



PLAN COMMISSION REPORT

Proposal: Site Plan and Architectural Review – Multi-family Residential Building

Description: Site, building, and related plan review for a multi-family residential building at 2398 – 2448 W. Colonial Woods Drive.

Applicant(s): Jeff Kleiner, Home Path Financial, Limited Partnership

Address(es): 2348-2398 W. Colonial Woods Dr. (2nd Aldermanic District)

Suggested Motion: That the Plan Commission approves the site, building, and related plans for construction of a new multi-family residential building to be located at 2348-2398 W. Colonial Woods Dr., be approved with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That all mechanicals, transformers, and utilities. All mechanical equipment, transformers, and utility boxes (ground, building and rooftop) shall be screened from view.

Owner(s): Home Path Financial, Limited Partnership

Tax Key(s): 810-1025-000, 810-1026-000, 810-1027-000, 810-1028-000, 810-1029-000, 810-1030-000, 810-1031-000, 810-1032-000, 810-1033-000, 810-1034-000, 810-1035-000, 810-1036-000, 810-1037-000, 810-1038-000, 810-1039-000, 810-1040-000

Lot Size(s): 5.4093 acres

Current Zoning District(s): Rm-1, Multifamily Residential

Overlay District(s): PUD

Wetlands: ☒ Yes ☐ No **Floodplain:** ☐ Yes ☒ No

Comprehensive Plan: Multi-Family

Background: In 2006, the Plan Commission approved a site plan for Phase I of the Colonial Woods Condominiums. This phase included three (3) 8-unit residential buildings (Buildings 2–4), four (4) 16-unit residential buildings (Buildings 5, 11–13), and five (5) duplexes (Buildings 6–10). Since then, all three 8-unit

buildings (Buildings 2–4) and all five duplexes (Buildings 6–10) have been completed. In addition, one 16-unit building (Building 13) has also been constructed. At this time, the Applicant is seeking approval for the construction of Building 5, a 16-unit residential building. This building will include twelve (12) two-bedroom, two-bathroom units and four (4) two-bedroom, three-bathroom units with lofted dens.

As you may recall, the updated plans were reviewed at the March 25, 2025, Plan Commission meeting. At that time, the applicant proposed the development as rental units. However, due to concerns about the proposed rentals conflicting with existing Homeowners Association (HOA) restrictions, the Plan Commission postponed its decision to allow time for the applicant and the HOA to resolve the issue.

The applicant revised the proposal, changing the units from rentals to condominiums, and returned for the May 27, 2025 Plan Commission meeting to seek approval for the site, architectural, and related plans. No other changes were made to the plans since the March 25, 2025 Plan Commission meeting. The Applicant failed to attend the May 27, 2025, and thus was not available to address questions and concerns by the Plan Commission. As a result, it was motioned to hold action to the June 24, 2025 Plan Commission meeting. Again, no changes have been made to the site and architectural plans since the March 25, 2025 review.

District Specific Standards, Use Specific Standards, & Land Use: The proposal complies with the intent, standards, and requirements of the City's Zoning Ordinance, as well as the bulk and dimensional standards of the Rm-1 Multi-Family Residential District. It also conforms to the approved Colonial Woods Planned Unit Development (Ordinance 2391) from 2006. Additionally, the proposed land use is consistent with the City's Comprehensive Plan.

Design: The proposed building will feature a four-sided architectural design using traditional, durable materials. The façade will be clad in red brick, exceeding the 65% brick façade requirement set by the 2006 Planned Unit Development, and cream-colored fiber cement board separated by a cream-colored Trex trim board. Windows will be included on all sides of the building. The roof will be gabled, covered with gray asphalt shingles. Upper units will have balconies made of Trex posts, railings, and trim board. The proposed design meets the requirements of the Municipal Code for multi-family dwellings.

Screening: The proposed plan also designates the location for two dumpsters at the northeast corner of the building. These dumpsters will be screened by a concrete block enclosure with brick veneer to match the building's exterior. The gate for the enclosure will be made with steel framing and cedar wood boards. No external mechanical units or utilities are specified in the plans at this time. Any ground-mounted, building, and rooftop mechanical units, utility boxes, and transformers shall be screened in accordance with Code. This requirement is included in the recommended conditions of this approval for clarity.

Parking: The minimum parking requirement for multi-family residential buildings is one (1) enclosed space per dwelling unit. For the proposed 16-unit residential building, 16 enclosed parking spaces are required on-site. The Applicant is proposing a total of 30 enclosed parking spaces in the building's lower-level parking garage. Additionally, the Applicant plans to add nine (9) exterior parking spaces to the west of the building. All exterior parking spaces will be striped and paved with asphalt.

Lighting: Lighting plans and fixture cut sheets have been provided. The Applicant is proposing 26 wall-mounted light fixtures around the perimeter of the front and sides of the building. Of these, 25 fixtures will be black wall lanterns, while one (1) fixture, mounted above the garage entrance, will be black, rectangular, and low-profile. In accordance with the Code, all fixtures must have a color temperature of 3,500 Kelvins or lower. Additionally, the fixtures must be full cutoff, with the light source fully shielded and directed downward. All proposed fixtures will meet these requirements, featuring a color temperature of 3,000 Kelvins and directing light downward.

Engineering and Utility: According to the City Engineering Department, the existing ponds, which were constructed as part of the original development, are designed to accommodate the additional impervious surfaces associated with the proposed Building 5. Therefore, no additional stormwater management will be required. Additionally, the proposed driveway on the public roadway (S. Orchard Way) must adhere to the City's Urban Driveway Approach Detail. The City Utility Department has no concerns. The applicant must comply with all relevant regulations and requirements.

Access: The proposed building will front W. Colonial Wood Drive, an existing private road. This private road will also provide access to the surface parking lot west of the building via an existing driveway. Access to the parking garage will be provided via an access drive off of S. Orchard Way, an existing public road. The site includes an existing concrete sidewalk, allowing for pedestrian access to the building.

Signage: No new or additional signage is being proposed as part of this review. Any future signs must comply with the Municipal Code, and the owner or tenant will need to apply for the necessary permits before installing any additional signs on the property.

Environmental: The site contains wetlands; however, no wetlands will be disturbed, and the proposed development will not encroach upon any wetland setbacks. Additionally, the site does not include any other environmentally sensitive areas, such as floodplains or environmental corridors. With the proposed new building, the site will be 42% green space, exceeding the 30% green space requirement.

Landscaping: The Applicant proposes landscaping for the front and exterior side yard foundation areas, including the planting of shrubs as shown in the submitted landscape plan, in accordance with Municipal Code requirements. Additionally, the Applicant plans to plant five (5) shade trees between the sidewalk and W. Colonial Woods Drive.

Since the adjacent uses are multi-family residential, no transitional landscaping is required. Furthermore, as no parking lots are proposed along any adjacent public or private right-of-way, perimeter landscaping for the parking lot is not required. The Applicant's proposed landscape plan meets the City of Oak Creek's landscaping requirements. The Plan Commission may, at its discretion, request additional landscaping on

the site. As the development site currently contains no trees, a Tree Preservation and Removal Plan is not required.

Fire Department: The Fire Department indicated no concerns. The Applicant must comply with all regulations and requirements of the City of Oak Creek Fire Department.

Review/Options/Alternatives: The Plan Commission has the discretion to either approve the plans as presented, approve them with specified conditions, or disapprove the proposal. In reviewing the request, the Commission will evaluate it in light of the City's Zoning Ordinance and any other relevant information.

The Plan Commission may only approve or approve with conditions if it is satisfied that the proposed project complies with all applicable provisions of the City's Zoning Ordinance, as well as with all adopted plans and policy documents. Any approval with conditions must specify the necessary actions to bring the application into compliance with the City's Zoning Ordinance and its adopted plans and policy documents.

The Plan Commission has the authority to modify any of the site plan review criteria outlined in Sec. 17.0804(g)(3)(a-j) of the City's Zoning Ordinance. However, such modifications require a 3/4 majority vote of the Commissioners present at the meeting and must include supplemental design elements or improvements to compensate for any modifications to the specific standards.

If the request is not approved, the Plan Commissioners are required to provide the relevant Code Sections upon which the denial is based. This will allow the applicant to revise and resubmit the proposal accordingly.

Respectfully submitted & approved by:



Kristi Laine
Community Development Director

Prepared by:



Todd Roehl
Senior Planner

Attachments:

Location Map

Narrative (2 pages)

Building, Landscape & Site Plans (14 pages)

Renderings (2 page)

Lighting Plan (4 pages)

Location Map

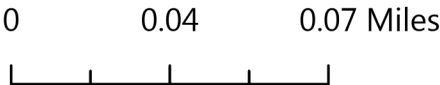
2350-2390 W. Colonial Woods Dr.



This map is not a survey of the actual boundary of the property this map depicts



Community Development



Legend

- Zoning
- FloodFringe2024
- Official Street Map
- Floodway2024
- Parcels
- 2350-2390 W. Colonial Woods Dr.



W229N1870 WESTWOOD DR
WAUKESHA, WI 53186
262 444 2270
DUFFEKCONSTRUCTION.COM

4/29/2025

Attention: Todd Roehl – Senior Planner
Transmitting To: City Of Oak Creek
Transmitting Via email: troehl@oakcreekwi.gov
RE: Project Name: Colonial Woods

Subject: Building #5 Colonial Woods
16 Unit Apartment Building

Todd,

I am writing to formally submit a brief narrative and description of our proposed project for consideration at the upcoming Plan Commission meeting.

The proposed project aims to build one (1) of the three (3) planned 16-unit multifamily residential buildings in the Planned Unit Development known as “Colonial Woods Planned Unit Development”. The new developer Home Path Financial, LP intends to sell the individual units within these buildings as condos (16 individually owned condos per building). The site is currently vacant land adjacent to the previously developed multi-family buildings.

Our plan includes thirty (30) below grade parking spaces, sixteen (16) units of living ranging from 1,224 to 1,323 square feet. Eight (8) dwelling units will be located on the first floor and eight (8) dwelling units will be located on the second floor, with third floor mezzanines accessible only from the individual second floor units.

1st floor: (8) 2-bed / 2 bath units
2nd floor: (4) 2-bed / 2 bath units
2nd floor lofts: (4) 2-bed / 3 bath units with lofted den (294 square feet)
Total Units: 16

The project is designed to align with the city’s previously approved planned unit development. We believe it will contribute positively to the community by benefits such as economic growth, job creation, housing opportunities and completing the original planned development.

The previously submitted landscape, architectural and engineering drawings were prepared to address any questions or concerns from the commission. Our team is committed to ensuring that this project meets all necessary requirements and enhances the surrounding area.

Please let us know if any additional documentation or details are needed before the meeting. We appreciate your time and consideration and look forward to discussing our proposal further.

Sincerely,
Mike Duffek / President
mduffek@duffekconstruction.com
Duffek Construction





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WAUKESHA, WI 53186
262 444 2270
DUFFEKCONSTRUCTION.COM

Cc: Jeff Kleiner, CEO,
Home Path Financial, jeff@myhomepath.com

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BUILDING 5

COLONIAL WOODS

16 UNIT APARTMENT BUILDING

S 27TH STREET AND WEST COLONIAL WOODS DRIVE
OAK CREEK, WISCONSIN 53154

PLAN COMMISSION SET



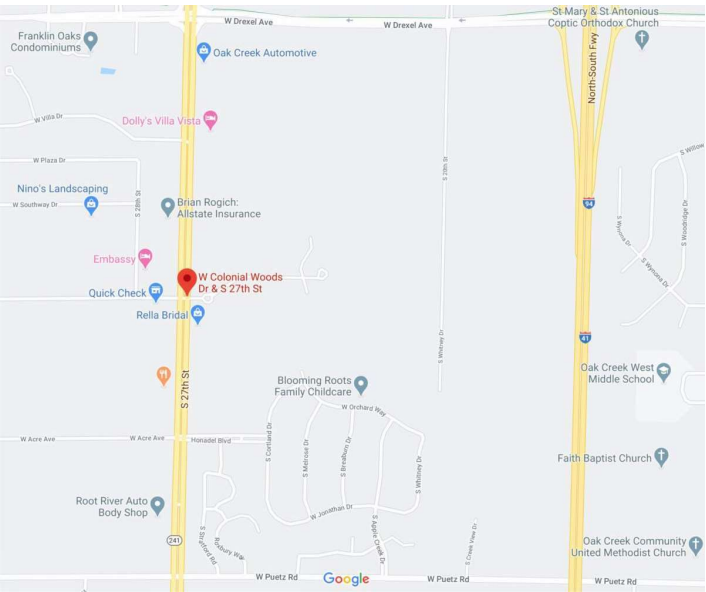
Quorum Architects, Inc.
3112 West Highland Boulevard
Milwaukee, Wisconsin 53208
Phone: 414.265.9265
Fax: 414.265.9465
www.quorumarchitects.com

PRELIMINARY
NOT FOR
CONSTRUCTION
QUORUM ARCHITECTS, INC.

DATE: FEBRUARY 7, 2025

PROJECT NUMBER: 20116.01.02

LOCATION MAP:



CONTACT INFORMATION:

ARCHITECTURAL

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3112 West Highland Boulevard
Milwaukee, WI 53208
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Fax: (414) 265-9465
Contact: Chris Hau
Email: chris@quorumarchitects.com

STRUCTURAL

PIERCE ENGINEERS, INC.
181 N. Broadway
Milwaukee, WI 53202
Phone: (414) 278-6060
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Email: tcowan@piercingengineers.com

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AND GENERAL NOTES

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BLDG 5 - COLONIAL WOODS
16 UNIT APARTMENT BUILDING

PLAN COMMISSION SET

Project No.: 20116.01.02 Date: 02/07/25

BUILDING INFORMATION AND CODE ANALYSIS

GOVERNING CODES:		USE AND OCCUPANCY CLASSIFICATION PER IBC CHAPTER 3	
2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC) WITH WISCONSIN AMENDMENTS SPS 366		PRIMARY: RESIDENTIAL GROUP R2: APARTMENT HOUSE / CONDOMINIUMS	
2015 INTERNATIONAL BUILDING CODE (IBC) WITH WISCONSIN AMENDMENTS SPS 362		STORAGE GROUP S2: LOW-HAZARD STORAGE / ENCLOSED PARKING GARAGE	
2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES			
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH WISCONSIN AMENDMENTS SPS 363			
2015 INTERNATIONAL MECHANICAL CODE (IMC) WITH WISCONSIN AMENDMENTS SPS 365		CONSTRUCTION TYPE PER IBC TABLE 601	
2014 WISCONSIN PLUMBING CODE SPS 381-387		TYPE V-A: WOOD FRAME CONSTRUCTION	
2011 NFPA NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS SPS 316			
PROJECT DESCRIPTION:		FIRE PROTECTION SYSTEMS PER IBC CHAPTER 9	
(3) NEW 16-UNIT MULTI-FAMILY DWELLING UNIT OF SAME OR MIRRORED DESIGN WITH BELOW-GRADE PARKING, PRECAST CONSTRUCTION DECK ABOVE PARKING SEPARATING THE DWELLING UNITS AND WOOD-FRAME CONSTRUCTION ABOVE GRADE. UNITS ARE SIMILAR IN DESIGN TO EXISTING BUILDING #13 ON SAME SITE. PARKING BELOW-GRADE FOR 30 VEHICLES; 8 DWELLING UNITS AT FIRST FLOOR AND 8 DWELLING UNITS AT SECOND FLOOR WITH THIRD FLOOR MEZZANINES ACCESSIBLE ONLY FROM THE INDIVIDUAL SECOND FLOOR UNITS.		FULL AUTOMATIC SPRINKLER SYSTEM PER NFPA 13R.	
		FIRE ALARM AND DETECTION SYSTEM PER IBC 907.2.11.2	
		INTERCONNECTED / HARDWIRED SMOKE ALARMS REQUIRED WITHIN DWELLING UNITS.	
		ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PER IBC TABLE 504.3	
		MAXIMUM ALLOWABLE: 60 FEET	
		ACTUAL HEIGHT: 30 FEET	
		ALLOWABLE NUMBER OF STORIES ABOVE GRADE PER IBC TABLE 504.4	
		MAXIMUM ALLOWABLE: 4 STORIES (GROUP R-2/S13R)	
		ACTUAL NUMBER OF STORIES : 3 STORIES	
		ALLOWABLE AREA PER FLOOR PER IBC TABLE 506.2	
		DETERMINED BY SEPARATED USES: S-2 PARKING AND R-2 DWELLING UNITS SEPARATED BY 1-HOUR RATED CONSTRUCTION	
		MAX. ALLOWABLE FIRE AREA:	
		LOWER LEVEL:	10,528 GROSS SF (GROUP S-2)
		FIRST FLOOR:	11,320 GROSS SF (GROUP R-2; INCLUDES COVERED PATIOS AND BALCONIES)
		SECOND FLOOR:	11,187 GROSS SF (GROUP R-2)
		THIRD FLOOR:	1,400 GROSS SF (GROUP R-2); ACCESSED ONLY FROM 2ND FLR OF UNITS 202, 203, 206 & 207
		TOTAL	34,435 GROSS SF

GENERAL SYMBOLS

	EXISTING WALLS TO REMAIN		STEEL OR METAL		EXTERIOR ELEVATION MARKER		DEMOLITION NOTE
	EXISTING WALLS TO BE REMOVED		BATT INSULATION		INTERIOR ELEVATION MARKER (SINGLE)		CONSTRUCTION NOTE
	NEW FULL HEIGHT METAL STUD AND GYP. BD. WALLS		RIGID INSULATION		INTERIOR ELEVATION MARKER (MULTIPLE)		WINDOW OR GLAZING TYPE
	NEW PARTIAL HEIGHT METAL STUD AND GYP. BD. WALLS		GYPSUM BOARD		PARTITION TYPE		REVISION NOTE
	NEW MASONRY WALL		FINISHED WOOD		SECTION MARKER		SIGN OR SIGNAGE TYPE
	EXISTING COLUMN		ROUGH CUT WOOD		DETAIL MARKER		EXISTING COLUMN LINE HEAD
	FURNITURE OR OTHER ITEMS SHOWN FOR REFERENCE		WOOD BLOCKING OR SHIM		NEW COLUMN LINE HEAD		ROOM NAME AND NUMBER TAG (ROOM SF AS NEEDED)
	NEW MILLWORK		CENTER LINE		ENLARGED PLAN OR DETAIL MARKER		DOOR NUMBER
	CONCRETE		EXISTING DATUM MARKER		CEILING TYPE MARKER		EXISTING SPOT ELEVATION
	STONE		NEW DATUM MARKER		EXISTING SPOT ELEVATION		NEW SPOT ELEVATION

DOOR SYMBOLS

	WITH FRAME		WITHOUT FRAME
	NEW DOOR		EXISTING DOOR
	EXISTING DOOR TO BE REMOVED		NEW DOUBLE BI-FOLD DOOR (SINGLE SIMILAR)
	NEW SLIDING DOOR		NEW TRIPLE SLIDING DOOR
	NEW SINGLE POCKET DOOR		NEW DOUBLE POCKET DOOR
	NEW REVOLVING DOOR		NEW OVERHEAD DOOR

CEILING SYMBOLS

	EXISTING CEILING GRID		WALL SCENCE
	EXISTING CEILING GRID TO BE REMOVED		WALL MOUNTED FIXTURE
	NEW CEILING GRID		NEW SUPPLY AIR GRILLE
	GYPSUM BOARD CEILING		NEW RETURN AIR GRILLE
	EXISTING 2x4 LIGHT FIXTURE TO BE REMOVED		EXISTING EMERGENCY LIGHT
	NEW 2x4 FLUORESCENT LIGHT FIXTURE		EXISTING EMERGENCY LIGHT TO BE REMOVED
	NEW 2x4 24 HOUR FLUORESCENT LIGHT FIXTURE		NEW EMERGENCY LIGHT
	NEW 2x2 FLUORESCENT LIGHT FIXTURE		EXISTING SPRINKLER HEAD
	NEW SURFACE MOUNTED 2x4 FLUORESCENT LIGHT FIXTURE		NEW SPRINKLER HEAD
	RECESSED DOWN LIGHT		SINGLE POLE SWITCH
	RECESSED DIRECTIONAL DOWN LIGHT		3 = 3-WAY
	PENDANT LIGHT FIXTURE		D = DIMMER
	EXIT LIGHT	LIGHTING ABBREVIATIONS	
		N = NEW FIXTURE	
		R = REUSE SALVAGED FIXTURE	
		E = EXISTING TO REMAIN	
		D = REMOVE AND SALVAGE FOR	

ABBREVIATIONS

ANCHOR BOLT	BOT ABOVE	BOTTOM BRICK RELIEF ANGLE	CONTR COORD	CONTRACTOR COORDINATE	EB ELECTRICAL BASEBOARD	FH FIRE HYDRANT	H/C HOT/COLD	LBS POUND(S)	N/A NOT APPLICABLE	PNL PANEL	RND ROUND	STG SEATING	US UTIL	URINAL SCREEN UTILITY
AIR CONDITIONING	BRA BRIDGING	BRC BRIDGING	CORR CORRIDOR	EC ELECTRICAL CONTRACT(OR)	FHC FIRE HOSE CABINET	HDC HANDICAP	NAT NATURAL	PT PAINT	NOT APPLICABLE	RO ROOF	ROUGH OPENING	STL STEEL	UTIL UTILITY	
ACOUSTIC	BRG BEARING	BRK BRICK	CPT CARPET	EDF ELECTRICAL DRINKING FOUNTAIN	FIN FINISH	HDR HARDWOOD	NIC NOT IN CONTRACT	PRC PRECAST	NOT IN CONTRACT	RW RIGHT OF WAY	RTU ROOF TOP UNIT	STR STRUCTURE	V VENT	VENT VARIABLE AIR VOLUME
ACOUSTICAL CEILING TILE	BRK BRICK	BSMT BASEMENT	CRS COURSE	EF EXHAUST FAN	FL FLOOR LINE	HDWR HARDWARE	NRC NOISE REDUCTION	PRC PRECAST	COEFFICIENT	SUSP SUSPENDED		SW SWITCH BOARD	VAV VITREOUS CLAY PIPE	
ACOUSTICAL CEILING PANEL	B.S. BOTH SIDES	BTWN BETWEEN	CTR CENTER	EG EXHAUST GRILLE	FLR FLOOR	HM HOLLOW METAL	NTS NOT TO SCALE	PREFAB PREFABRICATE(D)	NUMBER	SWALK SIDEWALK		SUSP SUSPENDED	VCT VITREOUS CLAY PIPE	
AIR CONDITIONING UNIT	BSMT BASEMENT	BUR BUILT-UP ROOF(ING)	CT CERAMIC TILE	ENG ENGINEER(ED)	FLASH FLASHING	HOR HORIZONTAL		PREFIN PREFINISH(ED)	NOMINAL	SY SQUARE YARD		SWALK SIDEWALK	VERT VERTICAL	
AREA DRAIN	BTWN BETWEEN	BVL BEVEL	CTK COUNTERSINK	EJ EXP. JOINT	FLEX FLEXIBLE	HP HORSE POWER		PRELIM PRELIMINARY	NOT TO SCALE	SYM SYMMETRICAL		SYN SYNTHETIC	VEST VESTIBULE	
ADDITIONAL	BUR BUILT-UP ROOF(ING)	BW BOTH WAYS	COP COPPER	ELEV ELEVATION	FLU FLUORESCENT	HR HOUR		PRV POWER ROOF VENTILATOR		VT VINYL TILE		SDS SOAP DISPENSER SURFACE	VG VERTICAL GRAIN	
ADDENDUM	BVL BEVEL		CU CONDENSING UNIT	ELEC ELECTRIC, ELECTRICAL	F.O. FACE OF CONCRETE	HT HEIGHT		PSF POUNDS PER SQUARE		VTR VENT THROUGH ROOF		SDR SOAP DISPENSER	VP VAPOR PROOF	
ADJUSTABLE	BW BOTH WAYS		CUYD CUBIC FOOT (FEET)	ELT ELEVATOR	FOF FACE OF FINISH	HTG HEATING		SCHD SCHEDULE		VWC VINYL WALL COVERING		PTD PAPER TOWEL DISPENSER	W WEST	
ABOVE FINISHED FLOOR	C CONDUIT	C/C CENTER TO CENTER	CUH CUBIC YARD	EMER EMERGENCY	FOM FACE OF MASONRY	HTR HEATER		SCI SCREW				PTDR PAPER TOWEL DISPENSER		
ABOVE FINISHED GRADE	C/C CENTER TO CENTER		CYL CYLINDER	ENCL ENCLOSURE	FOS FACE OF STUD	HVAC HEATING, VENTILATING AND		SDG SIDING				PTDR PAPER TOWEL DISPENSER		
AGGREGATE	CH AIR HANDLING UNIT		CW COLD WATER	ENR ENGINEER(ED)	FP FIRE PROTECTION	HW HOT WATER		SDS SOAP DISPENSER SURFACE				PTDR PAPER TOWEL DISPENSER		
AIR HANDLING UNIT	CATV CABLE TELEVISION			EQ EQUAL	FR FIRE RATED			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
ALUMINUM	CB CATCH BASIN			EQ EQUIP	FRM FRAME			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
ALTERNATE	CEM CEMENT			ES EQUIP	FS FULL SIZE			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
ANODIZED	CER CERAMIC			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
ACCESS PANEL	CFOI CONTRACTOR FURNISHED			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
APPROXIMATE	CFOI CONTRACTOR FURNISHED			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
ARCHITECT(URAL)	CFOI CONTRACTOR FURNISHED			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
ASBESTOS	CFOI CONTRACTOR FURNISHED			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
ASPH ASPHALT	CG CORNER GUARD			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
ASSY ASSEMBLY	CH CAST IRON			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
ATTENUATION	CI CAST IRON			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
AUTOMATIC	C/D CAST IN PLACE			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
AUXILIARY	CIP CAST IN PLACE			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
AV AUDIO VISUAL	CIR CIRCLE			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
AVERAGE	CIRC CIRCUMFERENCE			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
AWP ACOUSTICAL WALL PANEL	CJ CONTROL JOINT			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CKBD CHALKBOARD			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CKT CIRCUIT			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CL CENTER LINE			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CLG CEILING			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CLK CAULKING			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CLK CLOSET			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CLR CLEAR			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CMU CONCRETE MASONRY UNIT			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CNT COUNTER			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	COL CASED OPENING			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CO COLUM			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	COMB COMBINATION			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CONC CONCRETE			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	COND CONDENSATE			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
	CONF CONFERENCE			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
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	CONST CONSTRUCTION			EST ESTIMATE(D)	FT FOOT OR FEET			SDR SOAP DISPENSER				PTDR PAPER TOWEL DISPENSER		
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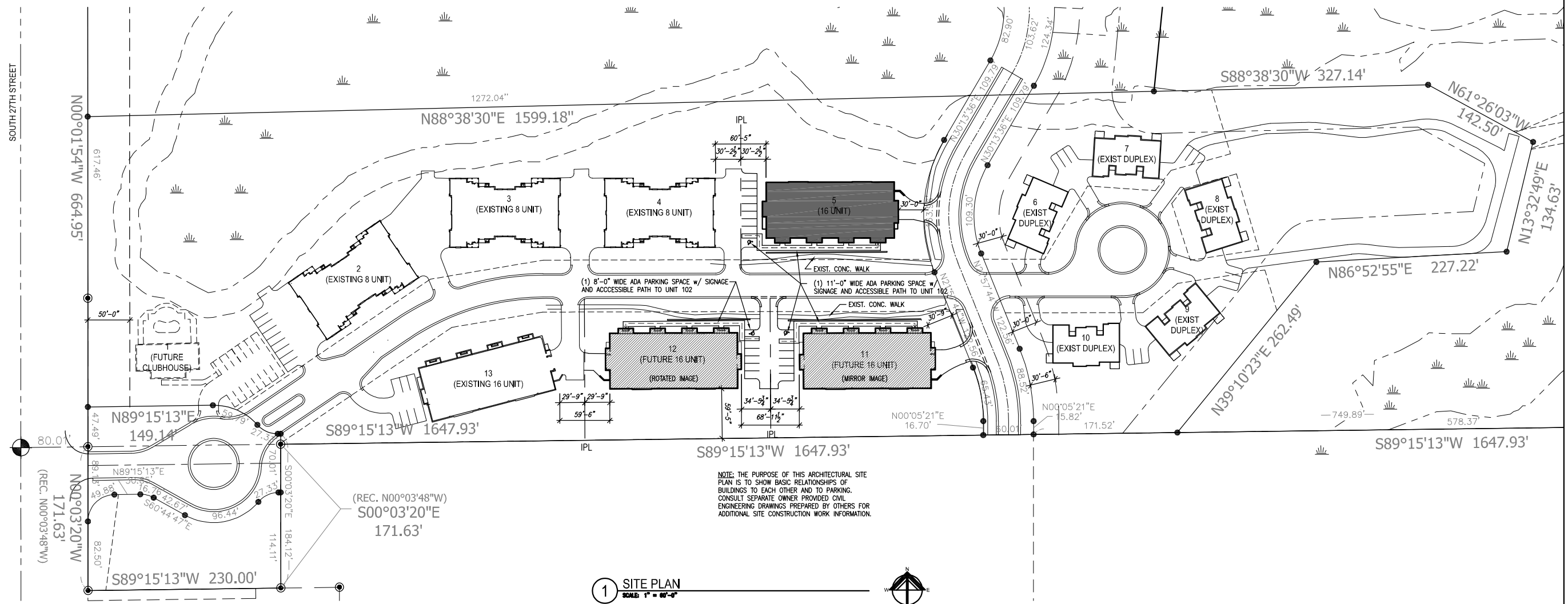
**BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING**






Revisions:

Sheet Name:
OVERALL SITE PLAN

Date: 02/07/2025
Drawn By: CLR/CGH
Project No.: 20116.01.02
Sheet No.

C1.0



PLANT SCHEDULE - BUILDING 5						
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	ROOT	REMARKS
TREES						
	GD2	5	STREET KEEPER® HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS "DRAVES"	8' B&B OR 25 GAL. CONT.	
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	ROOT / CONT	REMARKS
SHRUBS						
	CF2	14	ARCTIC FIRE® RED TWIG DOGWOOD	CORNUS STOLONIFERA "FARROW"	5 GAL.	
	CR2	24	RUBY SPICE SUMMERSWEET	CLETHRA ALNIFOLIA "RUBY SPICE"	5 GAL.	
	HA	15	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS "ANNABELLE"	5 GAL.	
	LR	24	KODIAK® ORANGE DIERVILLA	DIERVILLA X "C2X88544"	5 GAL.	

GENERAL LANDSCAPE NOTES

- QUALITY ASSURANCE
A. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN AND SHALL.
B. MEASUREMENTS: MEASURE ACCORDING TO ANSI Z90.1. DO NOT PRUNE TO OBTAIN REQUIRED SIZES.
C. DELIVERY, STORAGE, AND HANDLING
1. DELIVER BARE-ROOT STOCK PLANTS FREELY DUG, IMMEDIATELY AFTER DUGGING UP BARE-ROOT STOCK, PACK ROOT SYSTEM IN NET STRAW, WAX, OR OTHER SUITABLE MATERIAL TO KEEP ROOT SYSTEM MOIST UNTIL PLANTING.
2. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, STING, WIND BURN, SHEETING, WHIPPING, AND OTHER HANDLING AND TYPING DAMAGE. DO NOT BEND OR BANG-TE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.
E. HANDLE PLANTING STOCK BY ROOT BALL.
F. DELIVER PLANTS AFTER PREPARATION FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY. SET PLANTS AND TREES IN THEIR APPROPRIATE ASPECT (SUN, FILTERED SUN, OR SHADE), PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- PROJECT CONDITIONS
A. FIELD MEASUREMENTS: VERIFY ACTUAL GRADE ELEVATIONS, SERVICE AND UTILITY LOCATIONS, IRRIGATION SYSTEM COMPONENTS, AND DIMENSIONS OF PLANTINGS AND CONSTRUCTION CONCORDANT WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
B. PLANTING RESTRICTIONS: PLANT DURING ONE OF THE FOLLOWING PERIODS. COORDINATE PLANTING PERIODS WITH MAINTENANCE PERIODS TO PROVIDE REQUIRED MAINTENANCE FROM DATE OF SUBSTANTIAL COMPLETION.
1. DECIDUOUS TREES AND SHRUBS: APRIL 1 TO SEPTEMBER 30
2. PERENNIALS: MAY 15 TO SEPTEMBER 30
C. DO NOT INSTALL PLANT MATERIALS WHEN AMBIENT TEMPERATURES MAY DROP BELOW 35 DEGREES F OR RISE ABOVE 90 DEGREES F OR WHEN WIND VELOCITIES EXCEED 30 MPH.
D. COORDINATION WITH TRIP AREAS (LAWNS): PLANT TREES, SHRUBS AND OTHER PLANTS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING TURF AREAS UNLESS OTHERWISE INDICATED.

PLANTING NOTES

- ALL PLANTING SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARDS OF NURSERY STOCK AND 2800.100M. ANY PLANT SUBSTITUTION MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS MUST BE INSTALLED AS PER SIZES SHOWN ON PLAN.
2. PREPARATION
A. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES AND TURF AREAS AND EXISTING PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
B. INSTALL EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
C. LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS. SPACE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE EXCAVATING OR PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
D. LAY OUT PLANTS AT LOCATIONS DIRECTED BY ARCHITECT. SPACE LOCATIONS OF INDIVIDUAL TREES AND SHRUBS AND OUTLINE AREAS FOR MULTIPLE PLANTINGS.
3. PLANTING AREA ESTABLISHMENT
A. LOOSEN SUBGRADE OF PLANTING AREAS TO A MINIMUM DEPTH OF 12 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBER, AND OTHER EXTRANEANUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
1. APPLY INERT TYPE FERTILIZER DIRECTLY TO SUBGRADE BEFORE LOOSENING.
2. THOROUGHLY BLEND PLANTING SOIL OFF-SITE BEFORE SPREADING OR SPREAD TOPSOIL, APPLY SOIL AMENDMENTS AND FERTILIZER ON SURFACE AND THOROUGHLY BLEND PLANTING SOIL.
3. SPREAD PLANTING SOIL TO A DEPTH OF 12 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, WET, OR EXCESSIVELY WET.
4. EXCAVATION FOR TREES AND SHRUBS
A. PLANTING PITS AND TRENCHES: EXCAVATE CIRCULAR PLANTING PITS APPROXIMATELY THREE TIME AS WIDE AS BALL DIAMETER WITH SIDES SLOPING INWARD AT A 45-DEGREE ANGLE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING.
B. SUBSOIL AND TOPSOIL: REMOVED FROM EXCAVATIONS MAY NOT BE USED AS PLANTING SOIL.
5. TREE AND SHRUB PLANTING
A. BEFORE PLANTING, VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL ACCORDING TO AND 30A.1.
B. REMOVE STEM GROUNDING ROOTS AND HOOKED ROOTS. REMOVE INJURED ROOTS BY CUTTING CLEANLY; DO NOT BREAK.
C. SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES AND USE PLANTING SOIL FOR BACKFILL.
D. PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING SOIL, 1/3 PEAT MOSS. AVOID ANY AIR POCKETS. SECURE ANY GRASS, CLAY, OR STONES. ARCHITECT. ALL PLANTS MUST BE INSTALLED AS PER SIZES SHOWN ON PLAN.
E. ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF PLANT STARTER AND EXISTING SOIL.
F. SET CONCAVED-DOWN STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 1 INCH ABOVE ADJACENT FINISH GRADES AND USE PLANTING SOIL FOR BACKFILL.
G. PROVIDE 3'-4' DIAMETER MULCH RINGS AROUND ALL LAMN TREES.
H. ALL SHRUB BEDS RESIDE A 2-3" LAYER OF SHREDED HARDWOOD BARK MULCH (OR BROWN EMERALD MULCH) EXIDE ALL BEDLINES WITH A 4" DEEP SHOULDER SPACE EXIDE.
I. PERENNIAL, GRASS, WING, GROUND COVER, AND ANNUAL PLANTINGS
A. SET OUT AND SPACE GROUND COVER AND PLANTS OTHER THAN TREES, SHRUBS, AND VINES PER PLANTING PLAN.
B. ALL AREAS TO RECEIVE A BLEND OF EXISTING SOIL AMENDMENTS PRIOR TO PLANTING. REINSTALL THE FOLLOWING MATERIALS INTO EXISTING SOIL TO A DEPTH OF APPROX. 4". (NOTE: PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON CONDITION OF EXISTING SOIL.)
6.1 PER EVERY 100 SQUARE FEET ADD:
ONE 2 CU. FT. BALE OF PEAT MOSS
2 LBS. OF 3-10-5 GARDEN FERTILIZER
ONE CU. YARD OF COMPOSTED MANURE, PLANT STARTER OR OTHER COMPOST/ORGANIC MATERIAL.
C. USE PLANTING SOIL FOR BACKFILL.
D. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS.
7. LAWN INSTALLATION: SEE PLANTING SCHEDULE TO DETERMINE IF SOO OR SEED TO BE USED. CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (MIN. 5") AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY AND PROVIDE A MULCH COVERING SUITABLE TO CONSUME AND ESTABLISH TURF. EROSION CONTROL MEAS TO BE USED IN SLOPES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT DISCRETION OF CONTRACTOR ON HIS/HER RESPONSIBILITY.
8. MULCH BACKFILLED SHIRKETS OF PLANTING AREAS AND OTHER AREAS INDICATED IN SECTION 2.5 KEEPING 4 INCHES FROM TRUNKS OR STEMS.
9. ALL PLANTING TO BE WATERED AT TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.

Revisions:

Sheet Name:
LANDSCAPE PLAN

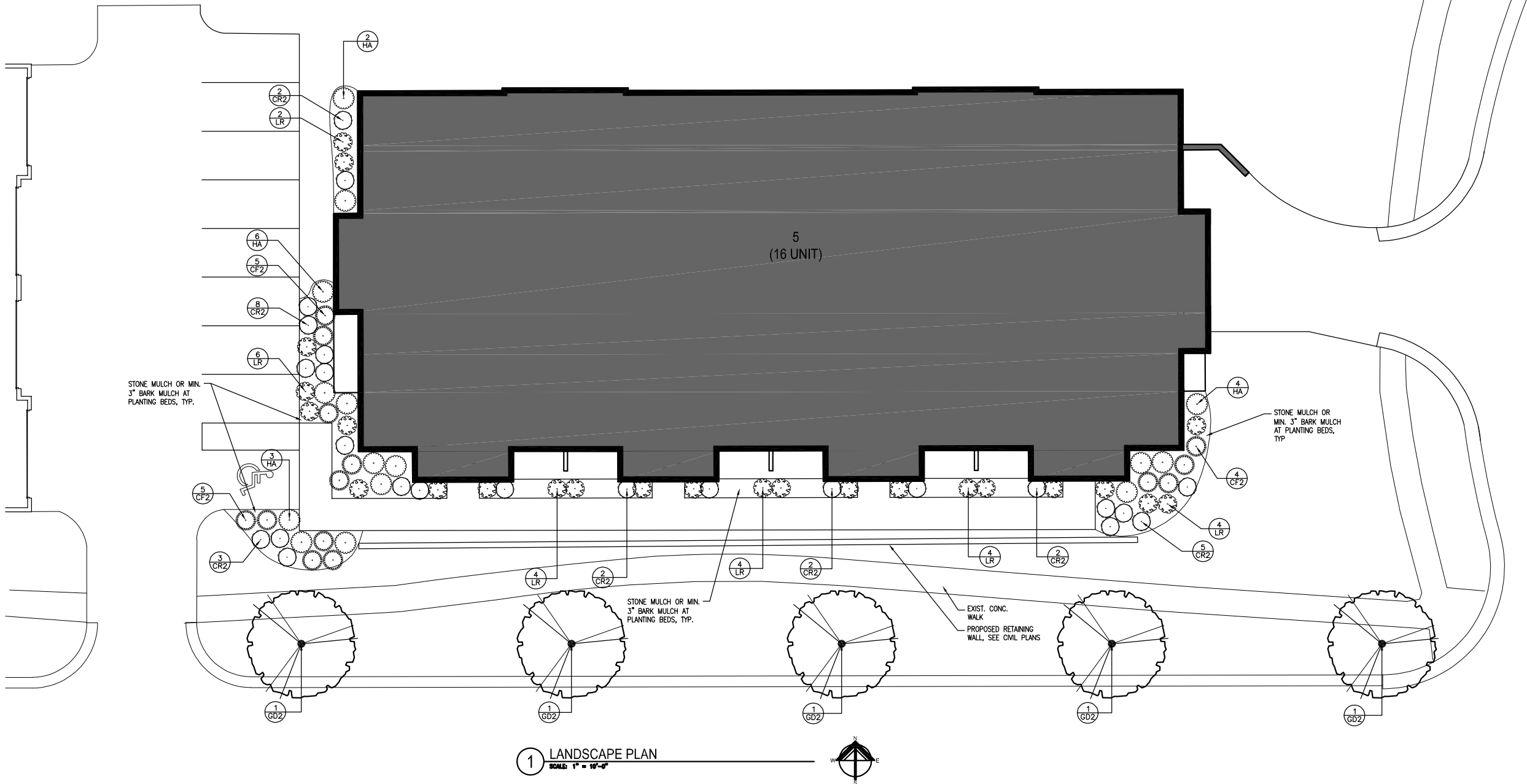
Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

Sheet No.

L1.0



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QUORUM ARCHITECTS, INC.

**BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING**

S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:
1 ADDENDUM #1
03/07/2025

Sheet Name:
GARAGE LEVEL FLOOR
PLAN - OVERALL

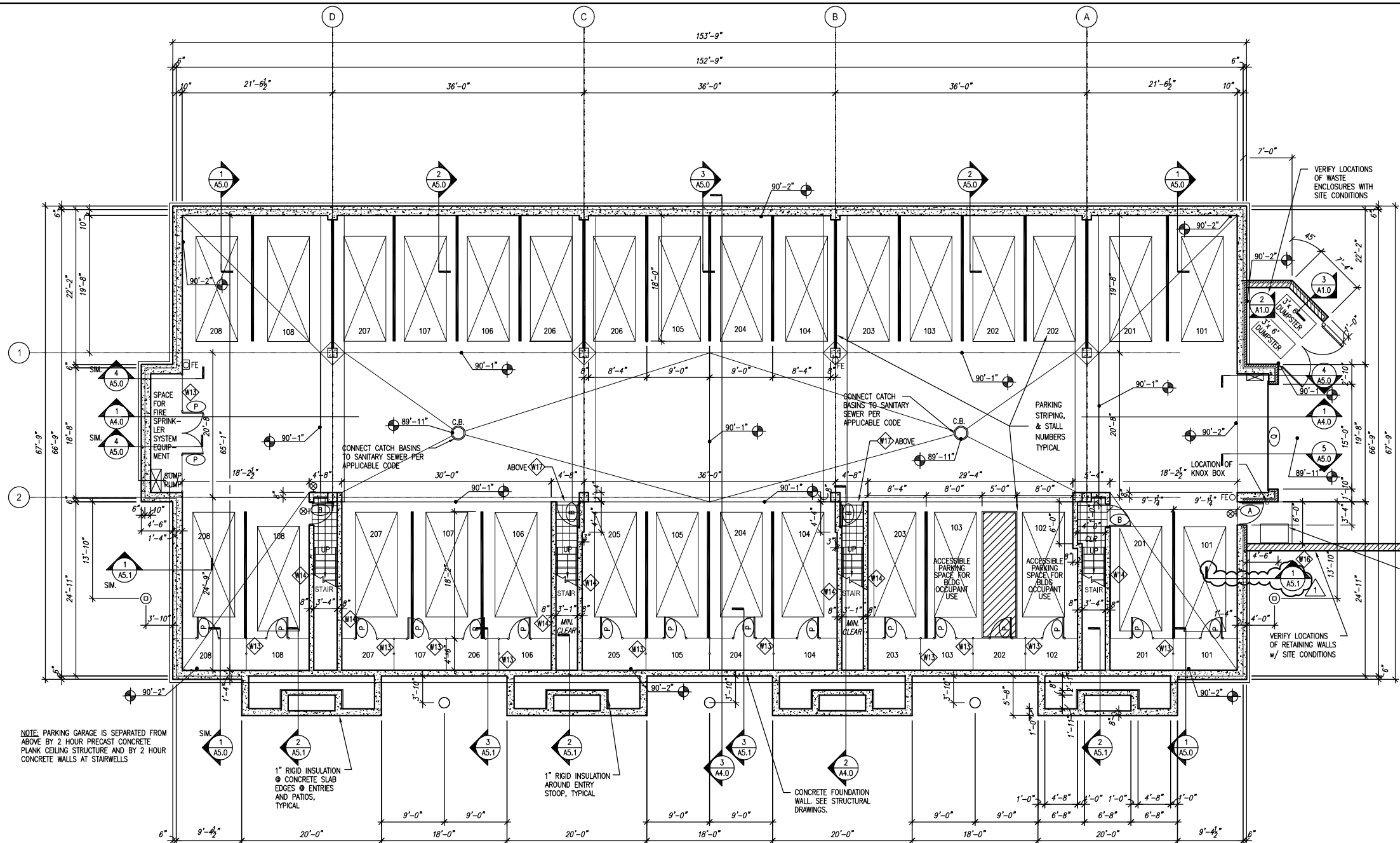
Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

Sheet No.

A1.0



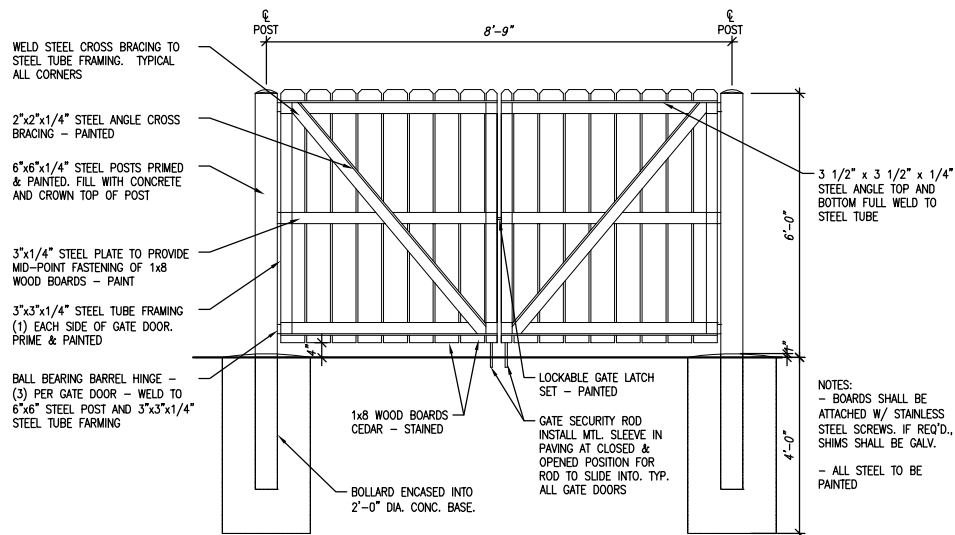
NOTE: PARKING GARAGE IS SEPARATED FROM ABOVE BY 2 HOUR PRECAST CONCRETE PLANK CEILING STRUCTURE AND BY 2 HOUR CONCRETE WALLS AT STAIRWELLS

1" RIGID INSULATION @ CONCRETE SLAB EDGES @ ENTRIES AND PATIOS, TYPICAL

1" RIGID INSULATION AROUND ENTRY STOOP, TYPICAL

CONCRETE FOUNDATION WALL. SEE STRUCTURAL DRAWINGS.

30"x48" WHEELCHAIR AREA OF REFUGE AT EXTERIOR

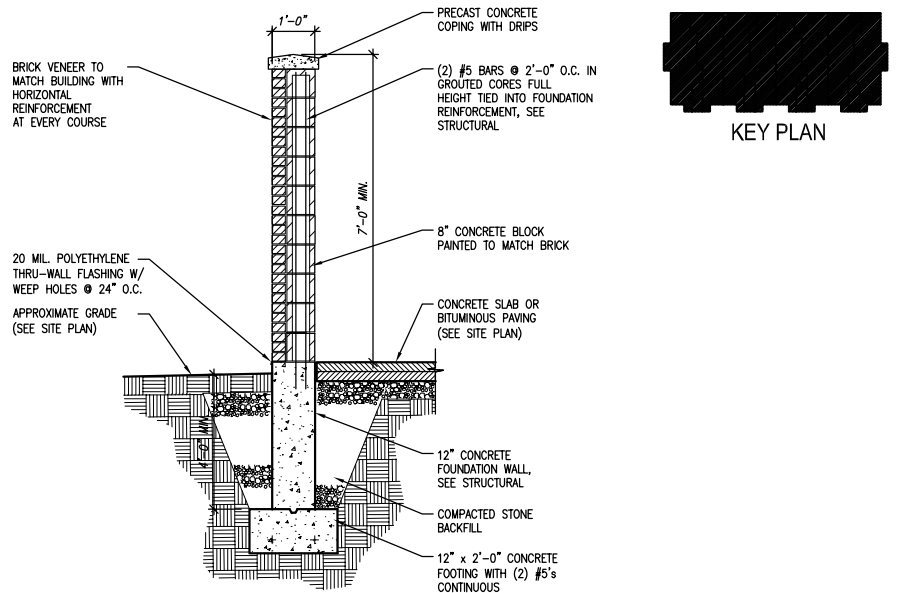


2 DUMPSTER ENCLOSURE GATE ELEVATION (VERIFY SITE CONDITIONS)
SCALE: 1/8" = 1'-0"

1 GARAGE LEVEL PLAN - OVERALL
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- ALL CONSTRUCTION SHALL MEET APPLICABLE NATIONAL, STATE & LOCAL CODES.
- ALL CONSTRUCTION OF FIRST FLOOR UNITS SHALL MEET ADA REQUIREMENTS. THIS INCLUDES SITE ACCESS TO EACH FIRST FLOOR UNIT. THIS ALSO INCLUDES MOUNTING HEIGHTS OF LIGHT SWITCHES, ELECTRICAL OUTLETS, OPERABLE WINDOW CONTROLS, DOOR HARDWARE INCLUDING PATIO DOORS, CONTROLS ON APPLIANCES, THERMOSTATS, AND OTHER OPERABLE ENVIRONMENTAL CONTROLS. ADEQUATE ILLUMINATION IS ALSO REQUIRED.
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE SEALED PER APPROVED UL (OR EQUAL) SYSTEM APPROPRIATE FOR THE PARTICULAR RATED ASSEMBLY.
- ALL CONSTRUCTION SHALL BE COMPLETED PER THESE DRAWINGS AND THE RELATED SPECIFICATIONS WHICH TOGETHER MAKE UP THE CONSTRUCTION DOCUMENTS FOR THIS BUILDING.
- ALL INTERIOR DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED. DOOR LOCATION DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF JAMB AT DOOR OPENING.



3 DUMPSTER ENCLOSURE WALL SECTION (VERIFY WITH SITE CONDITIONS)
SCALE: 1/8" = 1'-0"

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BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING
S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:
1 ADDENDUM #1
03/07/2025

Sheet Name:
FIRST FLOOR
PLAN - OVERALL

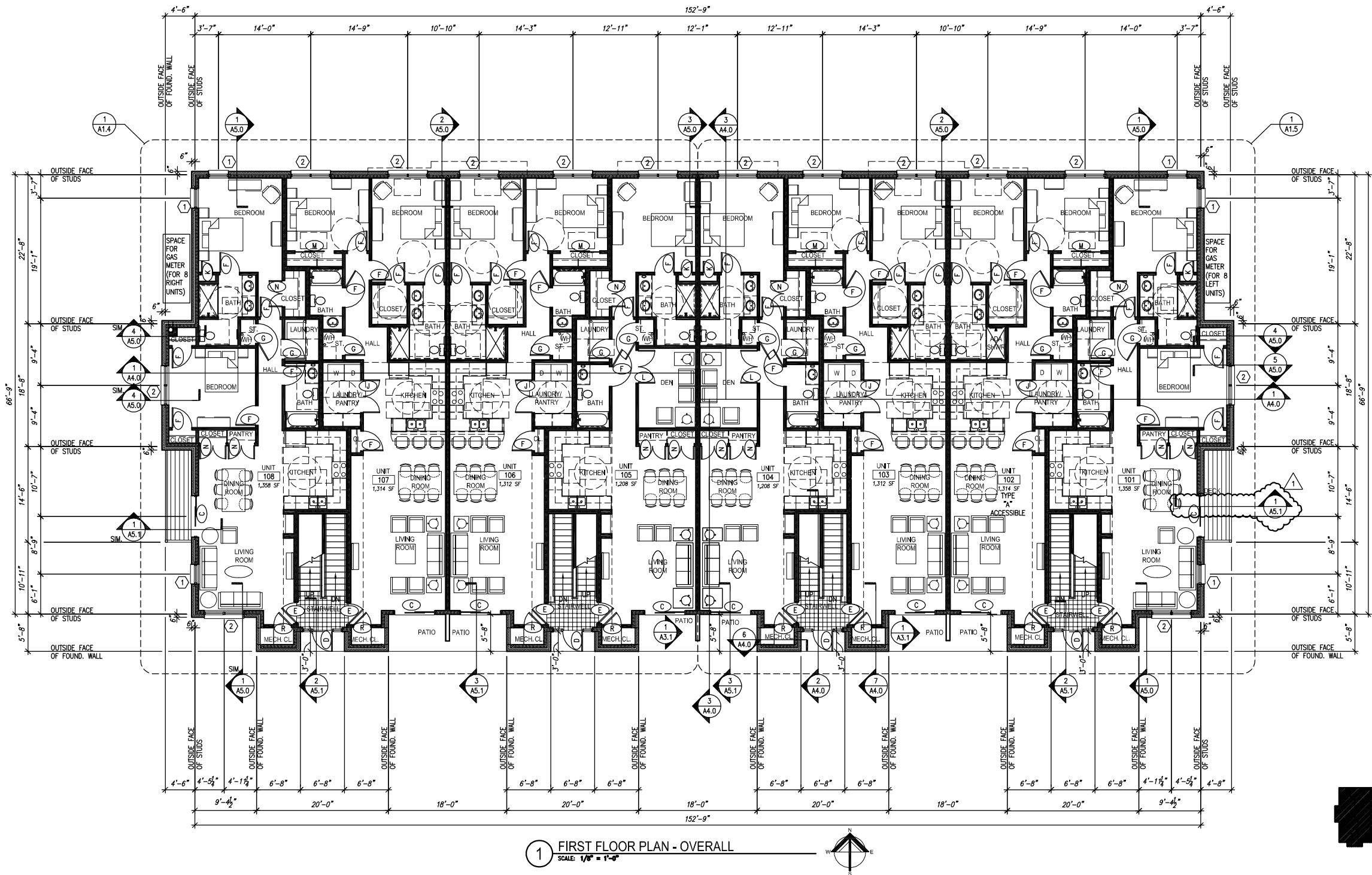
Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

Sheet No.

A1.1



GENERAL NOTES

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WINDOW TYPES

- 1 3'-0" x 5'-6" SINGLE HUNG WINDOW
- 2 (2) 3'-0" x 5'-6" SINGLE HUNG WINDOWS
- 3 3'-6" x 5'-0" SINGLE HUNG WINDOW
- 3A 3'-6" x 5'-0" SINGLE HUNG WINDOW WITH 3'-6" x 1'-2" ARCH TOP
- 4 3'-6" x 6'-2" ARCH TOP FIXED WINDOW

NOTE: ALL OPERABLE WINDOWS MUST MEET EMERGENCY ESCAPE & RESCUE CODE REQUIREMENTS OF 5.7 SQUARE FEET MINIMUM OPENING AREA WITH MINIMUM 2'-0" HEIGHT AND 1'-8" MINIMUM WIDTH DIMENSIONS.

NOTE: PROVIDE 15" WIDE LOUVERED SHUTTERS WITH ARCH TOP, SOLID ARCH TOP, OR FLAT TOP WHERE INDICATED ON ELEVATIONS - SEE SHEETS A3.0 & A3.1.

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QUORUM ARCHITECTS, INC.

**BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING**

S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:
1 ADDENDUM #1
03/07/2025

Sheet Name:
SECOND FLOOR
PLAN - OVERALL

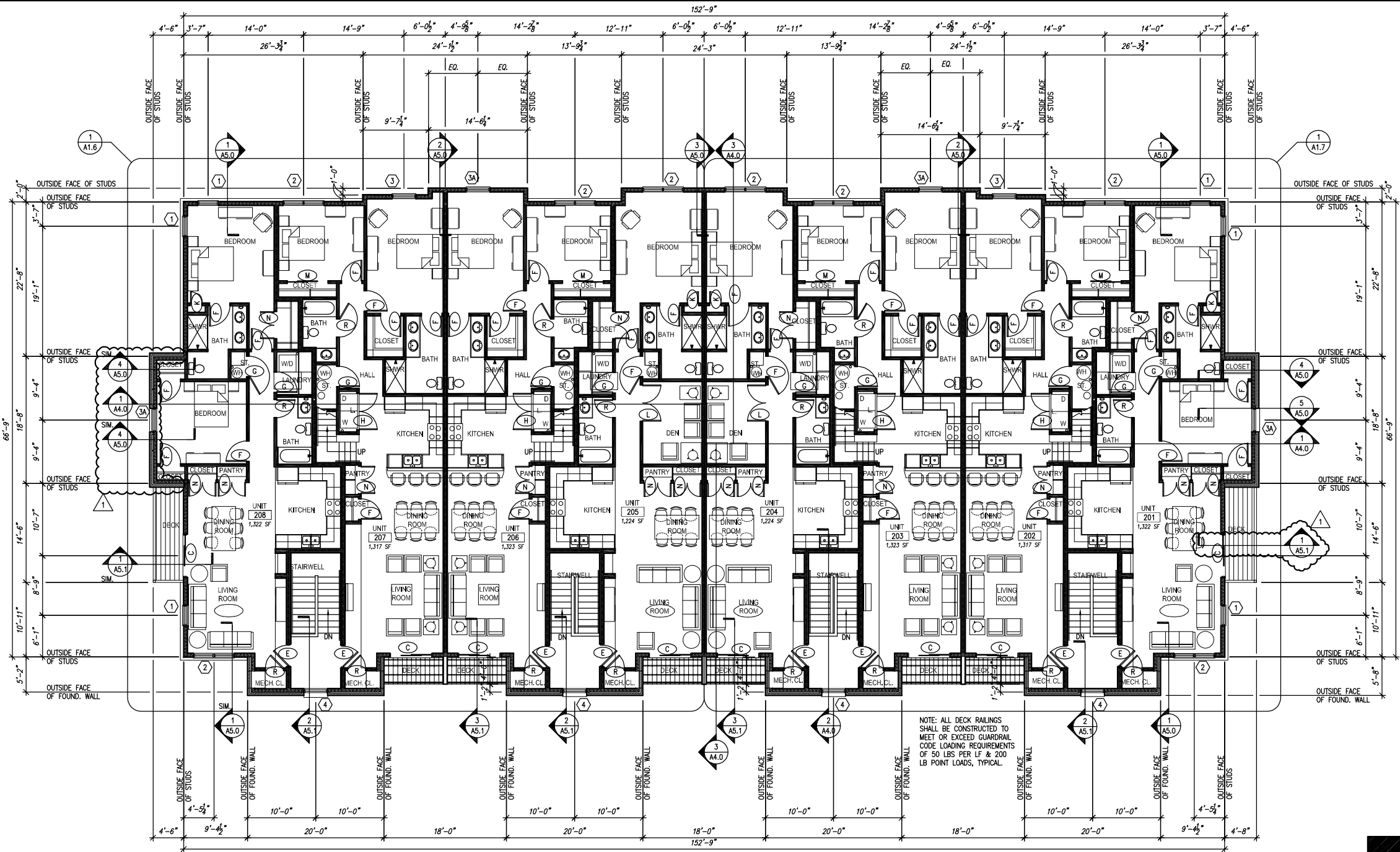
Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

Sheet No.

A1.2



1 SECOND FLOOR PLAN - OVERALL
SCALE: 1/8" = 1'-0"



GENERAL NOTES

- ALL CONSTRUCTION SHALL MEET APPLICABLE NATIONAL, STATE & LOCAL CODES.
- ALL CONSTRUCTION OF FIRST FLOOR UNITS SHALL MEET ADA REQUIREMENTS. THIS INCLUDES SITE ACCESS TO EACH FIRST FLOOR UNIT. THIS ALSO INCLUDES MOUNTING HEIGHTS OF LIGHT SWITCHES, ELECTRICAL OUTLETS, OPERABLE WINDOW CONTROLS, DOOR HARDWARE INCLUDING PATIO DOORS, CONTROLS ON APPLIANCES, THERMOSTATS, AND OTHER OPERABLE ENVIRONMENTAL CONTROLS. ADEQUATE ILLUMINATION IS ALSO REQUIRED.
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE SEALED PER APPROVED UL (OR EQUAL) SYSTEM APPROPRIATE FOR THE PARTICULAR RATED ASSEMBLY.
- ALL CONSTRUCTION SHALL BE COMPLETED PER THESE DRAWINGS AND THE RELATED SPECIFICATIONS WHICH TOGETHER MAKE UP THE CONSTRUCTION DOCUMENTS FOR THIS BUILDING.
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WINDOW TYPES

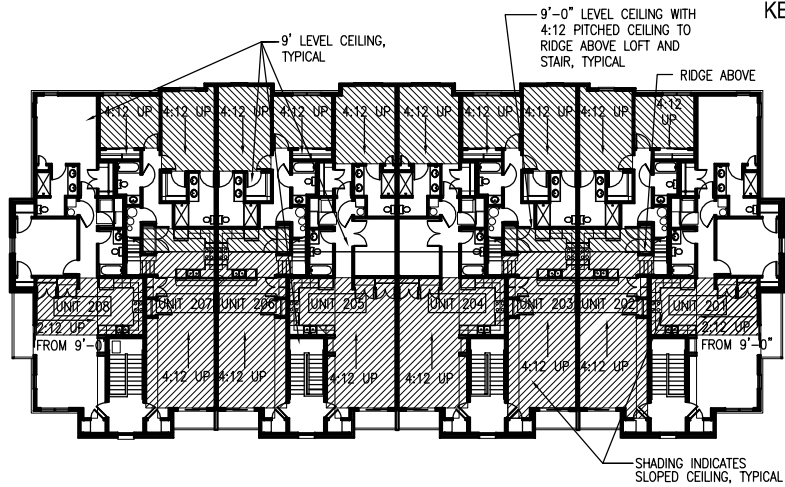
- 1 3'-0" x 5'-6" SINGLE HUNG WINDOW
- 2 (2) 3'-0" x 5'-6" SINGLE HUNG WINDOWS
- 3 3'-6" x 5'-0" SINGLE HUNG WINDOW
- 3A 3'-6" x 5'-0" SINGLE HUNG WINDOW WITH 3'-6" x 1'-2" ARCH TOP
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NOTE: ALL OPERABLE WINDOWS MUST MEET EMERGENCY ESCAPE & RESCUE CODE REQUIREMENTS OF 5.7 SQUARE FEET MINIMUM OPENING AREA WITH MINIMUM 2'-0" HEIGHT AND 1'8" MINIMUM WIDTH DIMENSIONS.

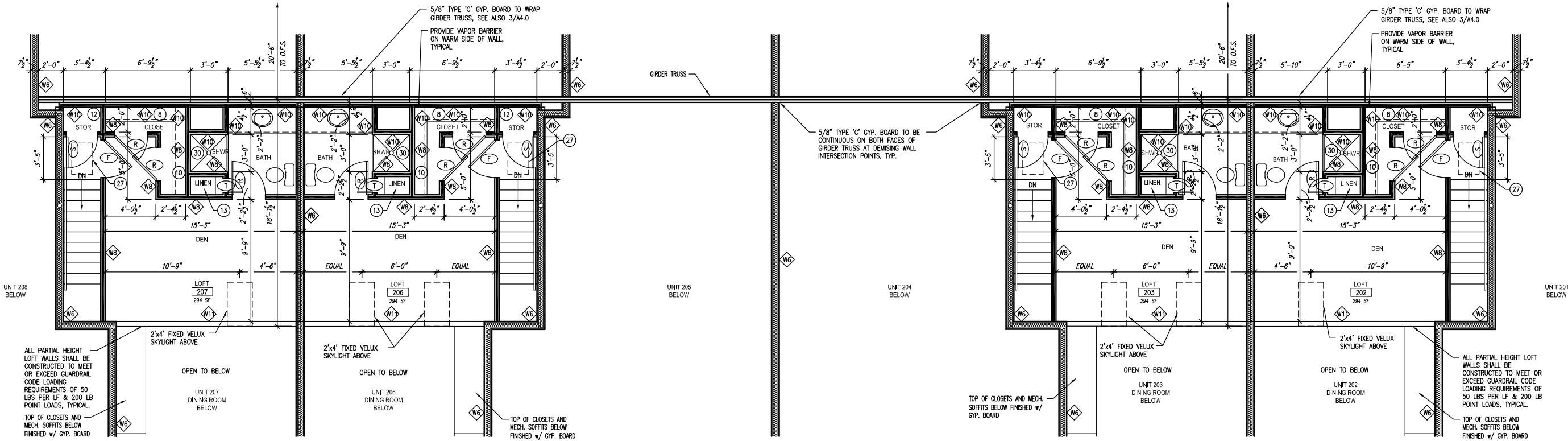
NOTE: PROVIDE 15" WIDE LOUVERED SHUTTERS WITH ARCH TOP, SOLID ARCH TOP, OR FLAT TOP WHERE INDICATED ON ELEVATIONS - SEE SHEETS A3.0 & A3.1.



KEY PLAN



2 CATHEDRAL CEILINGS PLAN
SCALE: N.T.S.



1 THIRD FLOOR LOFT PLAN - OVERALL
SCALE: 1/4" = 1'-0"
N

GENERAL NOTES

- ALL CONSTRUCTION SHALL MEET APPLICABLE NATIONAL, STATE & LOCAL CODES.
- ALL CONSTRUCTION OF FIRST FLOOR UNITS SHALL MEET ADA REQUIREMENTS. THIS INCLUDES SITE ACCESS TO EACH FIRST FLOOR UNIT. THIS ALSO INCLUDES MOUNTING HEIGHTS OF LIGHT SWITCHES, ELECTRICAL OUTLETS, OPERABLE WINDOW CONTROLS, DOOR HARDWARE INCLUDING PATIO DOORS, CONTROLS ON APPLIANCES, THERMOSTATS, AND OTHER OPERABLE ENVIRONMENTAL CONTROLS. ADEQUATE ILLUMINATION IS ALSO REQUIRED.
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE SEALED PER APPROVED UL (OR EQUAL) SYSTEM APPROPRIATE FOR THE PARTICULAR RATED ASSEMBLY.
- ALL CONSTRUCTION SHALL BE COMPLETED PER THESE DRAWINGS AND THE RELATED SPECIFICATIONS WHICH TOGETHER MAKE UP THE CONSTRUCTION DOCUMENTS FOR THIS BUILDING.
- ALL INTERIOR DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED. DOOR LOCATION DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF JAMB AT DOOR OPENING.

INTERIOR WALL TYPES (ALL FLOOR LEVELS)

- W6** - UL DESIGN NO. U340 - 1 HOUR RATED SYSTEM:
 - 2x6 BASE & SILL PLATES
 - 2x4 WOOD STUDS @ 24" O.C. EACH SIDE STAGGERED OPPOSITE @ 12" O.C.
 - 7/8" RESILIENT FURRING CHANNELS ONE SIDE
 - 3 1/2" SOUND ATTENUATION BATT INSULATION STAPLED TO STUDS
 - 5/8" TYPE 'C' GYPSUM BOARD EACH SIDE
 - NOTE: USE MOISTURE RESISTANT GWB ON ALL KITCHEN & BATHROOM WALLS.
 - ACOUSTICAL SEALANT AROUND PARTITION PERIMETER, SEE DETAIL 4/A4.0.
 - WALL THICKNESS= 7 1/2" NOMINAL
 - MINIMUM STC RATING OF 52
- W7** - UL DESIGN NO. U305 - 1 HOUR RATED SYSTEM:
 - 2x6 WOOD STUDS @ 16" O.C.
 - 7/8" RESILIENT FURRING CHANNELS ONE SIDE
 - FRICTION FIT 6 1/4"x15 1/4" R-19 UNFACED FIBERGLASS BATT INSULATION
 - 5/8" TYPE 'C' GYPSUM BOARD EACH SIDE
 - ACOUSTICAL SEALANT AROUND PARTITION PERIMETER, SEE DETAIL 4/A4.0.
 - WALL THICKNESS= 7 1/2" NOMINAL
 - STC RATING OF 56
- W8** - 2x4 WOOD STUDS @ 16" O.C. MAX.
 - 1/2" GYPSUM BOARD EACH SIDE
 - WALL THICKNESS= 4 1/2" NOMINAL
- W9** - 2x6 WOOD STUDS @ 16" O.C. MAX.
 - 1/2" GYPSUM BOARD EACH SIDE
 - WALL THICKNESS= 6 1/2" NOMINAL
- W10** - 2x4 WOOD STUDS @ 16" O.C. MAX.
 - 1/2" GYPSUM BOARD ON ONE SIDE
 - WALL THICKNESS= 4" NOMINAL
- W11** - SAME AS W8 BUT ONLY 3'-6" HIGH WITH WOOD CAP & COVE TRIM (SEE 5/A6.1 SIM.)
- W12** - SAME AS W8 BUT TO HEIGHT OF PLASTIC LAMINATE COUNTERTOP
- W13** - CHAINLINK FENCE W/ 2" DIA. PIPE AND GATE. (SEE 3/A5.1)
- W14** - 2 HOUR RATED 8" CONCRETE
- W16** - 12" CONCRETE BLOCK RETAINING WALL
- W17** - 2 HOUR RATED 8" CONCRETE BLOCK

CONSTRUCTION NOTES (ALL FLOOR LEVELS)

- 1 PROVIDE RAISED FLR FOR HEATING & COOLING UNIT-SEE HVAC DESIGN
- 2 SPACE FOR GAS METERS FOR 8 UNITS
- 3 SPACE FOR ELEC. LOWBOY WATER HEATER w/ FLR DRAIN - SEE PLUMBING
- 4 SPACE FOR OWNER'S WATER SOFTENING SYSTEM
- 5 BLOCKING FOR (FUTURE) GRAB BARS (IN FIRST FLOOR UNITS)
- 6 SELF SUPPORTING STONE COUNTERTOP WITH REMOVABLE BASE CABINETS ON FULLY FINISHED FLOOR BENEATH.
- 7 ONE POLE @ 66" AFF WITH ONE 12" DEEP SHELF ABOVE
- 8 ONE POLE @ 54" AFF & TWO 14" DEEP SHELVES ABOVE
- 9 ONE POLE @ 48" AFF & TWO 12" DEEP SHELVES ABOVE
- 10 ONE POLE @ 36" AFF & ONE @ 72" AFF w/ 12" DEEP SHELF ABOVE EACH
- 11 FIVE 12" DEEP SHELVES ON ADJUSTABLE BRACKETS
- 12 FIVE 18" DEEP SHELVES ON ADJUSTABLE BRACKETS
- 13 FIVE 24" DEEP SHELVES ON ADJUSTABLE BRACKETS
- 14 FIVE 16" DEEP DECORATIVE SHELVES ON ADJUSTABLE BRACKETS
- 15 HVAC SUPPLY DUCT RUN ABOVE CEILING ENTIRE LENGTH OF UNIT, TYP. THIS FLOOR
- 16 DRYER VENT ABOVE, TYP.
- 17 2'-6" x 10" RETURN GRILLE ABOVE DOOR - VERIFY SIZE WITH MECH.
- 18 1'-6" x 2'-8" RETURN GRILLE IN SIDE WALL - VERIFY SIZE WITH MECH.
- 19 3'-0" x 5'-0" CLEAR INTERIOR, FULLY ACCESSIBLE ADA SHOWER W/ SEAT (FIRST FLOOR)
- 20 ONE POLE @ 54" AFF & TWO 24" DEEP SHELVES ABOVE
- 21 ONE POLE @ 36" AFF & ONE @ 72" AFF w/ 14" DEEP SHELF ABOVE EACH
- 22 2'-6" x 5'-0" TUB/ SHOWER UNIT
- 23 FRIGIDAIRE ELECTRIC STACKABLE WASHER & DRYER WITH LOUVERED EXHAUST & RIGID METAL DUCT ALLOWING 40' DUCT RUN
- 24 INSTALL A MAXIMUM 3/4" HIGH THRESHOLD (FROM THE EXTERIOR SIDE) OF THE PATIO DOOR TO COMPLY WITH ADA REQUIREMENTS FOR ANY CURRENT OR FUTURE UNIT CONVERSIONS.
- 25 IN WALL BLOCKING AND GRAB BARS TO BE INSTALLED PER ADA REQUIREMENTS.
- 26 FAN ABOVE, SEE 2/A4.0 AND ELECTRICAL PLANS.
- 27 20"x30" (1) HR RATED ATTIC ACCESS PANEL ABOVE
- 28 CAULK AT BRICK AROUND PERIMETER OF FRAMING PENETRATION
- 29 3'-0" x 5'-0" SHOWER UNIT
- 30 3'-0" x 3'-0" SHOWER UNIT
- 31 INSTALL GYP. BOARD BEFORE SETTING TUB/SHOWER UNIT, TYPICAL

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**BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING**

S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:
1 ADDENDUM #1
03/07/2025

Sheet Name:
ROOF PLAN
AND ROOF DETAILS

Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

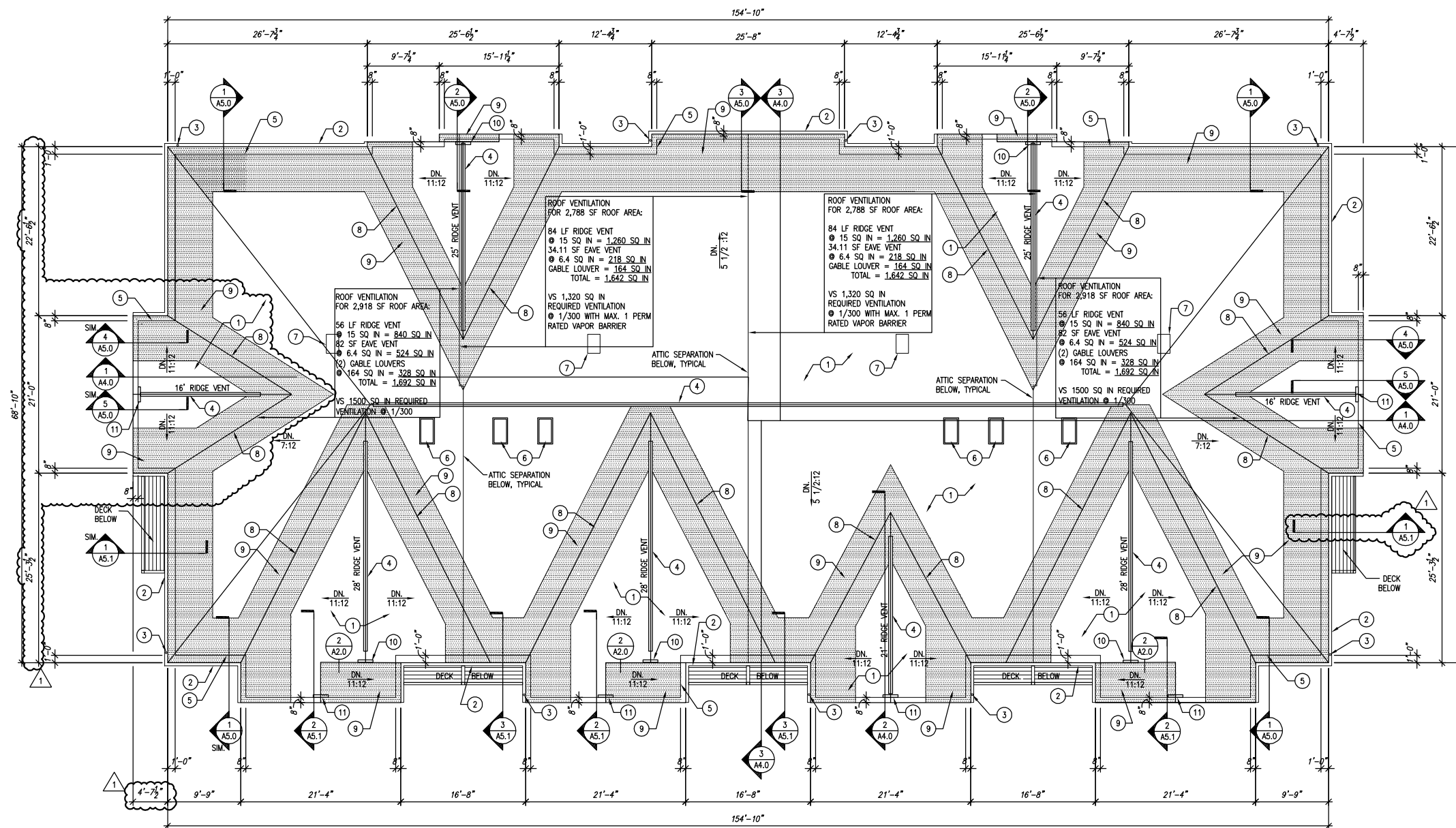
Sheet No.

A2.0

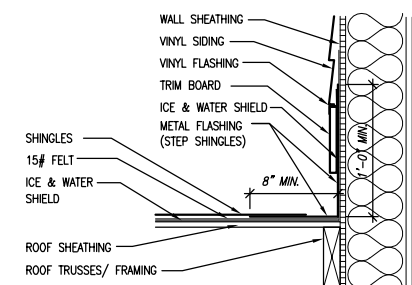
ROOF NOTES

- SHINGLE ROOF-SEE SHEET A4.0 FOR CONSTRUCTION TYPE.
- GUTTER - 4 3/4"(H) x 6"(W)
- (9) DOWNSPOUTS - 5" x 3 3/4" (11 NEEDED IF 3" x 4" USED)
- CONTINUOUS RIDGE VENT w/ 15 SQ. IN. PER FOOT VENTILATION
- FACE OF EXTERIOR WALL LINE BELOW.
- 2'-0" x 4'-0" SKYLIGHT - SEE ALSO SHEET A1.3
- 20" x 30" (MINIMUM) ONE-HOUR RATED CEILING ACCESS PANEL IN LOFT CEILING BELOW
- PREFIN. METAL VALLEY FLASHING. SEE DETAIL 6/A2.0.
- ICE & WATER SHIELD. 36" UP FROM VALLEYS AND 72" UP FROM EAVES, TYP.
- DECORATIVE GABLE LOUVER
- VENTILATING GABLE LOUVER

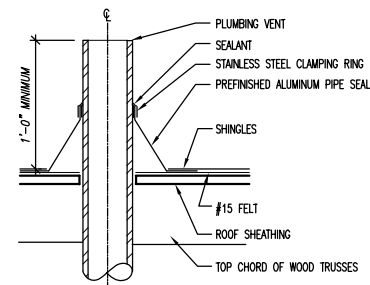
NOTE:
ADDITIONAL VENTILATION BEYOND AREAS NOTED ON ROOF PLAN PROVIDED BY PERFORATED SOFFITS OF GABLES.



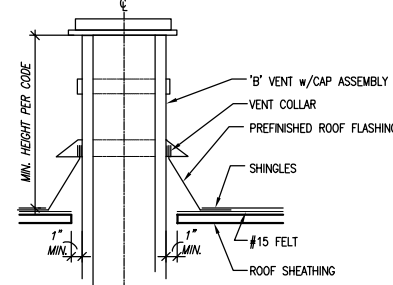
1 ROOF PLAN - OVERALL
SCALE: 1/8" = 1'-0"



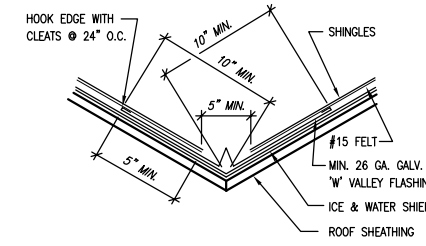
2 SIDE WALL FLASHING DETAIL
SCALE: 1 1/2" = 1'-0"



3 VENT PIPE FLASHING DETAIL
SCALE: 1 1/2" = 1'-0"



4 'B' VENT FLASHING DETAIL
SCALE: 1 1/2" = 1'-0"



5 METAL VALLEY FLASHING DETAIL
SCALE: 1 1/2" = 1'-0"

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COLONIAL WOODS
16 UNIT APARTMENT BUILDING**

S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:
1 ADDENDUM #1
03/07/2025

Sheet Name:
EXTERIOR BUILDING
ELEVATIONS - FRONT
AND BACK

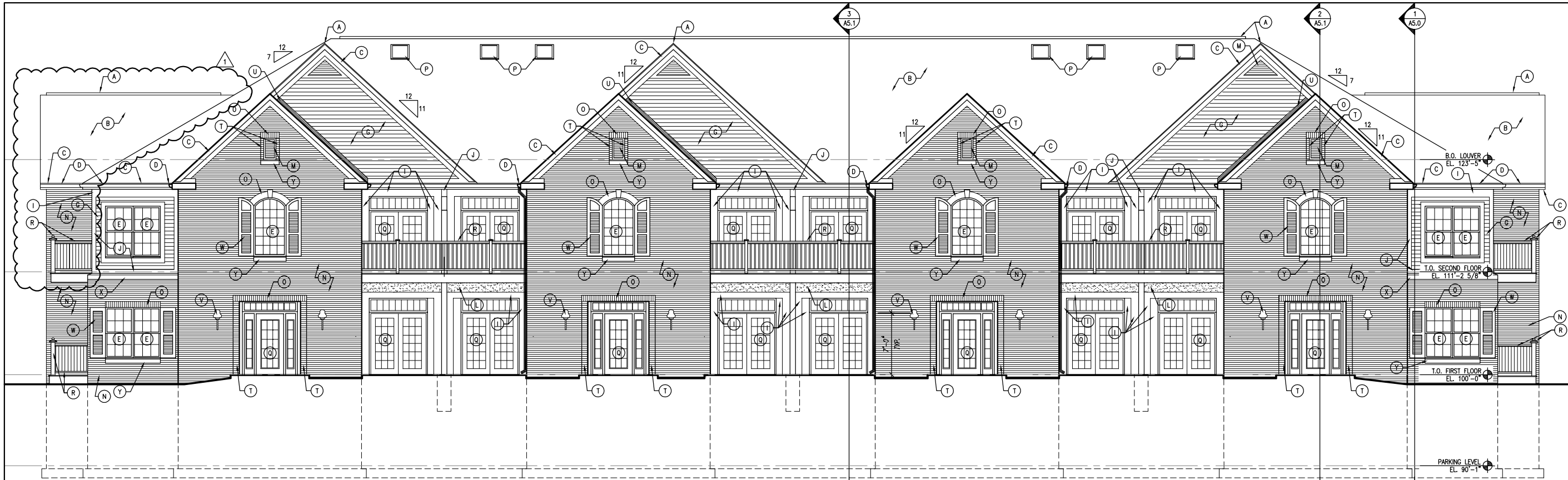
Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

Sheet No.

A3.0

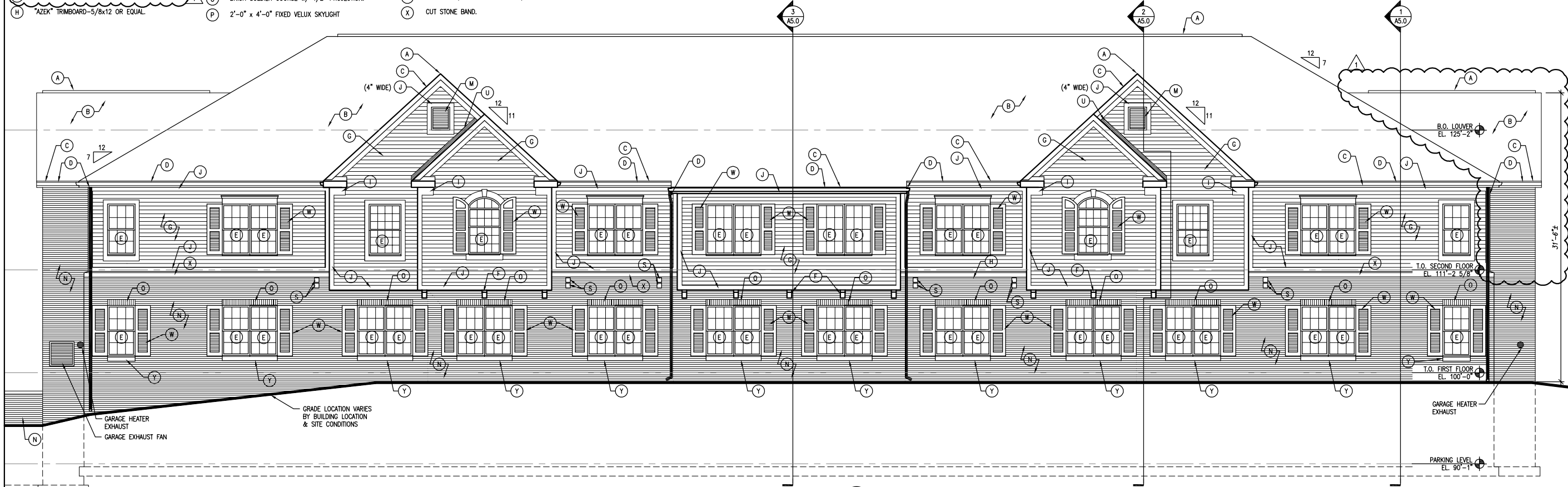


CONSTRUCTION NOTES

- | | | | |
|--|--|--|---|
| A CONTINUOUS RIDGE VENT. | I "AZEK" TRIMBOARD-5/8x10 OR EQUAL. | D DOOR/TRANSOM-SEE DOOR SCHEDULE. | Y CUT STONE SILL. |
| B ASPHALT SHINGLES. (GRAY COLORED) | J "AZEK" TRIMBOARD-5/8x6 (OR AS NOTED) OR EQUAL. | R "TREX" POST & RAILING SYSTEM OR EQUAL. | Z 3'-6" HIGH GUARDRAIL @ TOP OF RETAINING WALL. |
| C FASCIA BOARD - "AZEK" 5/8x8 OR EQUAL. | K "AZEK" TRIMBOARD-5/8x8 OR EQUAL. | S DRYER VENT. | |
| D GUTTER & DOWNSPOUT-SEE A2.0 FOR LOCATION. | L "AZEK" 1/2" THICK SHEET OR EQUAL. | T BRICK w/ 1/2" PROJECTION | |
| E WINDOW-SEE FLOOR PLANS FOR TYPE. | M LOUVERS (SEE SHT A2.0 & SPEC.). | U FLASHING | |
| F BRACKET (FYPON). | N FACE BRICK. (RED COLORED) | V LIGHT FIXTURE ON BLOCKING (TYP.). | |
| G FIBER CEMENT SIDING & 6" TRIM. (CREAM COLORED) | O BRICK SOLDIER COURSE w/ 1/2" PROJECTION. | W SHUTTERS (SLATE BLUE COLORED) | |
| H "AZEK" TRIMBOARD-5/8x12 OR EQUAL. | P 2'-0" x 4'-0" FIXED VELUX SKYLIGHT | X CUT STONE BAND. | |

1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"

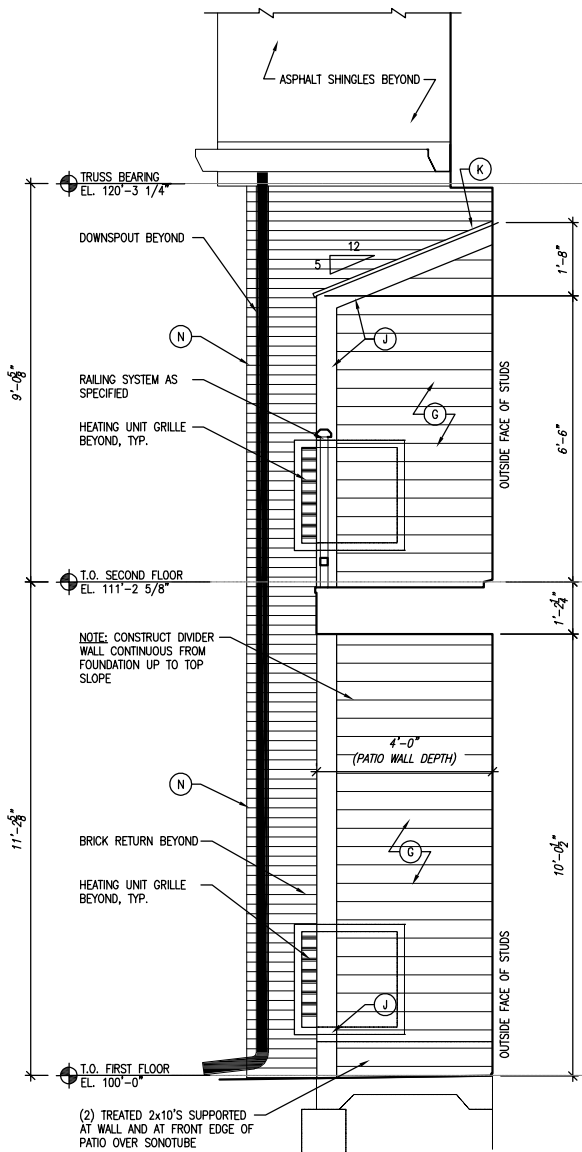
2 ALTERNATE ENTRY SURROUND
SCALE: 3/16" = 1'-0"



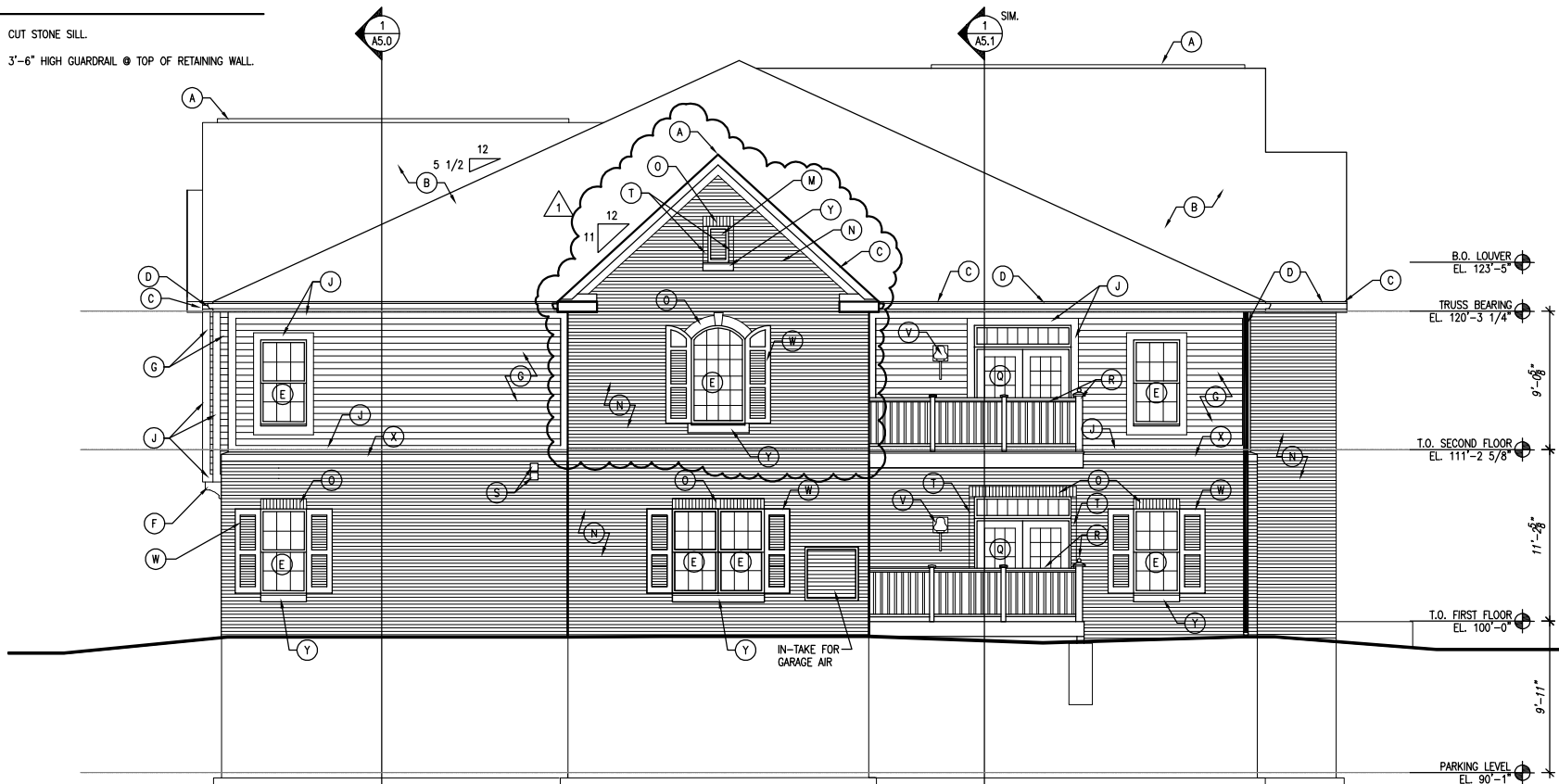
3 REAR ELEVATION
SCALE: 3/16" = 1'-0"

CONSTRUCTION NOTES

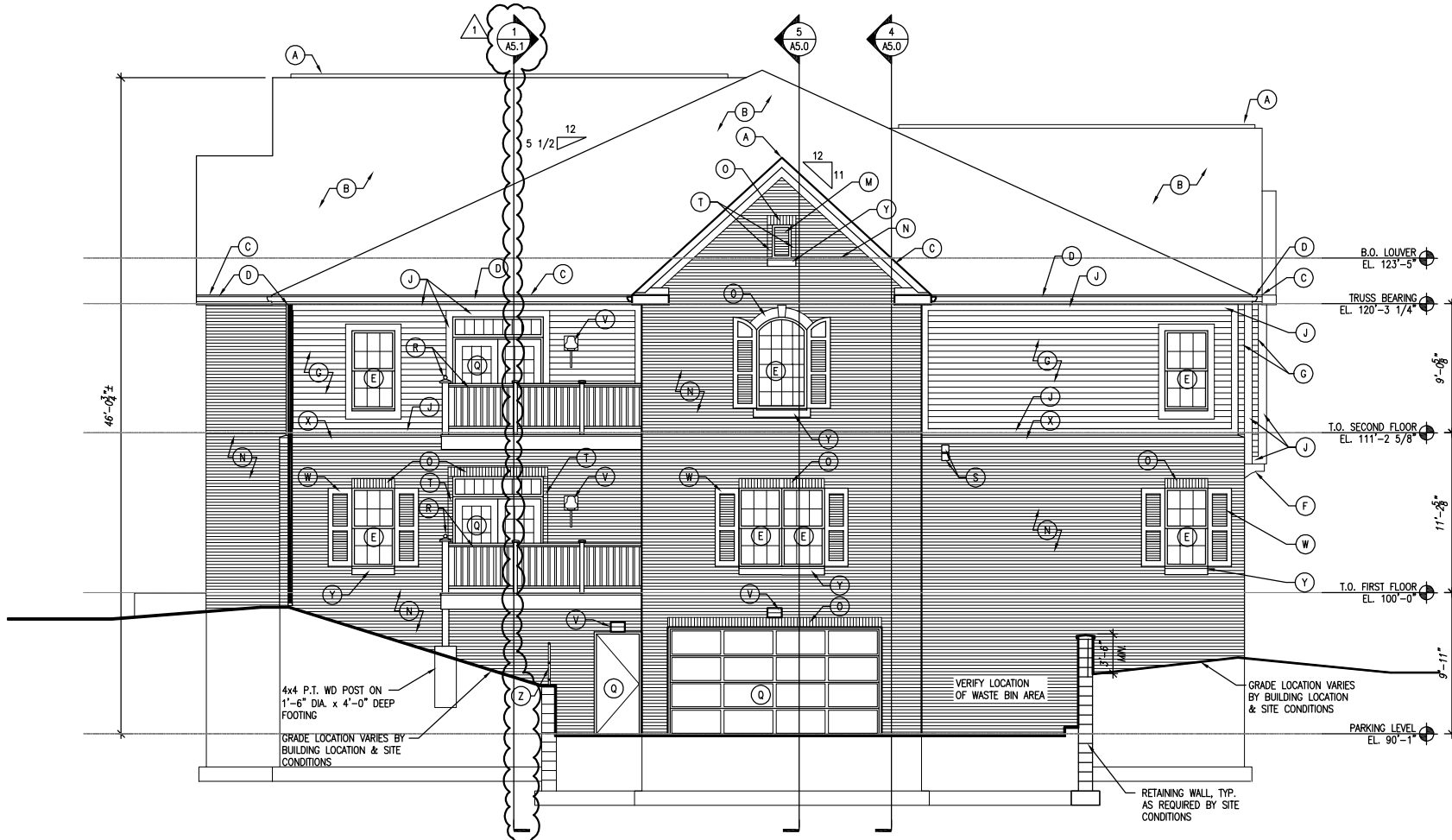
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|--|--|---|---|
| (A) CONTINUOUS RIDGE VENT. | (I) "AZEK" TRIMBOARD-5/8x10 OR EQUAL. | (Q) DOOR/TRANSOM-SEE DOOR SCHEDULE. | (Y) CUT STONE SILL. |
| (B) ASPHALT SHINGLES. (GRAY COLORED) | (J) "AZEK" TRIMBOARD-5/8x6 (OR AS NOTED) OR EQUAL. | (R) "TIREX" POST & RAILING SYSTEM OR EQUAL. | (Z) 3'-6" HIGH GUARDRAIL @ TOP OF RETAINING WALL. |
| (C) FASCIA BOARD - "AZEK" 5/8x8 OR EQUAL. | (K) "AZEK" TRIMBOARD-5/8x8 OR EQUAL. | (S) DRYER VENT. | |
| (D) GUTTER & DOWNSPOUT-SEE A2.0 FOR LOCATION. | (L) "AZEK" 1/2" THICK SHEET OR EQUAL. | (T) BRICK w/ 1/2" PROJECTION | |
| (E) WINDOW-SEE FLOOR PLANS FOR TYPE. | (M) LOUVERS (SEE SHT A2.0 & SPEC.). | (U) FLASHING | |
| (F) BRACKET (FYFON). | (N) FACE BRICK. (RED COLORED) | (V) LIGHT FIXTURE ON BLOCKING (TYP.). | |
| (G) FIBER CEMENT SIDING & 6" TRIM. (CREAM COLORED) | (O) BRICK SOLDIER COURSE w/ 1/2" PROJECTION. | (W) SHUTTERS (SLATE BLUE COLORED) | |
| (H) "AZEK" TRIMBOARD-5/8x12 OR EQUAL. | (P) 2'-0" x 4'-0" FIXED VELUX SKYLIGHT | (X) CUT STONE BAND. | |



1 PATIO DIVIDER WALL ELEVATION
SCALE: 1/2" = 1'-0"



2 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



3 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING

S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:
1 ADDENDUM #1
03/07/2025

Sheet Name:
EXTERIOR BUILDING
ELEVATIONS - LEFT AND
RIGHT

Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02


Sheet No.

A3.1

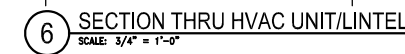
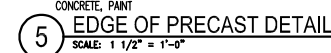
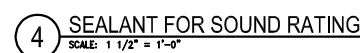
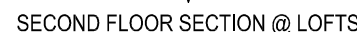
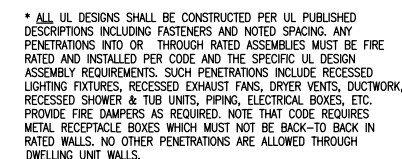


BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING

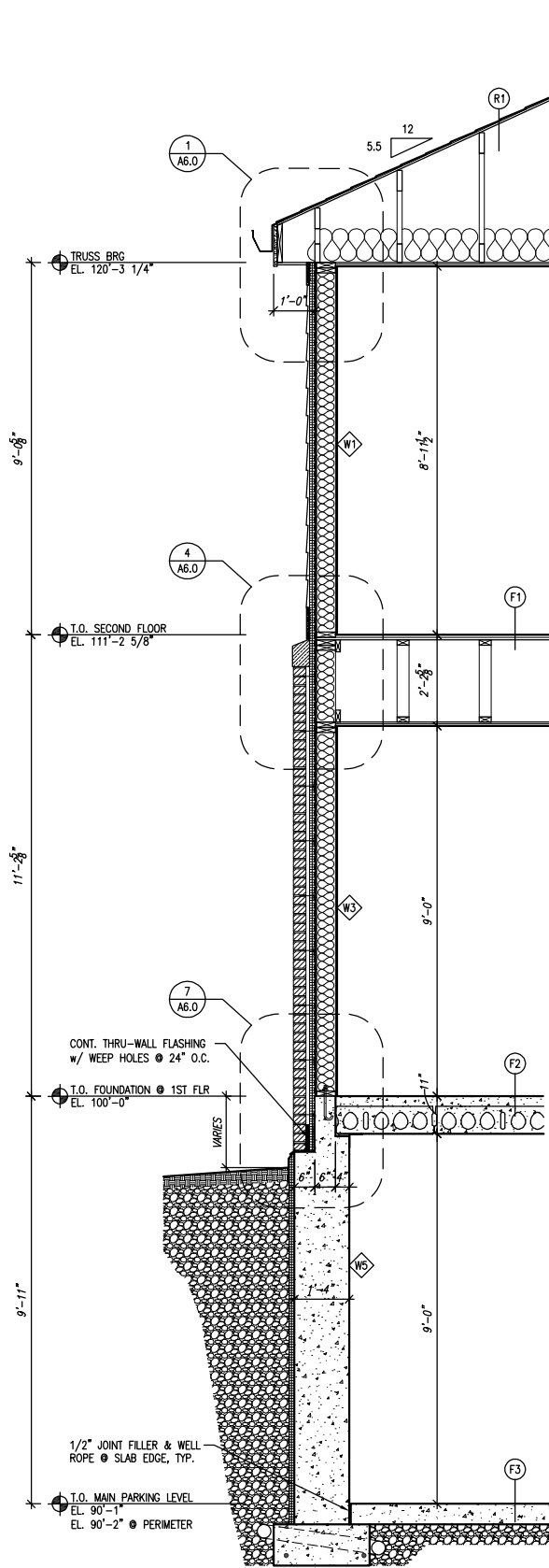
Revisions:

	ADDENDUM #1 03/07/2025
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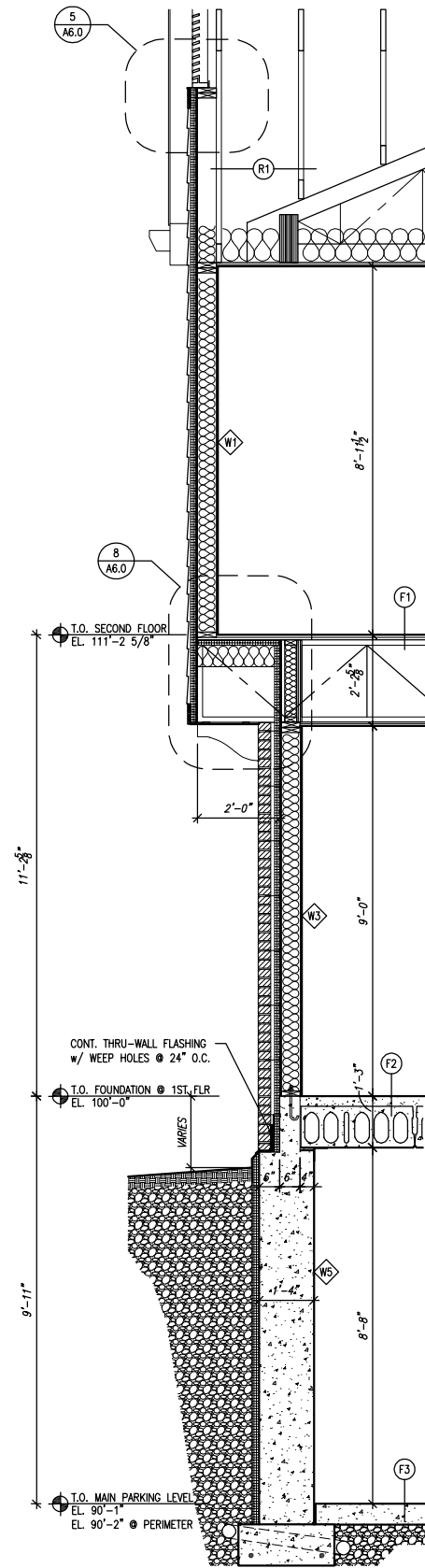
A4.0



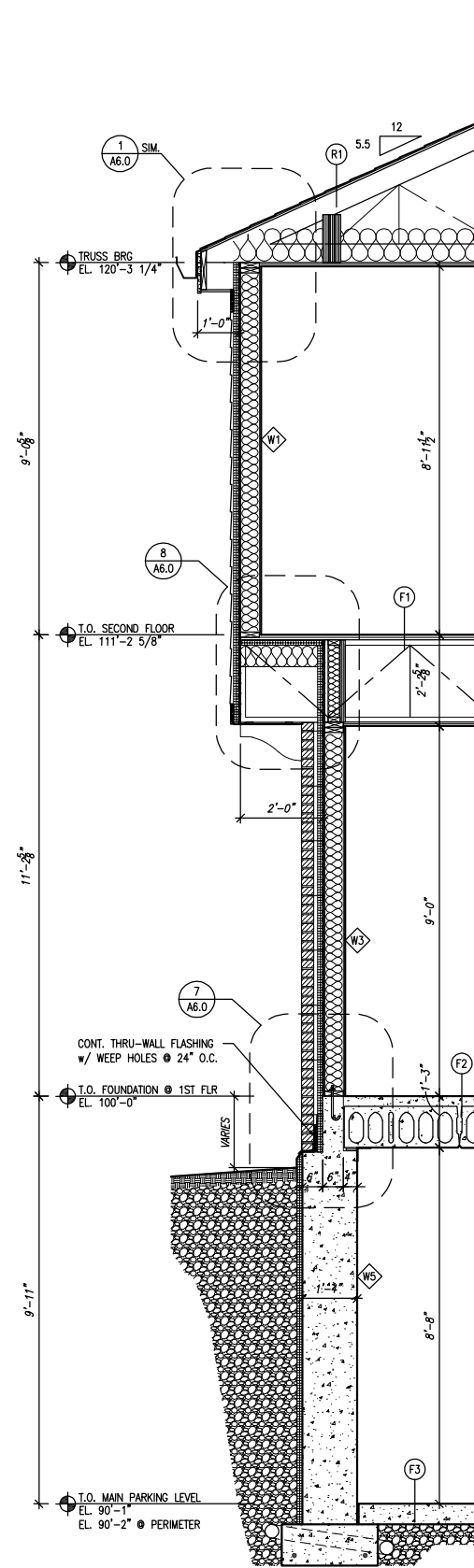
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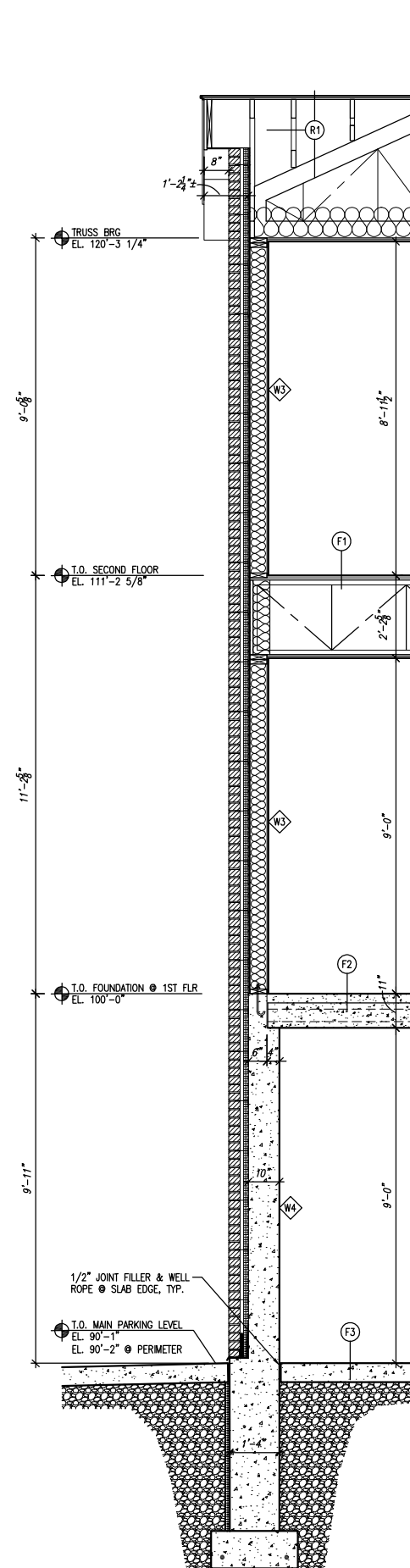
1 WALL SECTION
SCALE: 1/2" = 1'-0"



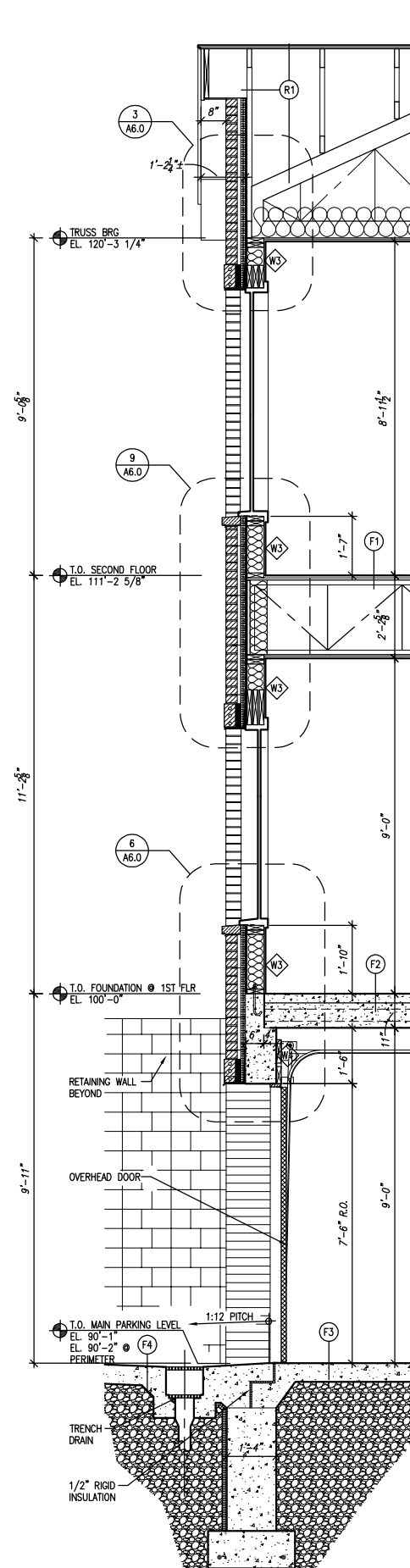
2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"



4 WALL SECTION
SCALE: 1/2" = 1'-0"



5 WALL SECTION
SCALE: 1/2" = 1'-0"

SEE SHEET A5.1 FOR EXTERIOR ROOF,
WALL & FLOOR CONSTRUCTION TYPES.

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**BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING**

S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:

Sheet Name:
WALL SECTIONS

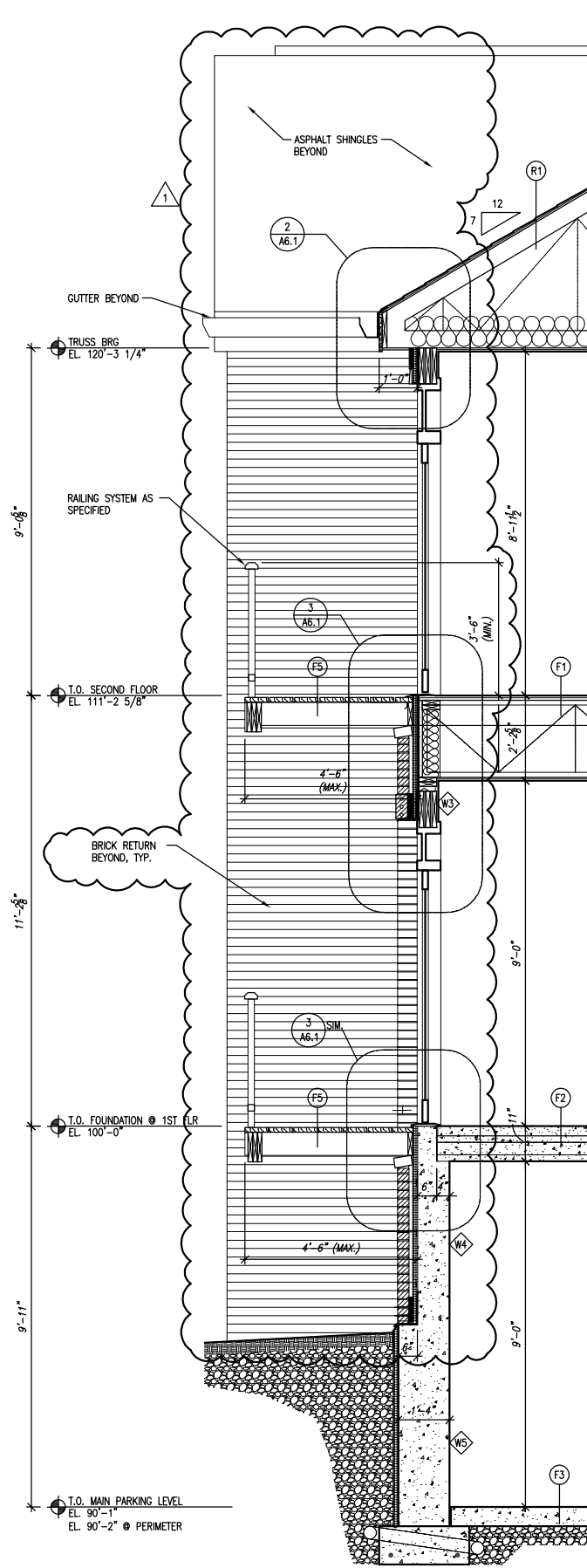
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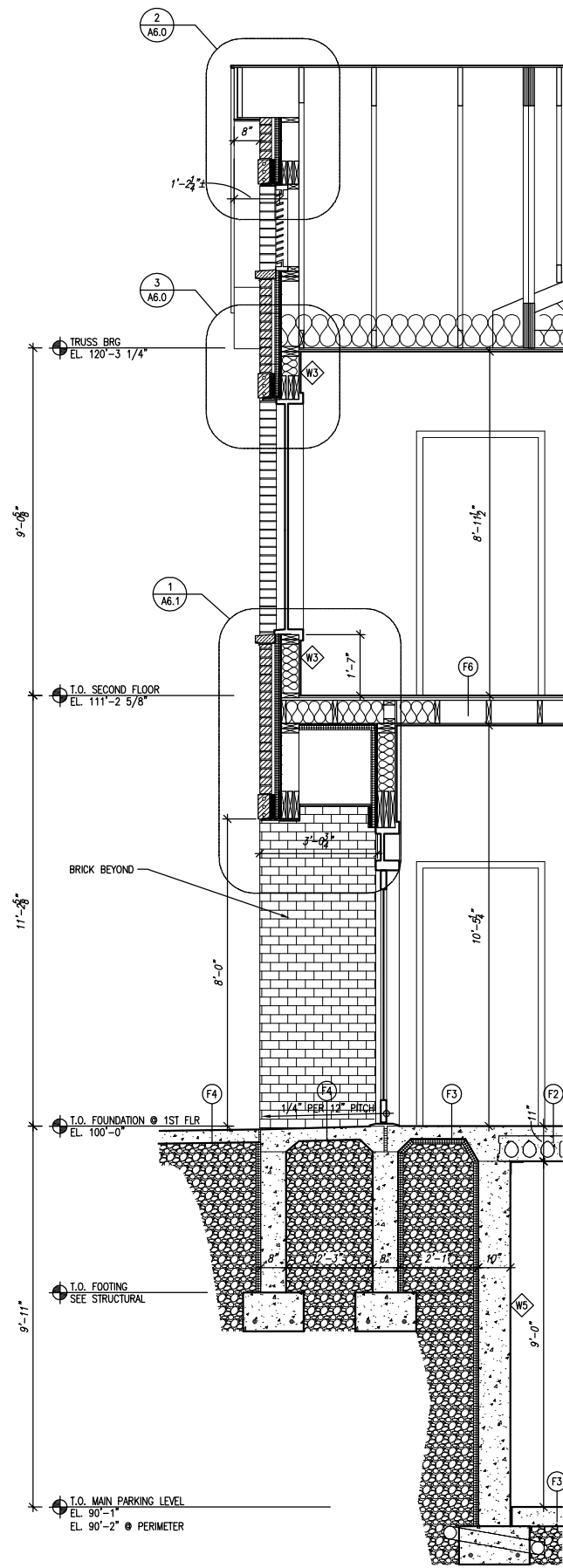
Project No.: 20116.01.02

Sheet No.

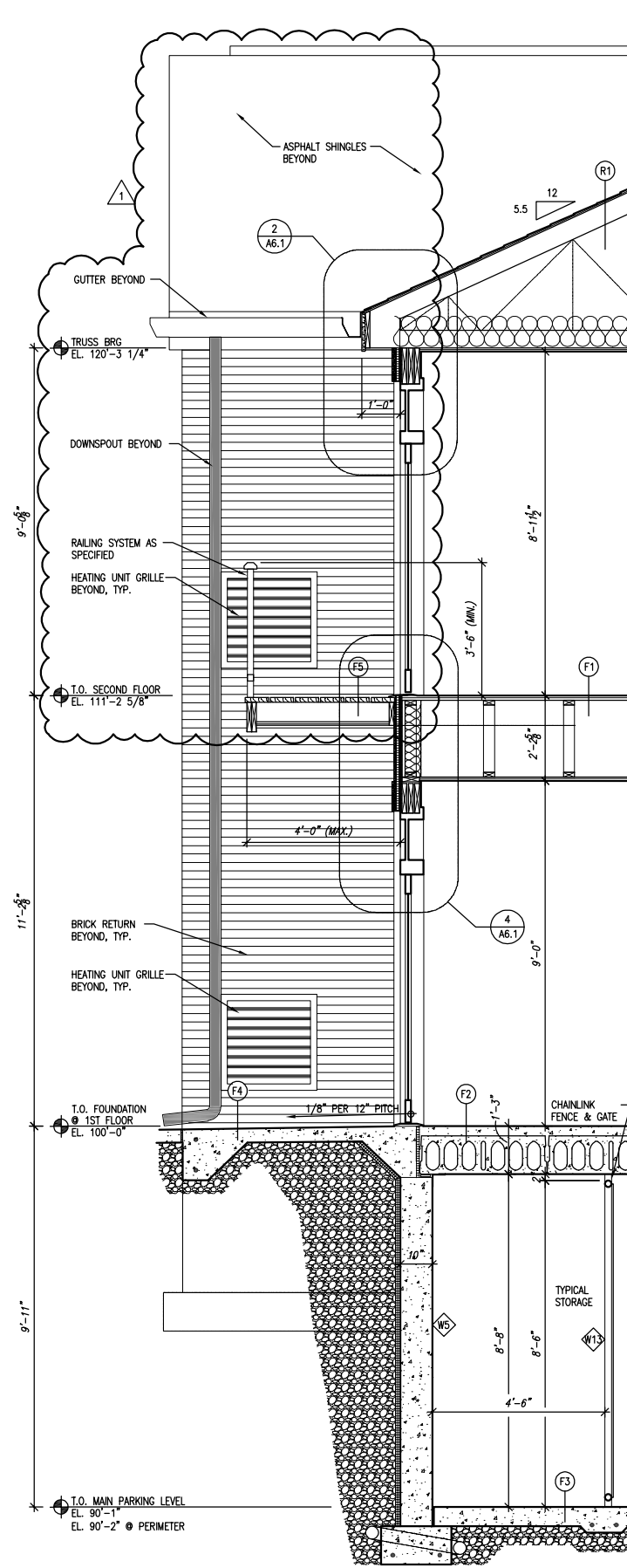
A5.0



1 WALL SECTION
SCALE: $1/2" = 1'-0"$




2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"

ROOF CONSTRUCTION

- (R1)**

1 HOUR FIRE RATED CEILING/ROOF
 SYSTEM UL DES. NO. P522.
 - ASPHALT SHINGLES.
 - 15" ROOFING FELT.
 - 1/2" EXTERIOR GRADE OSB ROOF
 SHEATHING - CLIPPED
 - ROOF TRUSSES @ 24" O.C. MAX.
 10" (R-38) BATT INSULATION
 - 25 GA. GALV. FURRING CHANNELS
 1/2" x 2 3/8" 
 12" O.C. (MAX.)
 - 6 MIL VAPOR BARRIER.
 - 5/8" TYPE 'C' GYPSUM WALL
 BOARD (GWB).
 NOTE: USE MOISTURE
 RESISTANT GWB ON ALL
 BATHROOM CEILINGS.
 - PROVIDE CONTINUOUS RIDGE VENT.

EXTERIOR WALL TYPES

- (W1)**
- RATED WALL ASSEMBLY PER U.L. DESIGN NO. U356
 - FIBER CEMENT Siding WITH FLAME SPREAD VALUE OF 20 OR LESS.
 - "TYVEK" BUILDING PAPER.
 - 1 1/2" CONTINUOUS RIGID INSULATION (R=7.5 MIN.)
 - 1/2" EXTERIOR STRUCTURAL STEDI-R BOARD SHEATHING (R=1.5)
 - 2x6 WOOD STUDS @ 16" O.C. (MAX.)
 - 5 1/2" (R-19) FIBERGLASS INSULATION, w/U.L. CLASSIFICATION
 - 4 MIL VAPOR BARRIER.
 - 5/8" GYPSUM WALL BOARD (GWB), TYPE "C" OR "X"
NOTE: USE MOISTURE RESISTANT GWB ON ALL BATHROOM WALLS.
 - WALL THICKNESS = 9" NOMINAL.
- (W2)**
- RATED WALL ASSEMBLY PER U.L. DESIGN NO. U356
 - 1/2" THICK "AZEK" SHEET (SEE SPEC.) w/ U.L. CLASSIFICATION.
 - "TYVEK" BUILDING PAPER.
 - 1/2" EXTERIOR STRUCTURAL STEDI-R BOARD SHEATHING (R=1.5)
 - 2x6 WOOD STUDS @ 16" O.C. (MAX.)
 - 5 1/2" (R-19) FIBERGLASS INSULATION, w/U.L. CLASSIFICATION
 - 4 MIL VAPOR BARRIER.
 - 5/8" GYPSUM WALL BOARD (GWB), TYPE "C" OR "X"
NOTE: USE MOISTURE RESISTANT GWB ON ALL BATHROOM WALLS.
 - WALL THICKNESS = 7 1/2" NOMINAL
- (W3)**
- FACE BRICK PER SPECIFICATION.
 - GALV. BRICK TIES @ 16" HORIZONTALLY AND 16" VERTICALLY.
 - 1" AIR SPACE MIN.
 - "TYVEK" BUILDING PAPER
 - 1 1/2" CONTINUOUS RIGID INSULATION (R=7.5 MIN.)
 - 1/2" EXTERIOR STRUCTURAL STEDI-R BOARD SHEATHING (R=1.5)
 - 2x6 WOOD STUDS @ 16" O.C. (MAX.)
 - 5 1/2" (R-19) FIBERGLASS INSULATION, w/U.L. CLASSIFICATION
 - 4 MIL VAPOR BARRIER.
 - 5/8" GYPSUM WALL BOARD (GWB), TYPE "C" OR "X"
 - PROVIDE THRU-WALL FLASHING & WEEP HOLES @ 24" O.C.
NOTE: USE MOISTURE RESISTANT GWB ON ALL BATHROOM WALLS.
 - WALL THICKNESS = 13" NOM., 12 3/4" ACT.
- (W4)**
- FACE BRICK PER SPECIFICATION.
 - GALV. BRICK TIES @ 16" HORIZONTALLY AND 16" VERTICALLY.
 - 1" AIR SPACE MIN.
 - "TYVEK" BUILDING PAPER
 - 1 1/2" CONTINUOUS RIGID INSULATION (R=7.5 MIN.)
 - 10" REINFORCED CONCRETE WALL. (SEE STRUCT. DWGS.)
 - PROVIDE THRU-WALL FLASHING & WEEP HOLES @ 24" O.C.
 - WALL THICKNESS = 16"
- (W5)**
- REINFORCED CONCRETE FOUNDATION WALL (SEE STRUCT. DWGS FOR EXACT SIZE AND LOCATIONS.)
 - WATERPROOF ENTIRE FOUNDATION WALL
 - ALTERNATE NO. 1: WATCHDOG BY TREMCO + ENERGY
 - 1 1/2" MIN. RIGID INSUL. FULL WALL HEIGHT THROUGHOUT (MIN.=7.5)
 - 2"-0" MIN. GRANULAR FILF OVER 4" DIA. DRAIN TILE. (BACKFILL ONLY AFTER FIRST FLOOR PLANK HAS BEEN SET.)
 - WALL THICKNESS = 10" TO 16"
- (WTS)**
- 2 x 6 WOOD STUDS @ 24" O.C. MAX.
 - 1/2" EXTERIOR STEDI-R BOARD SHEATHING BOTH SIDES
 - 1" MIN. RIGID INSULATION
 - TRIM BOARDS AT FRONT, SIDES, & TOP
 - NOMINAL WALL THICKNESS = 7"

FLOOR CONSTRUCTION

- (F1) - 1 HOUR FIRE RATED FLOOR - UL DES. NO. L528 - SYSTEM NO. 4
- 3/4" GYP-CRETE TOPPING.
- 3/4" GRADE "C-D" PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO TRUSSES).
- 24" DEEP PREFAB. TRUSSES @ 24" O.C. MAX. SEE STRUCTURAL.
NOTE: PROVIDE BRIDGING PER TRUSS MANUFACTURER
- 26 MSG GALV. 1/2" RESILIENT CHANNELS @ 16" O.C.
- 5/8" TYPE "C" GYPSUM WALLBOARD (GWB).
NOTE: USE MOISTURE RESISTANT DRYWALL ON ALL CEILINGS ABOVE TUBS AND SHOWERS.
- MINIMUM SLOPE OF .50.
- (F2) - 2 HOUR FIRE-RATED FLOOR SYSTEM:
- 3" (MIN.) CONCRETE TOPPING.
- 12" (OR 8") THICK PRECAST CONCRETE PLANK. (SEE STRUCT.).
- (F3) - 6" POURED CONC. FLOOR w/ 6x6 #6/#6 W.W.M.
- 6 MIL POLY VAPOR BARRIER.
- 6" (MIN.) COMPACTED GRANULAR FILL.
- (F4) - 4" MIN. POURED CONC. SLAB w/ 6x6 10/10 W.W.M
- 6" (MIN.) COMPACTED GRANULAR FILL.
- (F5) - 2x8 P. T. WOOD BOARD WITH 1/2" SPACING BETWEEN BOARDS.
- 2x8 (OR 2x10) P. T. WOOD JOISTS @ 16" O.C. (SEE STRUCT. DWGS.)
- (F6) - 3/4" GYP-CRETE TOPPING.
- 3/4" GRADE "C-D" PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO JOISTS).
- 2x8 WSG GALV. @ 16" O.C. (SEE STRUCT.)
- 5/8" TYPE "C" GYPSUM WALLBOARD (GWB).
- (F7) FLOOR/CEILING
- 3/4" GRADE "C-D" PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO JOISTS).
- 2x10 & LVL FRAMING - SEE STRUCTURAL
- 26 MSG GALV. 1/2" RESILIENT CHANNELS @ 16" O.C.
- 5/8" GYPSUM WALLBOARD (GWB).
- (F8) - 3/4" GYP-CRETE TOPPING.
- 3/4" GRADE "C-D" PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO JOISTS).
- 2x10 WOOD JOIST @ 16" O.C. (SEE STRUCT.)
- 5/8" TYPE "C" GYPSUM WALLBOARD (GWB).




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www.quorumarchitects.com

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CONSTRUCTION
QUORUM ARCHITECTS, INC.

**BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING**

S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:

	ADDENDUM #1 03/07/2025
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Sheet Name:
WALL SECTIONS AND
CONSTRUCTION TYPES

Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

Sheet No.

A5.1



1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION
SCALE: 3/16" = 1'-0"

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**BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING**
S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:

Sheet Name:
EXTERIOR BUILDING
ELEVATIONS - FRONT
AND BACK

Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

Sheet No.

A3.0

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QUORUM ARCHITECTS, INC.

BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING
S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:

Sheet Name:
EXTERIOR BUILDING
ELEVATIONS - LEFT AND
RIGHT

Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

Sheet No.

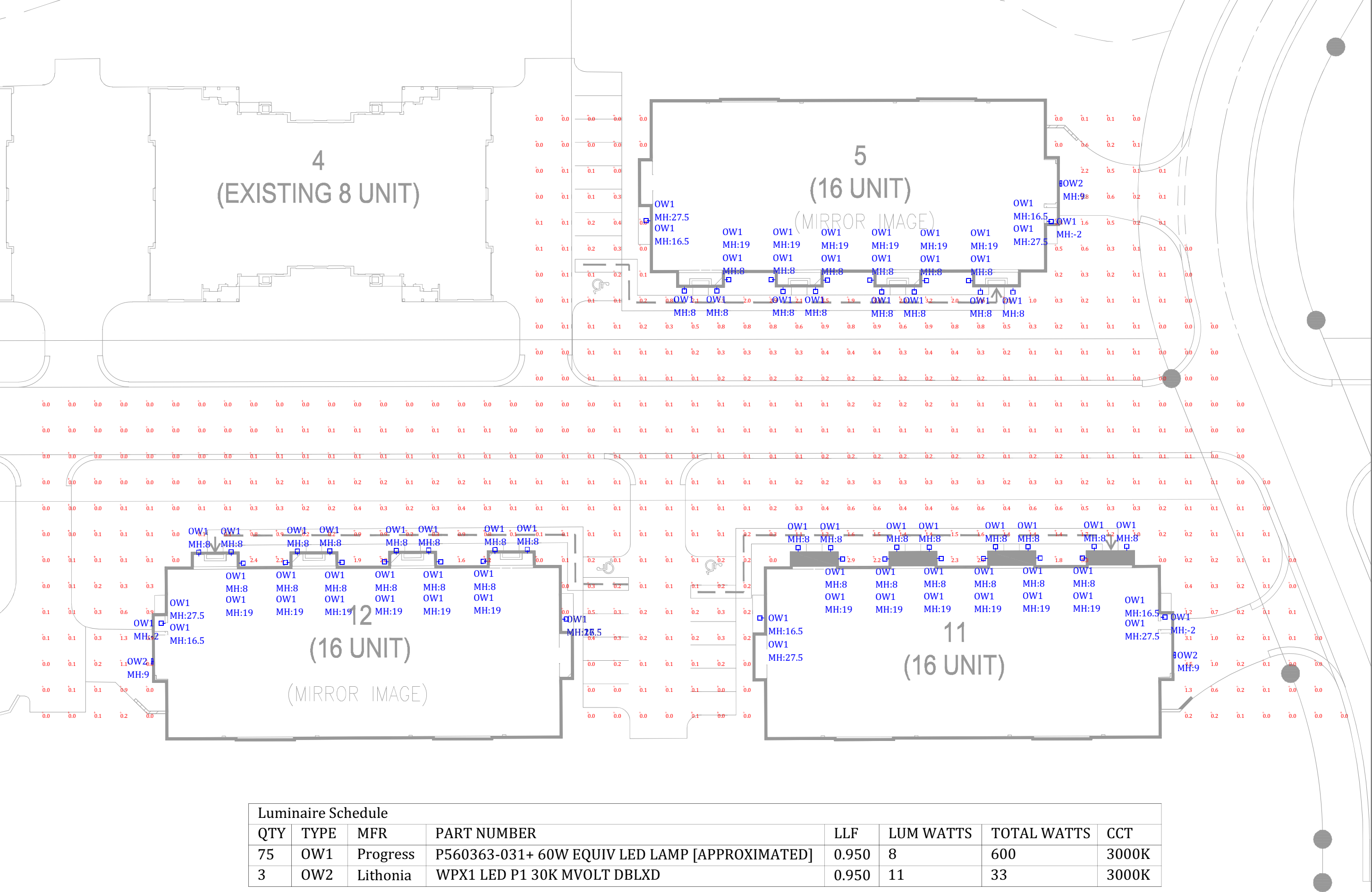
A3.1




2 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



3 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"





Colonial Woods Condominiums

OAK CREEK, WI

project info

scale

date

designer

sheet name

1" = 16'-0"

3/13/2025

JS

SITE LIGHTING CALCULATIONS



ALL COUNTY ELECTRIC SUPPLY, INC.

2755 S 163rd St

New Berlin, WI 53151

Contact: Joshua Canham

COLONIAL WOODS CONDOMINIUMS

SITE

Submittal Date

3.13.25

Type	Mfg	Catalog Number/Description
OW1	PROGRESS	P560363-031
OW2	LITHONIA	WPX1 LED P1 30K MVOLT DBLXD



P560363-031
COLONIAL WOODS CONDOMINIUMS
TYPE OW1

P560363-031


Bayside Non-Metallic

Bayside Collection One-Light Non-Metallic Black Outdoor Wall Lantern

Category: Outdoor
Finish: Black (No Finish)
Construction: Polycarbonate Housing



Width: 8 in
Extends: 9-3/8 in
Height: 10 in
H/CTR: 5-1/2 in

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted	6 inches of wire supplied	(1) Medium Base (E26) Socket	cULus Wet Location Listed
Swivel mounting strap for outlet box included	120 VAC	Lamp Type Incandescent: 40-watt MAX per socket LED: 10-watt MAX per socket	1-year Limited Warranty
Canopy covers a standard 4" recessed outlet box: 5" W., 1.25" ht., 5" depth		Dimmable to 10% brightness (See Dimming Notes)	Dark Sky compliant
			 Mad in USA

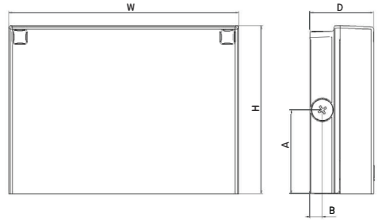


WPX LED Wall Packs



WPX1 LED P1 30K MVOLT DBLXD
COLONIAL WOODS CONDOMINIUMS
TYPE OW2

Specifications



Front View

Side View

Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

WPX1 LED P1		30K	MVOLT			DBLXD
Series		Color Temperature	Voltage	Options		Finish
WPX1 LED P1	1,550 Lumens, 11W ¹	30K 3000K	MVOLT 120V - 277V	(blank)	None	DDBXD Dark bronze
WPX1 LED P2	2,900 Lumens, 24W	40K 4000K	347 347V ³	E4WH	Emergency battery backup, CEC compliant (4W, 0°C min) ²	DWHXD White
WPX2 LED	6,000 Lumens, 47W	50K 5000K		E14WC	Emergency battery backup, CEC compliant (14W, -20°C min) ²	DBLXD Black
WPX3 LED	9,200 Lumens, 69W			PE	Photocell ³	Note : For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection.
Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V or PE options.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



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WPX LED
Rev. 07/01/24

Performance Data

Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

Emergency Egress Battery Packs

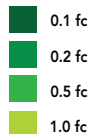
The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT E4WH DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT E14WC DDBXD

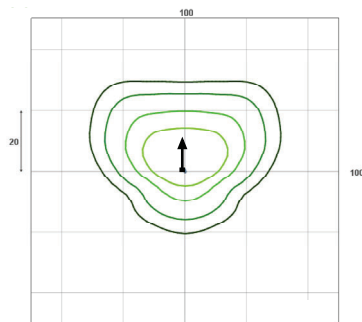
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

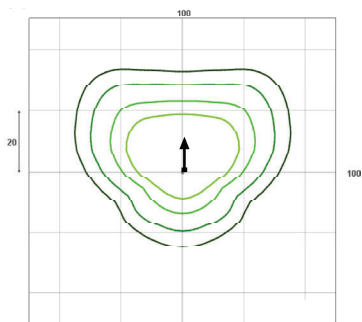
LEGEND



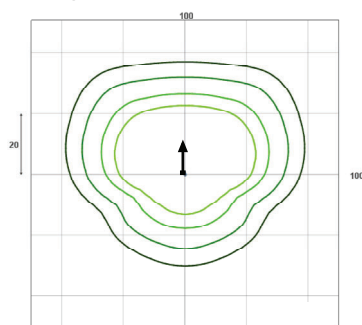
WPX1 LED P1



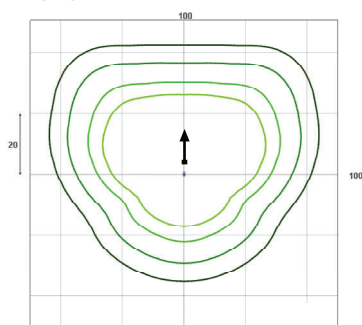
WPX1 LED P2



WPX2 LED



WPX3 LED



Mounting Height = 12 Feet.



COMMERCIAL OUTDOOR

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WPX LED
Rev. 07/01/24