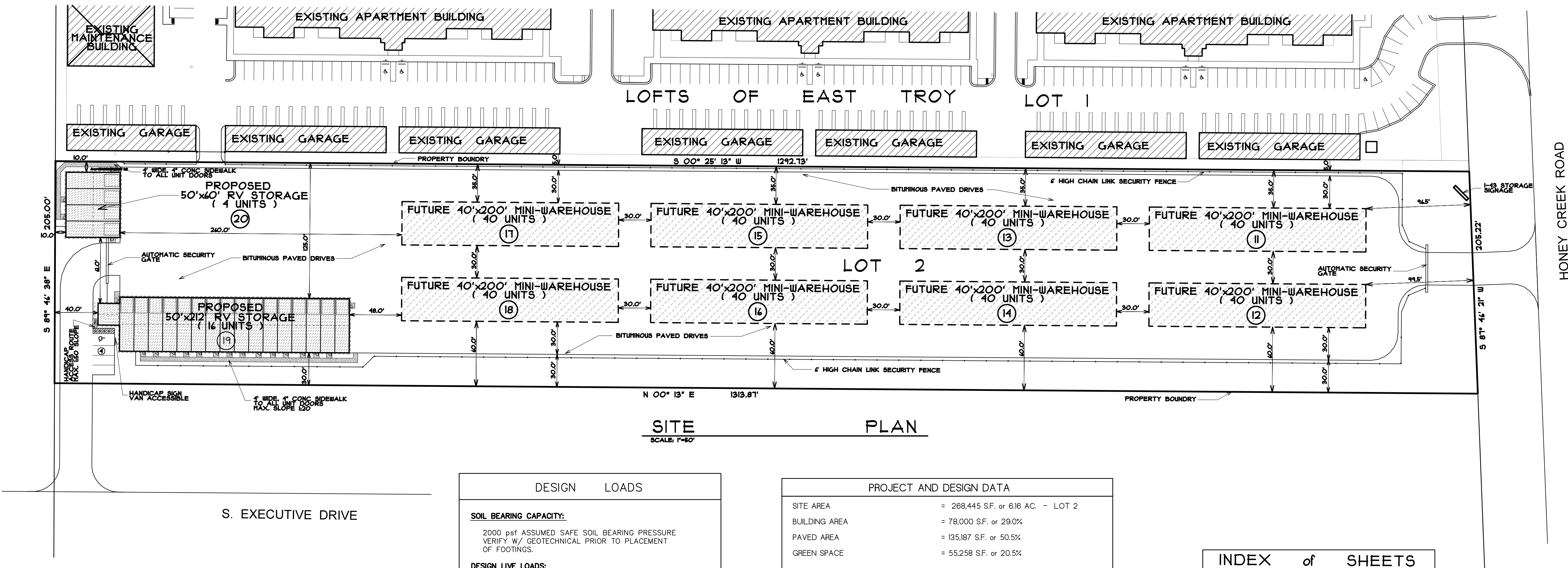
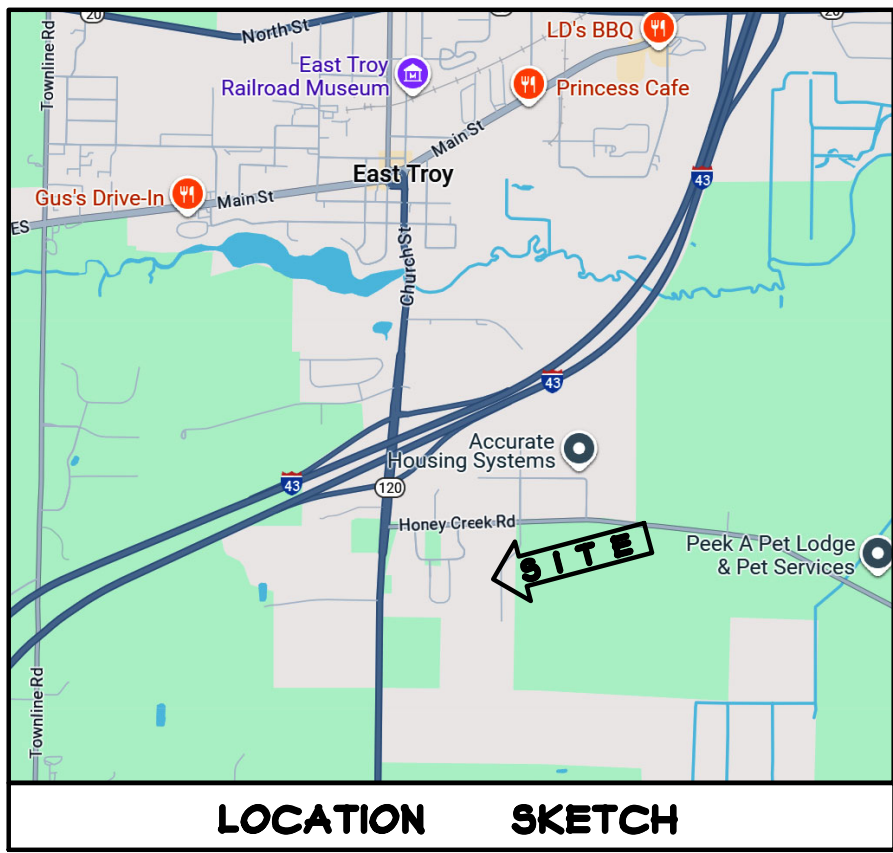
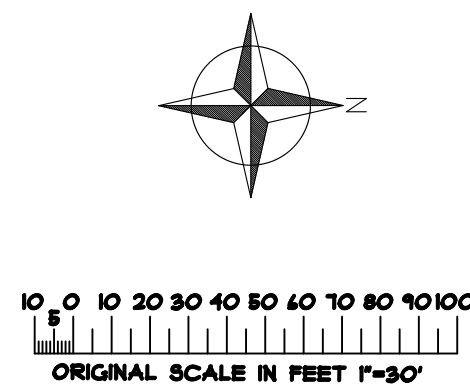
cc:

JOHN GIBBS, DIS INSPECTOR, (414) 852-3694, [JOHN.GIBBS@WISCONSIN.GOV](mailto:JOHN.GIBBS@WISCONSIN.GOV)

DANNETT SMITH, MUNICIPAL CLERK, 2626426253, [DSMITH@EASTTROYWI.GOV](mailto:DSMITH@EASTTROYWI.GOV)

THOMAS LARSON, I-43 INVESTMENTS LLC

I-43 STORAGE  
HONEY CREEK ROAD  
VILLAGE of EAST TROY, WALWORTH CO., WISCONSIN



SEE CIVIL ENGINEERING PLANS BY  
CARDINAL ENGINEERING LLC  
PROJ. NO. 1901420 FOR ALL SITE,  
GRADING, DRAINAGE, AND EROSION  
CONTROL INFORMATION

DESIGN LOADS	
<b>SOIL BEARING CAPACITY:</b>	
2000 psf ASSUMED SAFE SOIL BEARING PRESSURE VERIFY W/ GEOTECHNICAL PRIOR TO PLACEMENT OF FOOTINGS.	
<b>DESIGN LIVE LOADS:</b>	
ROOF (SNOW)	
GROUND SNOW LOAD, Pg	= 30 psf
SNOW EXPOSURE, Ce	= 1.0
SNOW LOAD RISK FACTOR, I	= II
THERMAL FACTOR, Ct	= 1.0 SLOPED ROOF
UNBALANCED SNOW LOAD	= N/A
DRIFTED SNOW LOAD	= 107 psf
FLAT ROOF SNOW LOAD	= 18.1 psf ( MIN. LIVE LOAD = 20 psf )
<b>DESIGN DEAD LOADS:</b>	
ROOF COLLATERAL	= 5 psf
ROOF DEAD	= 10 psf
SEE ARCHITECTURAL FOR ADDITIONAL DEAD LOADS SEE MECHANICAL FOR ADDITIONAL DEAD LOADS	
<b>DESIGN WIND LOADS:</b>	
BASIC WIND SPEED ( 3- SECOND GUST )	= 115 mph
WIND RISK FACTOR, Iw	= II
WIND EXPOSURE	= B
INTERNAL PRESSURE COEFFICIENT	= 0.18
<b>DESIGN SEISMIC LOADS:</b>	
SEISMIC USE GROUP	= II
SEISMIC DESIGN CATEGORY	= A
SOIL CLASSIFICATION	= D

PROJECT AND DESIGN DATA	
SITE AREA	= 268,445 S.F. or 6.16 AC. - LOT 2
BUILDING AREA	= 78,000 S.F. or 29.0%
PAVED AREA	= 135,187 S.F. or 50.5%
GREEN SPACE	= 55,258 S.F. or 20.5%
CODE	= 2015 INTERNATIONAL BUILDING CODE
CONSTRUCTION TYPE	= VB
OCCUPANCY TYPE	= B & S-1
GROUND SNOW	= 30 psf
COLLATERAL LOAD	= 5 psf
WIND VELOCITY	= 115 mph
EXPOSURE CATEGORY	= B
IMPORTANCE FACTOR	= II
OCCUPANCY CATEGORY	= II
SOIL CLASS	= D
SEISMIC DESIGN CATEGORY	= A
FIRE PROTECTION	= NON-SPRINKLERED
EXIT DISTANCE	= 75 FEET

INDEX of SHEETS	
C-1	SITE PLAN
A-1	BUILDING #19 EXTERIOR ELEVATIONS
A-2	BUILDING #19 FIRST FLOOR PLAN FOUNDATION PLAN
A-3	BUILDING #20 EXTERIOR ELEVATIONS FIRST FLOOR PLAN FOUNDATION PLAN
A-4	BUILDING SECTIONS
A-5	BUILDING SECTIONS
A-6	GENERAL SPECIFICATIONS WALLS TYPES, DETAILS

SITE PLAN

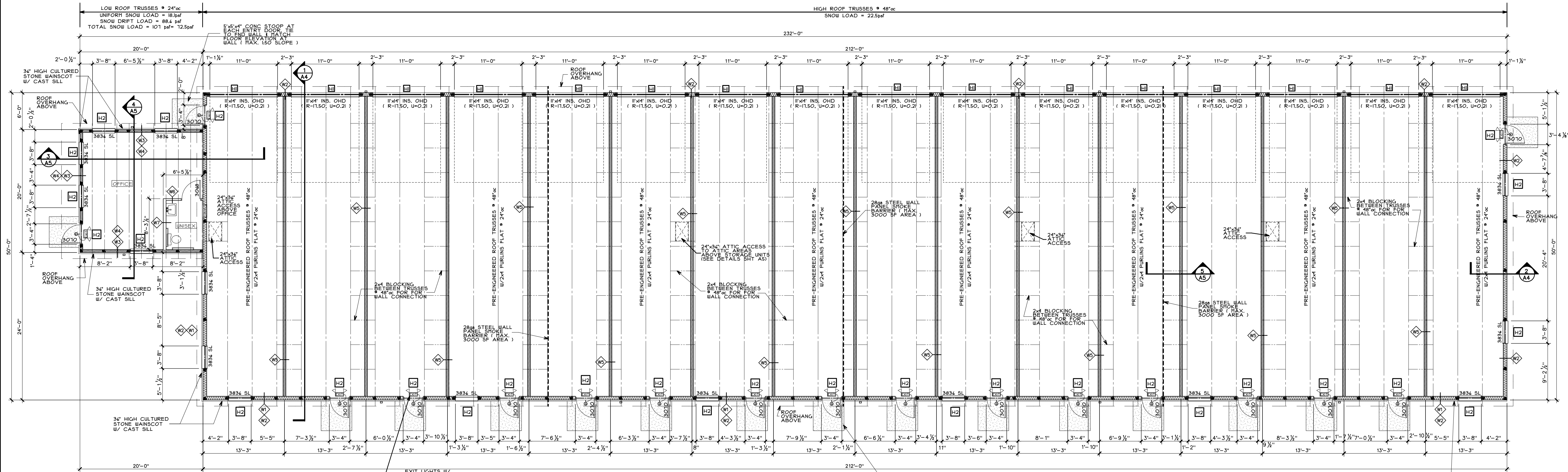
**STAPLES ARCHITECTURAL SERVICES**  
BRIAN J. STAPLES - ARCHITECT  
W7898 CREEK ROAD  
DELAVER, WI. 53115  
PHONE: (262) 949-0522 E-MAIL: staplesarch@charter.net

Proj. # 22-0111  
Date 05/10/25  
Designed by  
Drawn by BJS  
Checked by BJS  
Revised

Sheet No.  
C-1  
1 of 1 Sheets



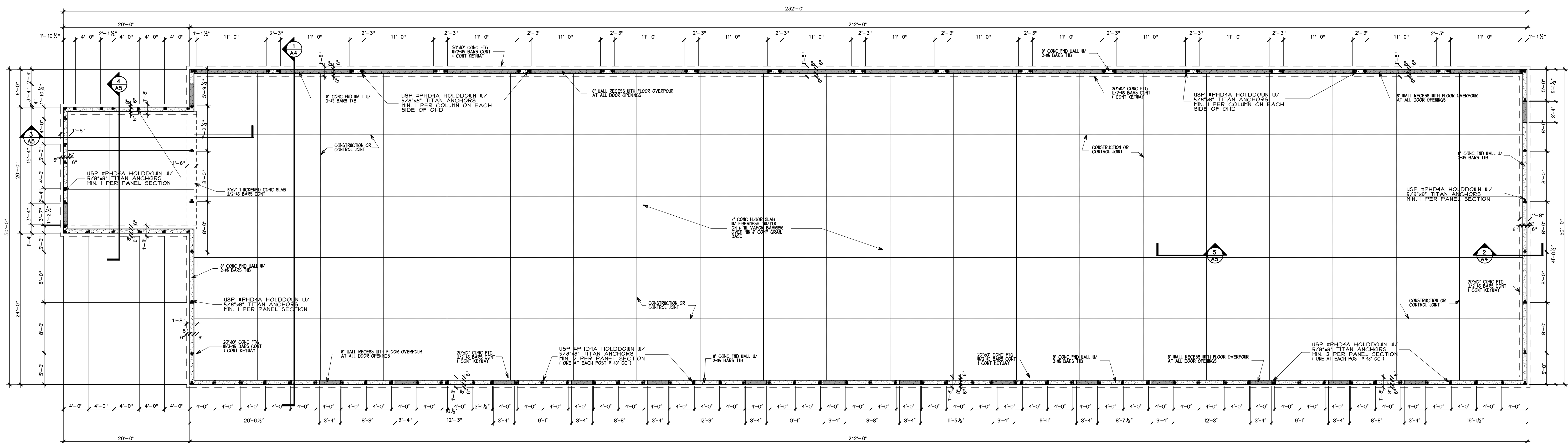
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Tuesday, May 20, 2025



### FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

HEADER	SCHEDULE
H1	= 4-2x2 SP NO. 1
H2	= 2-2x2 SP NO. 1



### FOUNDATION PLAN

SCALE: 1/8"=1'-0"

PROPOSED STORAGE BUILDINGS  
BUILDING #19 & #20  
I-43 STORAGE  
HONEY CREEK ROAD  
VILLAGE of EAST TROY, WALWORTH CO., WISCONSIN

BUILDING #19  
FIRST FLOOR PLAN  
FOUNDATION PLAN

STAPLES ARCHITECTURAL SERVICES  
BRIAN J. STAPLES - ARCHITECT  
W7898 CREEK ROAD  
DELAVAN, WI. 53115  
PHONE: (262)949-0522 E-MAIL: staplesarch@charter.net

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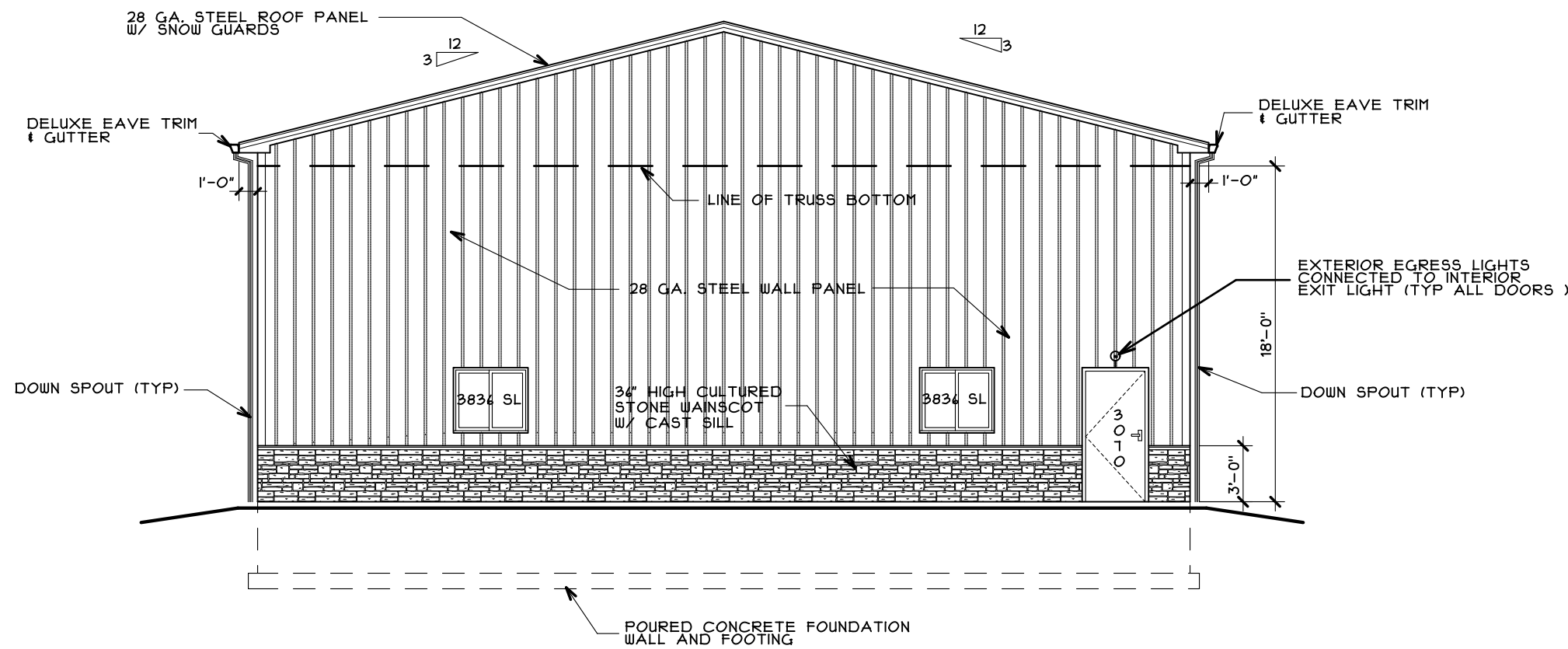
Sheet No.  
A-2  
3 of 1 Sheets

GENERAL BUILDING NOTES:

Attic insulation may be blown-in insulation in lieu of batt insulation. Min. R-values to be as listed on plans and all requirements a listed below to be followed.

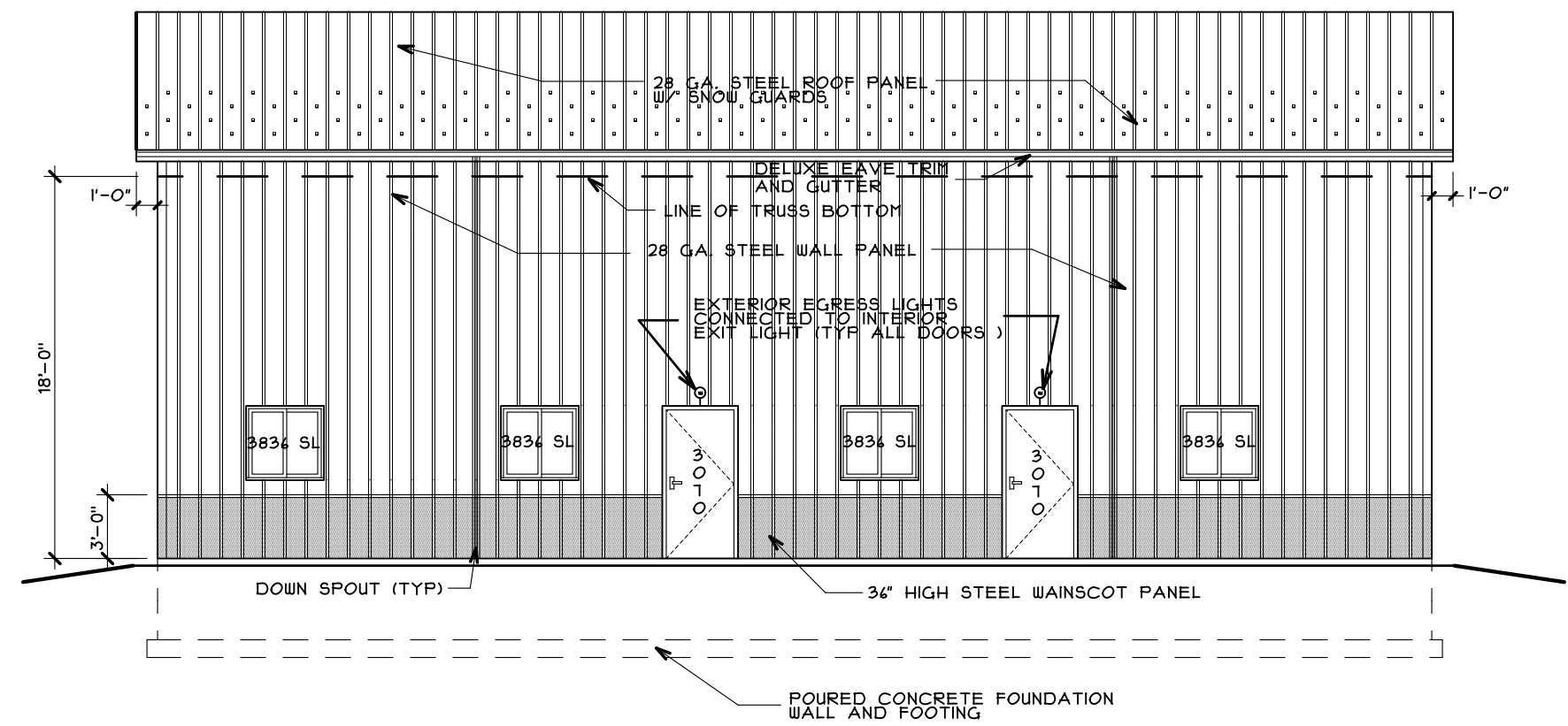
"IECC 303.1.1 - The insulation installer shall provide a signed and dated certification for the insulation installed in each element of the building envelope, listing the type of insulation installations in roof/ceilings, the manufacturer and the R-value. For blown-in or sprayed insulation, the installer shall also provide the initial installed thickness, the settled thickness, the coverage area, and the number of bags installed. The installer shall post the certification in a conspicuous place on the job site.

"IECC 303.1.1.1 - The blown-in or sprayed insulation installer shall provide identification markers that are labeled in inches or millimeters installed at least one for every 300 sf throughout the attic space. The markers shall be affixed to the trusses or joists and marked with the minimum initial installed thickness and the minimum settled thickness with the numbers a minimum of 1" in height. Each marker shall face the attic access opening. The thickness of the installed insulation shall meet or exceed the minimum installed thickness shown on the marker.



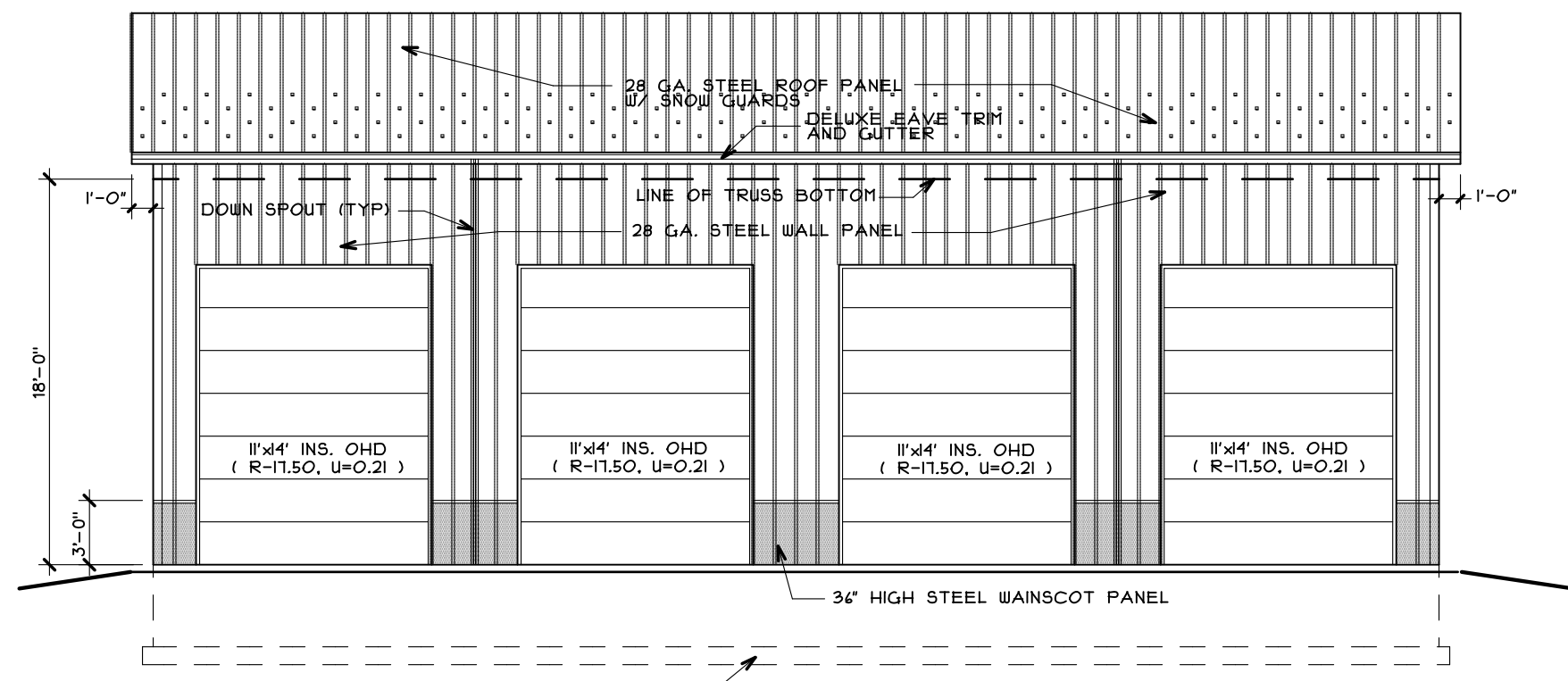
EAST ELEVATION

SCALE: 1/8"=1'-0"



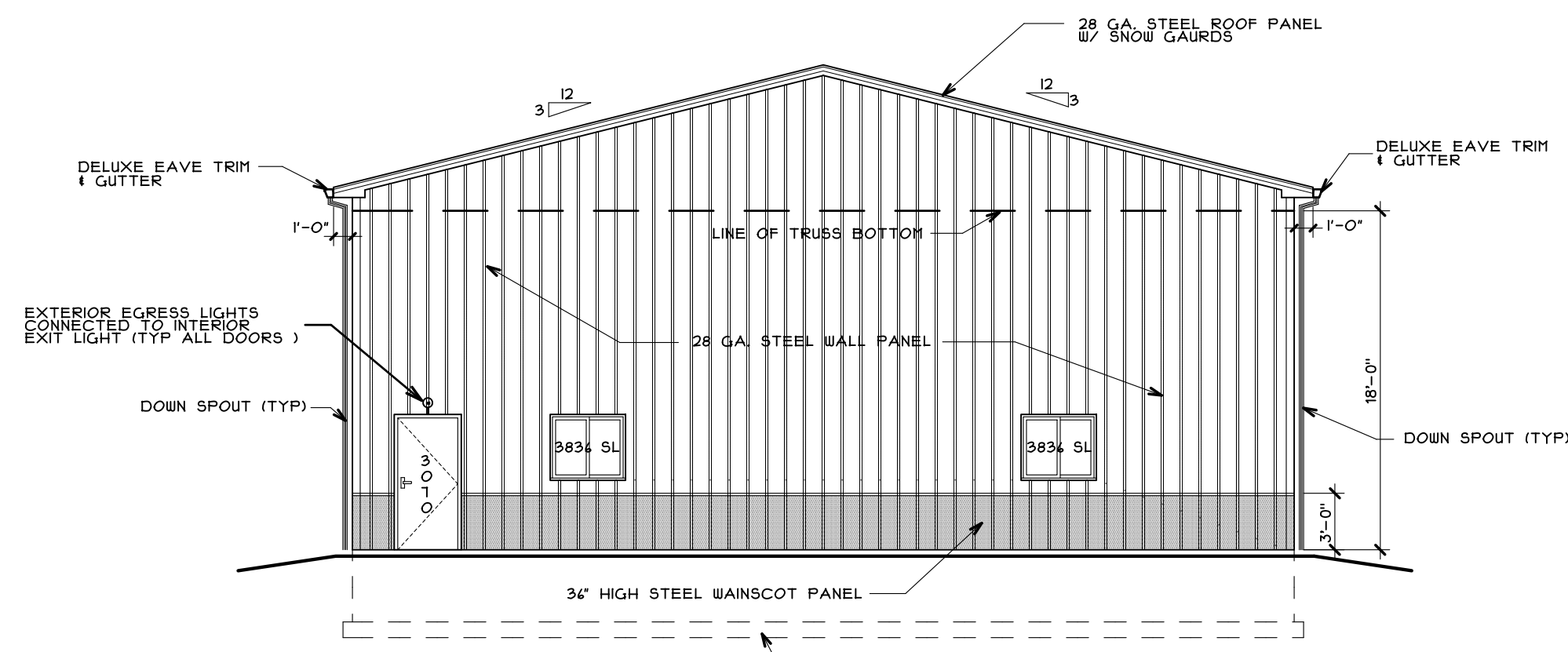
SOUTH ELEVATION

SCALE: 1/8"=1'-0"



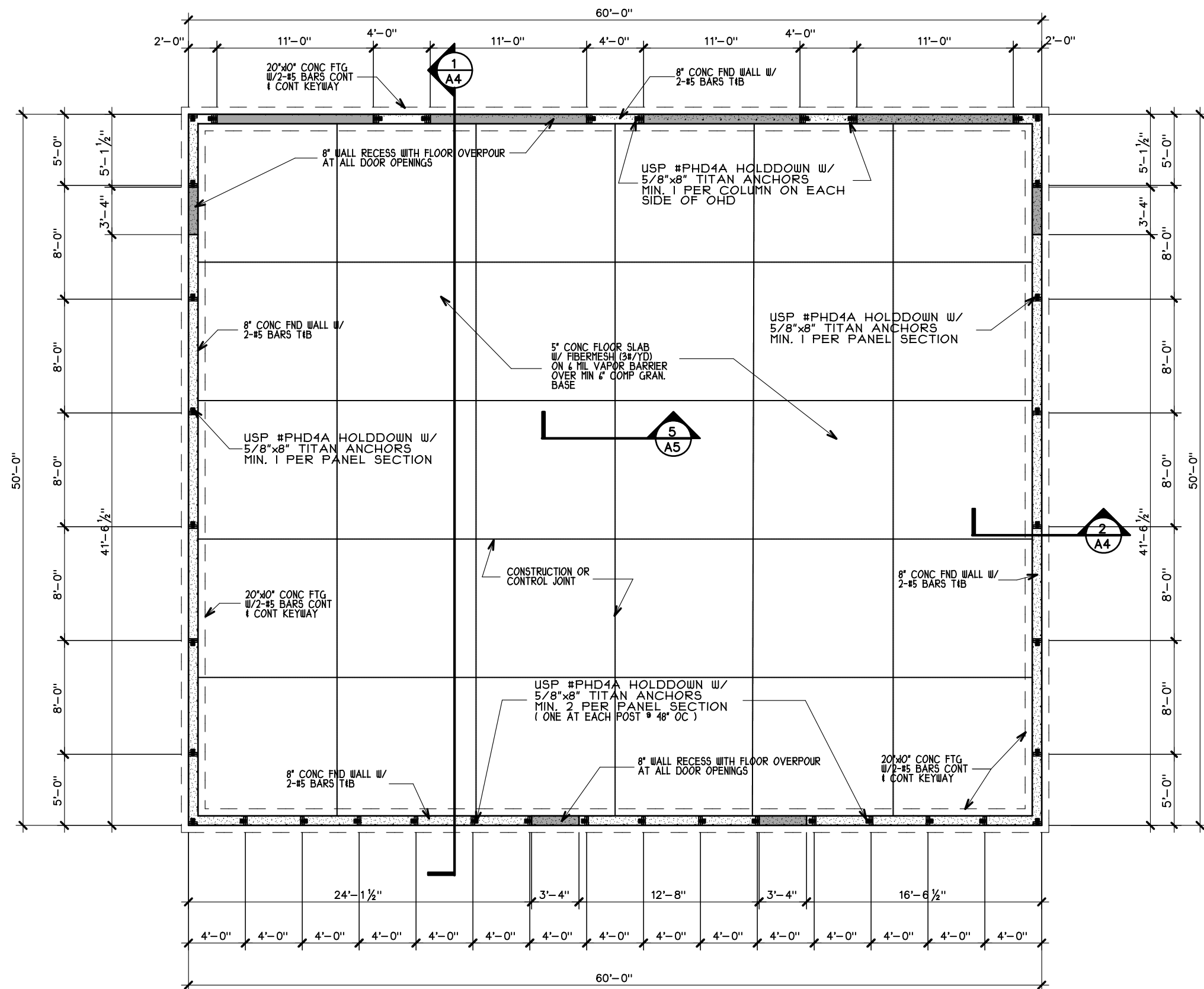
NORTH ELEVATION

SCALE: 1/8"=1'-0"



WEST ELEVATION

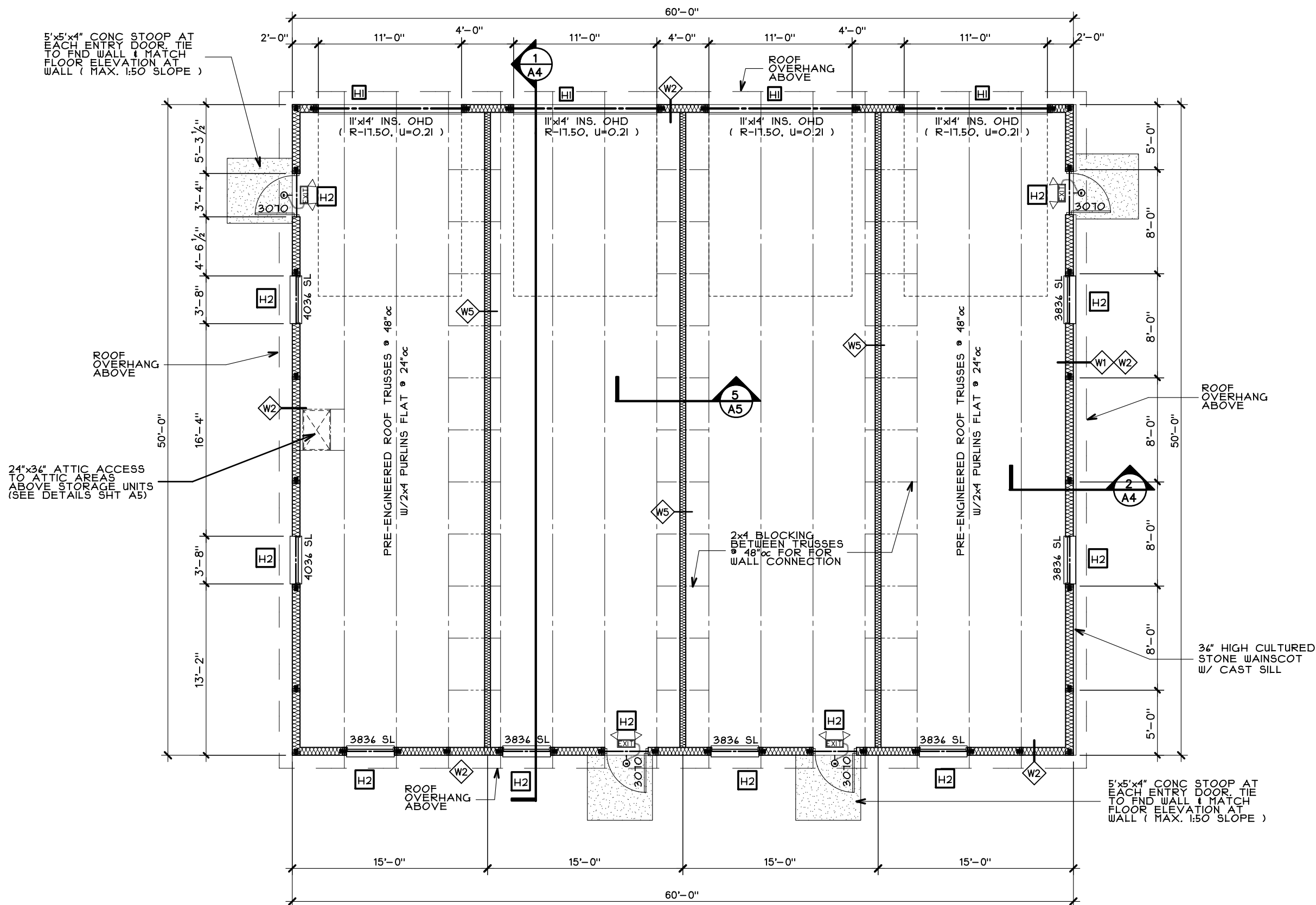
SCALE: 1/8"=1'-0"



FOUNDATION PLAN

SCALE: 1/8"=1'-0"

PLAN



FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



STAPLES ARCHITECTURAL SERVICES

BRIAN J. STAPLES - ARCHITECT

W7898 CREEK ROAD  
DELAVAN, WI. 53115  
PHONE: (262)949-0522 E-MAIL: staplesarch@charter.net

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Date 08/13/22  
Designed by  
Drawn by BJS  
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Revised 10/13/22  
Revised 05/10/25

Sheet No.  
A-3  
4 of 1 Sheets

EXTERIOR ELEVATIONS  
FIRST FLOOR PLAN  
FOUNDATION PLAN

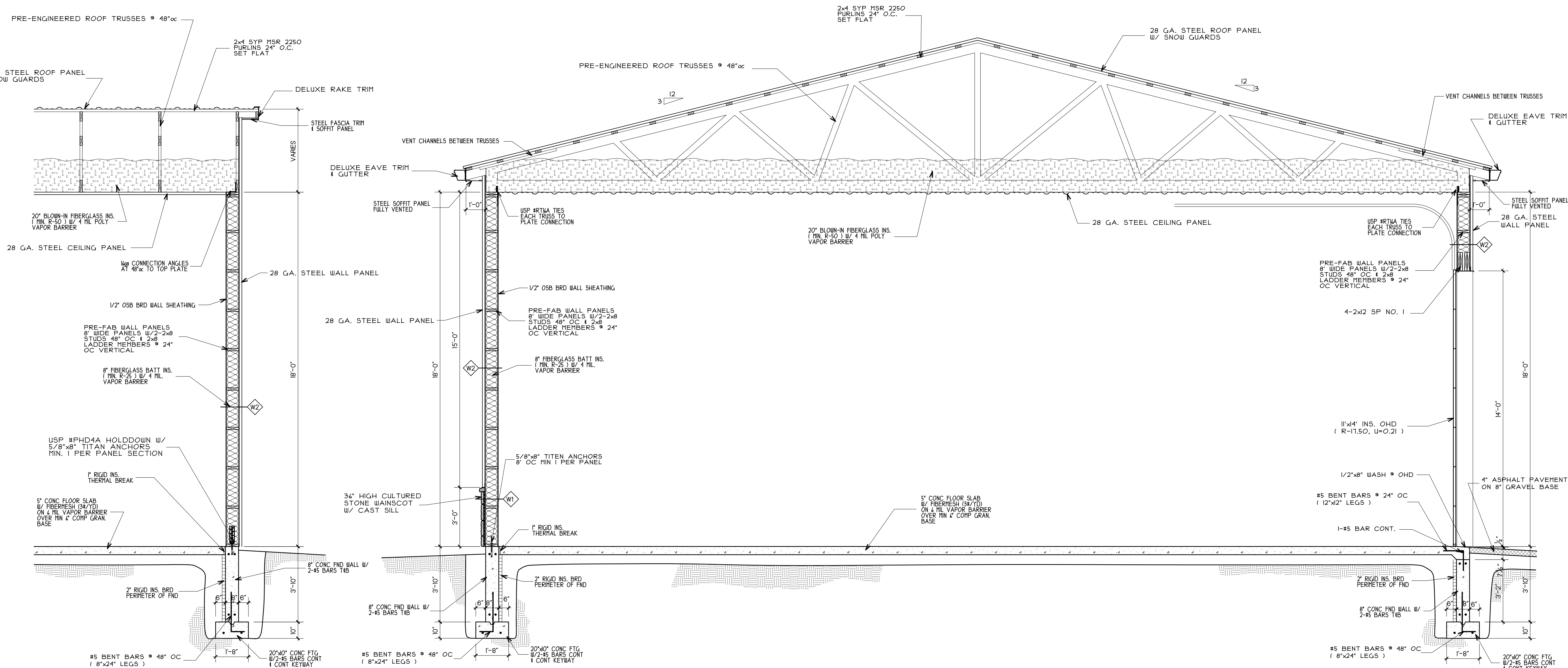
BUILDING #20

PROPOSED STORAGE BUILDINGS

BUILDING #19 & #20

I-43 STORAGE

HONEY CREEK ROAD  
VILLAGE of EAST TROY, WALWORTH CO., WISCONSIN



## SECTION

SCALE: 3/8"=1'-0"

2

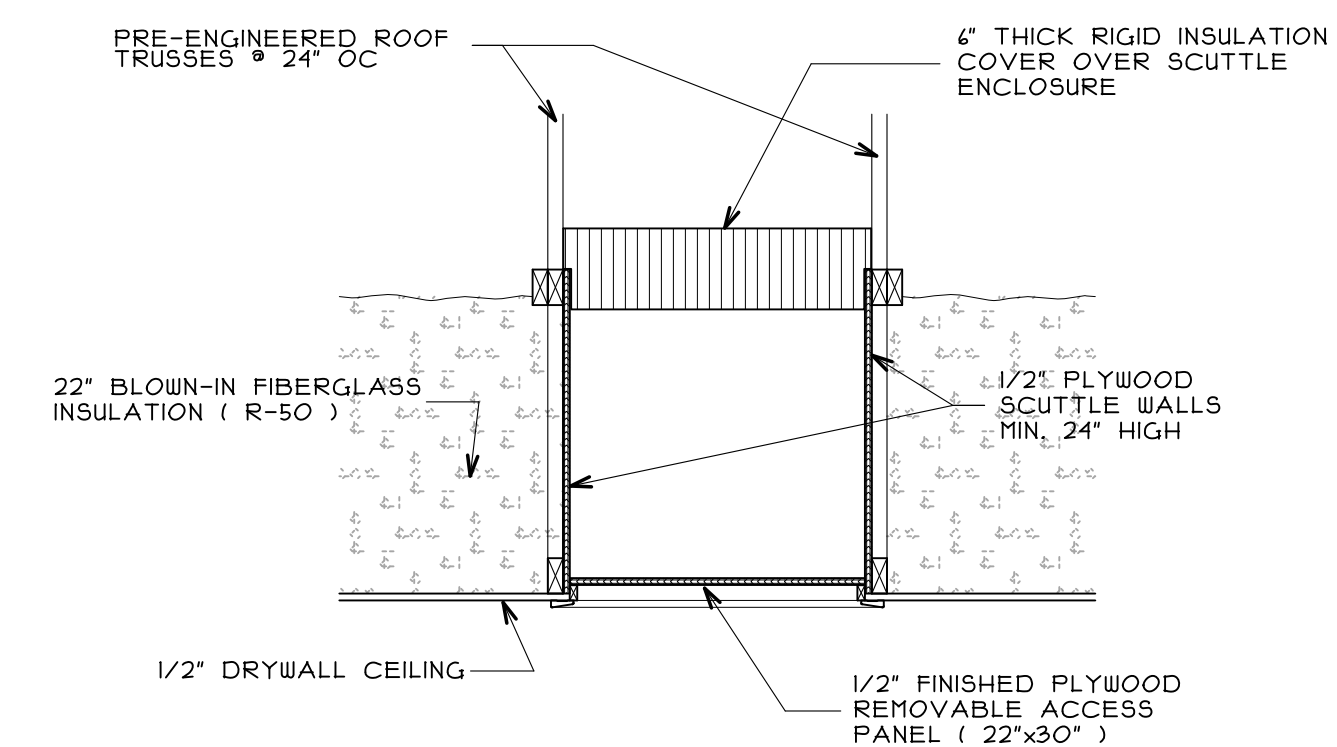
A4

## SECTION

SCALE: 3/8"=1'-0"

1

A4



ATTIC ACCESS DETAIL

PROPOSED STORAGE BUILDINGS  
BUILDING #19 & #20  
**I-43 STORAGE**  
HONEY CREEK ROAD  
VILLAGE of EAST TROY, WALWORTH CO., WISCONSIN

## SECTIONS

**STAPLES ARCHITECTURAL SERVICES**

BRIAN J. STAPLES A.I.A. - ARCHITECT

W7898 CREEK ROAD  
DELAVER, WI. 53115

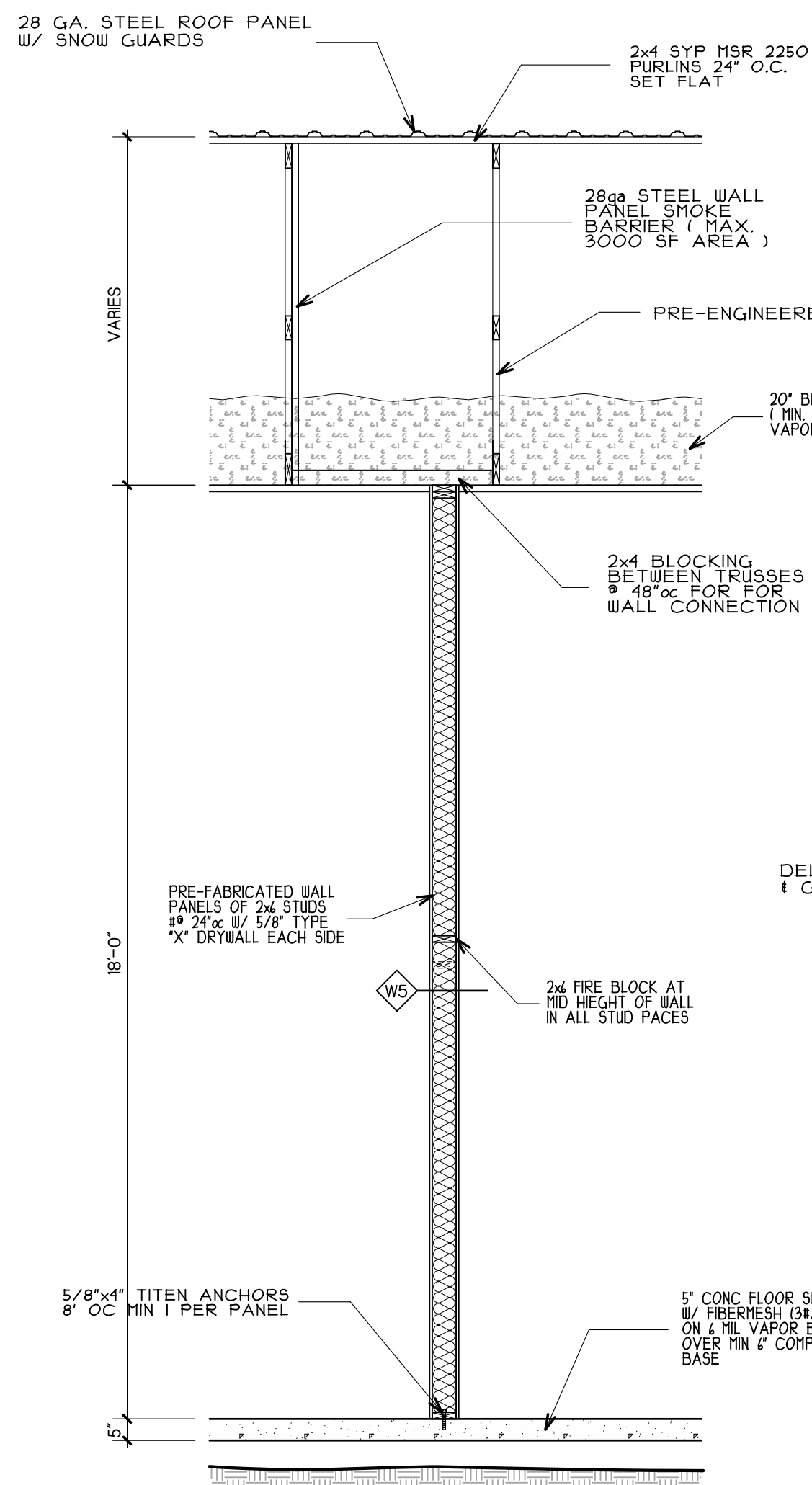
PHONE/FAX: (262) 740-2339 E-MAIL: STAPLES@ELKNET.NET

Proj. # **22-0111**  
Date **05/13/25**  
Designed by \_\_\_\_\_  
Drawn by **BJS**  
Checked by **BJS**  
Revised \_\_\_\_\_

Sheet No.

**A-4**

5 of 1 Sheets

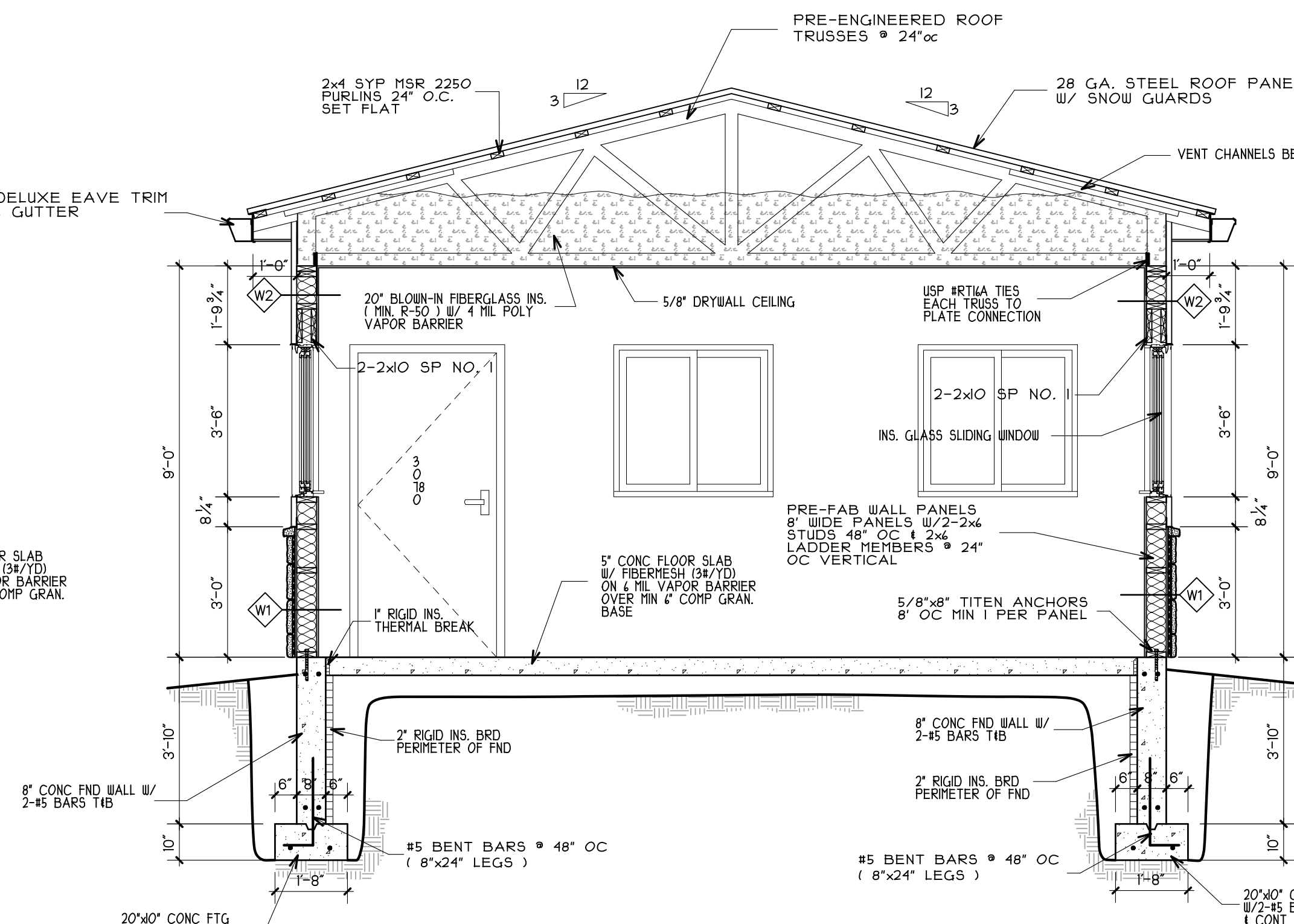


SECTION

SCALE: 3/8"=1'-0"

5

A5

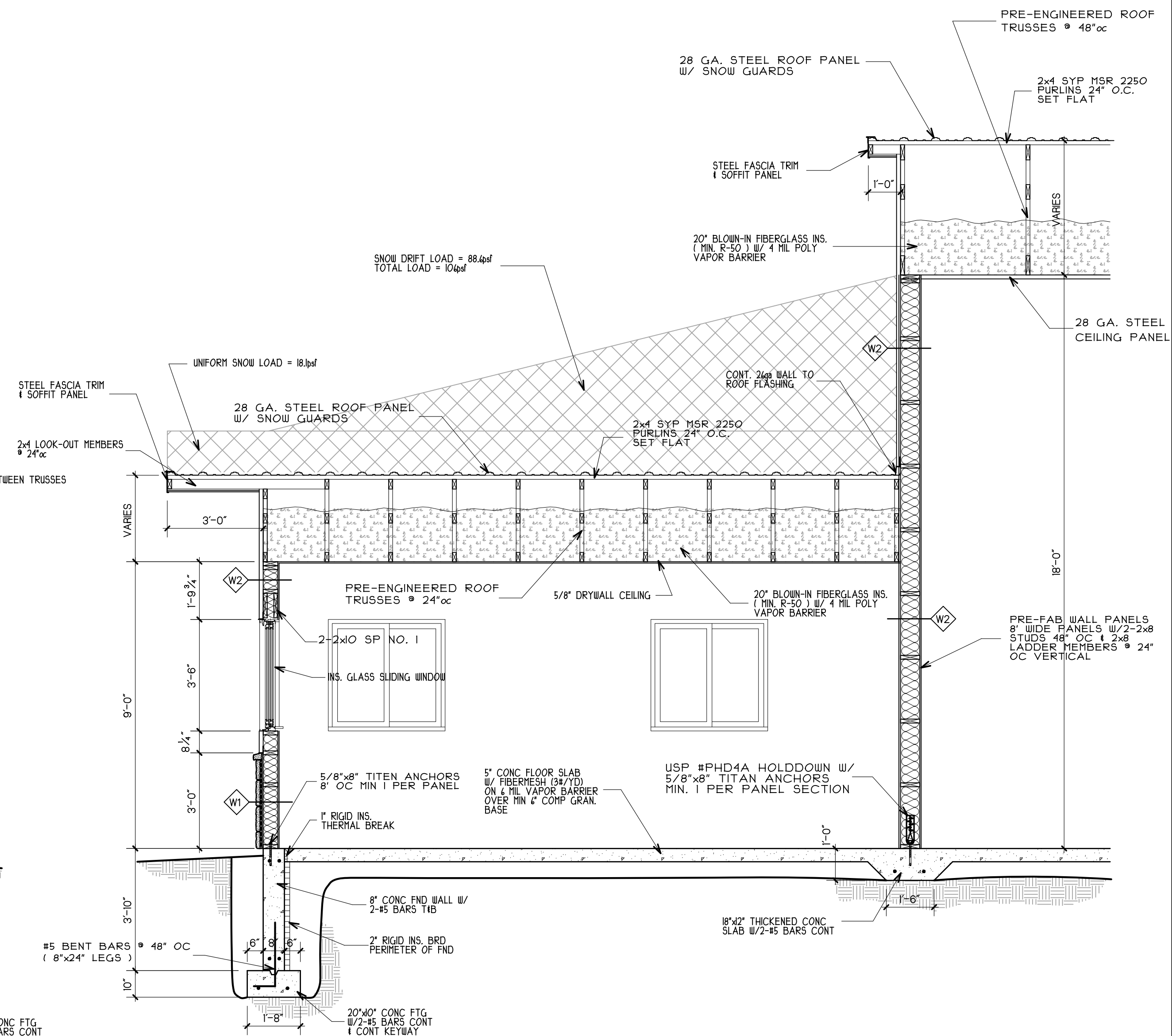


SECTION

SCALE: 3/8"=1'-0"

4

A5



SECTION

SCALE: 3/8"=1'-0"

3

A5

USA PROJECT 12-CRIMINAL PLANS 454 822-09 BLDG. PLAN 454

Tuesday, Feb 20, 2025

## GENERAL SPECIFICATIONS GENERAL REQUIREMENTS

### A. DEFINITIONS:

The functions of this construction contract shall be exercised by the CONTRACTOR. The architect shall not have control, or charge of, and shall not be responsible for, construction. Plans of methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractor, or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents. The architect and his consultants shall not be responsible for changes to these documents without written approval and shall take no responsibility for errors and omissions due to dimensions or insufficient details without first being consulted for recommended and approved remedies.

### B. EXAMINATION OF DRAWINGS, SPECIFICATIONS AND SITE:

All bidders shall carefully examine the drawings and specifications prepared for the work. They shall visit the site of the work and acquaint themselves with all local conditions affecting the contract. If awarded the contract, they shall not be allowed any extra compensation by reason of any unforeseen difficulties or obstacles which the bidder could have discovered or reasonably anticipated prior to the bidding.

### C. ORDINANCES, RULES AND REGULATIONS:

All work and material covered by the contract documents shall conform to the respective requirements of the latest editions of the following:

- Standard specifications of the American Society of Testing Materials.
- Provincial and Local Codes, Laws, Ordinances, Rules and Regulations Applicable to the Work.

Ascertain the existence of and comply with any interpretations and/or enforcement policies of the STATE AND LOCAL ENFORCEMENT AGENCIES OR INDIVIDUALS peculiar to this area or to this particular installation. Where contract documents call for material or construction of better quality or larger size or greater quantity than required by the above rules and regulations, conform to the provisions of the contract documents.

### D. INTENT OF DRAWINGS AND SPECIFICATIONS:

Refer to the drawings for all measurements. The measurements given on the architectural plans shall be checked by each subcontractor before proceeding with the work, and any discrepancies shall be reported at once to the general contractor. Should it appear that the work covered by the contract documents is not sufficiently detailed or explained, general contractor shall apply to the architect for further drawings or explanations as may be necessary to clarify the point in question. It is the intention of the contract documents to provide a job complete in every respect. General contractors and subcontractors are to be responsible for the result and to turn over the project in complete operating condition, irrespective of whether the contract documents cover every individual item in minute detail.

### E. QUALITY OF MATERIALS AND WORK:

All work, fixtures, materials and apparatus shall be new in every respect, and all shall be delivered without exception. No brand names shall appear on any of the work in finished building. All work shall be done by those who are thoroughly trained and experienced in their particular trades.

### F. SUBCONTRACTOR COOPERATION:

Each subcontractor shall give all notices and comply with all laws, ordinances, rules and orders of any authority having jurisdiction on the performance of the work under his subcontract. Each subcontractor shall secure and pay for all permits and fees, licenses and inspections necessary for the proper execution and completion of the subcontractor's work.

Each subcontractor shall comply with Federal, provincial and local tax laws, social security act, unemployment compensation acts and worker's compensations acts insofar as applicable to the performance of his subcontract.

Each subcontractor shall cooperate with the general contractor in scheduling and performing his work to avoid conflict or interference with the work of others.

Each subcontractor shall promptly submit shop drawings and samples by contract document to the general contractor in order to perform his work efficiently, expeditiously and in a manner that will not cause delay in the progress of the work of other subcontractors.

The subcontractor shall give his personal supervision to the work or have at the site of the work at all times, a competent and experienced foreman satisfactory to him and the owner, and having authority to act for the subcontractor.

### G. WORK OF OTHERS:

Each subcontractor shall take necessary precautions in carrying out his work, to protect properly the finished work of other trades from damage caused by his operations, and shall make good any loss, damage, or injury without cost to the owner.

Each subcontractor shall cooperate with the general contractor and other subcontractors whose work might interfere with the subcontractor's work, and shall participate in the preparation of coordinated drawings in areas of congestion as required by the contract documents, specifically noting and advising the general contractor of such interference.

### H. CHANGES IN WORK:

Each subcontractor may be ordered in writing by the general contractor, without invalidating his subcontract, to make changes in the work within the general scope of his subcontract consisting of additions, deletions, or other revisions, the contract sum and contract time being adjusted accordingly. The subcontractor, prior to the commencement of such changes of revised work, shall submit promptly to the general contractor written copies of any claim for adjustment with the contract documents.

### I. CLEANING UP:

All construction shall be done in accordance with Wisconsin Adm. Code, Section IND 53.60 thru 53.63.

All construction shall be done in accordance with Wisconsin Adm. Code, Section IND 53.60 thru 53.63.

The electrical and mechanical subcontractors shall be responsible for the cleaning of all of their work, including removal of labels, tags, grease, oil, dirt, stains, etc.

Each subcontractor shall be responsible for cleaning up of ground and shall leave ground free of his rubbish, building materials and debris before final acceptance of work. In case of dispute, the general contractor will remove rubbish and charge the cost to responsible subcontractor.

### J. GUARANTEE:

Each subcontractor shall guarantee all workmanship and materials entering into construction of the building for a period of one year after substantial performance, and if during the guarantee period, and defects if faulty materials are found, he shall immediately, upon notification by the general contractor, proceed at his own expense to bring his work into conformance with the contract documents, together with restoration of finishes or equipment provided by other trades.

### EARTHWORK

A. Existing Utilities - Locate by hand excavation and provide protection from damage. Cooperate with G.C. and utility companies for maintaining service. Do not break or cut utility connections without notifying G.C.; a minimum of 48 hours in advance and providing acceptable temporary services.

- Repair Damages - To existing utilities as directed by utility company.
- Site fill and backfill material shall be a granular material free of debris, boulders, organic material and excessive silt.
- Base fill for slabs on grade shall be a reasonably wellgraded sand (SW or SP), clean and free of organic material. Course aggregates shall not exceed 3/4" in size.
- Suitable materials obtained for excavation and cutting at the site may be used, if approved by soils ENGINEER.
- Stockpile excavated materials where directed by G.C. until required for backfill and fill.
- Excavate for structure to elevations and dimensions shown, extending excavation a sufficient distance to permit placing and removal of other work and for inspection. Trim bottom to required lines and grades to provide solid base to receive concrete.

- Excavate for trenches to depth indicated or required and to establish indicated flow lines for invert elevations. Maintain uniform width required for particular item to be installed, including width to provide ample working room. Provide 6" to 1" clearance on both sides of pipe or conduit. Outside building excavate trenches for water bearing piping so top of piping is below frost level where applicable, as per local building code/official.
- Remove existing walks, drives, curbs, foundations, culverts, boulders, vegetation (trees, stumps and roots 1" or larger in diameter within the lines of the building 5' beyond), trash, and similar items as necessary to execute the work of this project.

- Notify the G.C. if abnormal or questionable soil conditions are encountered, and do not proceed with the work until directed to by the G.C.

- Maintain excavations in a clean condition and keep free of water at all times. Protect bottoms of excavations from frost and freezing. Do not excavate to full depth during freezing weather or on slabs cast in place. Do not pour immediately after completion of excavation work, and protect soil to prevent freezing after footings and slabs have been poured.

- Do not use frozen material or material containing ice or snow for fill. Do not place on soils that is frozen or covered with ice or snow. Take necessary precautions during freezing weather to prevent freezing of fill during placing and compaction.

- Place all fill materials in 6" layers, compacting each layer to require maximum density unless otherwise recommended in the approved soils report on record with G.C. Keep compacted lifts relatively smooth and level.

- Base fill compaction (within the lines of new building) and site fill and backfill (under pavement subgrades) - To be as recommended by soils ENGINEER. Excavate as necessary to remove all organic soils and loose existing fills, and fill to grade, compacting each lift of fill according to the recommendation of the soils ENGINEER. Provide same method of compaction at all mechanical trenches and other similar areas.

- Provide minimum 6" sand-gravel base under all slabs-on-grade, unless otherwise noted or as recommended by approved soils report.

- Foundations were designated using a soil bearing value of 2000 psf as listed in the structural design stress notes or as recommended by soils ENGINEER. The soils ENGINEER shall confirm in writing the value determined in the field.

### CAST-IN-PLACE CONCRETE

#### A. CODES AND STANDARDS:

- ACI 301, ACI 318; comply with applicable provisions except as otherwise indicated.

#### B. MIX PROPORTIONS AND DESIGN:

Proportion mixes by either laboratory trial batch or field experience method complying with ACI 301.

#### C. CONCRETE MATERIALS:

- Portland cement - ASTM C 150, type in structural notes.
- Aggregates - ASTM C 33.
- Water - Clean, Drinkable.
- Air Entraining Texture - ASTM C 260.

#### D. REINFORCING MATERIALS:

- Deformed reinforcing bars - ASTM A 45, Grade 40 unless otherwise indicated.
- Fiber Mesh ( 3#/yd )

#### E. CONCRETE PLACEMENT:

- Hot and cold weather comply with AC 318.

#### F. CONCRETE STRENGTH:

- Concrete strength to be 4000 psi in 28 days, slump not exceed 4 inches.

#### G. COVER ON REINFORCING STEEL:

- Cover on reinforcing steel to be 3 inches next to ground, 2 inches next to wall forms. Lap reinforcing steel bars 24 bar diameters minimum and lap mesh 4 inches minimum.

#### H. FINISHES AND CURING CONCRETE:

- Surfaces exposed to view: Provide smooth finish, remove fins and projections, patch defective areas with cement grout.

Sidewalks: Broom finish.

Curing: Begin initial curing as soon as free water has disappeared from exposed surfaces. Where possible, keep continuously moist for not less than 12 hours. Continue curing by use of moisture-retaining cover or curing compound.

Cure formed surfaces by moist curing until forms are removed.

Keep wall forms on 24 hours before stripping. Provide protection as required to prevent damage to exposed concrete surfaces.

### CARPENTRY

#### A. GENERAL:

- All construction shall be done in accordance with Wisconsin Adm. Code, Section IND 53.60 thru 53.63.

#### B. MATERIALS:

- Lumber: Comply with American Softwood Lumber Standard PS 20 (U.S. Dept. of Commerce), S4S, 19% moisture at the time of dressing.

- Plywood: Comply with Softwood Plywood - Construction and Industrial PS 1 (U.S. Dept. of Commerce), bearing DFPA grade trademarks.

#### 3. Pre-engineered Roof Trusses:

- a. Building shall have a gable roof and wood trusses - trusses shall be designed for a 8 psf dead load in addition to a 30 lb. snow load and a 20 lb. wind load. Roof load shall be provided for with only a 10% stress adjustment for snow load duration and all necessary additional snow drift loads.

- b. Truss construction shall be in conformance with approved truss diagrams, load computation and fabrication details furnished by the truss manufacturer.

- c. Truss manufacturer shall provide architect/engineer with an electronic copy of signed & sealed stress drawings and calculations for component submittal to state.

#### 4. Walls:

- a. EXTERIOR WALLS: Pre-fabricated 8" thick wall panels. 8" wide panels with 2-2x8 studs @ 48" oc & 2x8 ladder members @ 24" oc vertical. All members to be southern pine no 1 grade. All lumber in contact with concrete shall be pressure treated. Each side of wall to receive 1 layer 5/8" type "X" drywall. Screw to studs @ 4" oc all edges & 8" oc field.

- b. UNIT DIVISION WALLS: Pre-fabricated 6" thick non-bearing wall panels. 8" wide panels with 2x4 studs @ 24" oc with blocking at mid height. All members to be southern pine no 1 grade. All lumber in contact with concrete shall be pressure treated.

- c. INTERIOR WALLS: 2 x 4 or 2x6 studs 16" o/c with 5/8" drywall each side.

### MOISTURE PROTECTION:

#### A. BLANKET INSULATION:

- All wall insulation shall be fiberglass batt or continuous blanket of thickness indicated, unfaced with 4 mil.

#### B. BLOW-IN INSULATION:

- Fiberglass blown-in insulation shall be used for attic insulation. Depth of fill to be as required for the R-value as listed on plans. Provide a 4 mil. polyethylene vapor barrier above ceiling line panel.

#### C. RIGID INSULATION:

- Polystyrene insulation, not less than 25 psi compressive strength for all vertical insulation and min. of 40 psi for all horizontal insulation. Full 2" rigid insulation board (R-10) to be provided under all heated concrete slab areas.

#### D. VAPOR BARRIER:

- Clear polyethylene sheeting, 4 mils thick.

#### E. SILL SEALER:

- 1" thick fiberglass sill sealer to be installed beneath all sole plates at exterior walls.

#### ROOFING:

- 28 GA. metal roof panels, on 2 x 4 purlins flat @ 24" o/c, on pre-engineered roof trusses @ 48" oc.

#### EXTERIOR SIDING:

- 28 GA. metal wall panels, on wall nailed to 2x8 ladder framing @ 24" oc in pre-fabricated wall panels.

#### EXTERIOR TRIMS:

- All corner, window, fascia, rake, soffit and accent trims to be steel or aluminum as indicated on plans. All trim to be pre-finished. Soffit panels to be perforated for ventilation. Color to be selected by Owner.

#### SHEET METAL WORK:

- Flashing & Drip Caps:

- Paint: galv. & Zinc coated sheet steel; Commercial quality carbon steel sheets with minimum 0.20% copper content (ASTM A 536); hot-dip galvanized (ASTM A 525, G90), 22 gage unless otherwise indicated.

#### CAULKING AND SEALANTS:

Scope of Work:

- Caulk side jams, sills and heads of all windows, side jams and heads of all exterior door wood frames, side jams and heads of all hollow metal frames, masonry expansion joints and joints where dissimilar materials meet and caulking is noted on the drawings and or required to seal building against weather. Provide all necessary metal flashings.

### FINISHES:

#### A. SUB-BASE MATERIALS:

- Gypsum Drywall:

- ASTM C 34, except ASTM C 442 permitted for base layers. Provide boards with log edges tapered for triple joints treatment.

#### B. PAINTING:

##### 1. INTERIOR FINISHES:

- A. All gypsum board to receive one (1) coat sand finish textured paint as base coat and one (1) finish coat.
- B. All drywall shall be painted with one color. Solid color latex paint to be approved by Owner. Color to be selected by Owner.

##### C. TOILET ROOM FLOORS:

- The entire floor and side walls to a height of not less than 4 inches shall be made waterproof with ceramic tile, terrazzo, epoxy painted concrete or other approved material impervious to water. 6" vinyl base to be installed on all walls and sealed at floor.

##### D. DOORS:

- Exterior Service Doors:

- Metal clad insulated door with window and metal jams. Provide Sashage locksets with dead bolt, weather stripping, threshold, and closure.

- Exit Doors:

- Metal clad insulated flush panel doors with metal jams. Provide Sashage locksets with dead bolt, weather stripping, threshold, and closure.

- Interior Doors:

- All interior doors to be hollow core metal clad doors and jams. Bath door to have privacy lock.

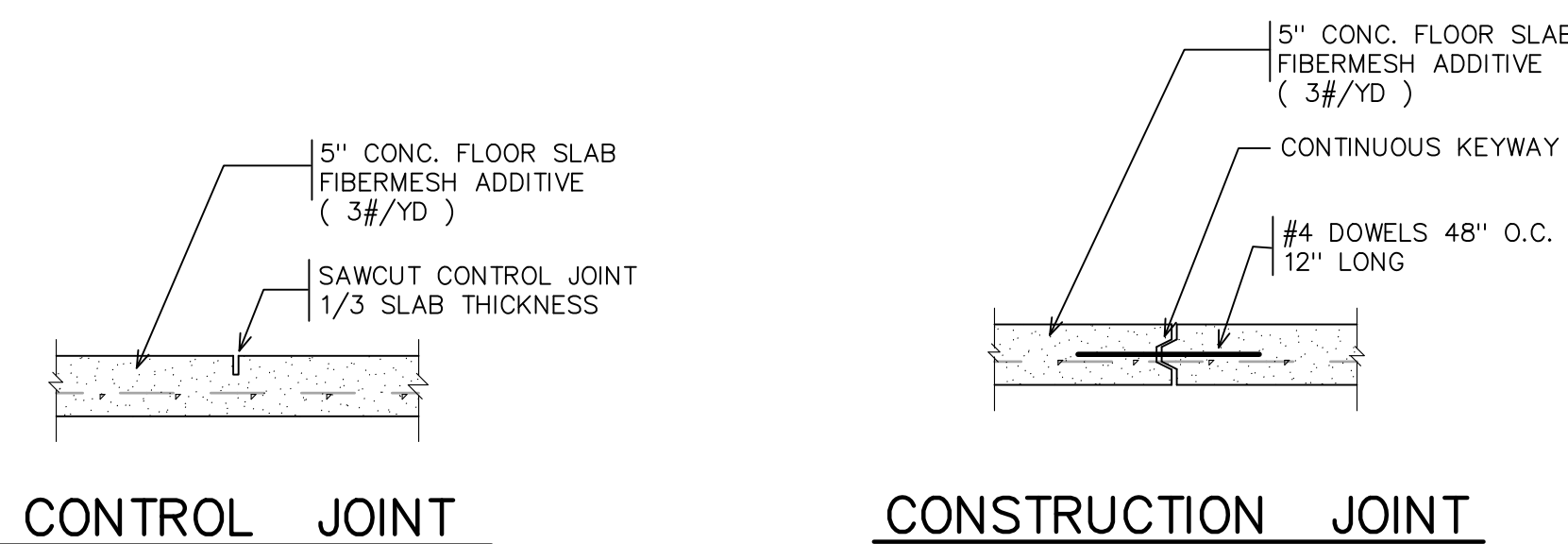
##### 4. EXTERIOR OVERHEAD DOORS:

- 16-18x4 steel insulated overhead doors. Doors to have full weatherstripping and electric operators. Doors to be insulated to a min. R-value of 11.50 (R-0.21).

NOTE: ALL EXTERIOR AND INTERIOR DOORS TO HAVE LEVER HANDELS/HANDLES.

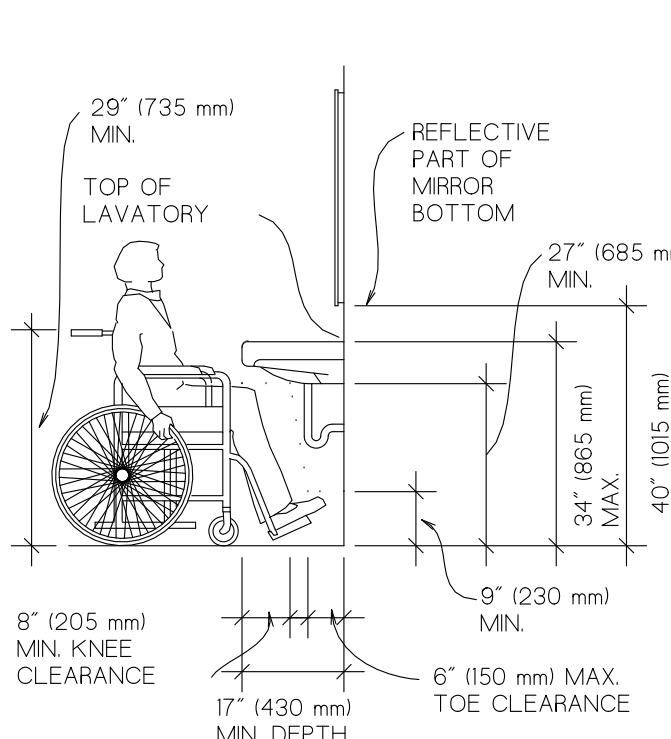
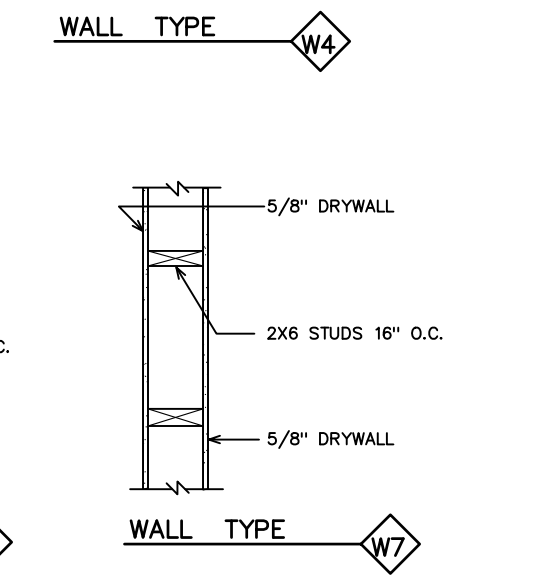
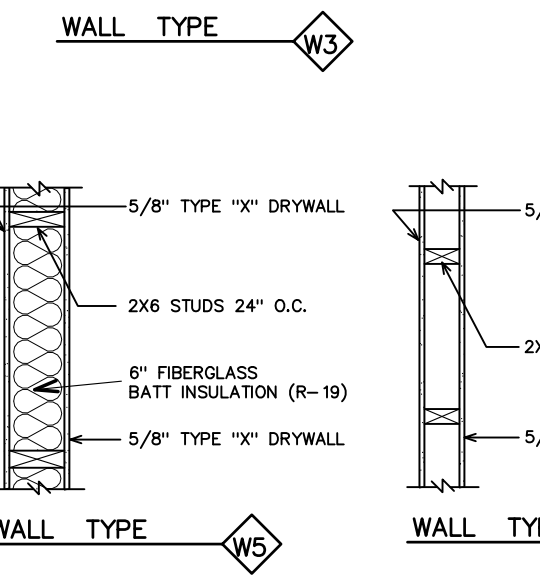
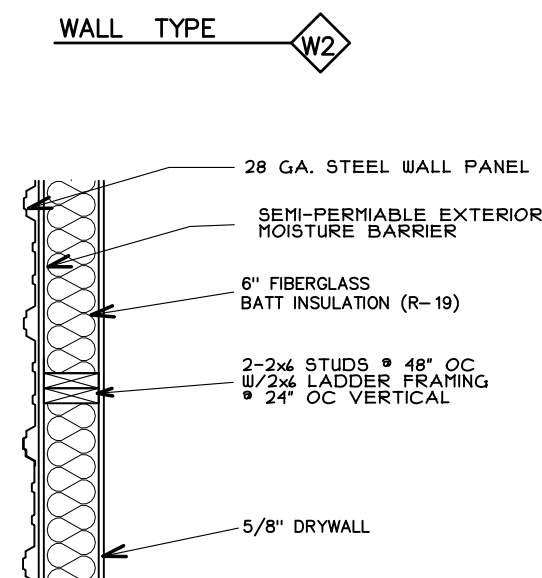
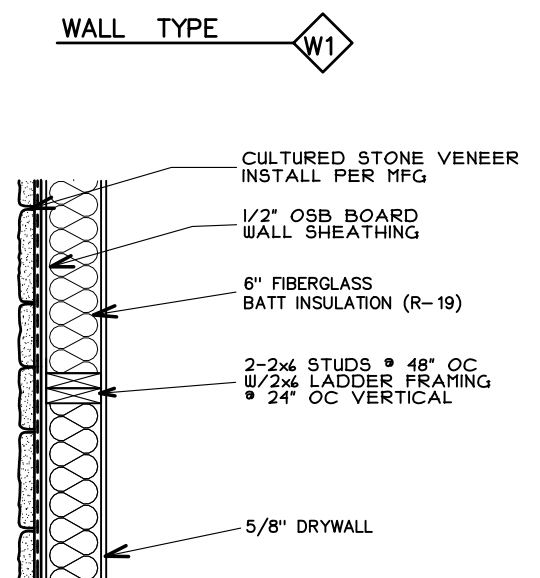
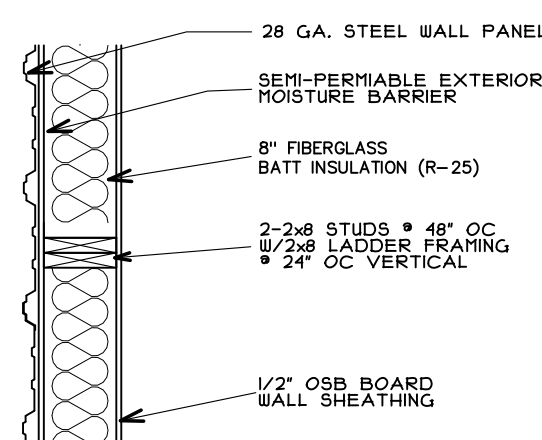
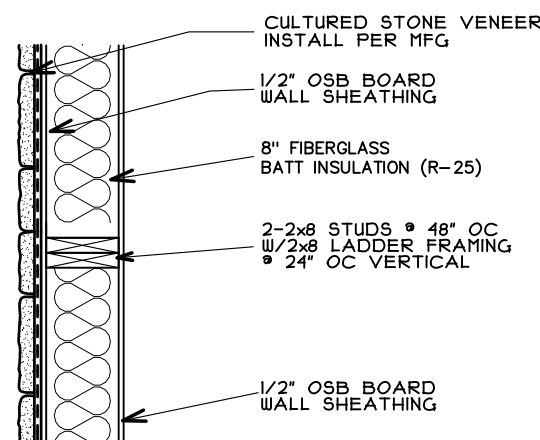
##### E WINDOWS:

- Metal clad insulated sliding windows with Low-E glass and metal jams. metal jams. Provide screens, weather stripping all windows,

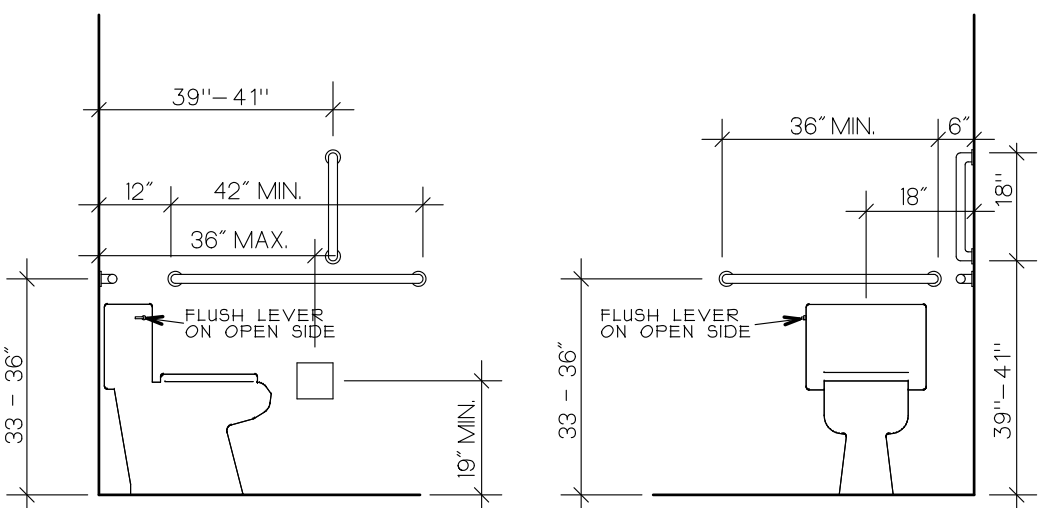


## WALL

## TYPES



## HANDICAP LAVATORY REQUIREMENTS

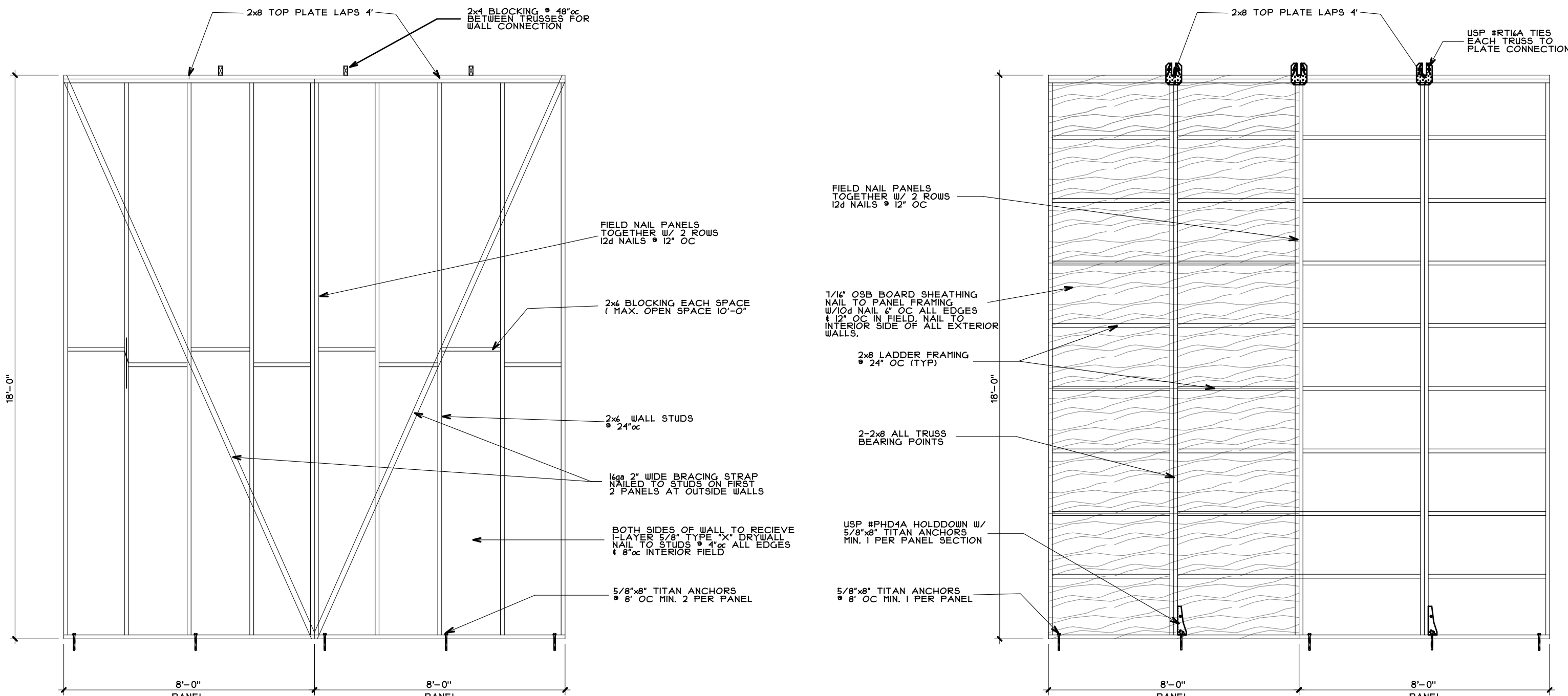


## WATER CLOSET HANDICAP GRAB BAR LOCATIONS

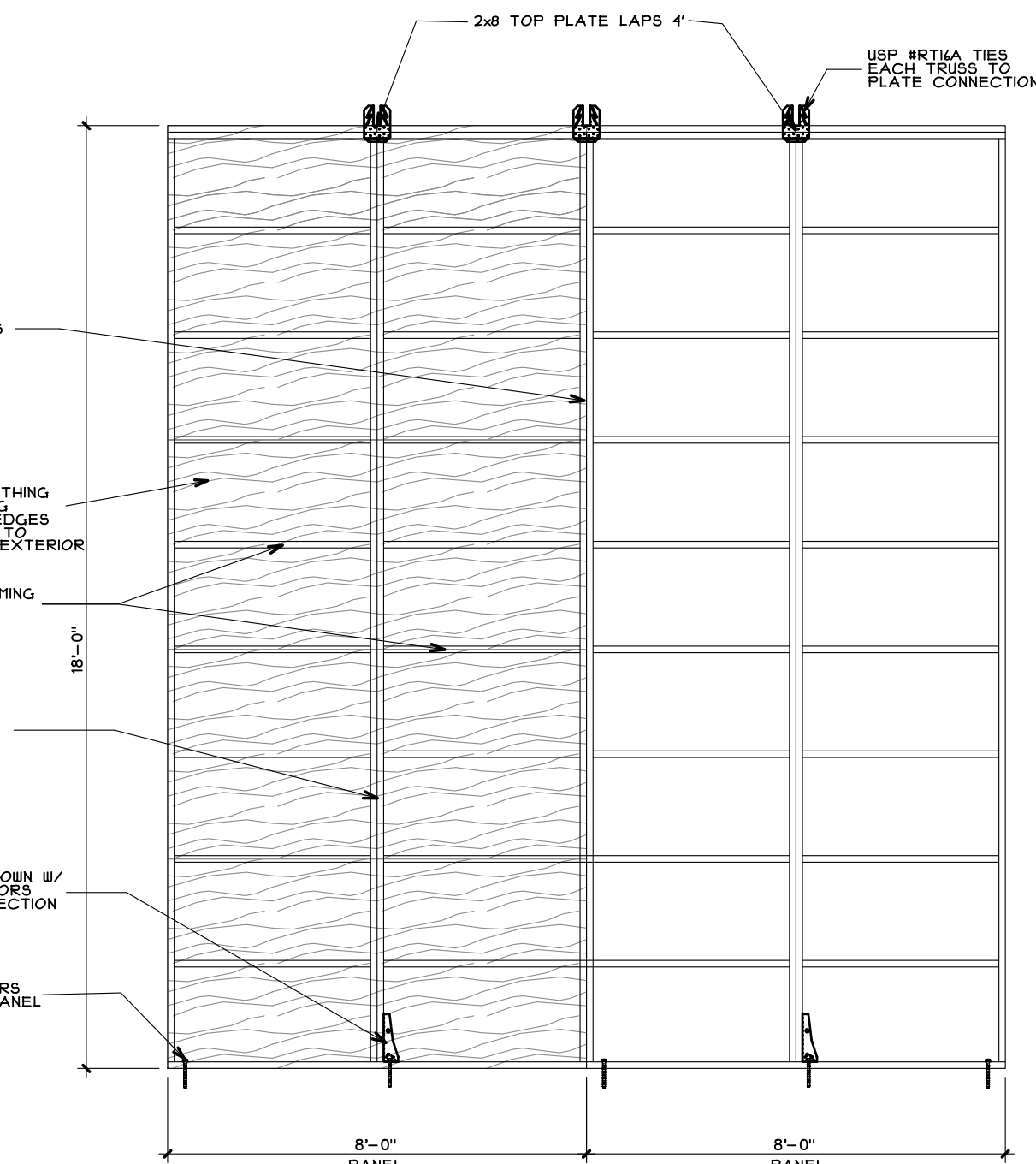
## SCREW FASTENER POSITIONS

### EAVES, RIDGE, BASE & ENDLAPS

### INTERMEDIATE SUPPORTS



## TYPICAL INTERIOR WALL PANEL DETAIL



## TYPICAL EXTERIOR WALL PANEL DETAIL

PROPOSED STORAGE BUILDINGS

BUILDING #19 & #20

I-43 STORAGE

HONEY CREEK ROAD  
VILLAGE of EAST TROY, WALLWORTH CO., WISCONSIN

GENERAL SPECIFICATIONS  
WALL TYPES, DETAILS

STAPLES ARCHITECTURAL SERVICES

BRIAN J. STAPLES - ARCHITECT

W7898 CREEK ROAD  
DELAWARE, WI. 53115

PHONE: (262)949-0522 E-MAIL: staplesarch@charter.net

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