



Site Plan

Village of East Troy,

Wisconsin

Version: March 10, 2025

Village of East Troy
2015 Energy Drive
East Troy, WI 53120

Overview: The site plan review process ensures that proposed land uses and development activity complies with the requirements of the Village's zoning regulations. This review must occur before any building, occupancy, and building permits can be issued; except that development activity associated with an approved final plat of subdivision or certified survey map, and development activity associated with an approved final development plan of a planned development, is exempt from this requirement.

Governing regulations: The procedures and standards governing the review of this application are found in § 510-160 of the Village's zoning code.

General instructions: Complete this application and submit one copies to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (920) 728-2814 or via email at orrin.sumwalt@foth.com. You may download this form at <https://data.zoninghub.com/viewfile.aspx?fileid=14859>.

When you fill out this application, you should think about how your business operation may expand or be different in the future. For example, if your business will have 5 employees to start and you hope to have 25, tell us. Also, if you foresee an expansion to a building or a parking lot, your site plan should show that. If you invest time to do this now, you will end up with a more thoughtful plan. Not only that, you will save time and the expense of having to submit a new site plan sometime in the future. So, think ahead.

Application fee: none

Application submittal deadline: Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

1. Applicant and property owner information

	Applicant	Property owner
Name	<input type="text"/>	<input type="text"/>
Street address	<input type="text"/>	<input type="text"/>
City, state, zip code	<input type="text"/>	<input type="text"/>
Daytime telephone number	<input type="text"/>	<input type="text"/>
Email	<input type="text"/>	<input type="text"/>

2. Agent contact information.

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	<input type="text"/>	<input type="text"/>
Company	<input type="text"/>	<input type="text"/>
Street address	<input type="text"/>	<input type="text"/>
City, state, zip code	<input type="text"/>	<input type="text"/>
Daytime telephone number	<input type="text"/>	<input type="text"/>
Email	<input type="text"/>	<input type="text"/>

3. Type of application (select one)

- ☐ New site plan
- ☐ An amendment of a previously approved site plan (i.e., revision and/or expansion)

4. Business information

Current business name	<input type="text"/>
Date business began	<input type="text"/>
Previous name, if any	<input type="text"/>

5. Subject property information

Physical address _____

Tax key number(s) _____

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

6. Zoning information (refer to the Village’s current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

<input type="checkbox"/> RH-35 Rural Holding	<input type="checkbox"/> TR-8 Two-Family Residential	<input type="checkbox"/> NB Neighborhood Business
<input type="checkbox"/> SR-3 Estate Residential	<input type="checkbox"/> AR-9 Attached Residential	<input type="checkbox"/> HB Highway Business
<input type="checkbox"/> SR-4 Suburban Residential	<input type="checkbox"/> MR-10 Multi-Family Residential	<input type="checkbox"/> CB Central Business
<input type="checkbox"/> SR-5 Neighborhood Residential	<input type="checkbox"/> MHR-6 Mobile Home Residential	<input type="checkbox"/> BP Business Park
<input type="checkbox"/> SR-6 Traditional-Front Residential		<input type="checkbox"/> LI Light Industrial
<input type="checkbox"/> SR-7 Traditional-Rear Residential		<input type="checkbox"/> GI General Industrial

The subject property is also located in the following overlay zoning district(s). (check all that apply)

<input type="checkbox"/> PD Planned Development	<input type="checkbox"/> GP Groundwater Protection	<input type="checkbox"/> FP 100-Year Floodplain
<input type="checkbox"/> DD Downtown Design	<input type="checkbox"/> NFC Natural Features Conservancy	<input type="checkbox"/> FP 500-Year Floodplain
		<input type="checkbox"/> SW Shoreland-Wetland

7. Adjoining land uses and zoning

	Zoning district(s)	Current uses
North	_____	_____
South	_____	_____
East	_____	_____
West	_____	_____

Note: If the subject property abuts a property located in a different zoning district, a bufferyard may be required. You will need to submit a Landscaping and Bufferyard Worksheet if a bufferyard is required.

8. Current use. Describe the current use of the subject property.

9. Proposed use. Describe the proposed use or the proposed amendment.

10. Hours of operation. Describe when the proposed use will be open for business (i.e., hours and days).

11. Employees. Describe number by type, number on largest works shift, etc.

12. Customers / patrons of business. Describe the customers and patrons, including peak loads.

13. Miscellaneous

☐ Yes ☐ No Has the Village approved a variance for the subject property?

If yes, provide the year of issuance and a short description for each one.

☐ Yes ☐ No Is the subject property currently in violation of the Village's zoning code?

If yes, describe the nature of the violation and what is being done to bring the property into compliance.

☐ Yes ☐ No Are there any nonconforming buildings on the subject property? A nonconforming building does not meet the dimensional requirements for the zoning district in which it is located.

If yes, describe what building is nonconforming and the nature of the nonconformity.

☐ Yes ☐ No Will the proposed use create any detectable ground vibrations? (See § 510-99 of the zoning code.) If

yes, describe.

☐ Yes ☐ No Will the proposed use create any detectable noise beyond the property boundary lines? (See § 510-100 of the zoning code.)

If yes, describe.

☐ Yes ☐ No Will the proposed use create any air pollution? (See § 510-101 of the zoning code.)

If yes, describe.

☐ Yes ☐ No Will the proposed use create any detectable odor beyond the property boundary lines? (See § 510-102 of the zoning code.)

If yes, describe.

☐ Yes ☐ No Will the proposed use create any detectable glare or heat beyond the property boundary lines? (See § 510-104 of the zoning code.)

If yes, describe.

☐ Yes ☐ No Will the proposed use involve any materials which could detonate by any means? (See § 510-105 of the zoning code.)

If yes, describe.

☐ Yes ☐ No Will the proposed use involve any materials that are toxic or noxious or that are considered waste materials? (See § 510-106 of the zoning code.)
 If yes, describe.

☐ Yes ☐ No Will the proposed use involve any outdoor storage of materials?
 If yes, describe.

☐ Yes ☐ No If the proposed use involves processing or manufacturing of materials, will water be used in any of those processes?
 If yes, describe the nature of the activity and anticipated water demand and sanitary loading

☐ Yes ☐ No Is expansion of the proposed use or building anticipated?
 If yes, describe the nature of the expansion and potential timeline for such expansion

14. Utilities

Water ☐ Municipal ☐ Private well
 If private well, when was the well installed and approved?

Sewer ☐ Municipal ☐ On-site septic system
 If septic system, when was the system installed and approved?

15. Licenses and permits

Required

- ☐ Beer ☐ Have ☐ To Get
☐ Liquor ☐ Have ☐ To Get
☐ Cigarette ☐ Have ☐ To Get
☐ Food service ☐ Have ☐ To Get
☐ Amusement Device ☐ Have ☐ To Get
☐ Other: _____ ☐ Have ☐ To Get
☐ Other: _____ ☐ Have ☐ To Get
☐ Other: _____ ☐ Have ☐ To Get

16. Property access (refer to § 510-91 of the zoning code for details)

	<u>Current</u>	<u>New</u>
Local street	_____	_____
County highway	_____	_____
State highway	_____	_____

17. On-site parking (refer to § 510-91.1 of the zoning code for details)

	Current	Required [1]	New
Standard spaces	<hr/>	<hr/>	<hr/>
Accessible spaces	<hr/>	<hr/>	<hr/>

Notes:

[1] On-site parking is not required in the Central Business (CB) zoning district

☐ Yes ☐ No Are you proposing shared parking pursuant to § 510-93(G) of the zoning code?

If yes, attach a draft shared parking agreement.

18. Calculations for maximum building coverage and impervious surface coverage

- | | | |
|--|---------|-------|
| a. Area of subject property as determined by site survey | acres | <hr/> |
| b. Land located within proposed rights-of-ways of roads and within proposed boundaries of public facilities that are designated within the Village's comprehensive plan and/or required for dedication per subdivision regulations | acres | <hr/> |
| c. Land which, although part of the same parcel, is not contiguous to or is not accessible from the proposed road network serving the project | acres | <hr/> |
| d. Land which is proposed for a different development option or a different zoning district | acres | <hr/> |
| e. Navigable waters (lakes & streams not within a designated floodplain) | acres | <hr/> |
| f. Designated floodplains | acres | <hr/> |
| g. Wetlands | acres | <hr/> |
| h. Lakeshores | acres | <hr/> |
| i. Woodlands | acres | <hr/> |
| j. Steep slopes (12 percent or greater) | acres | <hr/> |
| k. Total of "b" through "j" | acres | <hr/> |
| l. Net developable area (subtract "k" from "a") | acres | <hr/> |
| m. Building coverage ratio (see the standard for the appropriate zoning district) | percent | <hr/> |
| n. Impervious surface coverage ratio (see the standard for the appropriate zoning district) | percent | <hr/> |
| o. Maximum building coverage on property (multiply "l" by "m") | acres | <hr/> |
| p. Maximum impervious surface coverage on property (multiply "l" by "n") | acres | <hr/> |

	Maximum (acres)	Proposed (acres)	Future (acres)
Building coverage (For Maximum, enter calculated value for "o" from above table)	<hr/>	<hr/>	2.98
Impervious surface (For Maximum, enter calculated value for "p" from above table)	<hr/>	<hr/>	6.90

19. Supplemental materials. Attach each of the following as appropriate. Upon written petition, the Village Administrator, Village Engineer, Village Planner, or the Zoning Administrator may waive specific site plan requirements.

Site plan with the following information:

1. Title block showing the name, address, and phone of the current property owner and/or agent(s) (i.e. developer, architect, engineer, or planner) for project.
2. The date of the original plan and the latest date of revision to the plan.
3. A north arrow and a graphic scale (at a minimum scale of 1" = 100').
4. A legal description of the subject property.
5. All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
6. All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
7. Ground contours when any slope exceeds 12 percent
8. All required building setback lines.

9. All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls.
10. If the project is designed to be completed in phases or allow expansion of the building and other features, indicate these.
11. The location and dimension (cross-section and entry throat) of all access points onto public streets.
12. The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by this Chapter.
13. The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.
14. The location of all outdoor storage areas and the design of all screening devices.
15. Floodplains, wetlands, lakeshores, woodlands, steep slopes, and other environmentally sensitive lands.
16. The location, type, height, size, and lighting of all signage on the subject property.
17. The location and type of any permanently protected green space areas.
18. The location of existing and proposed drainage facilities.
19. Environmental and manmade development constraints and hazards including brownfields, contaminated sites, unstable soils, high groundwater, bedrock, and high-pressure natural gas lines
20. In the legend, the following data for the subject property: lot area, building coverage, building coverage ratio, floor area ratio, impervious surface area, impervious surface ratio, and building height.
21. Any additional information as requested by the Plan Commission or Village Board.

Landscaping plan prepared at the same scale as the main plan showing the location of all required bufferyard and landscaping areas, and existing and proposed landscape point fencing and berm options for meeting said requirements. The landscaping plan shall demonstrate complete compliance with the requirements of Article XIV of Chapter 510 of the zoning code. Be sure to show the individual plant locations and species, fencing types and heights, and berm heights. In addition to the drawing, include the Worksheet for Landscaping and Bufferyards.

Grading and erosion control plan prepared at the same scale as the main plan, showing existing and proposed grades, including retention walls and related devices, and erosion control measures.

Outdoor lighting plan (photometric plan) prepared at the same scale as the main plan that shows all existing and proposed exterior light fixtures. Calculations for the photometric plan shall be rounded to the nearest 0.10 foot-candles. A legend must be included to show the following information for each type of fixture: (1) manufacturer name, (2) product number, (3) mounting height, and (4) any other pertinent information. Be sure that current and proposed lighting will not exceed the 0.50 foot-candles threshold at the property boundary line. See § 510-95 of the zoning code for more details.

Plat of survey prepared by a registered land surveyor if in the judgment of the Zoning Administrator such accuracy is needed to ensure compliance with all dimensional standards, including setback requirements. The survey shall depict property lines, easements, and other existing and proposed improvements, and other information as may be needed to establish compliance with zoning requirements.

Architectural review application for any new buildings or for remodeling of existing buildings. The application must include elevation drawings showing finished exterior treatment, with adequate labels to clearly depict exterior materials, texture, color, and overall appearance. Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings. (Refer to § 510-90 of the zoning code for additional details.)

20. Attachments. List any attachments included with your application.

21. Other information. You may provide any other information you feel is relevant to the review of your application.

22. Applicant certification

- ◆ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- ◆ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with § 510-149 (D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property.
- ◆ I understand that submission of this application authorizes Village officials and employees, Plan Commission members, Village Board members, and other designated agents, including those retained by the Village, to enter the property to conduct whatever site investigations are necessary

to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.

- ◆ I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- ◆ I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

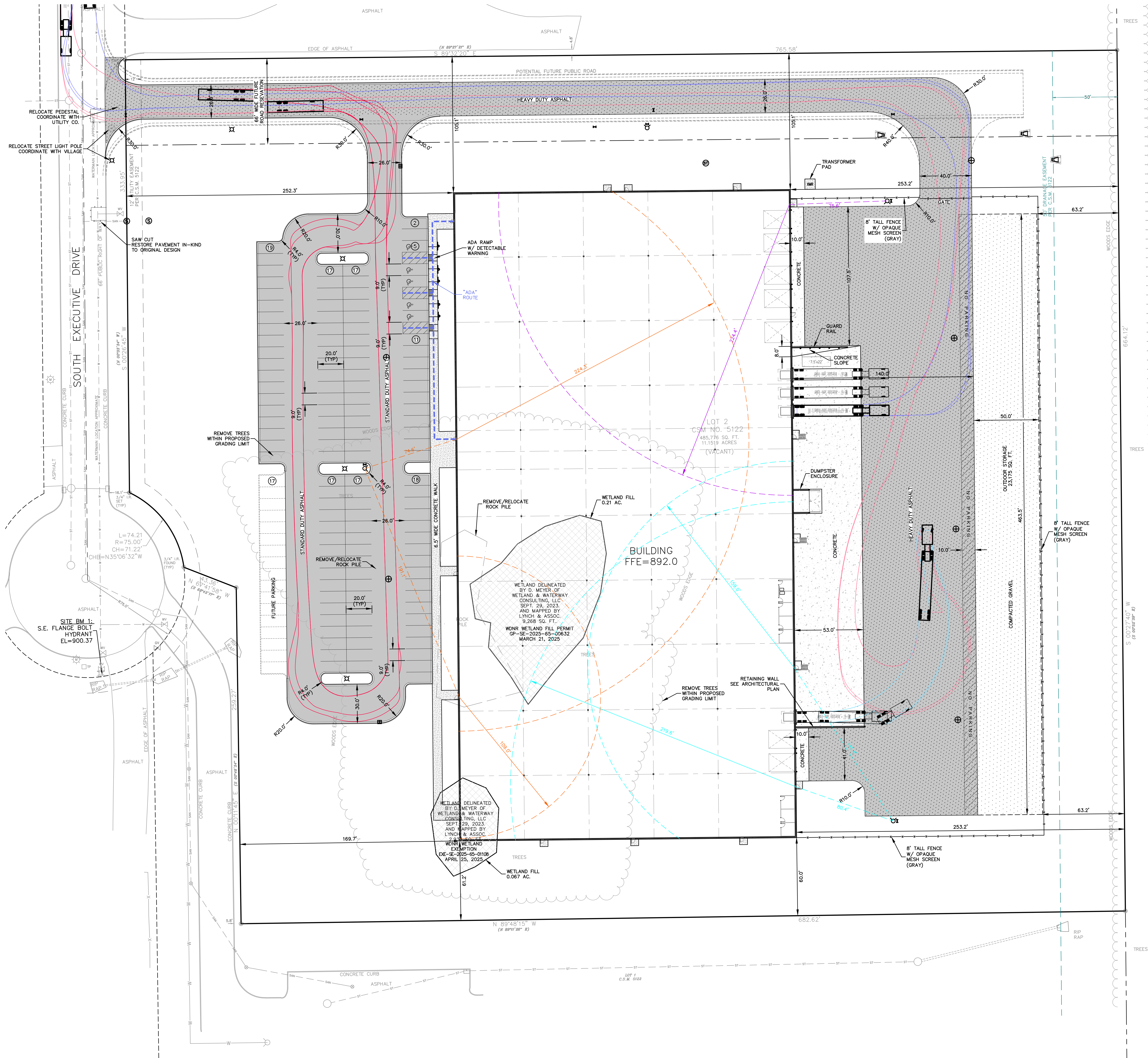
Name – print	Name – Signature	Date
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Name – print	Name – Signature	Date
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Applicant (if different than Property Owner):

Name – print	Name – Signature	Date
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Name – print	Name – Signature	Date
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SHEET INDEX	
C1.0	SITE PLAN AND SITE PAVEMENT ID PLAN
C2.0	SITE GRADING AND EROSION CONTROL PLAN
C3.0	SITE UTILITY PLAN
C4.0	SITE NOTES AND DETAILS
C4.1	SITE NOTES AND DETAILS
C4.2	SITE NOTES AND DETAILS



THE PROPERTY IS ZONED L1 LIGHT INDUSTRIAL, PER THE VILLAGE OF EAST TROY, AND HAS THE FOLLOWING SETBACKS AND RESTRICTIONS:

BUILDING SETBACKS/RESTRICTIONS:
FRONT/STREET YARD SETBACK: 25'
SIDE/REAR YARD SETBACK: 25'
BUILDING MAX. HEIGHT: 45'
BUILDING MAX. AREA: 75% OF NET DEVELOPABLE LOT
IMPERVIOUS MAX. AREA: 85% OF NET DEVELOPABLE LOT

PARKING/PAVEMENT SETBACK: 5'
MINIMUM PARKING: 1/EMPLOYEE ON THE LARGEST WORK SHIFT
PARKING PROVIDED: 84 STANDARD AND 5 ADA ACCESSIBLE
17 FUTURE

PRE-DEVELOPMENT (PROPERTY LIMITS):	
PERVIOUS	= 485,776 SF (100% GREEN SPACE)
IMPERVIOUS	= 0 SF
POST-DEVELOPMENT (PROPERTY LIMITS):	
PERVIOUS	= 195,908 SF (40.9% GREEN SPACE)
FUTURE**	= 190,661 SF (39.7 % GREEN SPACE)
IMPERVIOUS	= 289,868 SF (130,000 SF BUILDING)
FUTURE**	= 293,033 SF (130,000 SF BUILDING)

**PROPERTY LIMIT = LOT 2 CSM NO. 5122
**FUTURE EXCLUDES POTENTIAL PUBLIC ROAD IMPROVEMENTS (BY OTHER)

BUILDING COVERAGE AND IMPERVIOUS COVERAGE RATIO:
PROPERTY AREA: 11.15 AC.
UNDEVELOPABLE: 0.78 AC.
SAVED WOODLANDS/WETLAND: 0.00 AC.
STEEP SLOPES: 0.78 AC.
NET DEVELOPABLE: 10.38 AC.

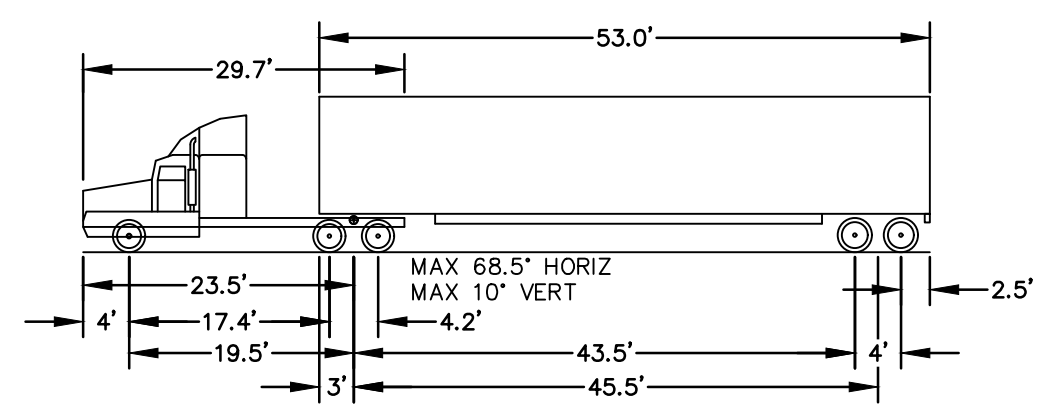
BUILDING COVERAGE: 2.98 AC. (7.78 AC. MAX)
FUTURE: 2.98 AC.
IMPERVIOUS COVERAGE: 6.85 AC. (8.82 AC. MAX)
FUTURE: 6.72 AC.

PAVEMENT THICKNESS NOTES

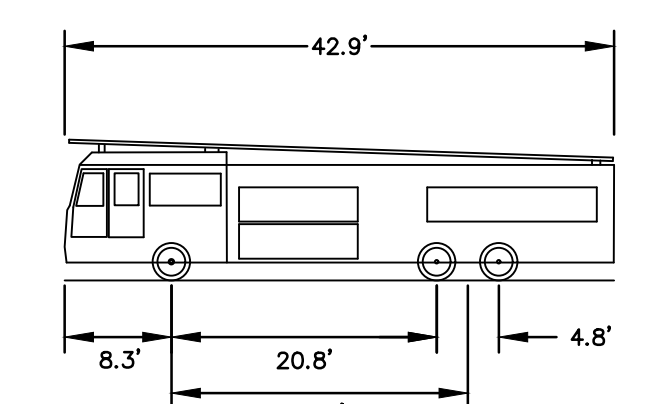
ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION - CURRENT EDITION AND ADDENDUM, APPLICABLE VILLAGE OF EAST TROY ORDINANCES, AND THE GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY PSI-INTERTECH, DATED MARCH 14, 2005.

**** FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORDS RECOMMENDATIONS AS SPECIFIED IN THE SAID GEOTECHNICAL REPORT.**

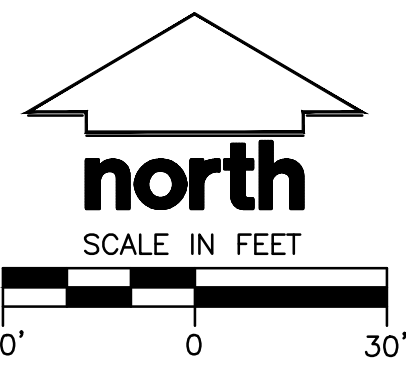
MINIMUM PAVEMENT STRUCTURE	
	CONCRETE PAVEMENT (TRUCK DOCK, DOLLY PAD, APRON DRIVE-IN ENTRANCE, TRASH PAD) 8" CONCRETE W/ MESH REINFORCEMENT 4" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
	CONCRETE SIDEWALK AND STOOPS 5" CONCRETE 4" CRUSHED AGGREGATE BASE COURSE CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
	STANDARD ASPHALT PAVEMENT 3.5" ASPHALTIC CONCRETE (2 LIFTS) UPPER LAYER (1-1/2" SURFACE, 5LT 58.28 S) LOWER LAYER (1" BINDER, 4LT 58.28 S) 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
	HEAVY DUTY ASPHALT PAVEMENT 6" ASPHALTIC CONCRETE (2 LIFTS) UPPER LAYER (2" SURFACE, 5LT 58.28 S) LOWER LAYER (4" BINDER, 4LT 58.28 S) 13" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
	GRAVELED STORAGE AREA 8" CLEAN COMPACTED TB GRAVEL OVER MATTING



WB-67 INTERSTATE SEMI-TRAILER
OVERALL LENGTH: 73'-6"
OVERALL WIDTH: 8'-6"
OVERALL BODY HEIGHT: 13'-5"
MIN BODY GROUND CLEARANCE: 1'-4"
MAX. TRACK WIDTH: 8'-6"
LOCK-TO-LOCK TIME: 6.00S
MAX WHEEL ANGLE: 28.4°



E-ONE HEAVY NON WALK-IN RESCUE
OVERALL LENGTH: 42'-11"
OVERALL WIDTH: 8'-4"
OVERALL BODY HEIGHT: 11'-0"
MIN BODY GROUND CLEARANCE: 1'-4 3/4"
TRACK WIDTH: 8'-4"
LOCK-TO-LOCK TIME: 6.00S
MAX WHEEL ANGLE: 45°



DESIGN GROUP
3800 N. BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53005-1950
(262) 780-0200 PHONE
(262) 780-0205 FAX

SITE PLAN AND SITE PAVEMENT ID PLAN

PROPOSED BUILDING FOR:
MP SYSTEMS/PIEPER ELECTRIC
S. EXECUTIVE DR.
VILLAGE OF EAST TROY, WISCONSIN

Date	Revision
MARCH 27, 2025	REVISION VILLAGE ENGINEERING COMMENTS
APRIL 4, 2025	REVISION VILLAGE ENGINEERING COMMENTS: WATER LINE
APRIL 21, 2025	REVISION VILLAGE ENGINEERING COMMENTS: WATER LINE/GUARD RAIL REMOVED
MAY 2, 2025	REVISION SHFT SITE PLAN SIFT WEST

Drawn: 240085

Checked:

Date: 2025-02-10

Sheet:

C1.0

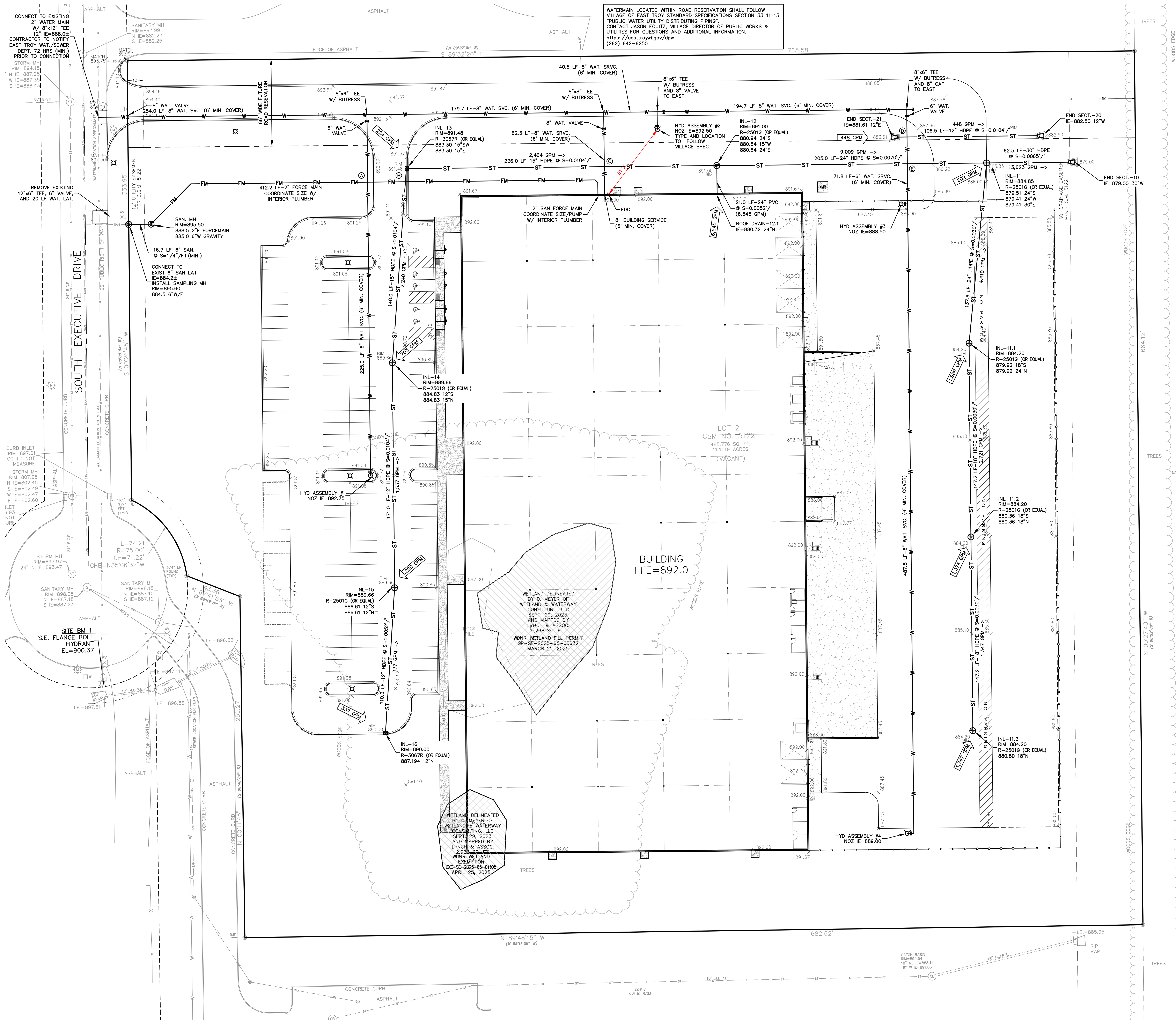


SHEET TITLE

PROPOSED BUILDING FOR:
MP SYSTEMS/PIEPER ELECTRIC
S. EXECUTIVE DR.
VILLAGE OF EAST TROY, WISCONSIN

[illegible]

C2.0



**SANITARY SEWER, STORM SEWER,
AND WATERMAIN CROSSINGS**

- 2" SAN FM IE=886.5
- 6" WAT IE=884.5
- 15" STO IE=883.40
- 2" SAN FM IE=886.5
- 6" WAT IE=885.0
- 15" STO IE=881.73
- 12" STO IE=881.53
- 6" WAT IE=879.5
- 24" STO IE=883.83
- 6" WAT IE=879.5



SITE UTILITY PLAN

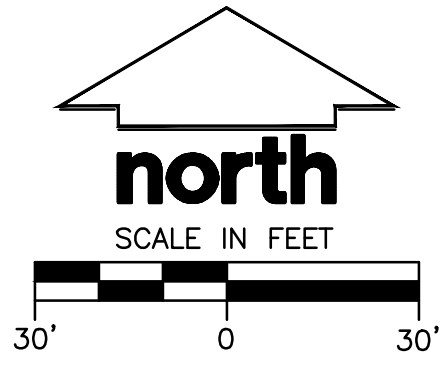
SHEET TITLE

PROPOSED BUILDING FOR:
MP SYSTEMS/PIEPER ELECTRIC
S. EXECUTIVE DR.
VILLAGE OF EAST TROY, WISCONSIN

DATE	REVISION	REVISION VILLAGE ENGINEERING COMMENTS
MARCH 27, 2025	1	REVISION VILLAGE ENGINEERING COMMENTS: WATER LINE
APRIL 4, 2025	2	REVISION VILLAGE ENGINEERING COMMENTS: WATER LINE
APRIL 21, 2025	3	REVISION VILLAGE ENGINEERING COMMENTS: WATER LINE/GUARD RAIL REMOVED
MAY 2, 2025	4	REVISION SHFT SITE PLAN SIFT WEST

DATE	3/27/2025	240085
DRAWN	_____	RW/
CHECKED	_____	RW/
DATE	2025-02-10	
SHEET		

C3.0



1. THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.

- ## PAVING NOTES

- ## PAVEMENT STRIPING NOTES

1. CONTRACTOR SHALL CONSULT STRIPPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL STRIPING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL AFFECT QUALITY OF WORK. DEFECTS CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
4. DO NOT PLACE MARKING AROUND UNBOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
5. LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PREPARED AND MADE TO INDUSTRY STANDARDS. "THIN HAND" PATTERNING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
6. PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
7. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES. (OR TO MFG. SPECIFICATIONS)
8. BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
9. ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO BROUHN DESIGN GROUP (BDG) PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. ALL EXISTING CONDITIONS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
3. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS(S) OF ALL GRADING INCLUDING, BUT NOT LIMITED TO, PROPOSED APPROACH TO EXISTING GRADES, TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 - THE CONTRACTOR MAY OBTAIN APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN SLOTT OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
4. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOLLS, WITH THE EXCEPTOR, THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT PONDING, AND IF NECESSARY, PONDING TO ALLEVATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXISTING OR PROPOSED DRAINAGE SYSTEMS. CONTRACTOR SHALL BE RESPONSIBLE TO TEST ALL SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
5. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS AS RECOMMENDED BY THE ENGINEER, THE CONTRACTOR SHALL REFER TO THE 2023 FOR SITE COMPACTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/OWNER IMMEDIATELY WHEN ANY SOILS ARE NOT BEING CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
6. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE A COST EFFECTIVE APPROACH TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
7. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WEET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FLAG THE AREA. THE EXCEPTOR, LIMITED SPREAD MATERIALS TO EXCEED LAY AND SUBMIT A PLAN TO THE ENGINEER/OWNER IMMEDIATELY. THE CONTRACTOR SHALL NOT EXCEED THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TUMBLER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
8. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION.
9. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
10. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO CONSIDER STRUCTURAL STABILIZATION OF EXISTING SLOPES. CONTRACTOR SHALL BE RESPONSIBLE TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
11. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
12. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILENCING OR APPROVED ERECTION BARRIERS. CONSTRUCTION IS COMPLETED, CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
14. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SCD OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF RIGHT-OF-WAY TO RESTORE RIGHT-OF-WAY IN KIND INCLUDING LANDSCAPING.
15. CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.

1. INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS.
4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS WALKS, ETC.
6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.

7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER THAT MEETS OR EXCEEDS THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES DEFINITION OF 'FINAL STABILIZATION'.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND MONITORED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL MANUAL FOR CONSTRUCTION STORMWATER MANAGEMENT. BEST MANAGEMENT PRACTICES (BMP'S), AS DEFINED BY THE NPDES PERMIT, SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE NPDES PERMIT.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY BDO PROFESSIONAL SERVICES, INC. (BDO) OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED EROSION CONTROL PLAN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY BDO PRIOR TO IMPLEMENTATION. ANY CHANGES TO THE PLAN MUST BE SUBMITTED TO BDO.
- INSTALL PERMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING ILT PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER COLLECTION SYSTEMS.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS; ADDITIONAL CONSTRUCTION MATERIALS AND SUPPLIES TO BE USED ON THE PLANS MUST BE PRE-APPROVED BY APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE LOCAL AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS; ILT PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER, ALL INLETS, STRUCTURES, PIPES, MANHOLES AND CATCH BASINS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH;
 - TEMPORARILY COMPACT STABILIZED SOIL TO FORM AN EROSION CONTROL CONSTRUCTION;
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE COMPLETED PRIOR TO ANY CONSTRUCTION OPERATIONS. SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNFILTERED RUNOFF.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERMETER SILT FENCE OR STRIP CURB TO BE INSTALLED TO PREVENT TOPSOILS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL COMPLETION OF THE PROJECT. EROSION CONTROL MEASURES NOT REMOVED WITHIN THE SPECIFIED TIME FRAME WILL BE CONSIDERED ABANDONED AND APPROPRIATE DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REQUIRED ONLY WHERE THE EXPOSED GROUND HEIGHT OF THE FENCE, CONSTRUCTION ENTRANCE OR OTHER DEVICE IS LESS THAN THE DESIGN GRADE.
- ALL DISTURBED SLOPES EXCEEDING 4:1 YET LESS THAN 3:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN 5758N EROSION MATTING (OR APPROVED EQUAL) AND DISTURBED SLOPES EXCEEDING 3:1 YET LESS THAN 2:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C1258N (OR APPROVED EQUAL) OR EQUIVALENT. EROSION MATTING SHALL BE LAYED DOWN IMMEDIATELY AFTER DISTURBANCE OCCURS. WHEN REQUIRED, EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- DURING PERIODS OF EXTENDED WIND WEATHER, THE CONTRACTOR SHALL KEEP TRACK ON SITE OF THE DIRECTION OF EXHAUSTING DOWN SLOPES WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE AREA OF CONCERN OR OF POLLUTANTS ENTERING THE AREA OF CONCERN.
- QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM OF ONE (1) INCH FALL. INSPECTIONS SHALL BE CONDUCTED IMMEDIATELY AFTER ANY MAJOR RAINFALL EVENT OR SNOWFALL EVENT, REPORTING SHALL BE IN ACCORDANCE WITH PART IV D.4. (g)-(i), OF THE NPDES PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REPAIRED/DURINGS INSPECTIONS REPAIRED/REPLACED.
- THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES AND DEVICES AND TO ADDRESS DETECTION OF DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS INSPECTION SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.
 - SILT FENCE -- REPLACE OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT FROM THE FENCE. IF THERE IS NO SIGNIFICANT GROUND HEIGHT OF THE FENCE, CONSTRUCTION ENTRANCE OR OTHER DEVICE, AS NEEDED, add STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.
 - DITCH -- REMOVE THE EROSION -- RE-SOURCE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED THE MAXIMUM ALLOWED DEPTH.
 - EROSION CONTROL MATTING -- REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR LOOSE MATTING. IF THE EROSION CONTROL MATTING IS BREACHED OR LOOSE, REPAIR OR REPLACE MATTING DIVISION BERM/SWALE -- REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.
 - INLET PROTECTION -- CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONSTRUCTION MATERIALS ARE CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HALF FULL OF SEDIMENT.

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING.

- CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE MATERIALS FROM THE PROJECT. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, PUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIALS AWAY FROM THE PROJECT SHALL BE PROPERLY MAINTAINED AND OPERATED TO PREVENT DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:**
- A. **WATER SPRAY OR OTHER DUST SUPPRESSANT SHALL BE APPLIED TO THE DIRT.**
 - B. **ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.**
 - C. **FREQUENT WATERING OF VULNERABLE AREAS.**
 - D. **PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.**
- SEEDING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.**

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND DEPTH OF ALL UTILITIES AS THEY BECOME NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THEREIN. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN (WISCONSIN LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND STANDARDS TO FOLLOW AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
3. UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF EAST TROY SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES 382.
4. TRACER WIRES SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.0715/2R OF THE STATE STATUTES AND VILLAGE OF EAST TROY REQUIREMENTS.
5. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
6. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
7. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL RECORD DRAWINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONDITIONS AND BEGINNING UTILITY CONSTRUCTION.

8. STORM SEWER SPECIFICATIONS -
- Pipe - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS IV (MINIMUM C-76) WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443; HIGH DENSITY DUAL-WALL, 15-18" DIAMETER RCP PIPE (HDP) SHALL BE MANUFACTURED BY ADS OR EQUAL, WITH "WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF ASHTO DESIGNATION M-294 TYPE "B", OR POLYVINYL CHLORIDE (PVC) - CLASS 34B4 MEETING ASHTO M278, AS NOTED.
- INLETS/CATCH BASINS - (INLETS) CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-1580 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL.
- BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BEDDING. UNPAVED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL .
- FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
9. WATER MAIN SPECIFICATIONS -

PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.2.7.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

10-GAUGE TRACER WIRE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF ALL PRIVATE WATER MAINS, HYDRANT LEADS, FIRE DEPARTMENT CONNECTION LEADS AND LATERALS. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS AND ENCLOSED IN RISER BOX WITH "WATER" ON THE COVER.

HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF EAST TROY AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS." THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES. HYDRANTS SHALL BE DOMESTICALLY MANUFACTURED AND PAINTED MEDIUM GREEN COLOR.

VALVES AND FITTINGS - VALVES AND FITTINGS INSTALLED WITHIN THE ROADWAY RIGHT OF WAY SHALL CONFORM TO THE VILLAGE SPECIFICATIONS FOR TYPE AND MANUFACTURER. VALVES SHALL BE DOMESTICALLY MANUFACTURED.

BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE, CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". SLURRY BACKFILL REQUIRED FOR AREAS UNDER THE PUBLIC PAVEMENT AND CURB. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

WATERMAIN LOCATED WITHIN ROAD RESERVATION SHALL FOLLOW VILLAGE OF EAST TROY STANDARD SPECIFICATIONS SECTION 33.11.13 "PUBLIC WATER UTILITY DISTRIBUTING PIPING". CONTACT JASON EQUITZ, VILLAGE DIRECTOR OF PUBLIC WORKS & UTILITIES FOR QUESTIONS AND ADDITIONAL INFORMATION.
<https://easttroywi.gov/dpw>
(262) 642-6250

10. SANITARY SEWER SPECIFICATIONS -

PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.

BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."

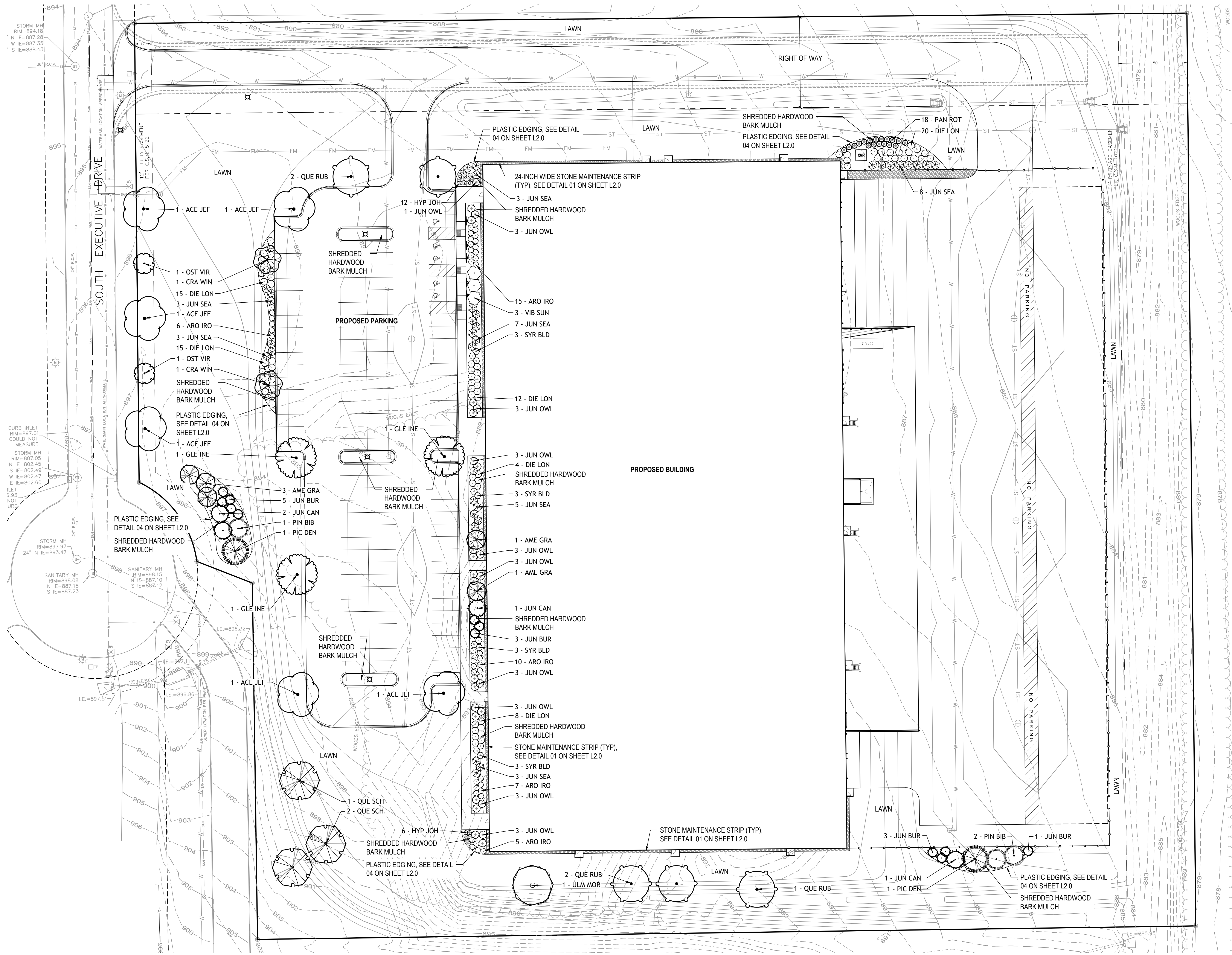
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."

MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF EAST TROY.

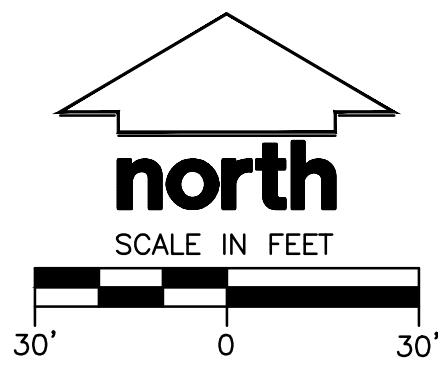
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1580 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL. MANHOLE CASTING SHALL HAVE A CHIMNEY SEAL.

1. WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. THE INSULATION SHALL BE 2" THICK POLYURETHANE FOAM. THE CONTRACTOR SHALL PROVIDE THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
2. TRACER WIRE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF THE TRACER WIRE CAP. THE TRACER WIRE SHALL BE EXTENDED ABOVE GRADE IN A 4-INCH PVC PIPE WITH A SCREW-ON GATE ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
3. ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
4. THE CONTRACTOR SHALL CONTACT THE VILLAGE OF EAST TROY ENGINEERING DEPARTMENT (414-768-6541) 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE CITY-OWNED SEWER MAIN.

C4.0



LANDSCAPING POINT REQUIREMENTS			
LANDSCAPE TYPE	GUIDELINES	POINTS REQUIRED	POINTS PROVIDED
BUILDING FOUNDATIONS	20 POINTS PER 100 LF OF BUILDING FOUNDATION PERIMETER	1520 LF = 304 POINTS	344 POINTS
STREET FRONTAGES	20 POINTS PER 100 LF OF STREET FRONTAGE	460 LF = 92 POINTS	120 POINTS
PAVED AREAS	40 POINTS FOR EVERY 20 OFF-STREET PARKINGS STALLS OR 10,000 SF OF PAVEMENT (WHICHEVER IS GREATER)	141,280 SF PARKING / DRIVES = 565 POINTS	596 POINTS
DEVELOPED LOTS	5 POINTS PER 1,000 SF OF GROSS FLOOR AREA	130,000 SF = 650 POINTS	673 POINTS
NO BUFFERYARD REQUIRED - LI (LIGHT INDUSTRIAL) TO THE NORTH, SOUTH AND WEST; AGRICULTURAL TO THE EAST			



BRIORN

DESIGN GROUP

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LANDSCAPE PLAN

SHEET TITLE

PROPOSED BUILDING FOR:
MP SYSTEMS/PIEPER ELECTRIC
S. EXECUTIVE DR.
VILLAGE OF EAST TROY, WISCONSIN

Revision	Comments	Date
1	REVISION VILLAGE ENGINEERING COMMENTS	MARCH 27, 2025
2	REVISION VILLAGE ENGINEERING COMMENTS: WATER LINE	APRIL 4, 2025
3	REVISION VILL. ENG COMMENT: WATER LINE/GUARD RAIL REMOVED	APRIL 21, 2025
4	REVISION: SHFT SITE PLAN SIFT WEST	MAY 2, 2025

240085

HC

KS/LJS

2025-02-10

SHEET:
L1.0

GENERAL

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- TOP OF MULCH SHALL BE ½" MINIMUM BELOW THE TOP OF WALKS AND CURBS
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- THE LANDSCAPE SHALL BE MAINTAINED IN A MANNER COMMON TO THE PRACTICE, INCLUDING MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, TRASH REMOVAL, AND OTHER SUCH ACTIVITIES.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING FOR 60 DAYS, OR UNTIL FINAL ACCEPTANCE BY THE OWNER. AN ON-SITE INSPECTION BY THE OWNER'S AGENT WILL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- DURING WORK, PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS THE WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOISING THEM AT THE END OF EACH WORK DAY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER FINAL ACCEPTANCE BY THE OWNER'S AGENT. PLANTS SHALL BE IN HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ALL PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE AT NO COST TO OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT.
- THE OWNER SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AS NECESSARY FOLLOWING THE 60 DAY CONTRACTOR MAINTENANCE PERIOD.

QUALITY ASSURANCE

- LANDSCAPE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- SELECTION OF PLANT MATERIAL: MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.
- SUBSTITUTIONS: DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WRITTEN VERIFICATION WILL BE REQUIRED DOCUMENTING MATERIAL SELECTION, SOURCE AND DELIVERY SCHEDULE TO SITE.
- MEASUREMENTS: TAKE CALIPER MEASUREMENTS OF TREES SIX INCHES ABOVE GROUND. MEASURE MAIN BODY OF ALL PLANT MATERIAL FOR HEIGHT AND SPREAD DIMENSIONS, NOT FROM TIP-TO-TIP.
- LANDSCAPE ARCHITECT OR OWNER, SHALL INSPECT ALL PLANT MATERIAL WITH RESPECT TO GENUS, SPECIES, CULTIVAR/VARIETY, SIZE AND QUALITY, INCLUDING SIZE AND CONDITION OF ROOT SYSTEMS, LIMBS, BRANCHING HABIT, INSECTS, INJURIES, OR OTHER LATENT DEFECTS UPON ARRIVAL TO SITE OR DURING INSTALLATION.
- LANDSCAPE ARCHITECT OR OWNER MAY REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING THE WORK PROCESS. REMOVE REJECTED MATERIALS FROM SITE AND REPLACE WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER. PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

PRODUCT DELIVERY, STORAGE AND HANDLING

- DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON THE JOB SITE.
- PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS OR DESICCATION OF LEAVES. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT. PROTECT ROOT BALLS BY HEELING IN WITH SAND/DUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NO PLANTED WITHIN 24 HOURS OF DELIVERY.
- TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.
- DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS.

MATERIALS

PLANTS

- ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1, MOST RECENT EDITION.
- PLANTS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN, AND SHALL BE HEALTHY, SYMMETRICAL, WELL-SHAPED, FULL BRANCHED AND FREE OF DISEASE AND INSECTS.
- ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH, OR ARE IN ANY UNHEALTHY, BADLY SHAPED OR UNDERSIZED CONDITION WILL BE REJECTED BY THE LANDSCAPE ARCHITECT EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE PLANT AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS SHALL NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS.
- PLANTS SHALL BE FRESHLY DUG FROM DURING THE MOST RECENT APPROPRIATE HARVEST SEASON.
- PRUNING SHALL BE LIMITED TO DEAD BRANCHES, LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS ANSI A300.

SOILS

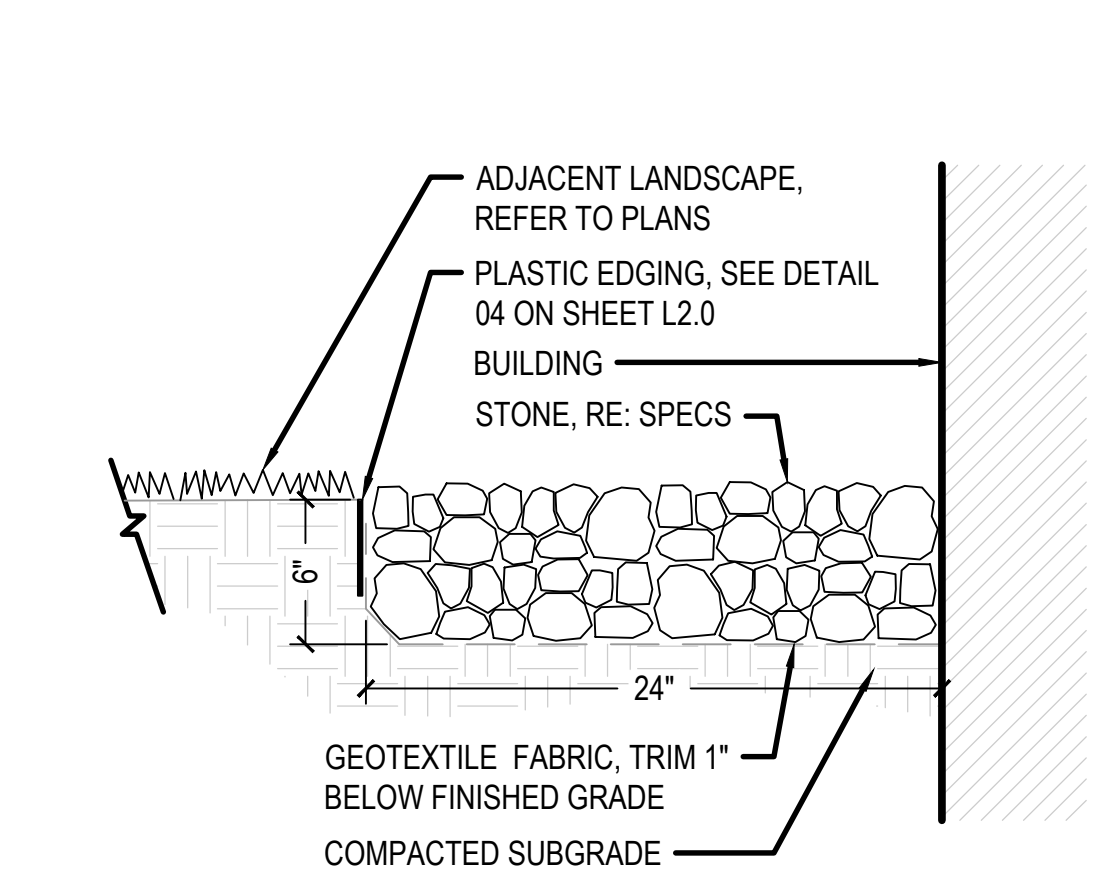
- PLANTING SOIL AND TOPSOIL TO BE A CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER ¾" IN DIAMETER, AND FREE FROM TOXINS AND WEEDS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 5.5 AND 7. ORGANIC MATERIAL SHALL BE 2.0-5.0% OF TOTAL DRY WEIGHT. SOLUBLE SALT LEVELS SHALL BE LESS THAN 2 mmho/cm. PLANTING SOIL AND TOPSOIL SHALL BE TESTED AND AMENDED TO MEET THESE SPECIFICATIONS.
- COMPOST SHALL BE COMMERCIALY PREPARED, PEAT-FREE COMPOST AND MEET US COMPOST COUNCIL STATMECC CRITERIA AND SHALL CONSIST OF PLANT-BASED MATERIALS, COMPOSTED FOR A MINIMUM OF 9 MONTHS AT TEMPERATURES SUFFICIENT TO BREAK DOWN ALL WOODY FIBERS, SEEDS, AND LEAF STRUCTURES.
- ALL PLANTING AREAS WITHIN THE DRIP LINE OF EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD THREE (3") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF THE TOPSOIL. ALL PLANTING AREAS WITHOUT EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF EIGHTEEN (18") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF EIGHTEEN (18") INCHES OF THE TOPSOIL.
- BACKFILL FOR TREE PITS SHALL CONSIST OF EXISTING TOPSOIL ON SITE (OR IMPORTED AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, SUBSOILS, ETC., PLACED IN NINE (9") LAYERS AND WATERED IN THOROUGHLY.

OTHER MATERIALS

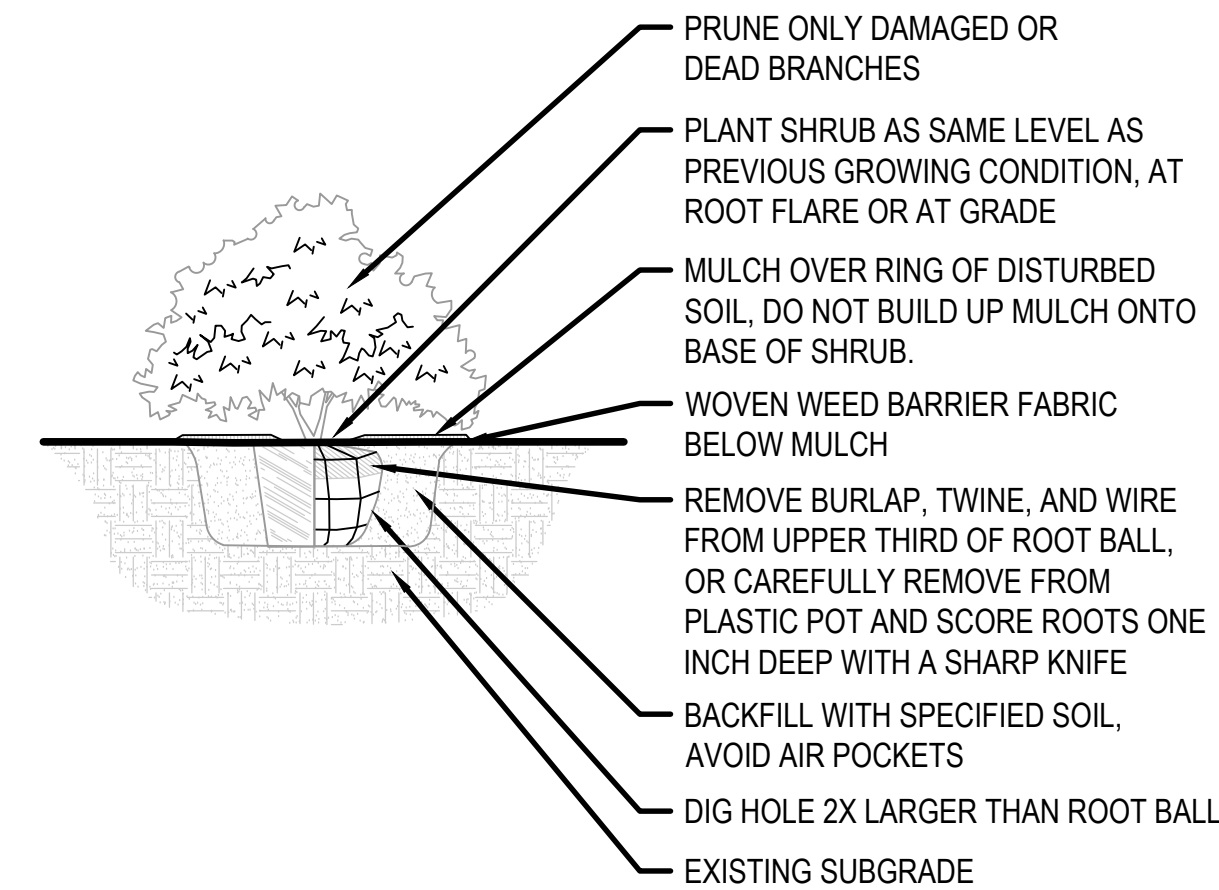
- SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED-FREE SHREDDED HARDWOOD BARK MULCH SPREAD TO A DEPTH OF FOUR (4") INCHES OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH, SIZE AND COLOR TO BE APPROVED BY OWNER'S AGENT PRIOR TO INSTALLATION.
- EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING, TO BE APPROVED BY OWNER'S AGENT.
- SOD: ALL AREAS SPECIFIED ON PLAN AS SOD (IF APPLICABLE) SHALL BE A PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. TURFGRASS SOD SHALL BE REASONABLY FREE OF DISEASES, NEMATODES, INSECTS, GRASSY AND BROAD-LEAF WEEDS.
- LAWN SEED: DISTURBED LAWN AREAS LABELED AS SUCH ON PLAN, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH 'MADISON PARKS' OR EQUIVALENT SEED MIX AS APPROVED BY OWNER'S AGENT, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS WITH SLOPES EXCEEDING 3:1 AT A RATE OF 1 ½ POUNDS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- STONE MAINTENANCE STRIP: "MISSISSIPPI" DECORATIVE STONE CHIPS BY HALQUIST STONE OR APPROVED EQUAL TO BE INSTALLED IN THE LOCATIONS INDICATED ON THE PLAN FOLLOWING THE MANUFACTURER'S INSTRUCTIONS. THE GEOTEXTILE FABRIC SHALL BE PERMEABLE NONWOVEN MIRAFI M5CSAPE E OR APPROVED EQUAL.

INSTALLATION

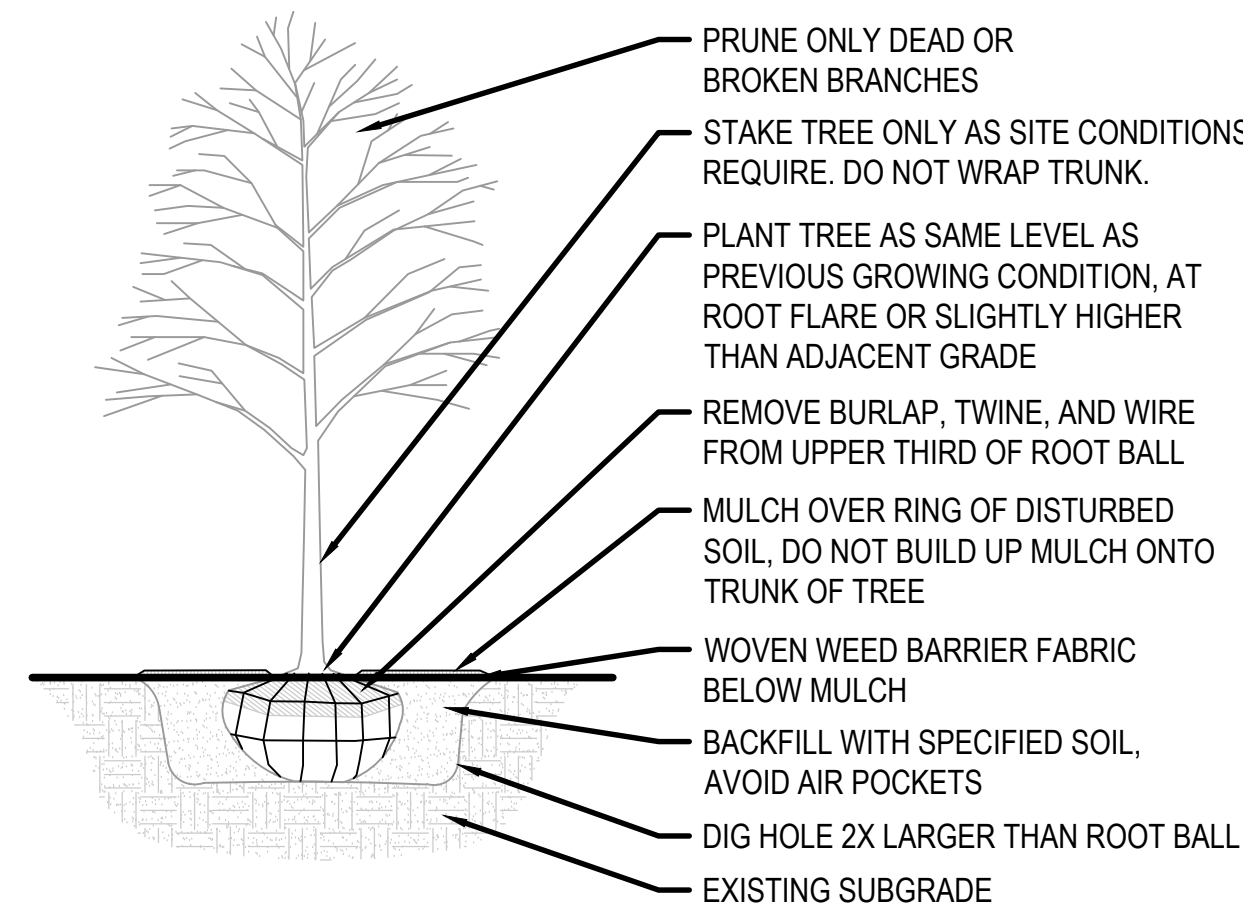
- PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING.
- EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO THE ROOT BALLS, AND SHALL BE PLACED AT THE SAME DEPTH RELATIVE TO FINISH GRADE AS IT DID TO THE SOIL SURFACE IN THE ORIGINAL PLACE OF GROWTH.
- SHRUB AND TREE PITS SHALL BE NO LESS THAN TWO TIMES WIDER THAN THE LATERAL DIMENSIONS OF THE EARTH BALL AND NO DEEPER THAN ITS VERTICAL DIMENSION. THE SIDES OF THE HOLE SHALL BE ROUGH AND JAGGED, NEVER SLICK AND GLAZED, ROUGH UP WITH SHOVEL IF NEEDED.
- BACKFILL HOLE WITH 5 PARTS EXISTING SOIL AND 1 PART PLANT BED PREPARATION SOIL. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP, NYLON, STRING, AND WIRE FROM THE TOP ½ OF THE BALL. MULCH THE TOP OF THE BALL WITH A MINIMUM OF TWO (2") INCHES OF SPECIFIED MULCH OVER THE PLANTING PIT.
- DO NOT WRAP TREES. STAKE TREES AND LARGE SHRUBS ONLY AS SITE CONDITIONS REQUIRE.
- TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 24 HOURS. ENSURE EDGES OF SOD ARE STAGGERED AND TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO THE SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY OWNER. THE SOD SUPPLIER MAY MAKE RECOMMENDATIONS REGARDING THE WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER THE SOD IS INSTALLED.



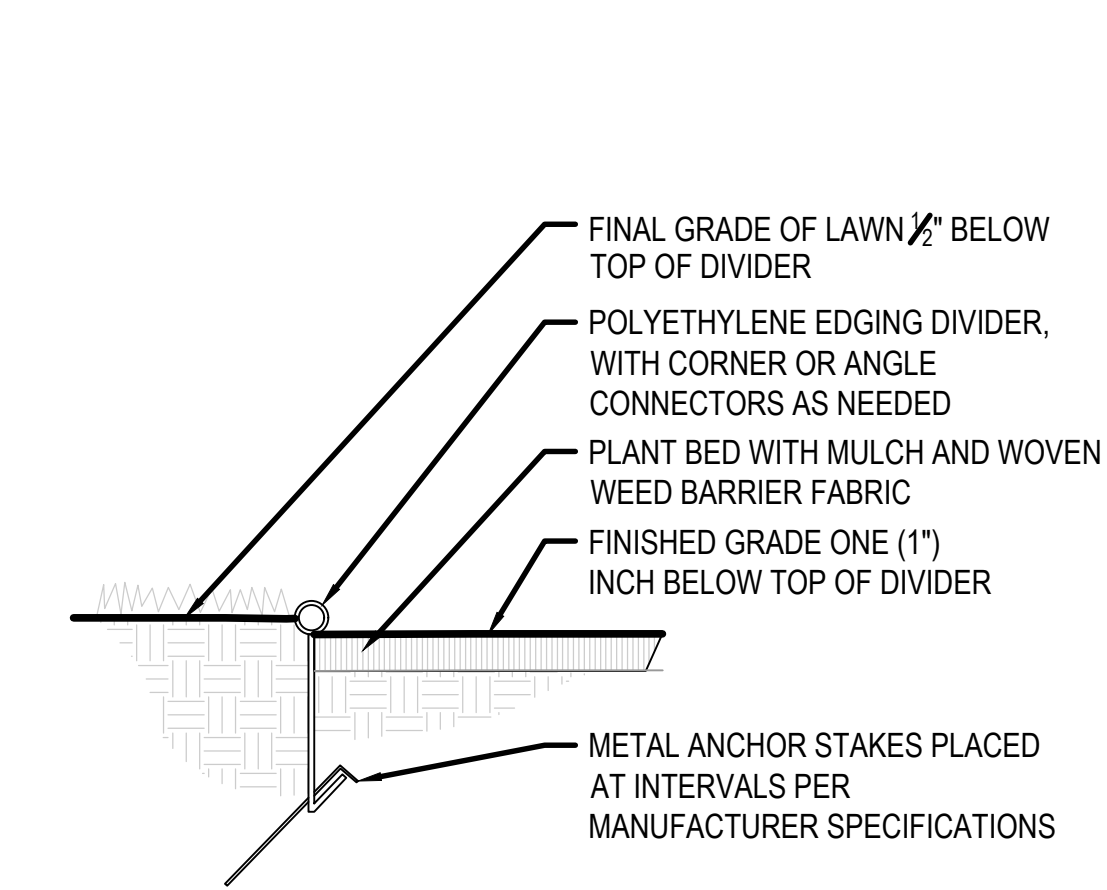
01 24-INCH WIDE STONE MAINTENANCE STRIP
NTS



03 SHRUB PLANTING
NTS



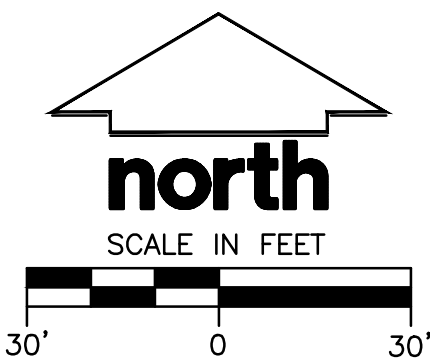
02 DECIDUOUS TREE PLANTING
NTS



04 PLASTIC EDGING
NTS

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	PLANTING SIZE	MATURE HT	MATURE SP	QTY
TREES							
	ACE JEF	Acer x freemianii 'Jeffsred' / Autumn Blaze Maple	B & B	2.5" Min. Cal.	50'	40'	6
	AME GRA	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	B & B	6 FT. Tall Min.	30'	25'	5
	CRA WIN	Crataegus viridis 'Winter King' / 'Winter King' Hawthorn	B & B	1.5" Min. Cal.	25'	30'	2
	GLE INE	Gleditsia triacanthos inermis / Thornless Common Honeylocust	B & B	2.5" Min. Cal.	60'	50'	3
	JUN BUR	Juniperus virginiana 'Burkii' / Burk Red Cedar	B & B	6 FT. Tall Min.	25'	8'	12
	JUN CAN	Juniperus virginiana 'Canaertii' / Canaerti Juniper	B & B	6 FT. Tall Min.	25'	15'	4
	OST VIR	Ostrya virginiana / American Hophornbeam	B & B	1.5" Min. Cal.	25'	15'	2
	PIC DEN	Picea glauca 'Densata' / Black Hills Spruce	B & B	6 FT. Tall Min.	30'	25'	2
	PIN BIB	Pinus cembra 'Big Blue' / Big Blue Swiss Stone Pine	B & B	6 FT. Tall Min.	35'	15'	3
	QUE RUB	Quercus rubra / Red Oak	B & B	2.5" Min. Cal.	75'	75'	5
	QUE SCH	Quercus x schuettii / Swamp Bur Oak	B & B	2.5" Min. Cal.	75'	70'	3
	ULM MOR	Ulmus x 'Morton Accolade' / Accolade Elm	B & B	2.5" Min. Cal.	70'	70'	1
SHRUBS							
	ARO IRO	Aronia melanocarpa 'Iroquois Beauty' / Black Chokeberry	3 gal	Container	3'	4'	43
	DIE LON	Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal	Container	4'	5'	74
	HYP JOH	Hypericum kalmianum / Kalm's St. Johnswort	3 gal	Container	3'	3'	18
	JUN SEA	Juniperus chinensis 'Sea Green' / Sea Green Juniper	3 gal	Container	6'	6'	32
	JUN OWL	Juniperus virginiana 'Grey Owl' / Eastern Redcedar	3 gal	Container	3'	6'	28
	SYR BLD	Syringa x 'SMSJBP7' / Bloomerang® Dark Purple Lilac	3 gal	Container	6'	5'	12
	VIB SUN	Viburnum dentatum 'Synnvested' / Chicago Lustre Arrowwood Viburnum	3 gal	Container	12'	10'	3
PERENNIALS & GRASSES							
	PAN ROT	Panicum virgatum 'Rotstrahlbusch' / Rotstrahlbusch Red Switch Grass	#1	Container	4'	4'	18



BRIORN

DESIGN GROUP

5805 N BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53005-1950
(262) 780-0200 PHONE
(262) 780-0205 FAX

PLANTING NOTES,
DETAILS & SCHEDULE

SHEET TITLE

PROPOSED BUILDING FOR:
MP SYSTEMS/PIEPER ELECTRIC
S, EXECUTIVE DR.
VILLAGE OF EAST TROY, WISCONSIN

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5		
6		
7		
8		
9		
10		

JOB NO.	2400085
DRAWN:	HG
CHECKED:	KS/JIS
DATE:	2025-02-10

SHEET:

L2.0

Symbol	Label	Image	Catalog Number	Quantity	Manufacturer	Description	Footcandle	Lumen	Height (ft)	Beam Angle	Foot
OA	OA		2430242.00	2	LUMINA Lighting	160 LED AREA LIGHTING 160 W 160 Lumens 160 W 160 Lumens	1	16000	1	160°	160
WA	WA		2430404.00	2	LUMINA Lighting	160 LED AREA LIGHTING 160 W 160 Lumens 160 W 160 Lumens	1	16000	1	160°	160
OB	OB		2430404.00	2	LUMINA Lighting	160 LED AREA LIGHTING 160 W 160 Lumens 160 W 160 Lumens	1	16000	1	160°	160

Luminaire Locations											
		Location						Aim			
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z	
1	OA	2430242.00	284507.40	25.00	25.00	0.00	0.00	2430242.00	284508.80	0.00	
	OA-1	2430242.00	284508.70	25.00	25.00	0.00	0.00	2430242.00	284508.80	0.00	
	OA-2	2430242.00	284506.00	25.00	25.00	180.00	0.00	2430242.00	284506.00	0.00	
2	OA	2430404.00	284508.70	25.00	25.00	0.00	0.00				
	OA-1	2430404.00	284510.10	25.00	25.00	0.00	0.00	2430404.00	284510.10	0.00	
	OA-2	2430404.00	284507.30	25.00	25.00	180.00	0.00	2430404.00	284507.30	0.00	
3	OA	2430566.00	284509.90	25.00	25.00	0.00	0.00				
	OA-1	2430566.00	284511.30	25.00	25.00	0.00	0.00	2430566.00	284511.30	0.00	
	OA-2	2430566.00	284508.50	25.00	25.00	180.00	0.00	2430566.00	284508.50	0.00	
1	OB	2430669.00	284646.10	20.00	20.00	90.00	0.00	2430671.00	284646.10	0.00	
3	WA	2430167.00	284420.70	20.00	20.00	0.00	0.00	2430167.00	284420.70	0.00	
4	WA	2430182.00	284159.40	20.00	20.00	180.00	0.00	284159.40		0.00	
5	WA	2430283.00	284160.30	20.00	20.00	180.00	0.00	2430283.00	284160.30	0.00	
6	WA	2430385.00	284161.50	20.00	20.00	180.00	0.00	2430385.00	284161.50	0.00	
7	WA	2430487.00	284162.50	20.00	20.00	180.00	0.00	2430487.00	284162.50	0.00	
8	WA	2430588.00	284163.20	20.00	20.00	180.00	0.00	2430588.00	284163.20	0.00	
10	WA	2430619.00	284290.80	20.00	20.00	90.00	0.00	2430619.00	284290.80	0.00	
11	WA	2430620.00	284172.10	20.00	20.00	90.00	0.00	2430620.00	284172.10	0.00	
12	WA	2430116.00	284406.60	20.00	20.00	270.00	0.00	2430116.00	284406.60	0.00	
13	WA	2430117.00	284284.40	20.00	20.00	270.00	0.00	2430117.00	284284.40	0.00	
14	WA	2430118.00	284171.10	20.00	20.00	270.00	0.00	2430118.00	284171.10	0.00	
16	WA	2430244.00	284421.70	20.00	20.00	0.00	0.00	2430244.00	284421.70	0.00	
17	WA	2430321.00	284421.70	20.00	20.00	0.00	0.00	2430321.00	284421.70	0.00	
18	WA	2430398.00	284422.80	20.00	20.00	0.00	0.00	2430398.00	284422.80	0.00	
19	WA	2430474.00	284423.50	20.00	20.00	0.00	0.00	2430474.00	284423.50	0.00	
20	WA	2430551.00	284424.50	20.00	20.00	0.00	0.00	2430551.00	284424.50	0.00	

State of Wisconsin
DEPARTMENT OF NATURAL RESOURCES
1027 W St. Paul Ave
Milwaukee, WI, 53233

Tony Evers, Governor
Karen Hyun, Ph.D., Secretary
Telephone 608-266-2621
Toll Free 1-888-936-7463
TTY Access via relay - 711



April, 25. 2025

EXE-SE-2025-65-01108

Joe Jursenas
3885 N. Brookfield Road
Brookfield, WI 53045
[sent electronically]

RE: Nonfederal Wetland Exemption Determination for the areas described as **Wetland 'A'** and **Wetland 'B'** located in the NW1/4 of the SE1/4, Section 32, Township 4 North, Range 18 East, Village of East Troy, Walworth County

Dear Joe Jursenas:

This letter is in response to your request for a nonfederal wetland exemption determination for the above-mentioned wetlands.

The area described as Wetland 'A' is being dismissed without prejudice for a nonfederal wetland exemption request due to holding a previously acquired general wetland fill permit. Only Wetland 'B' will be considered for the remainder of the review.

According to 281.36 (4n), Wis. Stats., a nonfederal urban wetland is a wetland that is not federally jurisdictional. Projects impacting nonfederal wetlands in urban areas must be less than 1 acre of total impact per parcel. Mitigation will be required for impacts greater than 10,000 sq ft up to 1 acre. The applicant must have a nonfederal jurisdictional determination from the Army Corps of Engineers along with a map of the wetland(s) involved. In addition, DNR must also consider whether the nonfederal wetland is a rare and high-quality wetland as defined in s 281.36(4n), Wis. Stat.

The Department reviewed the following materials to aid in our exemption determination:

- The request narrative including project scope and purpose
- Site location map and photographs that show different angles and views of the wetland
- Botanical survey results
- Wetland delineation information

Below is a summary of our findings:

Request Narrative

According to the request narrative the total wetland impacts will for Wetland 'B' will be 2,933 square feet (approximately 0.067 acres). The purpose of this project is to develop a light industrial building with asphalt/concrete lots for associated business use.

Site Location and Photographs

The site location confirms that the wetland is located in an **urban area** as defined by s. 281.36(4n) (a)5 Wis. Stats. The wetland delineation indicates that Wetland 'B' is a wetland forest dominated by box elder and common buckthorn.

Botanical Survey

The wetland delineation demonstrates that Wetland 'B' is a forested/shrub wetland area that is not a rare and high-quality wetland. The delineation report notes that the wetland is dominated on all stratum layers by common buckthorn and box elder.

Wetland Delineation Information

The wetland delineation shows that Wetland 'B' is not a rare and high-quality wetland. The delineation report notes that the wetland is dominated by common buckthorn and box elder.

Stormwater Compliance Information

The applicant is responsible for obtaining all other state and/or local stormwater and erosion control approvals as deemed necessary by the applicable officials. The documentation demonstrated that the project will be completed in compliance with applicable WPDES stormwater permits and stormwater ordinances adopted under s. 59.693, 60.627, 61.354, or 62.234, Wis. Stats.

Conclusion

Based upon the documentation provided above, **Wetland 'B'** meets the eligibility criteria pursuant to s. 281.36 (4n), State Stat. You are able to proceed with your project. If you have any questions or would like to schedule a meeting to discuss this approval, please call me at (608) 445-4751 or email haley.anderson@wisconsin.gov.

Sincerely,

A handwritten signature in black ink that reads "Haley Anderson". The script is cursive and fluid.

Haley Anderson
Water Management Specialist

Email CC: Darin Schwanke, County Zoning Administrator
 Rizal Iskandarsjach, Consultant
 Steve Sanidas, County Warden
 Wetland file