



PLAN COMMISSION REPORT

Proposal: Site Plan Review –Parking lot expansion

Description: Review of site and related plans for a parking lot expansion.

Applicant(s): Stacy Krupp, Ad-Tech Medical Instrument Corp. and Daniel Roehrdanz, Inspec, Inc.

Address(es): 400 W. Oakview Parkway

Suggested Motion: That the Plan Commission approve the site and related plans for a parking lot expansion at Ad-Tech Medical Instrument Corp., and existing business located at 400 W. Oakview Pkwy, with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That this approval by Plan Commission shall expire within twelve (12) months after the date of approval if a building permit has not been issued.

Owner(s): Oakview 22, LLC

Tax Key(s): 955-1021-000

Lot Size(s): 4.971 ac

Current Zoning District(s): M-1, Manufacturing

Overlay District(s): PUD

Wetlands: ☐ Yes ☒ No Floodplain: ☐ Yes ☒ No

Comprehensive Plan: Business Park

Background: The Applicant is requesting approval of site and related plans for a proposed expansion of the north parking lot at the property located at 400 W. Oakview Pkwy. The original site plan, approved by the Plan Commission on August 11, 2015, identified areas designated for future parking expansion (see attached). In 2018, the Applicant proposed an expansion that would add 77 parking stalls along the northern edge of the lot, within the area previously identified for future parking. The Plan Commission approved that expansion at its September 11, 2018 meeting. However, of the 77 stalls approved in 2018, only 13 were constructed. As a result, the site currently contains a total of 108 parking spaces. The

Applicant now proposes to further expand the north parking lot by adding 17 additional parking stalls, which would introduce approximately 3,220 square feet of new impervious surface to the site.

District Specific Standards, Use Specific Standards, & Land Use: The proposed plans comply with the intent, standards, and requirements of the City's Zoning Ordinance, including the standards of the M-1 Manufacturing District, as well as the conditions and restrictions outlined in the Plan Unit Development (PUD) for the Oakview Business Park approved by the Common Council on May 7, 2013 (Ordinance 2676), covering setbacks, lot coverage, and building height. Furthermore, the proposed land use aligns with the City's Comprehensive Plan.

Parking: As previously noted, the site currently contains 108 parking spaces. The proposed expansion would add 17 additional stalls, bringing the total number of on-site parking spaces to 125. According to Section 17.0501(h)(4) of the City Code, the minimum number of required parking spaces for the existing uses within the building—17,700 square feet of manufacturing and 12,400 square feet of office—is 54 spaces.

Per Section 17.0501(h)(2), parking lots are not permitted to exceed the required number of spaces by more than 20%, unless approved by the Community Development Director or their designee. Such approval must be based on documented evidence of actual parking use and demand provided by the Applicant.

The Applicant has submitted operational data indicating that the business currently employs 175 individuals across two shifts. The first shift, running from 5:00 AM to 4:00 PM, includes 135 employees. The second shift, operating from 2:30 PM to 12:30 AM, currently includes 40 employees, with plans to increase that number to 60 as production expands. According to the Applicant, during the first shift, only 1–2 parking spaces are typically available. When contractors or visitors are present, the parking lot reaches full capacity.

Based on this documented operational demand, the Community Development Director has approved the proposed number of parking spaces as justified and appropriate for the site.

Lighting: The parking lot is currently illuminated by existing light poles. No additional lighting is proposed.

Engineering and Utility: The proposed increase in impervious surface area is less than 0.5 acres; therefore, stormwater management measures are not required at this time. Both the City Engineering and Utility Departments have reviewed the plans and have no concerns. The applicant will be required to comply with all applicable city regulations and permitting requirements.

Access: Access to the property is currently provided by S. Oakview Parkway. No changes in access to the site are proposed.

Signage: No new or additional signage is being proposed as part of this review. Any future signs must comply with the Municipal Code, and the owner or tenant will need to apply for the necessary permits before installing any additional signs on the property.

Environmental: The site contains wetlands located in the southeastern portion of the property; however, these wetlands will not be impacted by the proposed parking lot expansion. No other environmentally sensitive areas—such as floodplains or environmental corridors—are present on the site.

While the proposed expansion of the parking lot will result in a reduction of the site's green space, the overall amount of green space will remain well above the minimum 30 percent required by code.

Landscaping: The applicant has submitted a landscape plan indicating that one existing tree is currently located within the area proposed for parking lot expansion. This tree is proposed to be relocated slightly west onto a newly constructed landscape berm, which will be situated between the new parking spaces and the public right-of-way. The plan also includes a new landscape island within the expanded parking area, which will be planted with a shade tree and ground cover, as required by City Code. No trees are being removed from the site as part of this proposal.

Fire Department: The Fire Department indicated no concerns. The Applicant must comply with all regulations and requirements of the City of Oak Creek Fire Department.

Review/Options/Alternatives: The Plan Commission has the discretion to either approve the plans as presented, approve them with specified conditions, or disapprove the proposal. In reviewing the request, the Commission will evaluate it in light of the City's Zoning Ordinance and any other relevant information.

The Plan Commission may only approve or approve with conditions if it is satisfied that the proposed project complies with all applicable provisions of the City's Zoning Ordinance, as well as with all adopted plans and policy documents. Any approval with conditions must specify the necessary actions to bring the application into compliance with the City's Zoning Ordinance and its adopted plans and policy documents.

The Plan Commission has the authority to modify any of the site plan review criteria outlined in Sec. 17.0804(g)(3)(a-j) of the City's Zoning Ordinance. However, such modifications require a 3/4 majority vote of the Commissioners present at the meeting and must include supplemental design elements or improvements to compensate for any modifications to the specific standards.

If the request is not approved, the Plan Commissioners are required to provide the relevant Code Sections upon which the denial is based. This will allow the applicant to revise and resubmit the proposal accordingly.

Respectfully submitted & approved by:



Kristi Laine
Community Development Director

Prepared by:



Todd Roehl
Senior Planner

Attachments:

Location Map

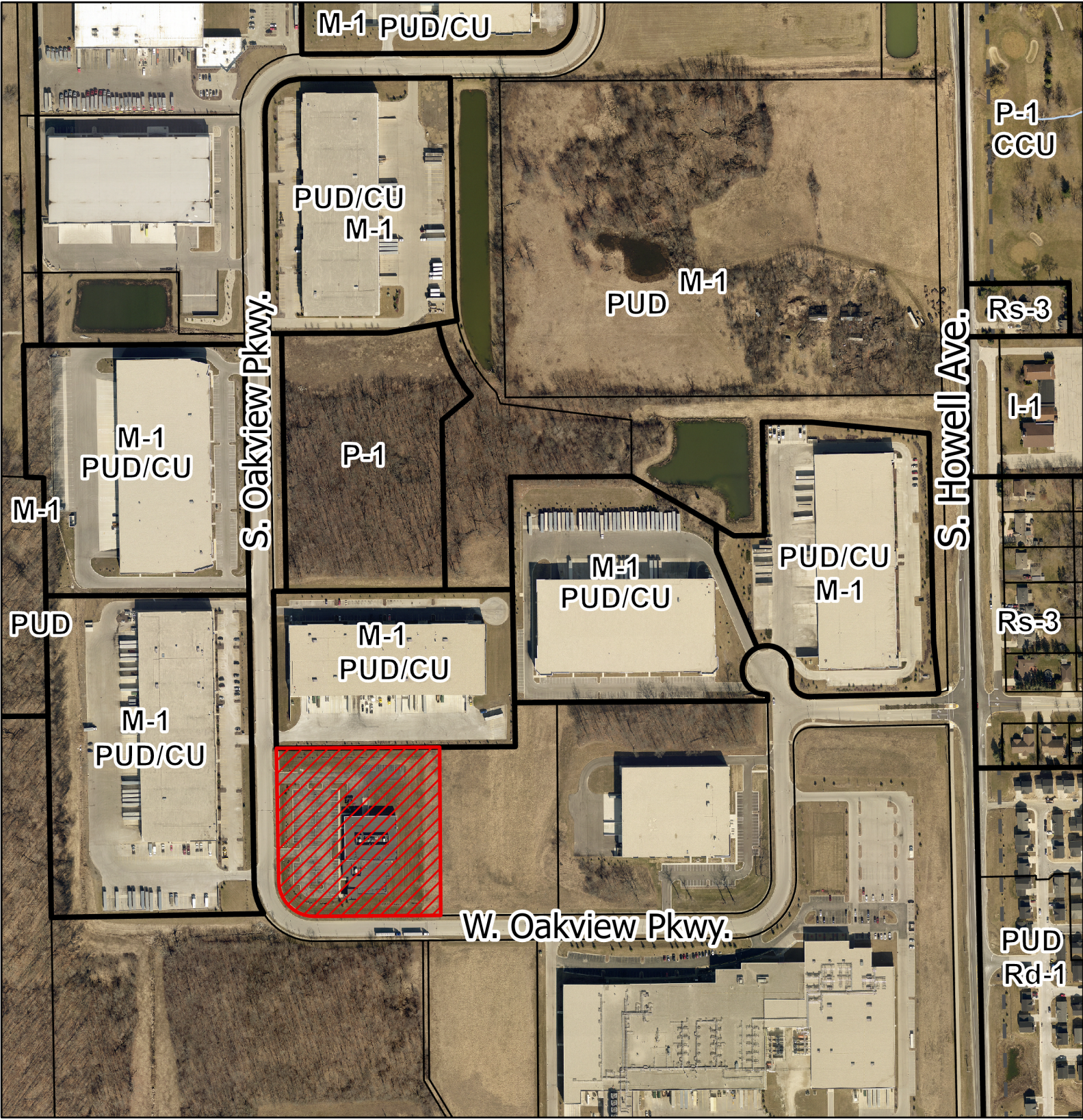
Narrative (3 pages)

Site Plan Approved 8/11/2018 (1 page)

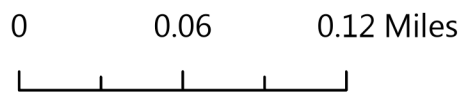
Civil & Landscape Plans (7 pages)

Location Map







400 W. Oakview Pkwy.



This map is not a survey of the actual boundary of the property this map depicts



Legend

-  Zoning
-  FloodFringe2024
-  Official Street Map
-  Floodway2024
-  Parcels
-  400 W. Oakview Pkwy.



Smart engineering of
roofs, walls, pavements
and waterproofing

June 25, 2025

Todd Roehl
Senior Planner – Community Development, City of Oak Creek

Re: **UPDATED** Plan Commission Submittal Narrative Letter for Ad-Tech Medical
Instrument Parking Lot Expansion

Dear Mr. Roehl:

This narrative letter has been updated to provide information regarding the need for additional parking spaces at the site. Here is the following additional information requested by the Oak Creek Community Development:

Currently Ad-Tech Medical Instrument (Ad-Tech) has 108 parking stalls. The drawings show the addition of 17 parking stalls that would bring the total up to 125 parking stalls.

Inspec has calculated the allowed parking stalls per City of Oak Creek Code:
Manufacturing square feet is 17,700 divided by 1,500 = 12 parking stalls
Office square feet is 12,400 divided by 300 = 42 parking stalls
Total = 54 plus 20% = 65 stalls allowed by code.

Per Ad-Tech, they need additional parking stalls beyond what code allows due to the number of employees at the site. The following information was provided by Stacy Krupp at Ad-Tech. We currently have 175 employees (2 shifts); first shift alone has 135 employees working between the hours of 5am and 4 pm, then we have a 2nd shift that starts at 2:30pm and works until 12:30am. We are continuing to grow our 2nd shift production, which would bring the 40 count up to 60. On an average day, we may have only 1-2 spots available during the daytime shift; and if we have contractors/visitors here then we are completely full. Please see attached floor plan drawing from Stacy with the number of employees working in each work space/manufacturing area.

We request approval to exceed the code allowed parking stall count.

Original Narrative letter dated May 28, 2025:

Inspec, on behalf of Ad-Tech Medical Instrument Corporation, is providing this plan commission submittal for Site and Building Plan Review for the parking lot expansion at Ad-Tech Medical Instrument, 400 West Oakview Parkway, Oak Creek, Wisconsin.

This project generally includes constructing 17 additional parking stalls along the north side of the existing parking lot. Required landscaping is provided with one landscape island contained in the expanded parking area. A berm is being constructed between the expanded parking area and the street to match the existing berm between the existing parking lot and the street. The increase in impervious area is less than 0.5 acres and therefore storm water management is not required.

126 North Jefferson St.
Suite 120
Milwaukee, WI 53202
Ph. 414-744-6962
Fax 414-744-6981

Chicago

Milwaukee

Minneapolis

www.inspec.com

Existing parking lot lighting remains in place. Existing light poles are located at each end of this additional row of parking. New lighting/poles are not part of this project.

With the increase in parking stall count, one additional ADA parking stall is required. This additional parking stall and access aisle will be striped adjacent to the four existing ADA parking stalls at the front door of the building. See drawing C3.

The project will be constructed as soon as plan commission approval is granted and all necessary permits are pulled by the contractor, Parking Lot Maintenance. The owner's intent is to construct this parking lot expansion in July 2025.

We request review and approval at the July 8, 2025, plan commission meeting.

If you have any questions or require additional information, please feel free to contact our office.

Very truly yours,

INSPEC

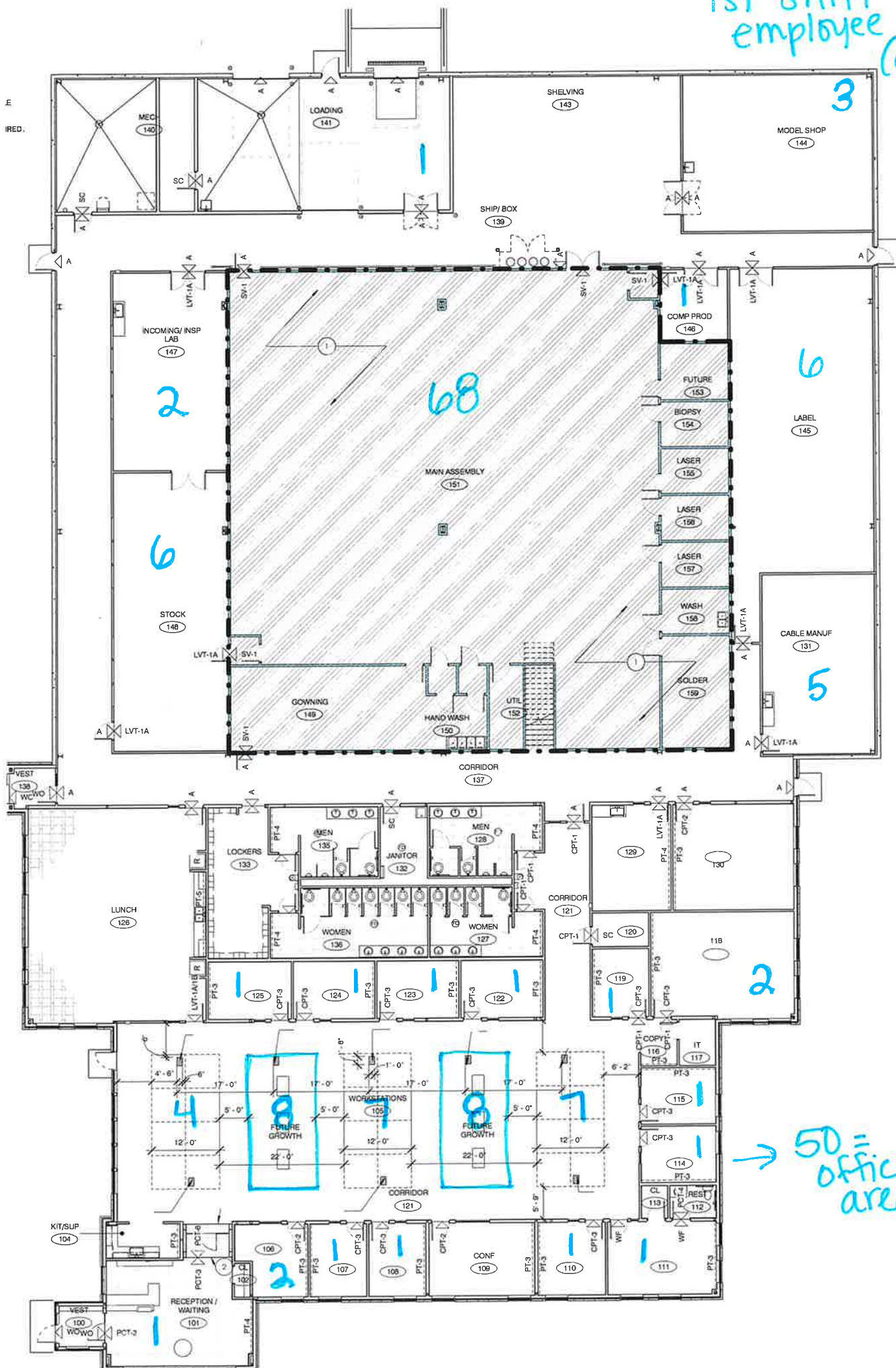
A handwritten signature in black ink, appearing to read "Dan Roehrdanz", with a long horizontal flourish extending to the right.

Dan Roehrdanz, P.E.
Associate

Cc Ms. Stacy Krupp – Ad-Tech Medical Instrument Corporation

Enc

1st shift employee count (approx.) = 135



50 = office area

Site Plan Approved 8/11/2018

SITE PLAN GENERAL NOTES:

A. NOTIFY DIGGER'S HOTLINE: WISCONSIN'S ONE-CALL CENTER (3) WORKING DAYS PRIOR TO THE START OF ANY WORK,
CALL 811 OR (800) 242-8511 OR WWW.DIGGERSHOTLINE.COM

B. EXISTING TOPOGRAPHIC INFORMATION OBTAINED FROM (SURVEY COMPANY) DATED MONTH, DAY YEAR.

C. EXISTING UTILITIES ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. HOWEVER, LOCATIONS MAY NOT BE ACCURATE OR COMPLETE. CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO INITIATING EXCAVATION. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES AS NECESSARY TO PROVIDE SERVICE TO THE SITE AND TO PERFORM WORK.

D. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND COORDINATES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.

E. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS AND PROCEDURES OF ANY AND ALL AUTHORITIES HAVING JURISDICTION.

KEYED SITE PLAN NOTES	
TAG #	DESCRIPTION
1	DUMPSTER ENCLOSURE
3	TRANSFORMER

FIRE TRUCK ACCESS	
PATH	DISTANCE

FIRE ACCESS A	
FIRE ACCESS A	65'-8"
FIRE ACCESS A	42'-7"
FIRE ACCESS A	92'-8"
FIRE ACCESS A	248'-5"
FIRE ACCESS A: 4	449'-4"

CITY OF OAK CREEK PLANNING COMMISSION INFORMATION

-OWNER: AD-TECH MEDICAL INSTRUMENTS / DAVID PUTZ
1901 WILLIAM ST. PAGNE (CURRENT ADDRESS)
262-634-1555

- SITE AREA: 216,543 SF.
- BUILDING FOOTPRINT: +/- 30,700 SF
- PARKING SQUARE FOOTAGE: +/- 36,675 SF
- OTHER PAVING SQUARE FOOTAGE (NON-PARKING): +/- 16,735 SF
- OPEN SPACE: +/- 163,133 SF
- PARKING:

-NUMBER OF SPACES: 100 +(4 HANDICAP)
-NUMBER OF EMPLOYEES PER SHIFTS: 60, 1ST SHIFT / 40, 2ND SHIFT

FUTURE *NOT INCLUDING PHASE 1

-FUTURE BUILDING FOOT PRINT (AS SHOWN): +/- 24,000 SF
-FUTURE PARKING (AS SHOWN): +/- 25,525 SF
-FUTURE OTHER PAVING (NON-PARKING): 0 SF
-FUTURE OPEN SPACE: +/- 135,206 SF



GROTH
DESIGN GROUP

N58 W6181 COLUMBIA RD.
P.O. BOX 332
CEDARBURG, WISCONSIN 53011

PH. (262) 377-8001
FX. (262) 377-8003



PROJECT

NEW FACILITY
FOR:

AD-TECH
MEDICAL

300 WEST OAKVIEW
PARKWAY
OAK CREEK, WI

ISSUE

NO.	REV. DATE	DESCRIPTION
-----	-----------	-------------

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFO

Date _____

07.14.2018

Project No.

14.077

Figure 8

SHEET TITLE

SITE PLAN

A2.0

© Groth Design Group, Inc.

PLAN COMMISSION SUBMITTAL

PARKING LOT EXPANSION

AD-TECH MEDICAL INSTRUMENT CORPORATION

400 WEST OAKVIEW PARKWAY

OAK CREEK, WISCONSIN 53154

PARTICIPANTS

OWNER:

AD-TECH MEDICAL INSTRUMENT CORPORATION
400 WEST OAKVIEW PARKWAY
OAK CREEK, WISCONSIN 53154



CIVIL ENGINEER:

INSPEC, INC.
ENGINEERS/ARCHITECTS
126 NORTH JEFFERSON STREET
SUITE 120
MILWAUKEE, WISCONSIN 53202

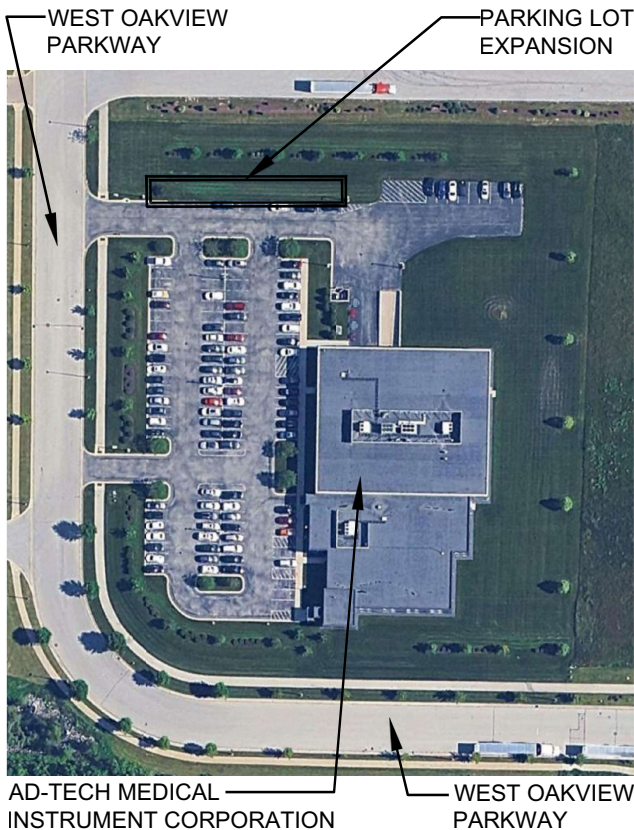
PROJECT ENGINEER
DAN ROEHRDANZ, P.E.
droehrdanz@inspec.com
(414)-397-8738

LEGEND:

	EXISTING CONSTRUCTION
	NEW CONSTRUCTION
	PROPERTY LINE
	EXISTING DRAINAGE SWALE IN GRASS
	NEW DRAINAGE SWALE IN GRASS
	PAVEMENT STRIPING
	EXISTING BUILDING
	GRADING AND RESTORATION LIMITS
	EXISTING CONTOUR
	NEW CONTOUR
	NEW SPOT ELEVATION - TOP OF NEW PAVEMENT OR FINISHED GRADE
	EXISTING SPOT ELEVATION
	EXISTING STORM SEWER
	NEW STORM SEWER
	NEW DRAINTILE LINE
	EXISTING ELECTRIC LINE OR CONDUIT
	EXISTING SANITARY SEWER
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING FIBER OPTIC LINE
	EXISTING WATER LINE
	EXISTING CABLE TV LINE
	SIGN
	EXISTING LIGHT POLE
	EXISTING DECIDUOUS TREE
	EXISTING EVERGREEN TREE

GENERAL PROJECT NOTES

- VERIFY MEASUREMENTS AND CONDITIONS ON THE PROJECT.
- REVIEW SPECIFICATIONS FOR INSTRUCTIONS NOT SHOWN ON DRAWINGS.
- EXISTING AND NEW MATERIALS COMMON TO SEVERAL DETAILS MAY BE NOTED ON ONLY ONE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SAFE WORKING CONDITIONS ON AREAS FOR EMPLOYEES AND OTHER PERSONS AT THE SITE.
- CONTRACTOR TO PROVIDE EMERGENCY VEHICLE ACCESS AT ALL TIMES.
- PROVIDE TYPE III BARRICADES OR ORANGE BARRELS TO COMPLETELY BLOCK EACH PAVEMENT DRIVE AND CONCRETE SIDEWALK AT THE CONSTRUCTION LIMITS. BARRICADES SHALL BE FREE STANDING AND NOT DAMAGE EXISTING PAVEMENT AND CONCRETE. BARRICADES ARE NOT REQUIRED AT GRASS AND LANDSCAPE AREAS.
- CONTRACTOR TO PERFORM CONSTRUCTION STAKING. AUTOCAD AND PDF DRAWING FILES WILL BE PROVIDED. CONTRACTOR SHALL SET NEW CONTROL POINTS AND BENCHMARKS FOR CONSTRUCTION.
- AFTER THE EXISTING SOILS HAVE BEEN REMOVED, THE CONTRACTOR SHALL SCHEDULE A PROOFROLL OF THE PREPARED SUBGRADE WITH THE ENGINEER. ANY AREAS SHALL BE CORRECTED BEFORE INSTALLING NEW BASE AGGREGATE.



LOCATION PLAN



LIST OF DRAWINGS

- | | |
|-----|--|
| C1 | TITLE SHEET, LIST OF DRAWINGS, SUMMARY OF WORK, GENERAL PROJECT INFORMATION, AND DETAILS |
| C2 | PLAT OF SURVEY |
| C3 | NEW CONDITIONS - SITE PLAN |
| C4 | NEW CONDITIONS - GRADING PLAN |
| C5 | NEW CONDITIONS - LANDSCAPE PLAN |
| C6 | EROSION CONTROL PLAN |
| C50 | DETAILS |

SUMMARY OF WORK

- ALL WORK SHOWN.

Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
PLAN COMMISSION		
SUBMISSION	05/28/2025	

Client:

AD-TECH MEDICAL
INSTRUMENT
CORPORATION

Project title:

PARKING LOT EXPANSION

400 WEST OAKVIEW PARKWAY
OAK CREEK, WISCONSIN 53154

Sheet content:

TITLE SHEET, LIST OF DRAWINGS,
SUMARY OF WORK, AND
GENERAL PROJECT INFORMATION

DATE: 05/28/2025
CLIENT PROJECT No.:
INSPEC PROJECT No.: 301919
PROJECT MGR: DR
DRAWN BY: TR
CHECKED BY: DR

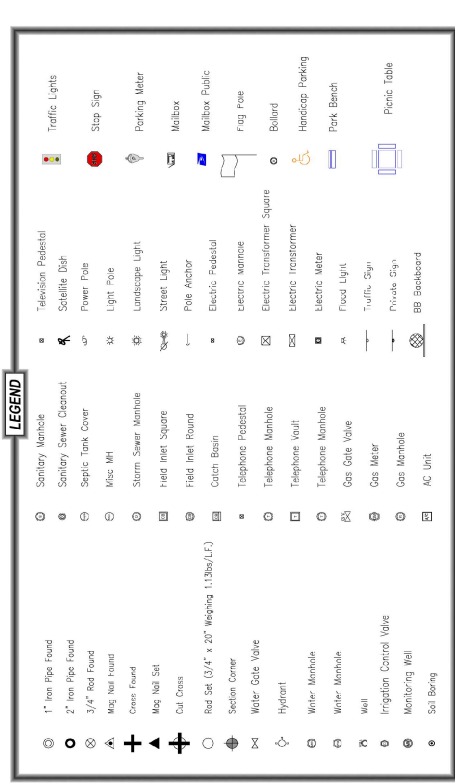
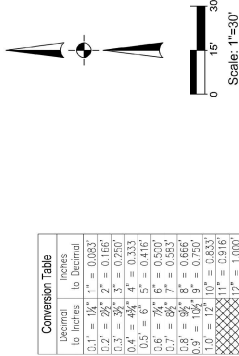
Sheet No.:

C1

PROPERTY DESCRIPTION: (Surveyed Acre)
Lot 3, Certified Survey Map No.: 8702, being a part of the Northeast ¼, Southeast ¼, Southwest ¼, and Northwest ¼ of the Northeast ¼, AND the Northeast ¼ and Northwest ¼ of the Southeast ¼, Section 32, Township 5 North, Range 27 East, located in the City of Oak Creek, Milwaukee County, Wisconsin.

TITLE POLICY: Being provided with or without a Title Policy does not make this Property Survey an ALTA/NSPS Survey, therefore, without performing an ALTA/NSPS Survey this PROPERTY SURVEY does not guarantee the existence, size and location of any easements, encumbrances, restrictions or other facts that could otherwise be disclosed by an ALTA/NSPS Survey.

LEGAL NOTICE: UNAUTHORIZED REVISIONS, MODIFICATIONS, ALTERATIONS, AND MAKING CHANGES OF ANY KIND AND THEN USE AND OR DISTRIBUTE THIS MAP, MEAD & HUNT'S NAME, OR THE SURVEYOR'S NAME NAMED ON THIS MAP WITHOUT CONSENT MAY BE A FEDERAL OFFENSE IN VIOLATION OF COPYRIGHT AND OR PLAGIARISM LAWS WHICH MAY RESULT IN LEGAL ACTION.



**Mead
& Hunt**
6737 W. Washington Street
Suite 3500, Milwaukee, WI 53214
(414) 755-1110
www.meadhunt.com

CLIENT:
Inspec Inc.
176 N. Jefferson Street Suite 120
Milwaukee, WI 53202

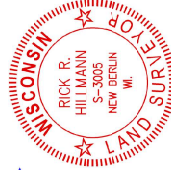
SURVEY DATA:
Tax Key No.: 9551021000
Address: 400 W. Oakview Parkway
District No.: 4660000 251000 01

(M) – Measured Data (Field Measured)
(R) – Recorded Data (Recorded Data)
(P) – Plotted Data (Plotted Data)
(C) – Computed Data (Computed Data)
(CSM) – CSM Data (Certified Survey Map)
(D.C.T.) – D.C.T. Data (Department of Transportation)

Statistical Potential Examinations. At the time this survey was performed the survey sample itself, inspected for potential problems, was not large enough to permit the use of statistical tests. However, the following potential problems were examined:

PLEASE CALL WITH ANY CONCERNS REGARDING THIS STATEMENT.

LEGAL NOTICE: UNAUTHORIZED REVISIONS, MODIFICATIONS, ALTERATIONS, AND OR MAKING CHANGES OF ANY KIND AND THEN USE AND OR DISTRIBUTE THIS MAP, MEAD & HUNT'S NAME, OR THE SURVEYOR'S NAME **HAZEL** ON THIS MAP WITHOUT CONSENT MAY BE A FEDERAL OFFENSE IN VIOLATION OF COPYRIGHT AND OR PLAGIARISM LAWS WHICH MAY RESULT IN LEGAL ACTION.



I HEREBY CERTIFY THAT I HAVE SEARCHED THE ABOVE-DESCRIBED PROPERTY AND IN MY PROFESSIONAL OPINION THIS MAP IS A TRUE REPRESENTATION THEREOF AND IS MADE IN ACCORDANCE WITH THE RECORDS OF THE REGISTER OF DEEDS AS KEPT AT ITS OFFICE. THIS ENTRY COMPLETES ALL NECESSARY ADMINISTRATIVE CODE AE-7 EXCEPT FOR THOSE ITEMS WAIVED, IF ANY, AND IS BOUND BY MISSOURI STATE STATUTE 603.57 THAT DEEMES STATUTE OF LIMITATIONS IN

Richard M. Williams S-3005

Mon Noted: May 6 2025

K:\466819025148101\TECHSUP\REV\DWG N PDF\SI400 OAKNEW.DWG

Issues and revisions:

Client:

Project title:

Sheet content:

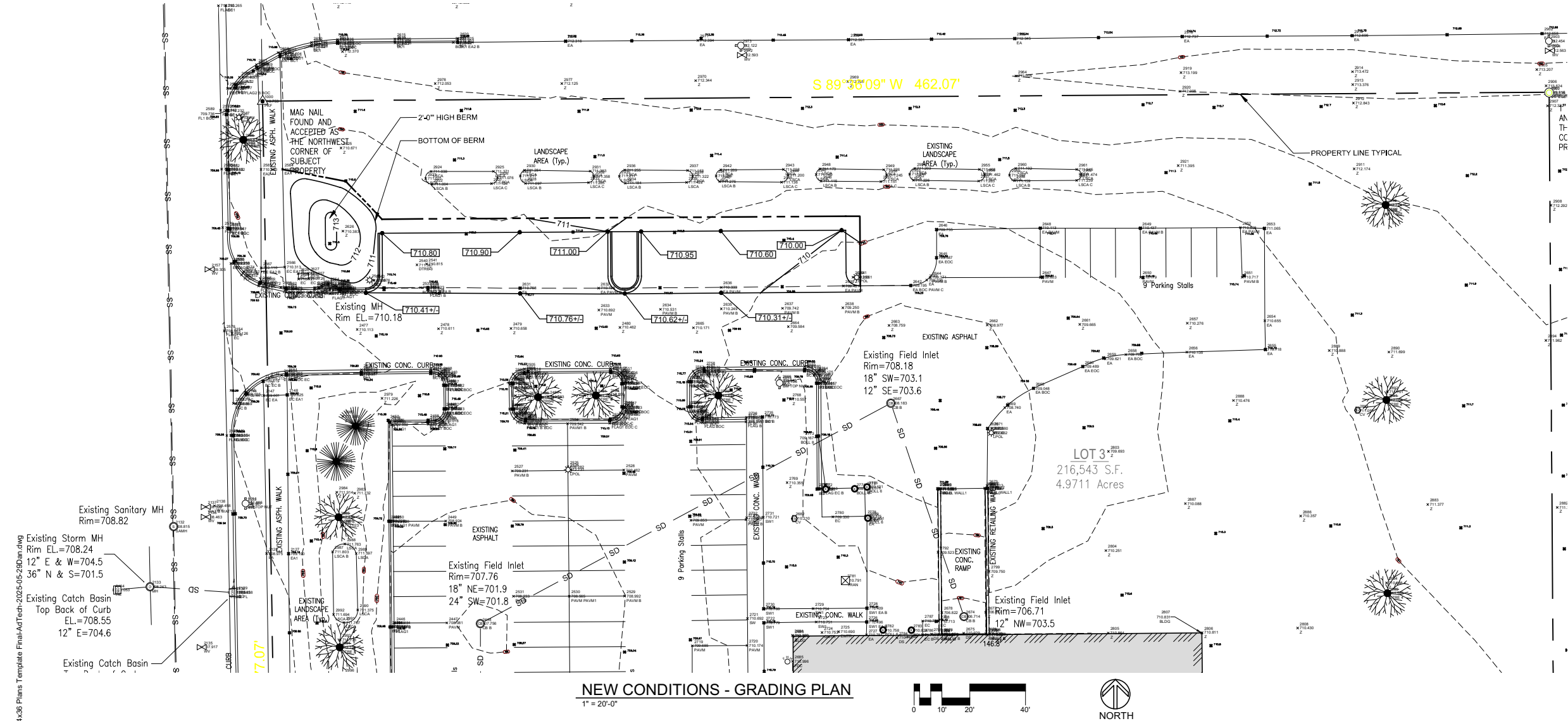
Sheet No.:

SURVEY NOTES:

EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY MEAD & HUNT, 6737 WEST WASHINGTON STREET, SUITE 3500, MILWAUKEE, WISCONSIN 53214. PHONE 414-755-1110.

NORTH

C:\Users\DanRoehrdanz\inspec - IL\WPPROJECTS\ad-tech Medical Instrument Corp\301919_Parking Lot Expansion\2-Design\CAD Files\24x36 Plans Template Final\AdTech-2025-05-29\Dan.dwg
5/28/2025 1:44 PM DAN ROEHRDANZ



Consultants:

Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
PLAN COMMISSION SUBMISSION	05/28/2025	

Client:

**AD-TECH MEDICAL
INSTRUMENT
CORPORATION**

Project title:

**PARKING LOT
EXPANSION**

400 WEST OAKVIEW PARKWAY
OAK CREEK, WISCONSIN 53154

Sheet content:

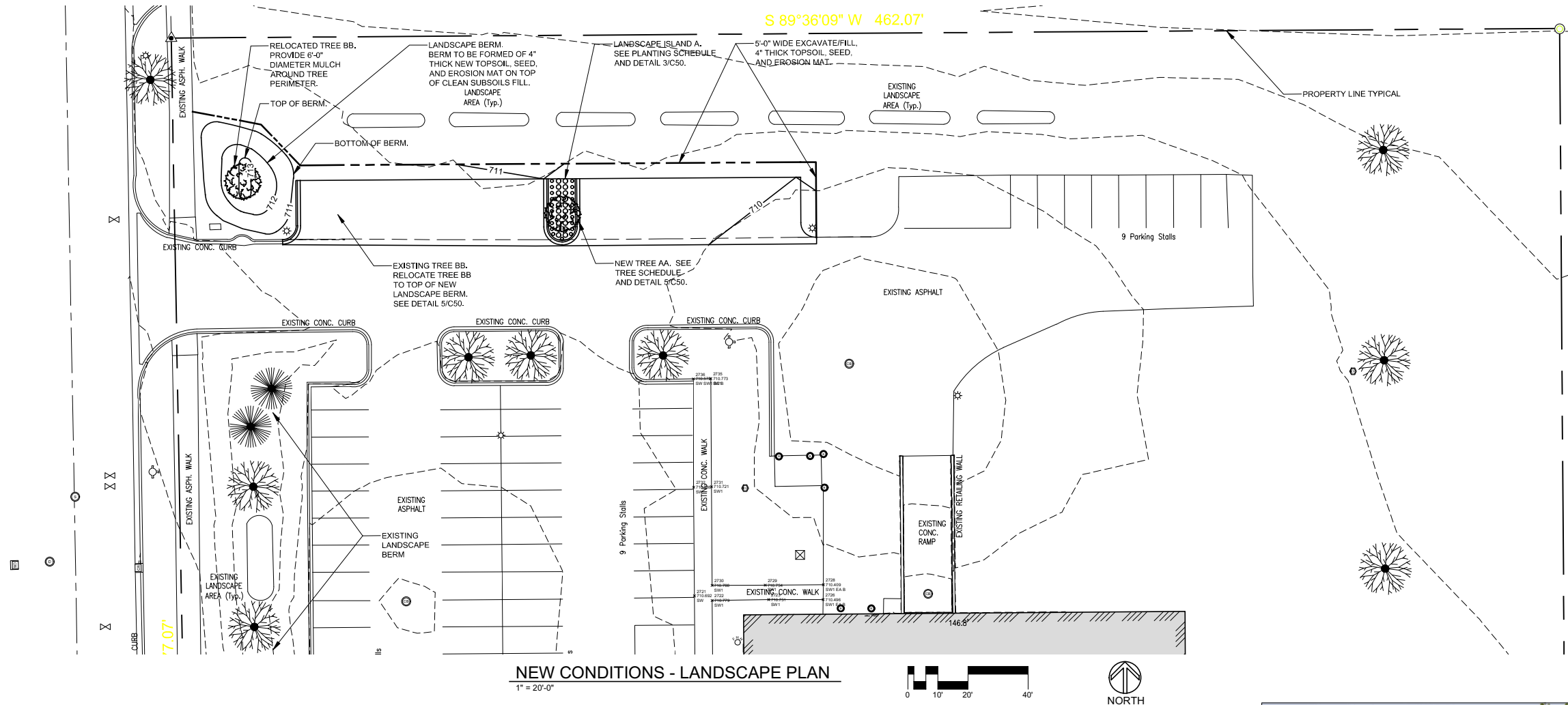
NEW CONDITIONS - GRADING PLAN

DATE: 05/28/2025
CLIENT PROJECT NO.:
INSPEC PROJECT NO.: 301919
PROJECT MGR: DR
DRAWN BY: TR
CHECKED BY: DR

Sheet No.:

C4

Consultants



LANDSCAPING NOTES:

1. LANDSCAPE ISLAND SHALL HAVE 3" THICK MIN., SHREDDED WOOD/BARK MULCH OVER 36" NEW TOPSOIL.
2. SEE SECTION VIEW OF LANDSCAPE ISLANDS 5/C50 FOR NEW TREE PLANTING DETAIL.
3. GRASS RESTORATION AREAS SHALL BE 4" NEW TOPSOIL, SEED, AND EROSION MAT.

NEW AND EXISTING TREE SCHEDULE

NEW TREE AA	3" CALIPER (MIN.) IMPERIAL HONEY LOCUST TREE
EXISTING TREE BB	RELOCATE TO TOP OF NEW LANDSCAPE BERM. PROVIDE 6'-0" DIAMETER MULCH AROUND TREE.

NEW PLANTING SCHEDULE

- BLUE SEDGE (CAREX FLACCA), 12"-18" SIZE, 20 TOTAL, TYPICAL
- WHITE CREEPING PHLOX (PHLOX SUBULATA) (HAS WHITE FLOWERS), 10"-12" SIZE, 21 TOTAL, TYPICAL



EXISTING TREE BB TO BE TRANSPLANTED TO TOP OF NEW BERM

NOTES:

- 1) CONTRACTOR TO PERFORM CONSTRUCTION STAKING. AUTOCAD AND PDF FILES WILL BE PROVIDED TO CONTRACTOR.
- 2) ALL DIMENSIONS ARE BACK OF CURB OR EDGE OF PAVEMENT.
- 3) NEW SPOT ELEVATIONS ARE TOP OF NEW PAVEMENT OR TOP OF NEW SIDEWALK.
- 4) ADJUST ELEVATIONS OF ALL WATER VALVE ACCESS COVERS, MANHOLES, AND INLETS TO BE FLUSH WITH NEW PAVEMENT ELEVATIONS.

SURVEY NOTES:

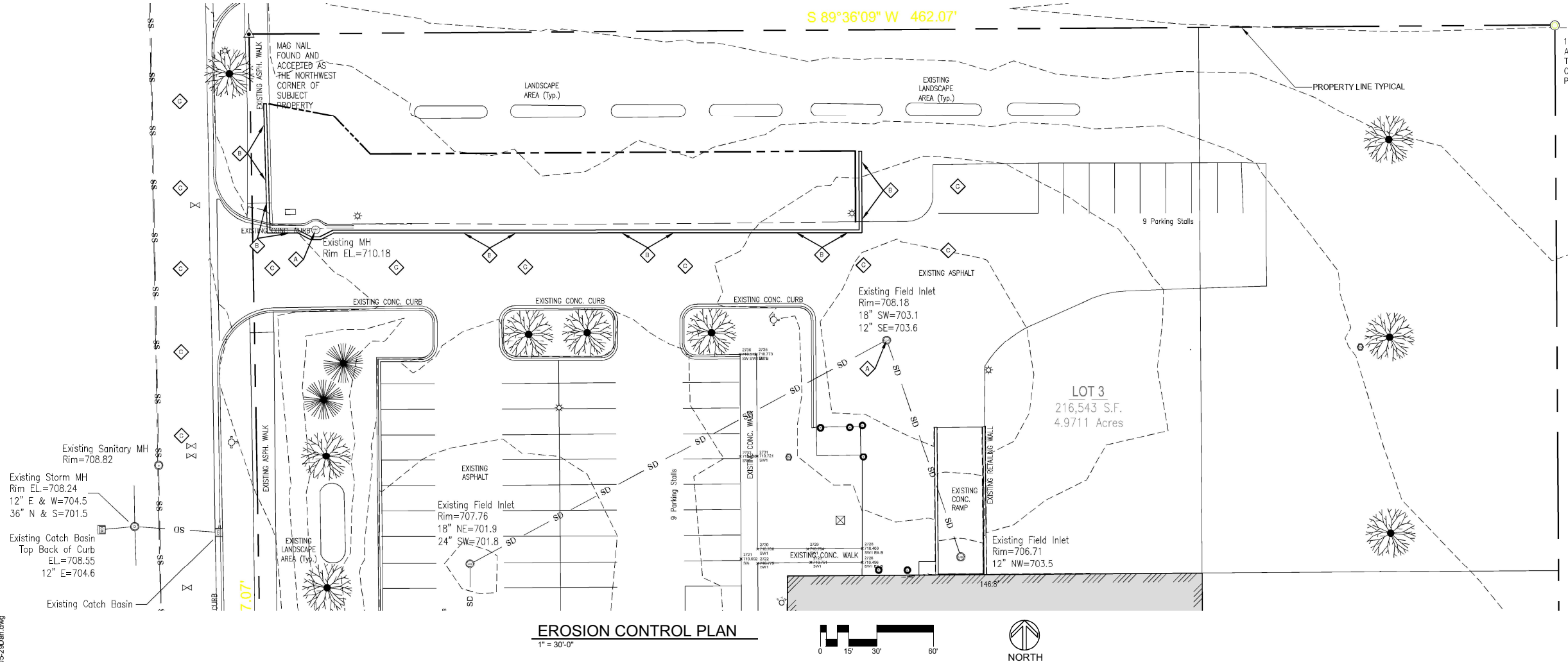
EXISTING CONDITIONS BASE SURVEY AND SPOT
ELEVATIONS PROVIDED BY MEAD & HUNT, 6737 WEST
WASHINGTON STREET, SUITE 3500, MILWAUKEE,
WISCONSIN 53214. PHONE 414-755-1110.

DATE: 05/28/2025
CLIENT PROJECT No.:
INSPEC PROJECT No.: 301919
PROJECT MGR: DR
DRAWN BY: TR
CHECKED BY: DR

Sheet No.:

C5

C:\Users\DanRohrdanz\insp\spec - IL\WPROJECTS\Ad-Tech Medical Instrument Corp\301919_Parking Lot Expansion\2-Design\CAD Files\24x36 Plans Template Final\AdTech-2025-05-29\24x36.dwg
5/28/2025 1:44 PM DAN ROHRDANZ



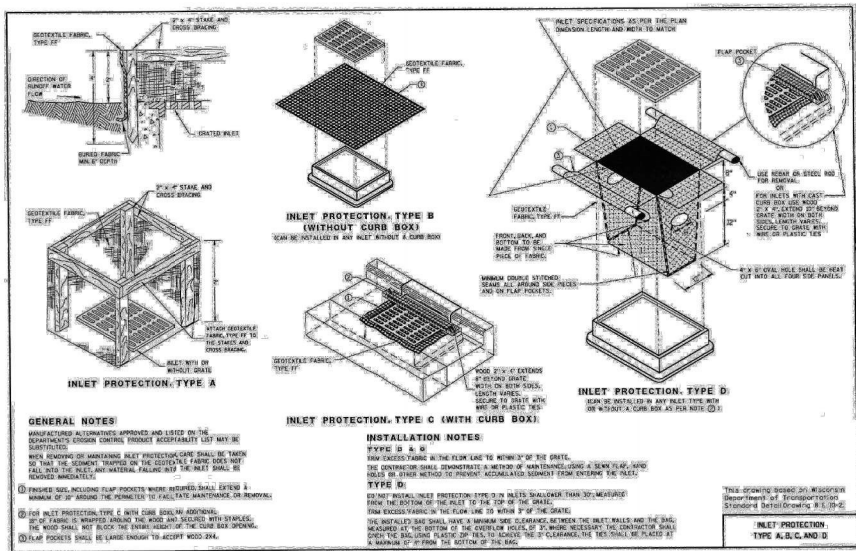
EROSION CONTROL NOTES:

BASE BID:

APPROXIMATE CONSTRUCTION SEQUENCE AND SCHEDULE (SEE PROJECT MANUAL FOR EXACT DATES):

INSTALL EROSION CONTROL DEVICES JULY 2025
REMOVALS - JULY 2025
BASE AGGREGATE AND GRADING - JULY 2025
CONCRETE WORK - JULY 2025
ASPHALT PAVING - JULY 2025
LANDSCAPING AND RESTORATION - JULY/AUGUST 2025
REMOVAL OF EROSION CONTROL DEVICES - AUGUST 2025

- INSTALL SEDIMENT BAG/FILTER INLET PROTECTION PER DETAIL 1/C6 AND PER SPECIFICATIONS.
- INSTALL SILT SOCK/SILT LOGS ACROSS PAVED AREAS. HOLD IN PLACE WITH SAND BAGS OR OTHER MEANS. SILT SOCK/SILT LOG SHALL BE 12" DIAMETER AND COMPOSED OF 100% AGRICULTURAL STRAW FIBER, WRAPPED IN UV STABILIZED SYNTHETIC TUBULAR NETTING. SEE DETAIL 2/C6.
- IMMEDIATELY REMOVE ANY SEDIMENT AND/OR OTHER MATERIALS TRACKED ONTO ADJACENT PARKING LOT AND/OR STREET VIA STREET CLEANING OTHER THAN FLUSHING



1 INLET PROTECTION DETAIL
C6 NO SCALE

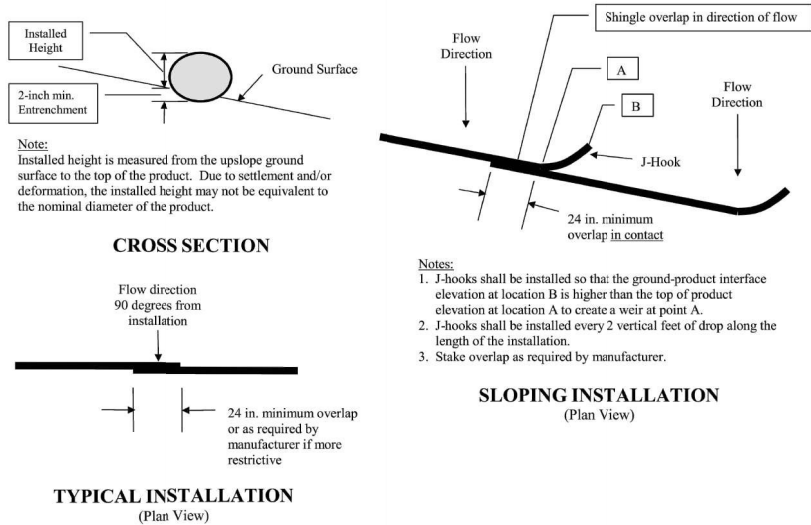


FIGURE 1
LOG-TYPE PRODUCT INSTALLATION ILLUSTRATION

2 SILT LOG DETAIL
C6 NO SCALE

CAUTION:
LOCATIONS OF UTILITIES ARE APPROXIMATE ONLY. CONTACT DIGGERS HOTLINE AT 1-800-242-8511 AND MARK PRIVATE UTILITIES PRIOR TO DIGGING. KNOWN PUBLIC AND PRIVATE UTILITIES ARE SHOWN ON THE DRAWINGS. CONTRACTOR TO HIRE PRIVATE UTILITY LOCATING FIRM TO MARK LOCATIONS OF PRIVATE UTILITIES (INCLUDING BUT NOT LIMITED TO PRIVATE ELECTRIC, COMMUNICATIONS, STORM SEWER, WATER, SANITARY SEWER, ETC.). ALL DAMAGED UTILITY LINES WILL BE REPAIRED AND PAID FOR BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND CONFLICT RESOLUTION WITH UTILITY OWNER.

NOTES:

- CONTRACTOR TO PERFORM CONSTRUCTION STAKING. AUTOCAD AND PDF FILES WILL BE PROVIDED TO CONTRACTOR.
- ALL DIMENSIONS ARE BACK OF CURB OR EDGE OF PAVEMENT.
- NEW SPOT ELEVATIONS ARE TOP OF NEW PAVEMENT OR TOP OF NEW SIDEWALK.
- ADJUST ELEVATIONS OF ALL WATER VALVE ACCESS COVERS, MANHOLES, AND INLETS TO BE FLUSH WITH NEW PAVEMENT ELEVATIONS.

SURVEY NOTES:

EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY MEAD & HUNT, 6737 WEST WASHINGTON STREET, SUITE 3500, MILWAUKEE, WISCONSIN 53214. PHONE 414-755-1110.



126 North Jefferson Street
Suite 120
Milwaukee, WI 53202
Ph. 414-744-6962

© 2025

MINNEAPOLIS | MILWAUKEE | CHICAGO

Consultants:

Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
PLAN COMMISSION		
SUBMISSION	05/28/2025	

Client:

AD-TECH MEDICAL
INSTRUMENT
CORPORATION

Project title:

PARKING LOT
EXPANSION

400 WEST OAKVIEW PARKWAY
OAK CREEK, WISCONSIN 53154

Sheet content:

EROSION CONTROL PLAN

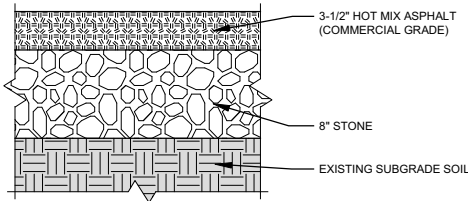
DATE: 05/28/2025
CLIENT PROJECT NO.:
INSPEC PROJECT NO.: 301919
PROJECT MGR: DR
DRAWN BY: TR
CHECKED BY: DR

Sheet No.:

C6

NOTES:

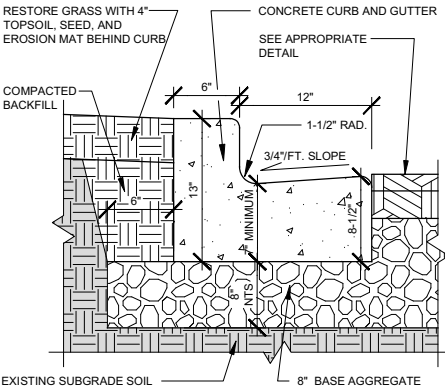
1. REMOVE ALL LANDSCAPING AND SUBSOILS AS NECESSARY TO INSTALL NEW ASPHALT PAVEMENT. DISPOSE OF EXCESS MATERIALS OFF SITE.
2. SAWCUT EXISTING PAVEMENT AT PROJECT LIMITS.



1 3-1/2" CONSTRUCTION DETAIL
C50 NO SCALE

NOTES:

1. 3/4" PREFORMED BITUMINOUS JOINT WITH TWO (2) NUMBER 6 EPOXY COATED SMOOTH DOWEL BARS (3/4" DIA. X 18") WITH GREASE CAPS SHALL BE PLACED EVERY 150', 10' EITHER SIDE OF DRAINAGE STRUCTURES, P.C.'S, RADIUS POINTS AND BACK OF CUL-DE-SACS. WHEN EXPANSION JOINTS ARE CONSTRUCTED ADJACENT TO EXISTING CURB & GUTTER THE EXISTING CURB SHALL BE DRILLED AND TWO (2) NUMBER 6 EPOXY COATED SMOOTH DOWEL BARS (3/4" X 18") GROUTED IN PLACE. GREASE CAPS SHALL BE PLACED ON THE SIDE OF THE NEW CURB AND GUTTER SHALL HAVE A PINCHED STOP THAT WILL PROVIDE A MINIMUM 1" EXPANSION.
2. TOOLED CONTROL JOINTS OR SAW CUTS SHALL BE MADE EVERY 10'.
3. SAWCUTS SHALL BE MADE WITHIN TWENTY-FOUR (24) HOURS OF CONCRETE PLACEMENT.
4. PROVIDE HIGH SIDE CURB AND GUTTER WHERE CURB IS ON HIGH SIDE OF ASPHALT.

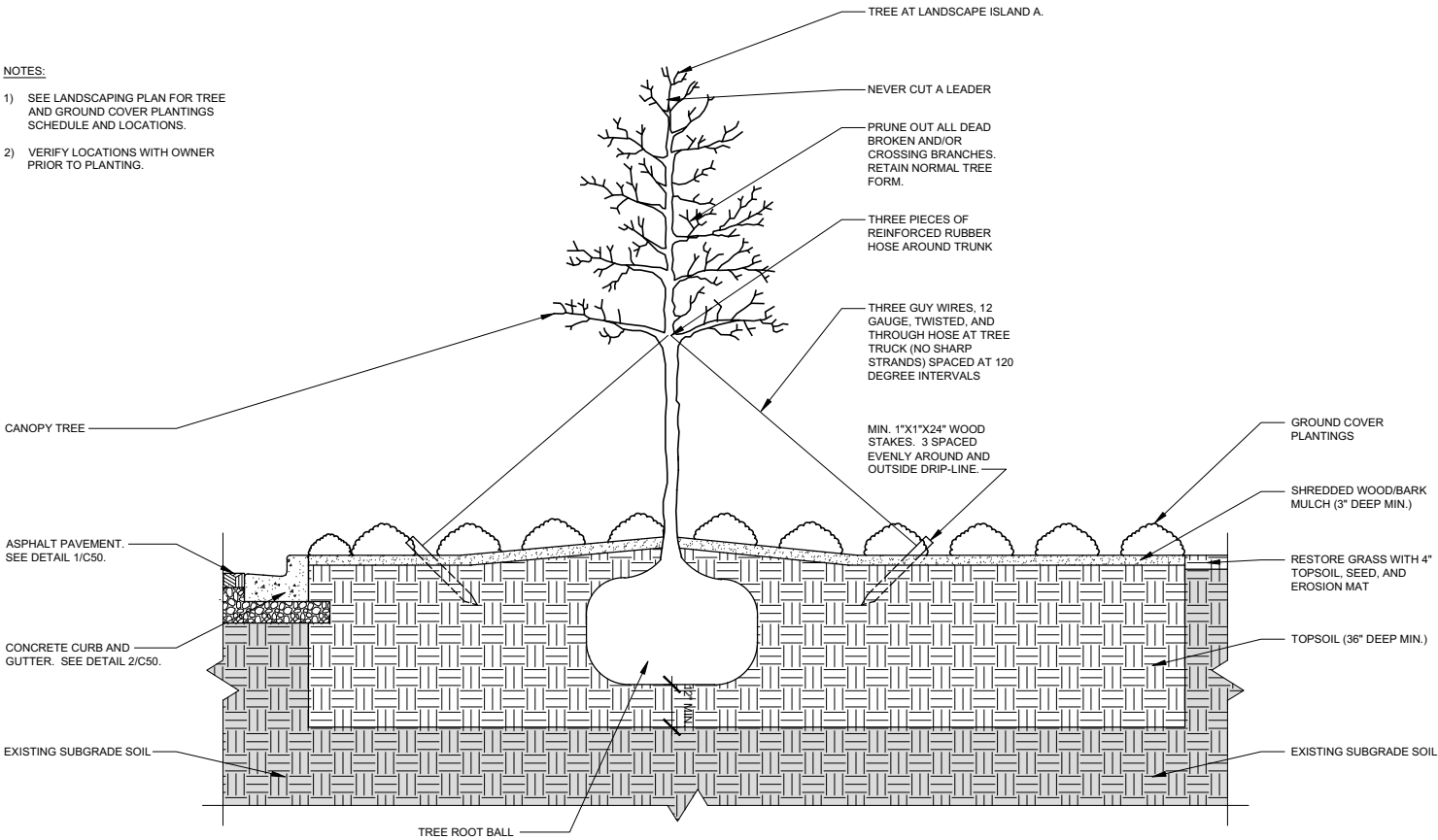


2 B6-12 CONCRETE CURB DETAIL
C50 NO SCALE

4 DETAIL NOT USED
C50 1/2" = 1'-0"

NOTES:

- 1) SEE LANDSCAPING PLAN FOR TREE AND GROUND COVER PLANTINGS SCHEDULE AND LOCATIONS.
- 2) VERIFY LOCATIONS WITH OWNER PRIOR TO PLANTING.



SECTION VIEW
LANDSCAPE ISLAND A
5 1" = 2'-0"
C50

3 PLAN VIEW
LANDSCAPE ISLAND A
C50 1/2" = 1'-0"



126 North Jefferson Street
Suite 120
Milwaukee, WI 53202
Ph. 414-744-6962

© 2025

MINNEAPOLIS | MILWAUKEE | CHICAGO

Consultants:

Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
PLAN COMMISSION		
SUBMISSION	05/28/2025	

Client:

AD-TECH MEDICAL
INSTRUMENT
CORPORATION

Project title:

PARKING LOT
EXPANSION

400 WEST OAKVIEW PARKWAY
OAK CREEK, WISCONSIN 53154

Sheet content:

DETAILS

DATE: 05/28/2025
CLIENT PROJECT No.:
INSPEC PROJECT No.: 301919
PROJECT MGR: DR
DRAWN BY: TR
CHECKED BY: DR

Sheet No.:

C50