

subdivision does not need to be consistent with the political subdivisions comprehensive plan.

Public notice. A public notice was published in the Waukesha Freeman on June 18, 2025 and June 25, 2025. A Property Owner Notice was sent to properties within 300 ft. of the subject property.

Public Hearing Date: July 2, 2025.

Public Comments. None as of June 25, 2025.

Conditional Use – Exhibit B 16.03 Construction Equipment Sales and Service Standards

This use is described as follows:

“A place where new and used construction equipment, such as dump trucks, excavators, graders and scrapers are offered for rent, sale, lease or exchange or are taken on consignment. This use may include the repair of such equipment.”

- A. Vehicle Parking:** 1 space for each employee on the largest work shift; plus 1 space for each fleet vehicle parked on site.
- B. Outdoor storage and activities.** Display areas and other activity areas related to this use shall be located at least 30 feet from a parcel in a residential zoning district and 10 feet from a parcel in a business zoning district.
- C. House of operation.** When allowed as a conditional use, the business may be only operated from 6:00 am to 9:00 pm. The Town Board, may, however, allow extended hours as a special exception after reviewing the location of the use on the subject property and/or proximity to other existing and potential land uses.

Special Exception from Architectural Standards - Section 500.623(B).4.

The Code requires that the decorative building materials used on the street side of the building be used on the sides of the building for a distance of at least 25 ft. or at least 25% of the side wall distance, whichever is greater. The building length is 230 ft., which would require 57.5 ft. of decorative building materials along each side of the building. The Town Board, following a recommendation from the Plan Commission, may approve a lesser distance than required after consideration of consideration of the use of the building and may require additional landscaping in lieu of such exterior materials.

Staff Analysis

The subject property is located on the west side of the business park and is a vacant 1.5-acre parcel. There is a 35 ft. wide drainage easement that runs along the south property line to the community stormwater pond that is located southeast of the property. The petitioner is proposing a 230 ft. x 80 ft. multi-tenant commercial building that would include four 4,000 sq. ft. individual tenant spaces and one 2,400 sq. ft. office space. The office space is tied to the first tenant space, which will be utilized by the petitioner (“Shop 1”). The office space includes five offices, a supply room, conference room, a restroom, mechanical room and a break room. Shop #1 is a 50 ft. wide by 80 ft. deep space and contains a half bathroom and an overhead door. The petitioner is proposing to utilize this space with his business, which buys, repairs and resells used specialty vehicles such as bucket trucks, utility trucks, pickup trucks, snowplows, etc. The petitioner has indicated that one or two specialty vehicles are purchased at a time, with generally no more than six (6) on site at a time. There are between three and six full-time employees, which would require six parking spaces.

The remaining tenant spaces are 80 ft. x 50 ft. wide with an overhead door and a service door on the north and south sides. Shop #2 contains a half bathroom and a roll-up door and access to Shop #1. Shops #3 and #4 are private spaces that include an office, a mechanical room and a half bathroom.

This conditional use request is specific to Shop 1 and the office space. The remainder of the tenant spaces will be leased out to other businesses. Each individual business will require the tenant and/or owner to apply for a Site Plan/Plan of Operation and, if necessary, a Conditional Use, if it does not fall until the “Construction Equipment Sales and Services” category.

Building materials. The building elevations indicate a gray color scheme but the petitioner indicated that had not been finalized as of the date of submittal. The west side of the building faces the road and includes mixed building materials, with steel walls accented with stucco, and brick around the entrance and windows. These materials cover 50% of the area facing the street. However, the ordinance also requires that the materials used on the proper of the building be extended on the sides of the building for at least 25 ft. or 25% of the wall distance, whichever is greater. On the plans dated 5/30/25, the petitioner is proposed 31.5 ft. of stucco on the sides of the building to a service door, whereas 57.5 ft. is required. Therefore, the petitioner has requested a Special Exception to allow for less decorative material on the north and south sides of the building.

The south side of the building has four (4) overhead doors and service doors for each individual tenant space. The overhead doors face south and not towards the public road. There is an awning above each of the service doors and a window within each unit. The north side of the building contains service doors and gray steel walls and east side of the building, which abuts Eagle Self-Storage, contains no windows, doors or architectural detail. North of the subject property is a manufacturing business (Heckle Tool); south of the subject property is a custom Firearms manufacturer/dealer.

Dumpsters. A dumpster with enclosure is proposed on the east portion of the site at the end of the parking lot. Details surrounding the enclosure have not been presented.

Outdoor lighting. Outdoor lighting is limited to wall pack lighting on the building. An exterior egress light/wall pack combo is proposed over all service doors and a wall pack light is proposed over each overhead door. The cut sheet indicates the lighting is a cool white and the can be dimmable. It does not appear these lights have a motion-activated option.

Outdoor Storage. Proposed outdoor storage includes spaces for the 3-6 vehicles for sale.

Signage. One 4 ft. x 8 ft. multi-tenant sign is proposed. The Building Inspector must review the proposed sign and issue a Sign Permit prior to erecting the sign. The owner submitted a concept plan of the sign and noted its proposed location on the landscape plan. The sign size and location appear to comply with the Sign Ordinance.

Employees. The number of employees for this use in Shop #1 ranges from 3-6 full-time employees.

Hours of Operation: None were stated on the application.

Parking. Six parking spaces are required for this use. The petitioner is proposing 42 spaces with five (5) handicap marked stalls to accommodate all four tenant spaces.

Access. One access is proposed to Godfrey Lane with a 30" culvert.

Emergency vehicle access. Kettle Moraine Fire Department did not respond to the Planner request for review.

Landscaping. The proposed landscaping plan includes two planter boxes in front of the stucco material on the west (street) side of the building and three planter boxes along the south elevation in between the overhead doors. The plan does not indicate species or density of plants in the planter boxes. Two maple trees are proposed on each side of the proposed access point.

Sanitation. Two private on-site sewage treatment systems are proposed. Sanitary permits from Waukesha County Environmental Health Division are required prior to Zoning Permit issuance.

Stormwater Management. The petitioner is proposing to utilize the private stormwater facilities located to the southeast of the subject property. An agreement between the owner of the stormwater pond and the property owner has not been received.

Town Engineer: See enclosed memo recommending the petitioner address staff comments and resubmit.

Performance standards. Performance standards relating to the following are included in Article 7: control of odors; control of fire and explosive hazards; glare, heat and external lighting; water quality; noise; vibration; and traffic impact. It is anticipated that the proposed uses will comply with the performance standards.

Decision criteria:

The Town Plan Commission and Town Board must consider whether the proposal complies with:

1. The special requirements for certain land uses in the AP district (500.226) (not applicable)
2. Each of the special conditions of approval under 500.227
3. Each of the performance standards in Article 7
4. Each of the development standards prescribed for the requested conditional use (noted above)
5. All other applicable sections of the zoning code
6. All other application sections of the municipal code

Process: The Plan Commission makes a recommendation to the Town Board for the Site Plan/Plan of Operation, the Conditional Use and the Special Exception request. The Town Board makes the final decision.

Staff Recommendation:

Recommendation to the Town Board for **conditional approval** of the Conditional Use and Site Plan/Plan of Operation and the request for a Special Exception, subject to the following:

Conditions that must be met prior to permits being issued.

1. A Conditional Use Order that is prepared by the Town Planner memorializing this decision and the conditions herein shall be recorded in the Waukesha County Register of Deeds by the applicant, prior to permits being issued.
2. A sanitary permit from the Waukesha County Environmental Health Division shall be issued for the property, prior to the Zoning Permit being issued.
3. Prior to the issuance of a zoning permit, the owner shall provide proof of payment of fees to Dretzka Investments, LLC for use of the private stormwater basin. The Town Engineer shall confirm no additional information is required regarding stormwater management for the site development.
4. A culvert permit shall be obtained prior to the issuance of a Zoning Permit.
5. All comments of the Town Engineer memo dated June 18, 2025 shall be addressed to the satisfaction of the Town Engineer.
6. The Town Engineer shall approve all final plans, prior to the issuance of the Zoning Permit.
7. A revised Landscaping Plan shall be submitted that includes the proposed plantings, species, locations.
8. A copy of the owner's Wisconsin Dealers License shall be submitted to the Town Planner or Town Clerk.
9. Exterior lights must be motion-activated after dusk. A revised lighting cut sheet shall be submitted that identifies lights that are motion-activated so as to not produce glare after dark.

Ongoing conditions of the Conditional Use and Site Plan/Plan of Operation approval and the Special Exception request:

10. Each individual tenant shall obtain a Site Plan and Plan of Operation Permit, which requires Town Plan Commission review and Town Board approval, prior to operating in the tenant space. Adequate parking shall be available on the property for a use to be considered.
11. The stucco shall extend on the north and south sides of the proposed building for a length of at least 33 ft., as proposed on the Building Plans prepared by Pinno Buildings with a revision date of 5/30/25.
12. The proposed use of each tenant space shall comply with the uses permitted by the B-4 Mixed Business District.
13. All work related to this project must comply with all plans approved by the Town.
14. The property owner must obtain all other approvals as may be required to construct the building as planned (e.g. fire department review).
15. All proposed signage shall be approved by the Building Inspector and a Sign Permit issued prior to its erection.
16. Outdoor lighting shall be LED, full cutoff and motion activated.
17. The dumpsters shall be enclosed in accordance with Section 500.623.
18. Outdoor storage is limited to six vehicles for sale being stored outside on the property within the parking lot. No storage is permitted within the drainage easement on the south side of the property.

As conditioned, the proposal to buy, repair and sell specialty trucks and equipment are in conformance with the zoning ordinance. The proposed commercial building meets the zoning district requirements, and the proposed use should not impact adjacent properties, as conditioned. Following satisfaction with the recommended conditions, the proposed multi-tenant building will comply with the performance standards and architectural standards of the ordinance. It should be noted that each individual tenant must also receive Site Plan and Plan of Operation approval from the Town prior to operating, which will further ensure the remaining business are meeting the uses and standards of Chapter 500. Therefore, approval of the request meets the purpose and intent of the ordinance.



Rebekah Leto, AICP
Town Planner

Attachments

Town Engineer memo dated 6/18/25

Civil Plans

Prelim Building Plans

Lighting Plan

Landscaping Plan, sign and dumpster plans

N:\PRKANDLU\Planning and Zoning\Community Assistance\T EAGLE\STAFF REPORTS AND PROJECTS\2025\2025-14 Bendler Auto Sales and Repair_Godfrey Ln\2025-14 15 Bendler CU SPPO.docx



MEMORANDUM

Date: June 18, 2025
To: Rebekah Leto
From: Michael Flesch, P.E.
Copy: Tim Lynch P.E., Mark Ellena, P.E.
Subject: **Bendler -Specialty Truck Sales Site Plan Review**

The applicant has submitted improvement plans for an approximate 18,400 square foot multi-tenant building. The site on Godfrey Lane and is approximately 1.5 acres in the Town of Eagle. The property Tax Key (no address) is EGLT1818999058. Civil Plans dated June 4, 2025, were submitted for review.

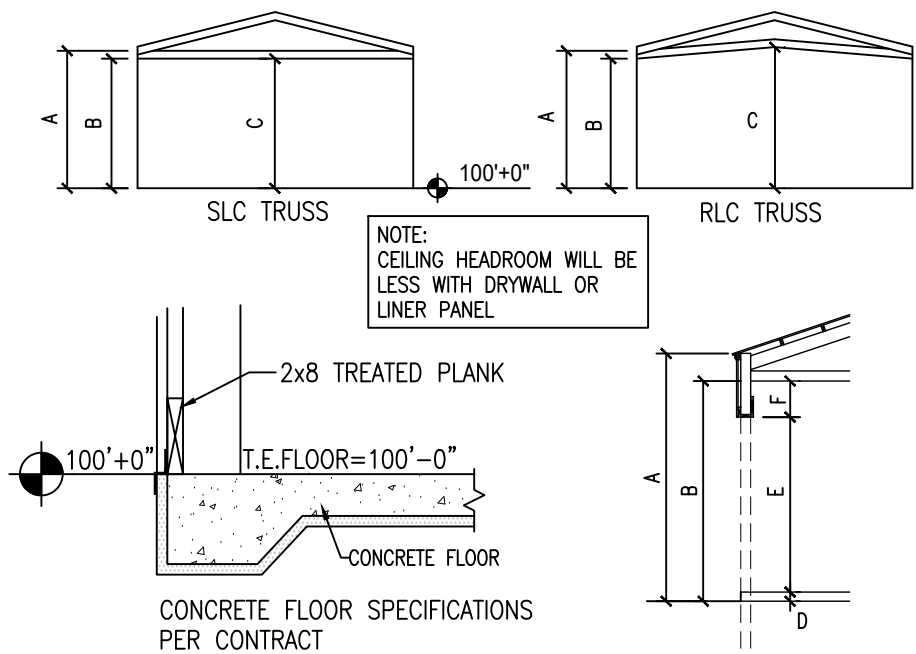
We have completed our review of the submitted materials in accordance with Village ordinances and good engineering practices. Although the material has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data for compliance with all applicable state statutes and local ordinances.

Staff Comments:

1. Clearly dimension the width of all parking stalls to verify compliance with zoning and design requirements.
2. Submit a detailed landscaping plan indicating proposed plantings, species, and locations.
3. Specify the total length of the proposed 30-inch CMP within the driveway area.
4. Include end wall structures at both ends of the driveway culvert (CMP) for stability and erosion protection.
5. Incorporate erosion control measures at the upstream end of the driveway culvert to prevent sedimentation and maintain flow capacity.
6. Provide construction details for all proposed sidewalk improvements, including cross-sections and materials.
7. Identify the proposed material for the 10-foot-wide walkway located in front of the building.
8. The submittal did not include any information on how stormwater will be handled. Please include this in future submittals.

Recommendation:

It is recommended to address staff comments and re-submit.



A = EAVE HEIGHT	
B = TRUSS CLEARANCE AT HEEL	12'-1" & 16'-1"
C = TRUSS CLEARANCE AT CENTER OF BUILDING	12'-1" & 16'-1"
CLEARANCE MAY BE REDUCED BY FINISHED FLOOR HEIGHT	
D = OVERHEAD FRAME OUT BOTTOM ELEVATION	100'-0"
E = OVERHEAD FRAME OUT HEIGHT	14'-0"
F = ACTUAL HEADROOM AVAILABLE	24"±

HEADROOM REQUIRED TO TURN THE DOOR MUST BE LESS THAN THE ACTUAL HEADROOM AVAILABLE

NOTES:

- INDICATE ANY POWER LINES WITHIN 10' OF BUILDING SITE.
- ARE THERE ANY BUILDINGS WITHIN 10' OF BUILDING SITE?
YES _____ NO ☒
IF SO, THEN SEND PICTURE OF BUILDING OR LIST THE CONDITION OF BUILDING _____
- INDICATE ANY UNDERGROUND UTILITIES, i.e. SEWER; WATER; ELECTRIC; ETC.
☒ NONE LIST _____
- ACTUAL WIDTH OF SLIDE DOOR CLEARANCE WILL BE 6" LESS THAN NOMINAL DOOR SIZE, AND 12" LESS IF DOOR IS OFF THE CORNER.
EXAMPLE: IF NOMINAL SLIDE DOOR IS 10'-0" WIDE, THE ACTUAL CLEARANCE IS 9'-6" ON STANDARD DOOR, OR 9'-0" IF DOOR IS OFF THE CORNER.

CLASSIFICATION OF BUILDING:

SHOP BUILDING _____ COMMERCIAL ☒ EQUINE _____
AG & PERSONAL STORAGE _____ LEAN _____ OTHER _____

CUSTOMER NAME Ryan Bendler
EXACT PLAN AND DOOR LOCATION APPROVED BY: _____

CUSTOMER SIGNATURE

PRELIMINARY DRAWING

PROJECT:

COMMERCIAL
80' x 30' x 12' clear
80' x 200' x 16' clear
For: Ryan Bendler
Wisconsin

Salesman: Mark Plecha

SITE LOCATION:

BUILDING COLORS:			
SIDE	_____	BOTTOM TRIM	_____
GABLE	_____	CORNER TRIM	_____
ACCENTS	N/A	ROOF STEEL	_____
WALK DOOR	_____	RIDGE CAP	_____
WINDOWS	_____	GABLE TRIM	_____
DOOR/WINDOW TRIM	_____	FASCIA TRIM	_____
OVERHEAD DOOR	_____	EAVE TRIM	_____
OVHD. DOOR TRIM	_____	SOFFIT	_____
SLIDE DOOR	N/A	SOFFIT F&J TRIM	_____
SLIDE DOOR TRIM	N/A	CUPOLA SIDE	N/A
WAINSCOT	_____	CUPOLA ROOF	N/A
WAINSCOT TRIM	_____	WEATHERVANE	PINNO
WNSCT. CORNER TRIM	_____	EAVE TROUGHS	N/A
EAVELITE	N/A	DOWNSPOUTS	N/A

CONTRACT SPECIFICATIONS
TAKE PRECEDENCE
OVER BUILDING PLANS

ROOF & SIDE STEEL ARE McELROY
-MAX RIB ULTRA- .149 ga. w/
KYNAR 500 PAINT SYSTEM
AND SCREW FASTENERS

COLUMNS ARE TITAN TIMBER
GLUE LAMINATED COLUMNS
LOWER - #1 SYP .60 CCA
UPPER - 2x6 SPF MSR1650
-OR- 2x8 SPF MSR 1950



N5877 PALMER ROAD
ROSENDALE, WI 54974

PHONE (920) 922-7010
FAX (920) 922-9093
www.pinno.com

DRAWN BY:
AS

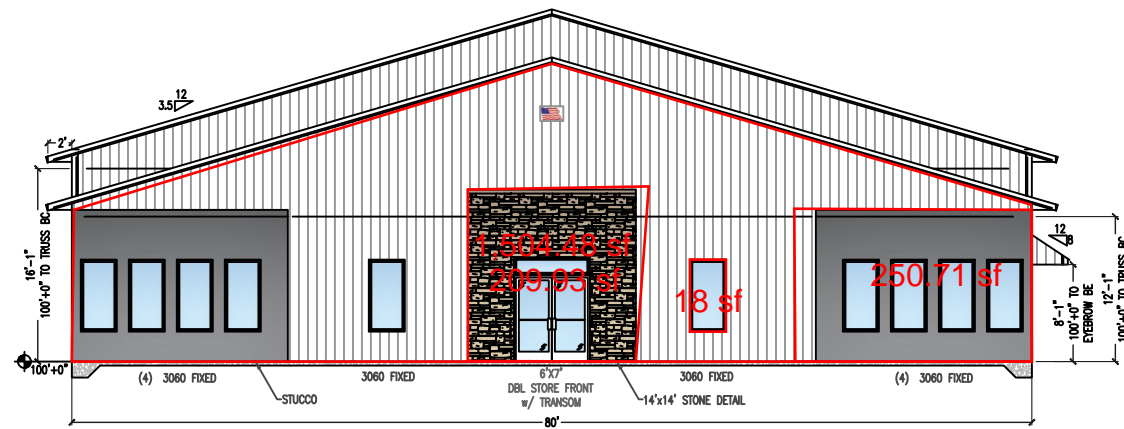
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04-02-25

REVISIONS
04-29-25
05-01-25
05-20-25
05-23-25
05-30-25

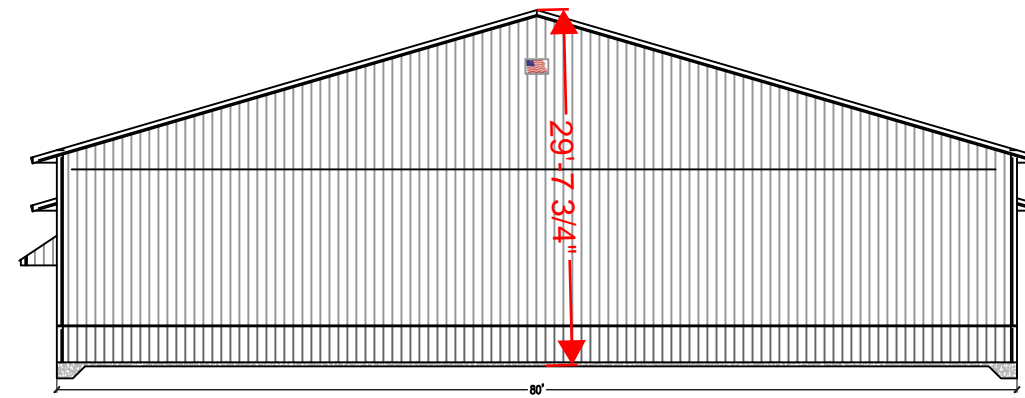
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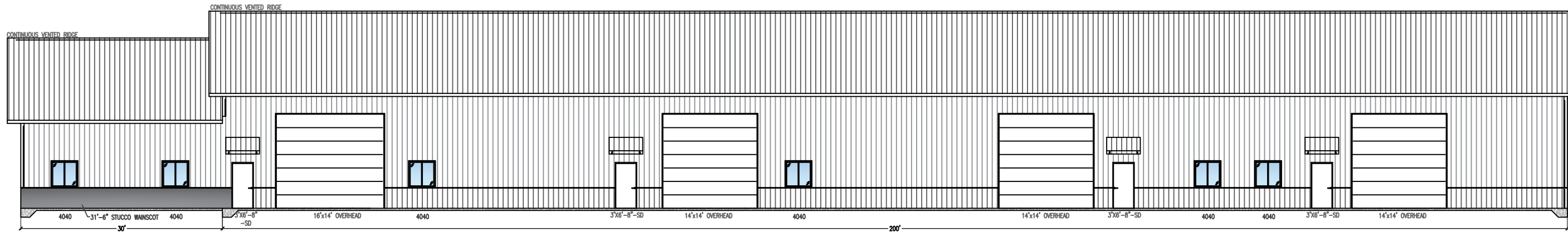
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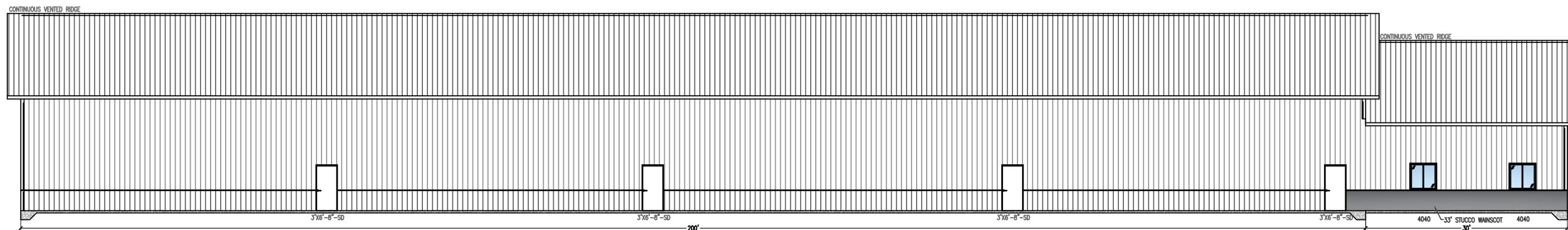
1 WEST ELEVATION
1/16" = 1'-0"



2 EAST ELEVATION
1/16" = 1'-0"



3 SOUTH ELEVATION
NTS



4 NORTH ELEVATION
NTS

CONTRACT SPECIFICATIONS
TAKE PRECEDENCE
OVER BUILDING PLANS

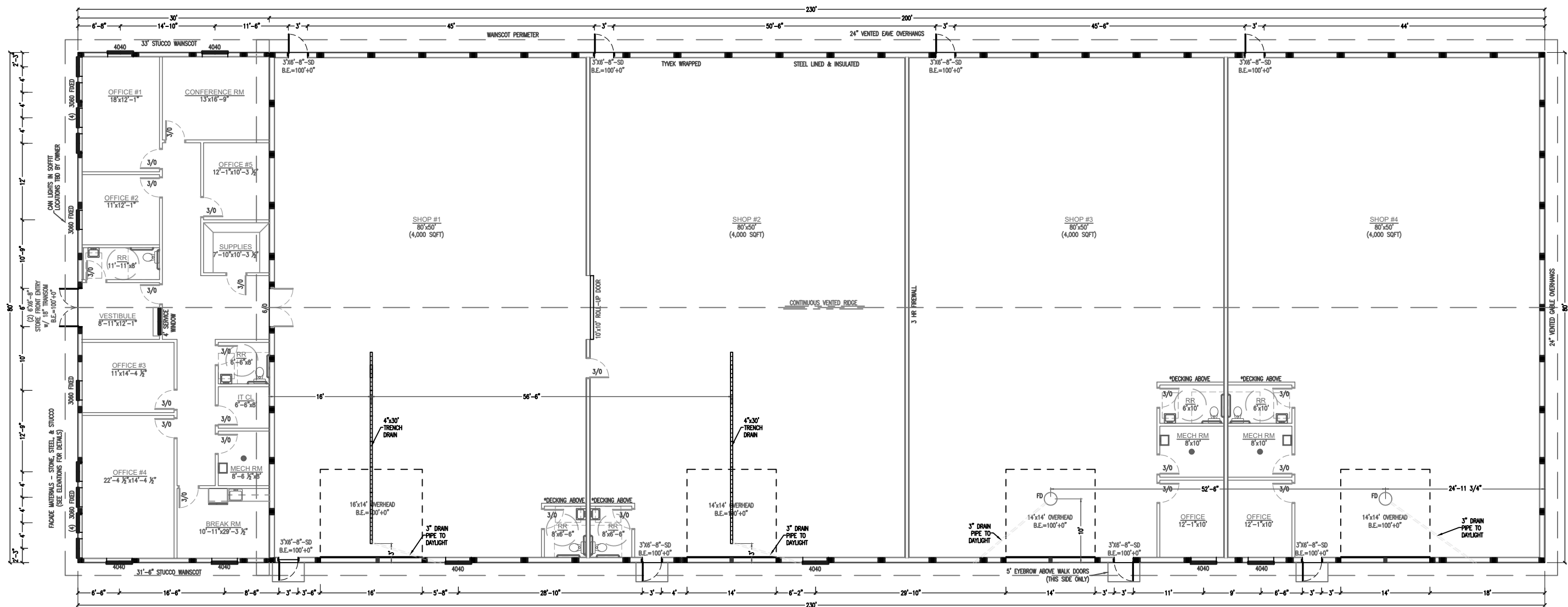
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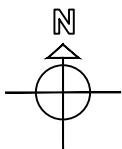
Ryan Bendler
80'x30'x12' + 80'x200'x16' clear
ELEVATIONS
JOB NO.

DRAWING NO.
DRAWN BY: AS
SCALE: AS SHOWN
DATE: 04-02-25
REVISIONS 04-29-25 05-01-25 05-20-25 05-23-25 05-30-25
SHEET ID.
SHEET NO. 2 OF 3

PRELIMINARY DRAWING



1 FLOOR PLAN
NTS



COMMERCIAL

80'x30'x12' CLEAR
80'x200'x16' CLEAR
18,400 SQ. FT.
-TYVEK WRAPPED
-WAINSCOT
-T.E. FLOOR=100'+0"

OFFICE

-INSULATED & DRYWALLED
-4" SLAB w/ GRADE BEAM
-BOLT DOWN BRACKETS (BY PINNO)

SHOPS

-STEEL LINED & INSULATED
-6" SLAB w/ GRADE BEAM
-BOLT DOWN BRACKET (BY PINNO)
-HOSE BIB LOCATIONS TBD

CONTRACT SPECIFICATIONS
TAKE PRECEDENCE
OVER BUILDING PLANS

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Ryan Bandler
80'x30'x12' + 80'x200'x16' clear
FLOOR PLAN
JOB NO.

DRAWING NO.

DRAWN BY:
AS

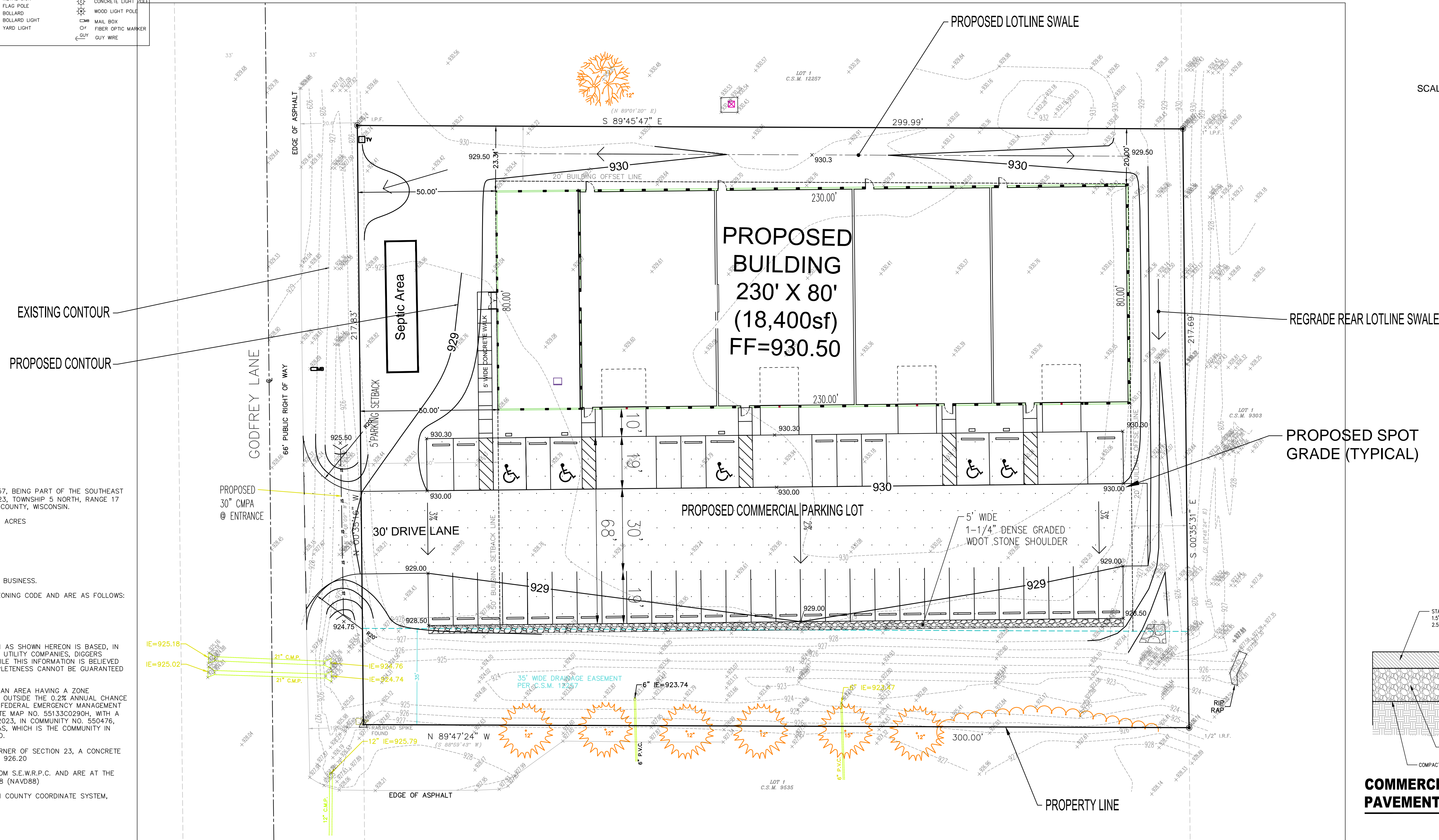
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AS SHOWN

DATE:
04-02-25

REVISIONS
04-29-25
05-01-25
05-20-25
05-23-25
05-30-25

SHEET ID.

SHEET NO.
3 OF 3



LEGAL DESCRIPTION

LOT 2 OF CERTIFIED SURVEY MAP NO. 12257, BEING PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 17 EAST, IN THE TOWN OF EAGLE, WAUKESHA COUNTY, WISCONSIN.

CONTAINING 65,319 SQUARE FEET OR 1.500 ACRES

NOTES

1. SUBJECT PROPERTY ZONED: B-4, MIXED BUSINESS.
2. SETBACKS BASED ON TOWN OF EAGLE ZONING CODE AND ARE AS FOLLOWS:
MAX HEIGHT = 35 FEET
MINIMUM SETBACK = 50 FEET
MINIMUM OFFSET = 20 FEET.
3. LEGAL DESCRIPTION FROM C.S.M..

4. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOLE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
5. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANC FLOOD PLAN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C0290H, WITH A DATE OF IDENTIFICATION OF OCTOBER 19, 2023, IN COMMUNITY NO. 550476. WAUKESHA COUNTY UNINCORPORATED AREAS, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
6. PROJECT BENCHMARK – SOUTH 1/4 CORNER OF SECTION 23, A CONCRETE MONUMENT WITH BRASS CAP. ELEVATION = 926.20
7. ELEVATIONS BASED ON INFORMATION FROM S.E.W.R.P.C. AND ARE AT THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88)
8. ALL BEARINGS REFER TO THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY Capitol Survey, Inc.
WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS
CANNOT BE GUARANTEED NOR CERTIFIED TO.


GENERAL CONSTRUCTION SPECIFICATIONS:

1. All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; the Town of Eagle Ordinances; and the State of Wisconsin Standard Specifications for Sewer and Water Construction in Wisconsin. All permits must be obtained by the DEVELOPER and CONTRACTOR prior to commencing work.
2. All erosion control measures specified on the project Erosion Control Plan shall meet the design criteria, standards and specifications as set forth in the Department of Natural Resources Wisconsin Technical Standards and Town of Eagle Ordinances.
3. All erosion control devices (i.e., silt fence, gravel entrance, etc.) shall be installed prior to commencing mass grading.
4. All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time. Haul off excess topsoil.
5. The general contractor shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
6. The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
7. Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
8. The contractor shall be responsible for maintaining the Public Roadways. The Public Roadways adjacent to this project shall be kept free of silt or dirt tracked from areas under construction by sweeping at the end of each work day or more often, as required. Dust generated by construction activities shall be minimized by use of watering, construction scheduling or other appropriate methods.
9. Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed open space areas. Provide seed, fertilizer and mulch per the standard specifications. ALL disturbed areas shall be stabilized with erosion control matting as specified for erosion and establishment grass vegetation per WDNR Technical Standard 1053.
10. All disturbed areas shall be revegetated within 7 days of no disturbance. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sf.
11. All erosion control devices shall be routinely inspected every seven days or within 24 hours of a rainfall greater than 0.5 inches. (By CERTIFIED EROSION CONTROL INSPECTOR).


SITE DATA TABLE	
TAX KEY NUMBER: EGLT1818999058	PROPOSED
PROPERTY AREA :	65,340 S.F.
TOTAL BUILDING FLOOR AREA :	18,400 S.F.
FLOOR AREA RATIO :	18,400 / 65,340 = 28.2%
TOTAL PAVED SURFACE AREA:	18,780 S.F.
TOTAL OPEN AREA (GREEN SPACE):	28,160 S.F.
LANDSCAPE SURFACE AREA RATIO	28,160 / 65,340 = 43.1%
LOT COVERAGE RATIO	56.9%

Godfrey Lane Properties LLC Development
Town of Eagle, WI

GRADING, PAVING & DRAINAGE PLAN

 **ELLENA ENGINEERING CONSULTANTS, LLC**
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT

7000 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
Phone: 262-719-6183 Email: mellena@eeceng.com

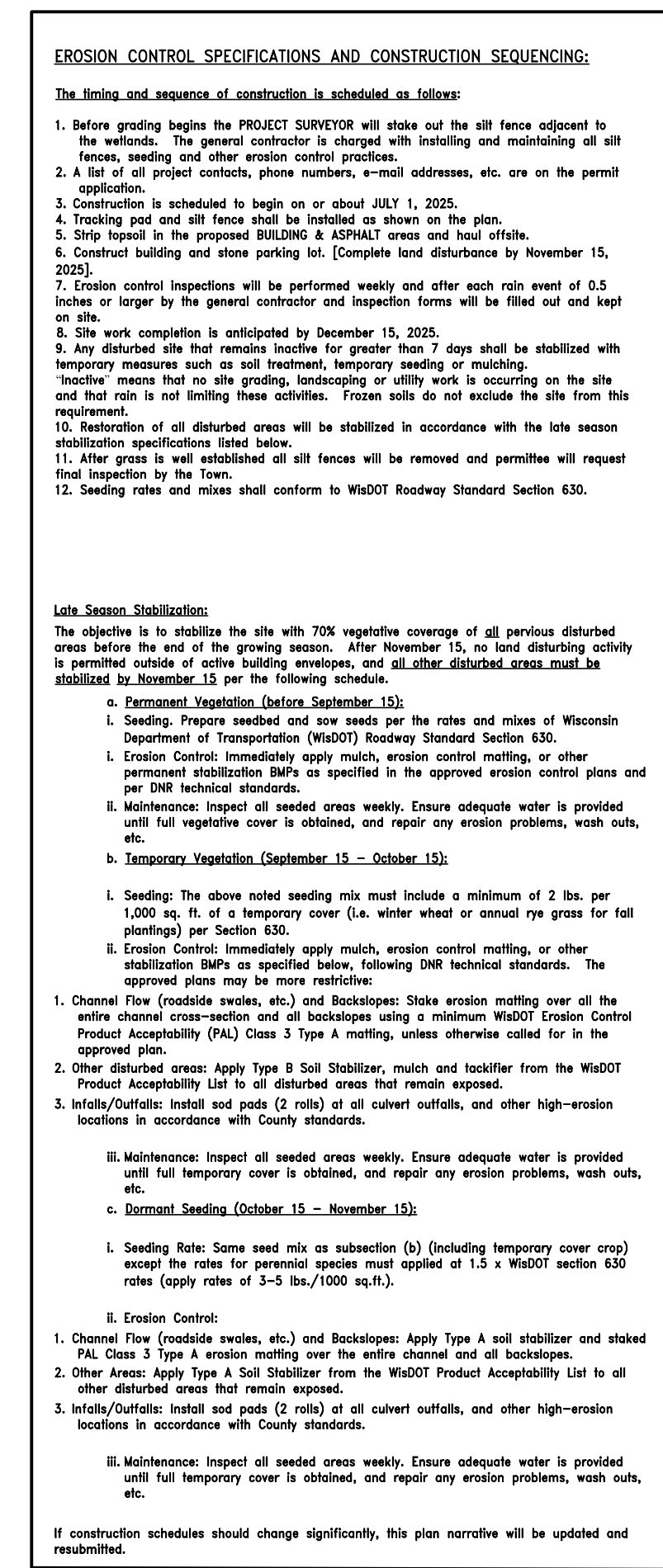




DATE: 06-04-25

BY: MARK R. ELLENA, PE

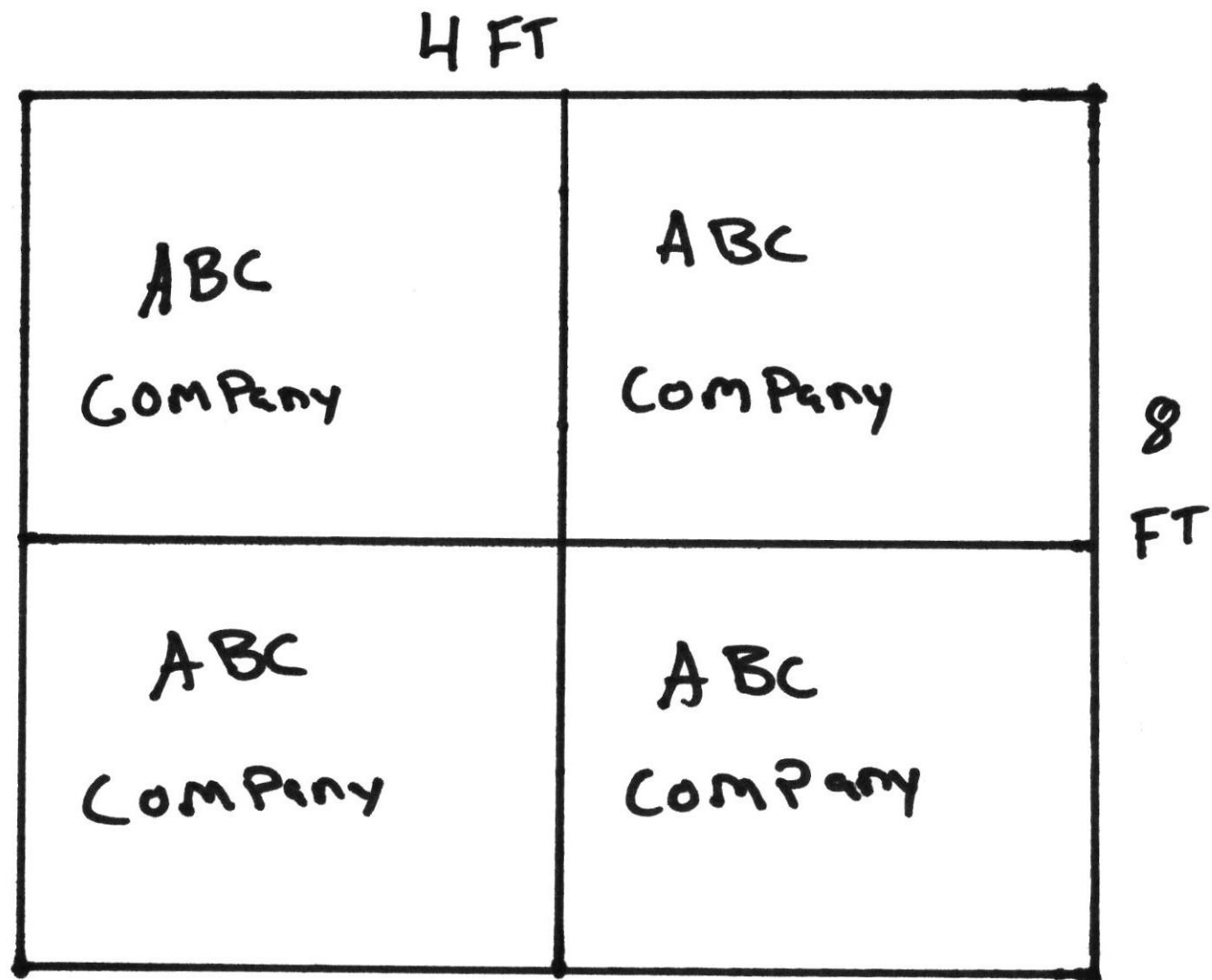
SCALE: 1" = 20'

SHEET NUMBER
C200



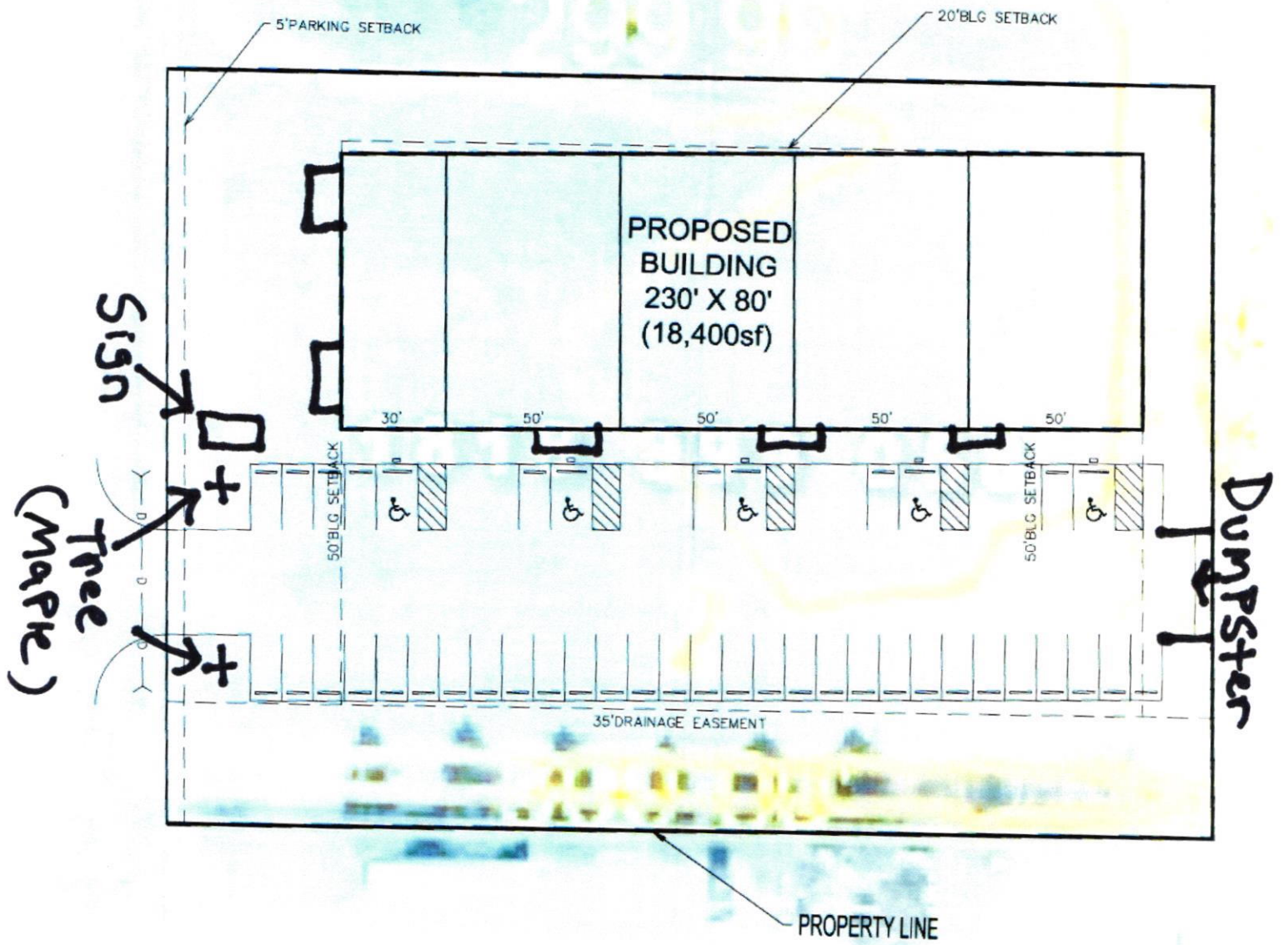
<div style="display: flex; justify-content: space-between;"> <div> <p>Godfrey Lane Properties LLC Development</p> <p>Town of Eagle, WI</p> </div> <div> <p>EROSION CONTROL PLAN</p> </div> </div>		<div style="display: flex; align-items: center;">  <div style="margin-left: 10px;"> <p>ELLENA ENGINEERING CONSULTANTS, LLC</p> <p>SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT</p> </div> </div>		<p>700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122</p> <p>Phone: 262-719-6183 Email: mellenra@eeceng.com</p>
<div style="text-align: center;">  <p>DATE: 06-04-25</p> <p>BY: MARK R. ELLENA, PE</p> <p>SCALE: 1" = 20'</p> </div>		<p>SHEET NUMBER</p> <p style="font-size: 2em;">C300</p>		<p>DATE</p> <p>DESCRIPTION</p>

SHEET NUMBER
C400



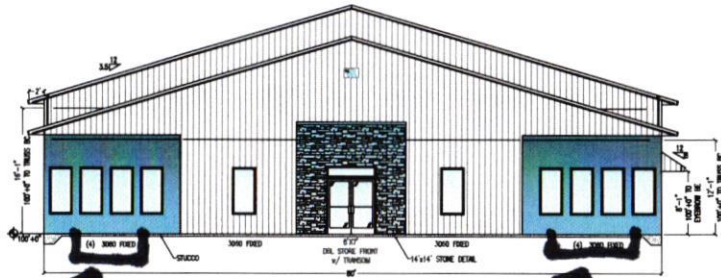
Solar light

Concept Sign sign and
configuration

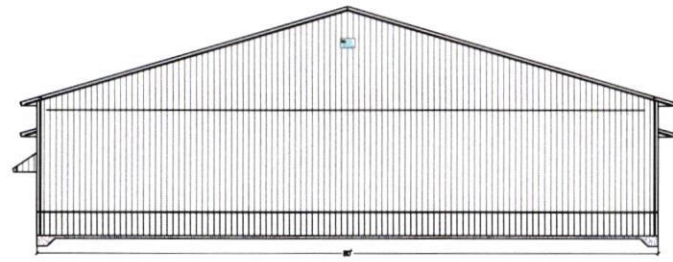


Landscape, Dumpster
and Sign location plan

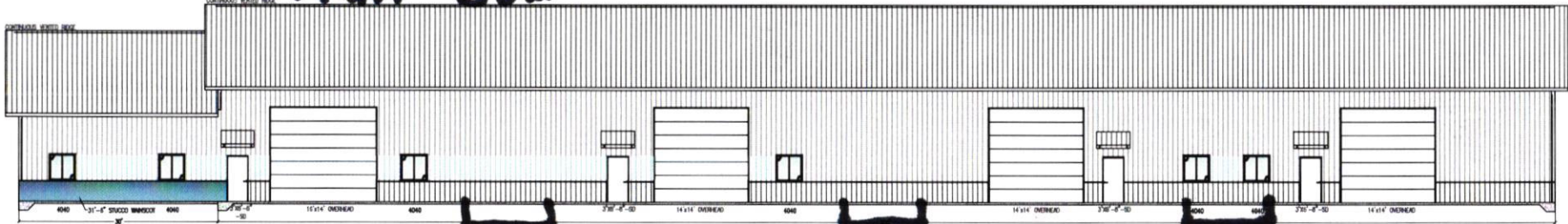
PRELIMINARY DRAWING



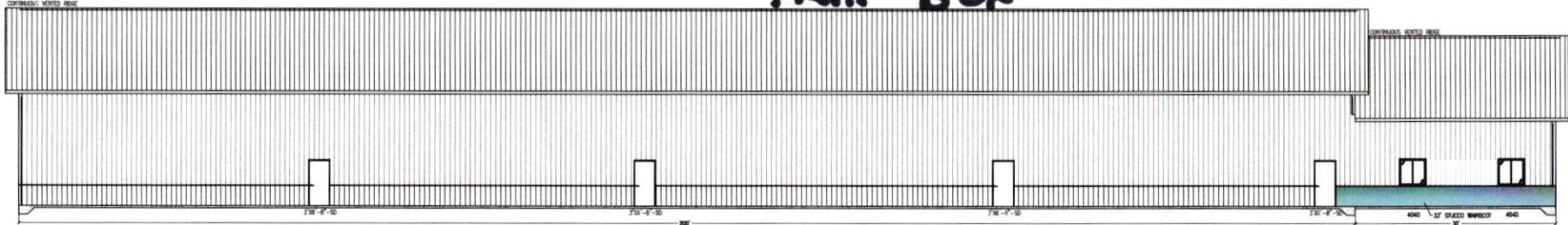
1 WEST ELEVATION
1/16" = 1'-0"
Plant Box



2 EAST ELEVATION
1/16" = 1'-0"




3 SOUTH ELEVATION
NTS
Plant Box



4 NORTH ELEVATION
NTS

CONTRACT SPECIFICATIONS
TAKE PRECEDENCE
OVER BUILDING PLANS

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FAX (920) 922-9093
www.pinno.com

RYAN BENDLER
80'x30'x12' + 80'x200'x16' clear

ELEVATIONS

JOB NO.

DRAWING NO.

DRAWN BY:
AS

SCALE:
AS SHOWN

DATE:
04-02-25

REVISIONS
04-29-25
05-01-25
05-20-25
05-23-25
05-30-25

SHEET ID.

SHEET NO.
2 OF 3

C-WP-E-TR-SCCT Series

Traditional Style LED Wall Pack | Field Selectable CCT & Wattage
Replaces up to 400W PSMH

C-LITE
LED LIGHTING



BRIGHTEN ANY SPACE WITH YOUR NEW FAVORITE TRADITIONAL STYLE LED WALL PACKS

Are you searching for the perfect lighting solution that combines flexibility, energy efficiency, and ease of installation? Look no further than our cutting edge Traditional Style LED Wall Pack, the C-WP-E-TR-SCCT Series. With its exceptional features and the traditional design you know and love, it outshines the competition. Tuneable wattage allows you to select between 100%, 75%, or 50% of the lumen output. Plus, the CCT selection feature offers the freedom to choose between three color temperatures: 3000K for a warm ambiance, 4000K for a neutral feel, and 5000K for a cool, crisp glow. Take control of your lighting experience with the 0-10V dimming option. Equipped with a high-quality borosilicate prismatic glass lens to ensure optimal light distribution and durability. Its exceptional efficiency exceeds 157 lumens per watt (LPW) on certain wattages, making it an industry leader in energy savings. And here's the best part: designed with you in mind, its super easy to install with a hassle-free setup, saving you time and effort. cULus Listed and backed by our 5-year limited warranty.

PRODUCT SPECIFICATIONS

OVERVIEW

- Initial Delivered Lumens: Up to 6275 Lumens (**S6L**), Up to 8525 Lumens (**S9L**), Up to 11,550 Lumens (**S12L**), Up to 18,100 Lumens (**S18L**), Up to 23,500 Lumens (**S23L**)
- CRI: ≥ 70
- CCT: Field selectable: 3000K, 4000K or 5000K
- Max Input Power: 48W (**S6L**), 58W (**S9L**), 75W (**S12L**), 115W (**S18L**), 155W (**S23L**)
- Dimmable: Wattage selectable by switch, an additional set of dimming leads is available for use in the field
- Operating Temperature Range: -40°F to 104°F (-40°C to 40°C)
- Estimated L_{70} Lifetime @ 25°C: > 100,000 hours
- Power Factor: > 0.9 at full load
- Total Harmonic Distortion: < 20% at full load
- Limited Warranty: 5 Years*
- Replaces 175W MH (**S6L**), 250W MH (**S9L**), 250W PSMH (**S12L**), 400W MH (**S18L**), 400W PSMH (**S23L**)

FEATURES	RECOMMENDED USE	INPUT VOLTAGE
<ul style="list-style-type: none">FCC Part 15, Subpart B, Class A limits for conducted and radiated emissionsBorosilicate prismatic glass lensExtremely efficient with over 157LPW on certain wattagesSuper easy install, designed with you in mind	<ul style="list-style-type: none">EntrywaysGeneral Area LightingPerimeter Lighting	<ul style="list-style-type: none">Universal (120V - 277V)

 **CA RESIDENTS WARNING:** Cancer and Reproductive Harm –
www.p65warnings.ca.gov

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CERTIFICATIONS:



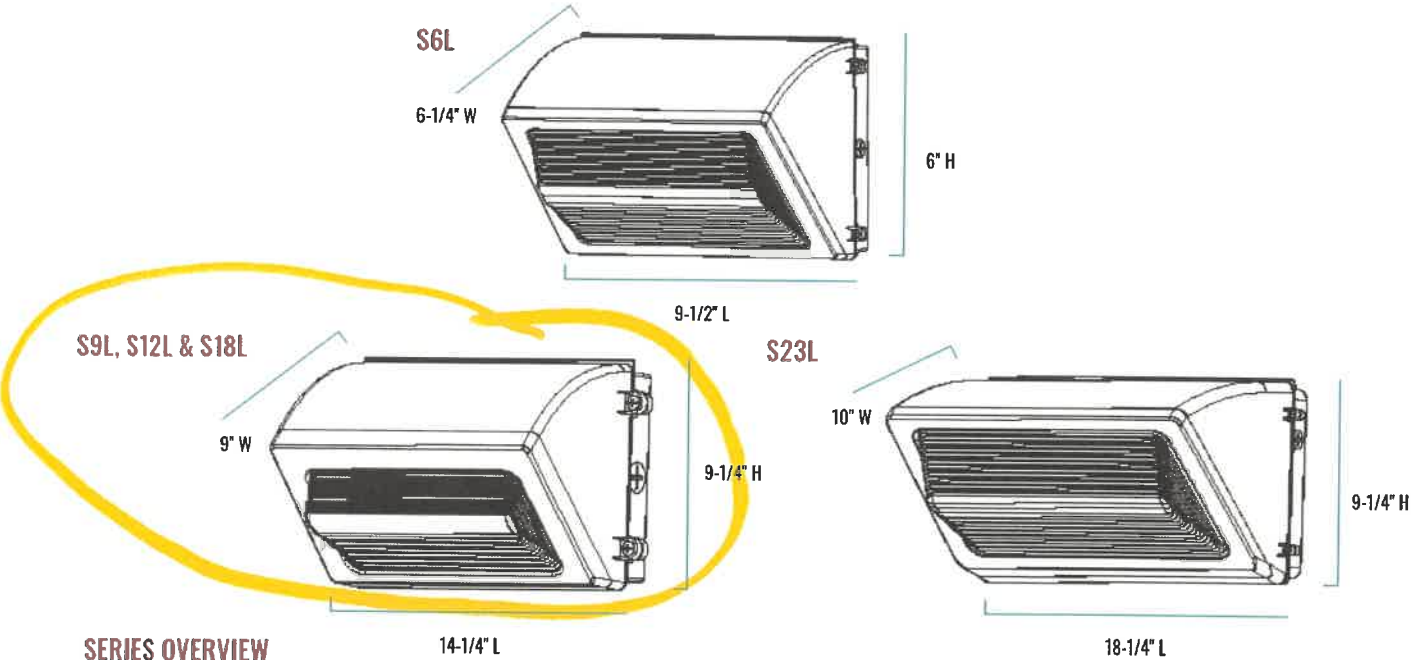
C-WP-E-TR-SCCT Series

ORDERING INFORMATION

Example SKU: C-WP-E-TR-S23L-SCCT-UL-DB

C-WP	E	TR		SCCT	UL	DB
PRODUCT	SERIES	TYPE	LUMEN PACKAGE*	FIELD SELECTABLE CCT	VOLTAGE	HOUSING COLOR
C-WP	E	TR Traditional Style	S6L Up to 6275 Lumens S9L Up to 8525 Lumens S12L Up to 11,550 Lumens S18L Up to 18,100 Lumens S23L Up to 23,500 Lumens	SCCT Warm White (3000K) Neutral White (4000K)* Cool White (5000K)	UL Universal 120V-277V	DB Dark Bronze

*Default settings at time of shipping are highest product wattage and 4000K.



SERIES OVERVIEW

DIMENSIONS	PRODUCT WEIGHT	MOUNTING HEIGHT	SPACING
9-1/2" L x 6-1/4" W x 6" H (S6L)	3.82 lbs.	10-15 feet	4 to 5 times the mounting height
14-1/4" L x 9" W x 9-1/4" H (S9L)	8.87 lbs.		
14-1/4" L x 9" W x 9-1/4" H (S12L)	9.25 lbs.	15-25 feet	
14-1/4" L x 9" W x 9-1/4" H (S18L)	9.3 lbs.		
18-1/4" L x 10" W x 9-1/4" H (S23L)	15.54 lbs.	> 25 feet	

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C-WP-E-TR-SCCT Series

FIXTURE SPECIFICATIONS

HOUSING	Dark bronze powder coated finish with heavy-duty die-cast aluminum housing.
LENS ASSEMBLY	Borosilicate prismatic glass lens.
MOUNTING	Three 1/2" threaded knockouts for mounting using surface conduit or mount over a j-box, 3" octagonal or 4" octagonal boxes.

LUMINAIRE AND ELECTRICAL PERFORMANCE

OPERATING TEMPERATURE RANGE	ESTIMATED L ₇₀ LIFETIME @ 25°C (77°F)	POWER FACTOR	TOTAL HARMONIC DISTORTION
-40°F to 104°F (-40°C to 40°C)	> 100,000 hours	≥0.9 at full load	< 20% at full load

LUMEN PACKAGE	INITIAL DELIVERED LUMENS*				SYSTEM WATTS	CURRENT DRAW (AMPS)			
	3000K	BUG RATINGS**	4000K/5000K	BUG RATINGS**		120V	208V	240V	277V
S6L	5700	B1-U3-G3	6275	B1-U3-G3	48W	0.40	0.23	0.20	0.17
	4650		5075		38W	0.32	0.18	0.16	0.14
	3210		3420		25W	0.21	0.12	0.10	0.09
S9L	8125	B2-U4-G4	8525	B2-U4-G4	58W	0.48	0.28	0.24	0.21
	6825	B1-U4-G4	7325	B1-U4-G4	45W	0.38	0.22	0.19	0.16
	4700	B1-U3-G3	4960	B1-U3-G3	29W	0.24	0.14	0.12	0.10
S12L	10,625	B2-U4-G5	11,550	B2-U4-G5	75W	0.63	0.36	0.31	0.27
	8825	B2-U4-G4	9475		58W	0.48	0.28	0.24	0.21
	6025	B1-U3-G3	6325	B1-U3-G4	38W	0.32	0.18	0.16	0.14
S18L	16,300	B2-U5-G5	18,100	B3-U5-G5	115W	0.96	0.55	0.48	0.42
	13,550		14,525	B2-U5-G5	90W	0.75	0.43	0.38	0.32
	9400	B2-U4-G5	9850	B2-U4-G5	58W	0.48	0.28	0.24	0.21
S23L	21,900	B3-U5-G5	23,500	B3-U5-G5	155W	1.29	0.75	0.65	0.56
	18,400		19,600	B3-U5-G5	121W	1.01	0.58	0.50	0.44
	12,300	B2-U4-G5	13,025	B2-U4-G5	77W	0.64	0.37	0.32	0.28

* Default settings at time of shipping are highest product wattage and 4000K.

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt.

WARRANTY AND CERTIFICATIONS

WARRANTY	cULus LISTED	DLC
5-Year Limited*	Wet Locations	DLC Premium 5.1 *DLC Standard (S6L Series) Refer to https://www.designlights.org/search/ for most current information.

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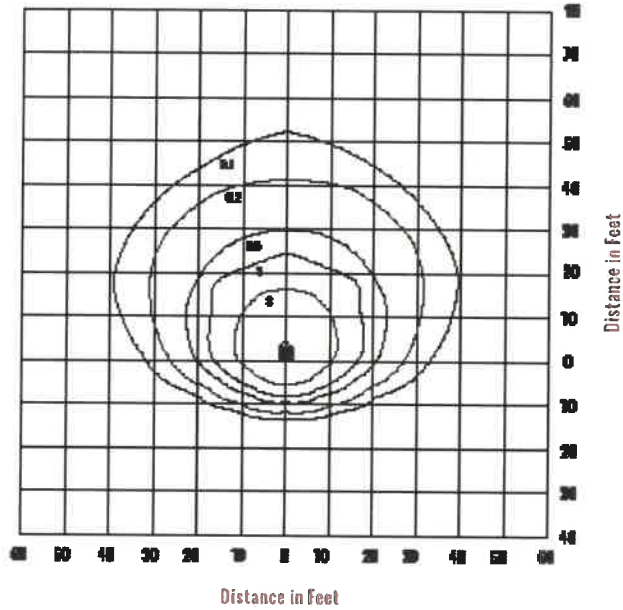
C-LITE
LED LIGHTING

C-WP-E-TR-SCCT Series

ISO PLOT CHARTS

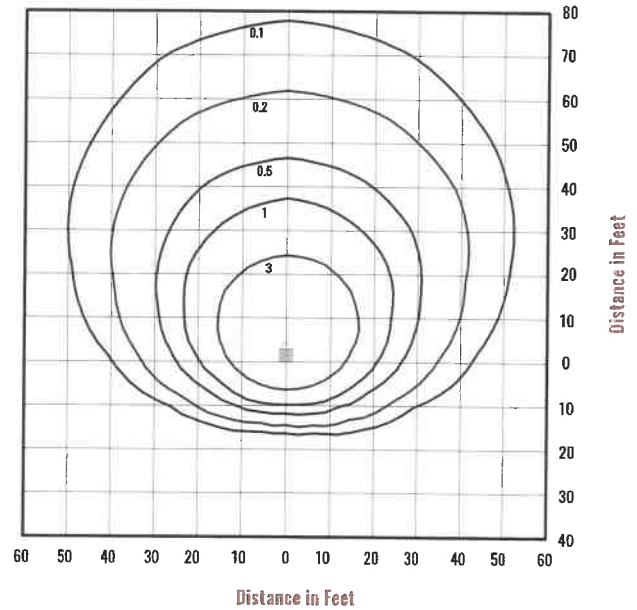
C-WP-E-TR-S6L-SCCT-UL-DB (4000K)

Mounting Height: 10'



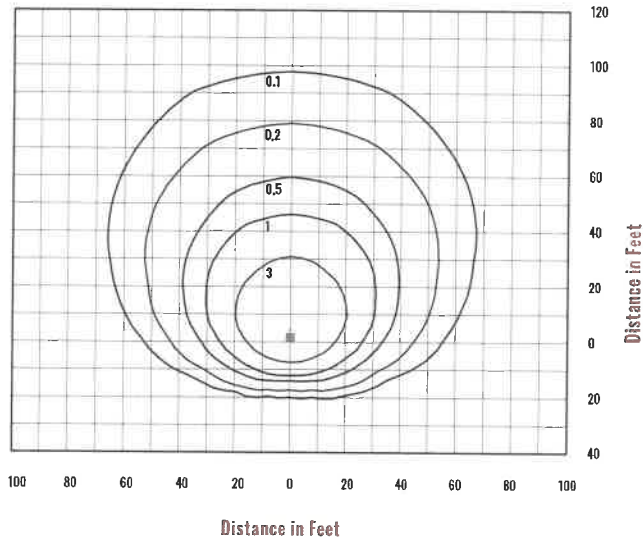
C-WP-E-TR-S12L-SCCT-UL-DB (4000K)

Mounting Height: 15'



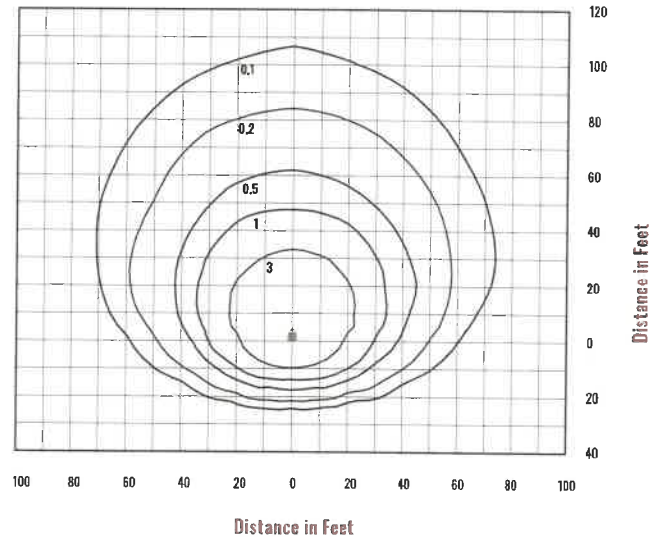
C-WP-E-TR-S18L-SCCT-UL-DB (4000K)

Mounting Height: 20'



C-WP-E-TR-S23L-SCCT-UL-DB (4000K)

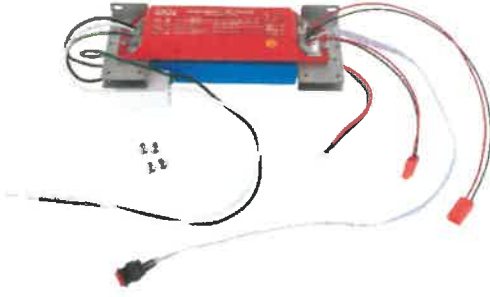

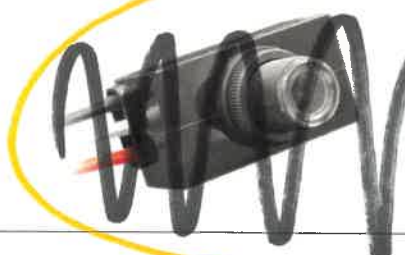
Mounting Height: 20'



Note: All published photometric testing performed to IES LM-79 standards. Fixture photometry was completed on a single representative fixture. Foot candle levels are noted inside graph.

C-WP-E-TR-SCCT Series

ACCESSORIES (SOLD SEPARATELY)

	<p>8W EMERGENCY BATTERY BACKUP KIT</p> <p>SKU: C-ACC-EB-8W-KIT-UL</p> <p>USE: Install the EM driver and EM battery kit inside the back box by following instruction sheet provided. Quick connectors have been added where possible, to help make installation easy. Provides 90 minutes and a minimum of 1010 lumens in Emergency Backup (EB) mode. 1010 - 1240 lumens based on efficacy of different lumen packages. Operating temperature: 32°F to 104°F (0°C to 40°C)</p> <p>*NOTE: Not compatible with SGL lumen package.</p>
	<p>UNIVERSAL BUTTON PHOTOCELL (120V-277V)</p> <p>SKU: CCR-PHC-0306-GC</p> <p>USE: Photocell is field installed and drilling of the back box is required. 500W Max.</p>
	<p>UNIVERSAL BUTTON PHOTOCELL (120V-277V)</p> <p>SKU: JL-423CZ</p> <p>USE: Photocell is field installed and drilling of the back box is required. 1000W Max.</p>

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Distribution/Sales: 855-617-2733 **Customer Service:** 888-243-9445

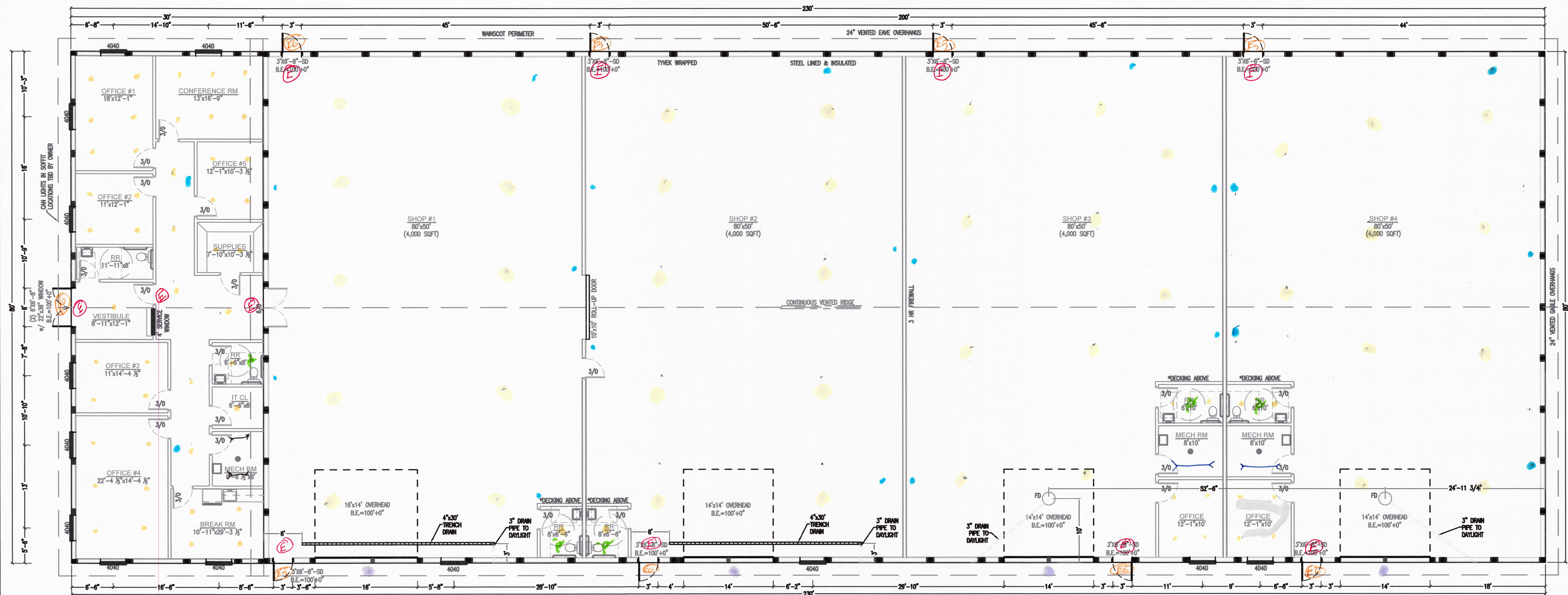
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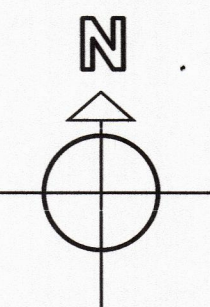
C-LITE
LED LIGHTING

Lighting Plan

PRELIMINARY DRAWING



1 FLOOR PLAN
NTS



COMMERCIAL

80'x30'x12' CLEAR
80'x200'x16' CLEAR
18,400 SQ. FT.
-T.E. FLOOR=100'+0"
-TYVEK WRAPPED
-WAINSCOT

OFFICE
-INSULATED & DRYWALLED
-4" SLAB w/ GRADE BEAM
-BOLT DOWN BRACKETS (BY PINNO)

SHOPS
-STEEL LINED & INSULATED
-6" SLAB w/ GRADE BEAM
-BOLT DOWN BRACKET (BY PINNO)
-HOSE BIB LOCATIONS TBD

- 6" recessed fixture (led min)
- 8' led strip fixture
- exit light w/ emergency hands
- external cross light/lampwork combo
- emergency light
- exhaust fan
- Highway led fixture
- wallpack light
- 4' led strip fixture

CONTRACT SPECIFICATIONS
TAKE PRECEDENCE
OVER BUILDING PLANS

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N5877 PALMER ROAD
ROSENDALE, WI. 54974

PHONE (920) 922-7010
FAX (920) 922-9093
www.pinnobuildings.com

Ryan Bendler
80'x30'x12' + 80'x200'x16' clear
FLOOR PLAN

DRAWING NO.

DRAWN BY:
AS

SCALE:
AS SHOWN

DATE:
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REVISIONS
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SHEET ID.

SHEET NO.
3 OF 3