



PLAN COMMISSION REPORT

Proposal: Cooperative Boundary Agreement Review

Description: Review a building, site, and operation plan for the construction and utilization of a ±53,000 square-foot commercial building located at 3030 CTH K to ensure compliance with the Cooperative Boundary Agreement between the Village of Raymond and the Village of Caledonia.

Applicant(s): Mark Molinaro Jr.

Address(es): 3030 CTH K

Suggested Motion: That the Plan Commission recommends to the Village Board that the proposed building, site, and operation plan for the construction and utilization ±53,000 square-foot commercial building located at 3030 CTH K in the Village of Raymond be approved for the following reasons:

1. The Village of Raymond Plan Commission and Village Board granted approval of the proposed building, site, and operation plan.
2. The proposed use meets the intent of the Village of Caledonia development standards and finds that the proposed use is a spectacular use for this parcel without connecting to sewer and water in accordance with the Cooperative Boundary Agreement between the Villages of Caledonia and Raymond.
3. Any change of use will require review by the Village of Raymond and the Village of Caledonia.

Owner(s): Top Flight LLC

Tax Key(s): 168-04-21-25-005-010 & 168-04-21-25-005-020

Lot Size(s): ±9.4 acres

Current Zoning District(s): B-3, Commercial Service District

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Commercial

Background

The applicant is seeking approval for a sign plan to construct utilize a ±53,000 square-foot commercial building for a future Milwaukee Powersports business located at 3030 CTH K in the Village of Raymond.

The Boundary Agreement aims to ensure consistent and high-quality development along the Interstate. The Plan Commission has the discretion to determine whether the proposed development meets the standards of a “spectacular” development as outlined in Exhibit K of the Boundary Agreement which will allow a development not to have to connect to sewer and water services. Included with this report is the Village of Raymond staff report summarizing the proposed development and how it complies with the Village of Raymonds development regulations.

Zoning & Land Use Compliance

The project is proposed in the B-3 Commercial Service District, which allows automotive and marine sales, service, and repairs as a conditional use. The future land use designation for the site is commercial, aligning with the planned intent of the area. The Village of Raymond has approved the conditional use request.

Design & Architectural Standards

The agreement emphasizes four-sided architecture, appropriate roof styles, and building materials that match existing developments along the I-94 corridor. The Milwaukee Powersports facility incorporates 4-sided architecture that includes metal siding with wood grain textures, glass windows, and branding elements, which isn't a stated material considered to be a quality exterior finish. The Plan Commission does have the discretion to determine if the proposed metal panels are to be considered a quality exterior material. Overall, the proposed design complies with the design standards stated in Exhibit K.

Landscaping & Screening Requirements

The agreement requires screening of service areas, storage, and mechanicals with fences, evergreen plantings, or opaque materials at least 7 feet high. Exhibit K states that landscaping along roadways should include having deciduous trees located a minimum of 50 feet apart. In addition, there should be a secondary landscape layer to screen parking areas. The development plan incorporates landscape screening with staggered plantings of white pine and Norway spruce to shield outdoor storage. However, based on the linear frontage along the frontage road, the development should include 24 trees where only 12 are being proposed. A minimum of six trees should be planted along CTH G. Furthermore, design standards require a secondary landscape layer behind the trees screening parking areas. No secondary layer of landscaping is being proposed on the western side of the parking lot. A future storage building in the area does not exempt the applicant from complying with the landscape requirements.

Screening requirements state that all rooftop mechanicals need to be screened from the roadway. The proposed site plan and building renderings do not illustrate any ground or rooftop mechanicals and how they will be screened from the road. All building mechanicals will be required to be screened from the public right-of-way and the interstate. The site plan does note that the area designated for outdoor storage of vehicles will be screened from the roadway by utilizing fencing with privacy slats. This method of screening is permitted.

Outdoor Display of Merchandise

The applicant is proposing to display their merchandise of powersport equipment on the west, north, and east side of the building as illustrated in the site plan. This is a conditional use and has been approved by the Village of Raymond. Staff is comfortable with the proposed outdoor display based on the location of the site along the interstate.

Lighting Requirements

Exhibit K states that any light poles installed on a property should not exceed 15'-20' in height. The applicant is proposing 30' tall light poles. To comply with the guidelines, the applicant should modify the lighting plan to reduce the light pole height.

Signs

The applicant has illustrated multiple wall signs for the building on multiple elevations of the building. Signs should conform to the Village of Raymonds design standards. The Village of Caledonia prohibits any wall sign that is an electronic message center (EMC). No EMCs are proposed currently.

Stormwater Management & Environmental Compliance


The Village of Raymond Engineering Department has reviewed the proposed stormwater management plan and has determined compliance with the Village of Raymond's regulations. The Village of Caledonia does not review this plan for compliance with Caledonia's stormwater management regulations.

Traffic & Access Control

The agreement encourages vehicle cross-access between non-residential sites. The development includes a 32-foot driveway access from 27th Street, and WisDOT approval is required for vacating the Furman Drive ROW that currently exists.

Staff believes the proposal mostly complies with the Cooperative Boundary Agreement by adhering to zoning requirements and architectural standards. However, the proposed landscape plan does not meet the minimum requirements in Exhibit K nor does it address how building mechanicals will be screened from the roadways. If the Plan Commission agrees that the proposed building, site, and operation plan complies with the design standards outlined in Exhibit K, the Plan Commission can recommend approval which staff has drafted a suggested motion for consideration.

Respectfully submitted:



Peter Wagner, AICP
Development Director





Partners in Design
A R C H I T E C T S

December 30, 2024

Plan Commission
Village of Raymond
2255 76th Street
Franksville, Wisconsin 53216

Re: Milwaukee Powersports

Honorable Plan Commission:

We are pleased to submit the attached application and required documentation for your consideration of a Conditional Use Permit for the construction of a new building and site improvements for Milwaukee Powersports (MPS) at 3030 CTH K.

We have previously appeared before the commission for consideration of a Concept Plan for the project. We continue to work with the property owner on the sale of the property currently owned by the Wisconsin DOT and expect the sale and property transfer to be complete in a timely manner. This will allow us to vacate Fuhrman Road. We will leave an easement in place to provide access to the property at 2860 County Road K.

Milwaukee Powersports is part of a larger group with locations in Oak Creek, Cedarburg among others. They are a powersport sales and service dealership selling UTV, motorcycle, ATV and watercraft across all of the powersport genres and seasons. In addition to sales and service of both new and use vehicles, MPS provides a wide offering of accessories and parts.

The hours of operation are Tuesday, Wednesday and Thursday 9 am – 7 pm; Friday 9 am – 5 pm and Saturday 9 am – 3 pm. They are closed on Sunday and Monday.

This location will employ approximately 40 people across sales, service, parts and accessories.

The proposed project includes an approximately 53,000 sf building that will support the vehicle and accessories sales as well as vehicle service. Outdoor vehicle display is planned on the north, east and west sides of the building. Outdoor vehicle display will be limited to hours of operation, with all vehicles stored inside the building during overnight hours and when the business is closed.

Fenced and screened vehicle storage is planned on the south side of the building adjacent to the service bays. The service vehicle storage area will be gravel and screened with a secured chain link fence with privacy slats. The parking lot is fully paved with a sufficient number of parking spaces to meet the ordinance while accommodating the customer traffic and employee count.

The exterior building architecture includes a significant amount of glass for both visibility to the vehicles on the sales floor as well as natural light into the showroom

**Partners in Design
Architects, Inc.**

W I S C O N S I N
600 Fifty Second Street
Suite 220
Kenosha, WI 53140
262.652.2800

I L L I N O I S
2610 Lake Cook Road
Suite 280
Riverwoods, IL 60015
847.940.0300

www.pidarchitects.com

and service areas. The use of prefinished architectural metal panels and provide a durable and attractive exterior building skin that compliments the uses within the building.

Additionally, exterior "lifestyle" graphics compliment the manufacturer required exterior building signage to further highlight the type of business that defines Milwaukee Powersports. MPS fully expects this location to be their flagship store along I-94 and the building architecture speaks to that expectation.

The property master plan contemplates the future construction of two additional buildings. The buildings would be used for the storage of non-seasonal vehicles when the showroom is swapped out from season to season.

We look forward to formally presenting our project in January.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark A. Molinaro Jr.", written in a cursive style.

Mark A. Molinaro Jr., AIA, ALA, LEED AP

TO: Village of Raymond Plan Commission
CC: Barbara Hill, Jeff Muenkel, Kari Morgan, Mark Molinero
FROM: Ben Kohout, AICP, Planning Consultant
RPT DATE: February 18, 2025
MTG DATE: February 24, 2025
APRVL DATE: February 24, 2025
RE: Milwaukee Powersports, Inc. –Conditional Use Permit & Site Plan Plan Operations
(SPPO) Review, Soils Disturbance Request (Greater than one acre)

BACKGROUND:

1. Petitioner/Agent: Mark Molinero, Jr. (Partners in Design Architects, Inc.)
2. Property Owner: Top Flight, LLC
3. Location/Address: 3030 CTH K
4. Tax Key Numbers: 168-04-21-25-005-010 and 168-04-21-25-005-020
5. Area: 8.08 AC (not including Furman Dr. ROW)
6. Existing Zoning: B-3 Commercial Service District
7. Proposed Zoning: N/A
8. Future Land Use: Commercial

OVERVIEW:

The petitioner is requesting approval of a conditional use permit and approval of the associated site plan, plan of operation, and soils disturbance request for operation of an approximately 51,787 sq. ft. building for a complete sales and service dealership including motorcycles, ATV's, jet skis, snowmobiles, and other powersport vehicles. Approximately 30,885 square feet of sales floor and 20,902 square feet of service-related space, a parking lot, storm water management pond for, LLC) on property owned by Top Flight, LLC and located at 3030 CTH K (168-04-21-25-005-010 and 168-04-21-25-005-020). The subject parcels are currently vacant. The submitted site plan includes:

- A single-story sales/repair building (approximately 51,787 s.f.)
- Outdoor display
- Screened outdoor storage
- Off-street parking stalls
- Plans for Vacating the existing Furman Drive ROW at future Village Board meeting
- Stand alone storage building

The request requires a public hearing for marine sales, service and repairs and for uses involving extensive outdoor display and storage. and that was held on January 27, 2025. Further recommended action on this item is now being sought at the Plan Commission meeting.

PLANNER COMMENTS:

The subject property is zoned B-3 Commercial Service District. The B-3 District allows both boat sales, repair and service and motorcycle sales, repair, and service as a conditional use. As such, the proposed commercial use of a sales and service dealership including motorcycles, ATV's, jet skis, snowmobiles, and other powersport vehicles is allowed in the B-3 Commercial Service District. The proposed commercial use is consistent with the existing Future Land Use of Commercial.

Below, is a list of items submitted for consideration noted during the February 2024 Concept Review with Milwaukee Motorsports by the Planning Commission and utilized in the review of this application request:

- Future approval would be contingent upon a Conditional Use Permit for a development within a specified distance of of an existing mapped right-of-way of a freeway per Section 20-1339 (b) of the Village Zoning Ordinance.
- Future approval would be contingent upon Village Board approval of a soil disturbance permit.
- Future approval would be contingent upon a detailed review of the Site Plan for consistency with the B-3 District standards and other pertinent portions of the Village zoning ordinance.
- Future approval would require a detailed landscape plan.
- Future approval would require a detailed lighting plan with photometrics, luminaire cut-sheets, mounting heights, and pole details for full cut-off lights.
- Future approval would require a detailed stormwater management plan.
- Future approval would be contingent upon the Village's consideration of whether the proposed amount and location of outdoor storage and outdoor display is appropriate.
- Future approval would be contingent upon Village of Caledonia review and approvals as this property is within the Boundary Agreement area.
- Future approval would be contingent upon WisDOT review and approval of vacating the Furman Drive right-of-way.

Staff notes upon review of the submitted site plan and materials, the details below highlight the review, with the above mentioned items being brought before the Plan Commission meeting in the submitted plan set.

1. **Zoning District Requirements.** The zoning for the property is B-3 District in which Section 25-6-12 (e) of the Village of Raymond Zoning Ordinance provides for operation of Automotive and marine sales, service and repairs with a conditional use permit.

- Section 25-9-9(f)(1) requires :
 - Automotive and marine sales, service and repairs including related towing.
 - (1) All servicing and repair work shall be within an enclosed structure. Repair materials, new, used or junk parts shall not be stored outside unless the storage area has a solid fence enclosure. Junk materials shall be removed at least once a month to avoid unsightliness of the site. Fences

shall be of uniform design and height and be properly maintained for aesthetic purposes.

- (2) No cars or boats shall be parked within the vision triangle, and all parking lots shall meet all yard requirements.
- (3) Lights shall not be beamed directly onto adjoining property.

Staff notes the above requirements appear to be met with the proposal, with details to be discussed with the applicants for further clarification should be warranted.

2. **Plan of Operation.** The proposed plan of operation includes:

- a. **Uses and activities:** The primary reason for the Conditional Use Permit request is to have a 53,000 s.f. building that will support the vehicle and accessories sales as well as vehicle service.

Outdoor Display planned on the north, east and west sides of the building.

Display Limited to hours of operation, with vehicles stored inside the building during overnight hours when business is closed.

The Village Board and Plan Commission should seek clarification on how to ensure stored during non-operations hours and determine if allowing it is appropriate.

- b. **Number of Employees:** The number of employees will be 40.

- c. **Standard hours of operation:** The project narrative indicates hours will be Tuesday, Wednesday and Thursday 9am-7pm; Friday 9am-5pm and Saturday 9am-3pm. Closed Sundays and Mondays.

- o **The Plan Commission should determine whether the proposed hours of operation are appropriate.**

- d. **Outdoor Storage:** The applicant has indicated they will have outdoor storage and the provided Plan of Operations notes that landscape screening will be provided in an updated landscaping plan and **a recommendation from the Plan Commission on if this screening meets the needs of the property will need to be addressed before final consideration.**

The applicant is proposing a staggered planting of white pine and Norway spruce evergreens to be planted on the east and southern sides of the proposed outside vehicle display area, on the south side of the main building.

- e. **Landscaping:** The applicant has provided a landscape plan including landscaped islands in the parking lot area and grass and tree plantings around the vehicle display area. The Village code is silent as to a prescribed landscaping planting schedule minimums, and leaves it up to the Village to decide if what is proposed is appropriate as to the nature of the property and its surroundings.

Staff generally finds the plans acceptable in terms of detailing the limits of grass areas, and noting the sizes and species of plantings are called out, which meet minimum standards specified in the ordinance.

The applicant should provide plans for ongoing maintenance of landscaping, including mowing and weed management on landscaped berms. This can be a short statement on the landscape plan describing maintenance procedures should a planting be damaged or die.

- f. **Parking:** Section 25-12-1 addresses parking. The applicant has provided for 141 off-street parking stalls (including five (5) ADA accessible stalls) are provided. For repair shops, retail areas, requires 1 space for every 150 s.f. of floor area. For the proposed 51,000 s.f. sales and service structure, would require 345 spaces. Staff thinks the Plan Commission should determine if the number of spaces provided is adequate to meet the needs of employees (40), plus shopping customers and waiting customers while their recreational vehicles are being serviced or repaired.

Regarding surfacing, the proposed outside storage and display area is planned to be large stone gravel, which may not meet the surface requirements called out in Section 25-12-1 (g). The Plan Commission will want to determine if they are okay with the proposal of gravel in light of this:

SURFACING: Any driveway or off-street parking area (other than that provided for a residence) shall be hard surfaced or maintained in a reasonably dustless condition by dustproofing applications. The method of surfacing shall be approved by the Plan Commission/Board.

- g. **Exterior Lighting:** Section 25-7-16 addresses lighting standards for the Village. The applicant has provided a photometric plan for the proposed lighting. The lighting plans shows a range of 0.0-0.3 footcandles at the property lines. Generally 0.5 foot candles is considered appropriate at adjoining property lines. This standard is met.

The proposed light poles are not to 30 feet above ground level for parking lots with more than 20 spaces. This pole height was not clearly identified on the submitted plans and is a condition of approval.

- h. **Signage:** Any business signage shall be required to obtain signage approval through the Village of Raymond sign application process.
- i. **Chemicals/Hazardous Materials:** No.
- j. **Stormwater Management and Erosion Control:** Drainage will be adequately captured and utilize a newly proposed storm water pond as depicted on the civil plans.

The plans were reviewed by the Village Engineer and a letter was submitted to the applicants with minor clarifications and corrections to the plans. These will be a condition of approval to clarify and correct and resubmit and reviewed once again prior to building permit submittals to ensure proper stormwater management is accomplished per the Village Code standards.

- k. **Refuse Disposal:** A dumpster enclosure is not defined on the submitted plans.

Section 25-4-1 (c) (3) (d)(15) calls out a need to screen any dumpster enclosure areas, and to provide for a dumpster enclosure area.

(15) The location of all outdoor storage and refuse disposal areas and the design of all screening devices;

Staff recommends following guidance from the Caledonia and Raymonda agreement language calling out a need for densely planted evergreen trees, shrubs or utilizing opaque fencing at least seven (7) feet high. Staff is proposing this as a condition of approval to clarify and correct and resubmit and reviewed by the Zoning administrator prior to building permit issuance. Should the Zoning administrator cite non agreement with the applicant's proposal, it may be brought back to the Commission and Board for Site Plan approval.

3. **Architecture.** The petitioner has provided architectural elevations.

The submittal shows architectural elements proposed to include single story metal sided structure at 27'8" in height. There is shown a dark gray smooth metal siding with a horizontal brown wood grain texture metal siding with glass windows and larger changeable image graphics and permanent logo signage on the walls on the East (facing the I-94 Corridor) and the West (Service Road frontage).

The Village of Raymond Zoning ordinance Section 25-4-1 (d) provides guidance to the Commission on how they are to review and judge the proposal, as long as it is four sided architecture and conforms to the following standards:

- a. No building shall be permitted a design or exterior appearance which is unorthodox or has abnormal character in relation to the surrounding properties as to be unsightly or offensive to generally accepted tastes of the community and professional judgment of the Planning Commission.*
- b. No building shall be permitted where any exterior surface is not constructed or faced with a finished material which is aesthetically compatible with the exterior surface of adjacent buildings and presents an attractive appearance to the public and to surrounding properties.*
- c. No building or addition to any building shall be permitted to be sited on the property in a manner which would interfere with the peaceful enjoyment and natural light of adjacent buildings.*

Staff finds the proposal generally meeting the standards, as two tones and textures of metal provided, as well as windows and proposed graphics may be appropriate and in line with similar buildings already in existence on the I-94 corridor and will allow the Commission to ultimately determine the outcome. **The Commission will want to determine if they agree with the assessment of compliance with the architecture standards from the Zoning staff on the proposal.**

A Village of Caledonia Plan Commission review will occur following a review and determination of the SPPO by the Village Board. The standards for this can be found in Exhibit K of the Raymond and Caledonia agreement.

4. **Traffic, Circulation and Access.** The site is accessible to employees and customers via a 32' wide driveway off 27th Street (West Frontage Road) on the west side of the property.
5. **Caledonia Boundary Agreement.** The Village of Caledonia has not yet reviewed this proposal.
6. **Conditional Use Permit**

Petitioner has included the following items as part of their submittal:

- Plan Commission Review Application
- Cover Letter
- Site Plan
- Grading Plan (showing stormwater management systems and calculations)
- Erosion Control Plan
- Lighting Plan
- Landscape Plan
- Civil Plans
- Architectural Building Elevations

7. **Conditional Use Permit**

Per 2017 Wisconsin Act 67, conditional use authority is now specifically addressed within the statutes. In summary, conditional use decisions must be made based on substantial evidence – facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion. The applicant must present substantial evidence demonstrating that the application and all requirements and conditions established by the Village relating to the conditional use are or shall be satisfied. Any condition imposed by the Village through ordinance or by the Village Board must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer or renewal. The Village's decision to approve or deny the application must be supported by substantial evidence. In addition, per Wis. Stats. 66.1001(2m)(b), a conditional use permit that may be issued by a political subdivision does not need to be consistent with the political subdivision's comprehensive plan.

ENGINEER COMMENTS:

Mike Yeager, P.E., Village Engineer has reviewed the project for drainage considerations and any action by the Plan Commission and Village Board will be conditioned upon the applicant fulfilling any Village Engineer comments prior to final Staff approval in provided separate correspondence.

STAFF RECOMMENDATION:

Conditional Use Permit

If the Village of Raymond Plan Commission wishes **to Approve** the Conditional Use Permit Request and associated Site Plan and Plan of Operations for the Motorsports building facility and associated outside vehicle display and storage area and associated parking area requested by Mark Molinero,

Jr. (Partners in Design Architects, Inc.), for the property located at 3030 CTH K (168-04-21-25-005-010 and 168-04-21-25-005-020) then it is recommended the approval be subject to the following conditions:

1. This conditional use approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Raymond Plan Commission on February 24, 2025.
2. Subject to the petitioner submitting a detailed stormwater management plan addressing items presented by the Village Engineer for correction in a letter dated February 14, 2025, for review and approval by the Village Engineer prior to the commencement of any land disturbing activities on the property.
3. Subject to the petitioner submitting an approval letter from the Wisconsin Department of Transportation to the Village Clerk, signing off on approval of the vacation of the right of way of "Fuhrman Drive". In addition, an approval by the WisDOT of the establishment of one lot Certified Survey Map approvable by the Village of Raymond, and an easement of access for the benefit of lot with Tax Parcel Number 168-04-21-25-006-002, and satisfactory to Village, County, and State Standards for establishing access to an adjacent property to the South of the subject property.
4. Operator must obtain a zoning permit and building permit prior to commencement of the construction of the new motorsports facility and associated parking facilities.
5. Operator shall provide the following plans or plan updates for staff approval prior to receiving a zoning permit:
 - a. Lighting Plan including cut-sheets depicting full cut-off fixtures, mounting heights, pole heights at 30 feet or less for the fixtures around the perimeter of the property;
 - b. Landscaping plan shall be in accordance with plans presented to the Commission on February 24, 2025, and updated to include details in a statement that there are "plans for ongoing maintenance of landscaping, including mowing and weed management on landscaped berms" and specifying "should a planting be damaged or die, it shall be replaced within the next available growing season".
 - c. Outside dumpster area shall be called out on the site plan, with appropriate screening of said dumpster area, with closeable gates providing a four-sided visual screening effect. Said addition including either densely planted evergreens, shrubs, or opaque fencing at least 7 feet high shall be shown on an amended plan and presented to the Village Zoning administrator for review. Should there be questions on said plans, following review and determination by the Zoning administrator said plans may be inadequate to achieve screening, resubmittal to the Commission and Village Board for review and approval may be reserved by the Zoning administrator.
6. Hours of operation for the Motorsports business shall be: Tuesday, Wednesday and Thursday 9am-7pm; Friday 9am-5pm and Saturday 9am-3pm. Closed Sundays and Mondays.

7. Outdoor storage of any equipment shall be screened in accordance with the submitted landscaping plan by the applicant.
8. Plans shall be sent to the Village of Caledonia for architectural review and any Village of Caledonia review conditions shall be met.
9. Any business signage shall be required to obtain signage approval through the Village of Raymond sign application process.
10. Any additional or different landscaping, or lighting plans require separate staff review and determination before implementation.
11. The Conditional Use approval shall not be in full force and effect until such time as the Petitioner obtains the necessary approvals and satisfies all comments, conditions, and concerns of the:
 - a. Village of Raymond Plan Commission and Board, Village Engineer, Village Planner with respect to the submitted plans, documents, and specifications.
 - b. Racine County Public Works and Development Services Department for onsite water and wastewater treatment.
12. This conditional use permit will expire nine (9) months from the date of the Village Board approval unless substantial work has commenced following said approval. If the Village determines that no substantial work has commenced, the project may not occur unless the Village Board grants a written extension. Written extension requests shall be submitted to the Village at least 30 days prior to permit/approval expiration.
13. The property shall comply with all rules and regulations of the Village of Raymond and the Raymond Fire Department, including submission to routine inspections by the Village and Fire Department Staff.
14. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Raymond for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions. Additionally, any unpaid bills owed to the Village of Raymond by the Subject Property Owner and/or Agent, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees or forfeitures owed to the Village of Raymond must be paid on demand and prior to issuance of any permits and shall be placed upon the tax roll for the Subject Property if not paid within thirty (30) days of the billing by the Village of Raymond, pursuant to Section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional approval

that is subject to all remedies available to the Village of Raymond, including possible cause for termination of the conditional approval.

15. Other Conditions.

- a. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing in this permit shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order, or rule of either the municipal governing body, the County of Racine, the State of Wisconsin, the United States of America, or other duly constituted authority, except only to the extent that it authorizes the use of the subject property above described in any specific respects described herein. This permit shall not be deemed to constitute a building permit, nor shall this permit constitute any other license or permit required by Village ordinance or other law.
- b. This Conditional Use hereby authorized shall be confined to the subject property described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Village of Raymond Plan Commission as being in compliance with all pertinent ordinances.
- c. Should the permitted Conditional Use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the petitioner be delinquent in payment of any monies due and owing to municipality, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the Conditional Use may be terminated by action of the Village of Raymond Plan Commission, pursuant to the enforcement provisions of this Conditional Use Permit.
- d. Any change, addition, modification, alteration and/or amendment of any aspect of this Conditional Use, including but not limited to an addition, modification, alteration, and/or amendment to the use, premises, structures, lands, or owners, other than as specifically authorized herein, shall require a new permit and all procedures in place at the time must be followed.
- e. Unless this Conditional Use Permit expressly states otherwise, plans that are specifically required by this Conditional Use Permit may be amended upon the prior approval of the Village of Raymond Board, upon receipt of a recommendation from the Plan Commission, if the Village of Raymond Plan Commission finds the plan amendment to be minor and consistent with the Conditional Use Permit. Any change in any plan that the Village of Raymond Plan Commission feels, in its sole discretion, to be substantial, shall require a new permit, and all procedures in place at the time must be followed.

- f. Should any paragraph or phrase of this Conditional Use Permit be determined by a Court to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the Conditional Use and the remainder shall continue in full force and effect.
- g. If any aspect of this Conditional Use Permit or any aspect of any plan contemplated and approved under this Conditional Use is in conflict with any other aspect of the Conditional Use or any aspect of any plan of the Conditional Use, the more restrictive provision shall be controlling as determined by the Village of Raymond Plan Commission.

EXHIBIT:

- A. GIS Location Map
- B. Application/Submittal



MILWAUKEE POWERSPORTS

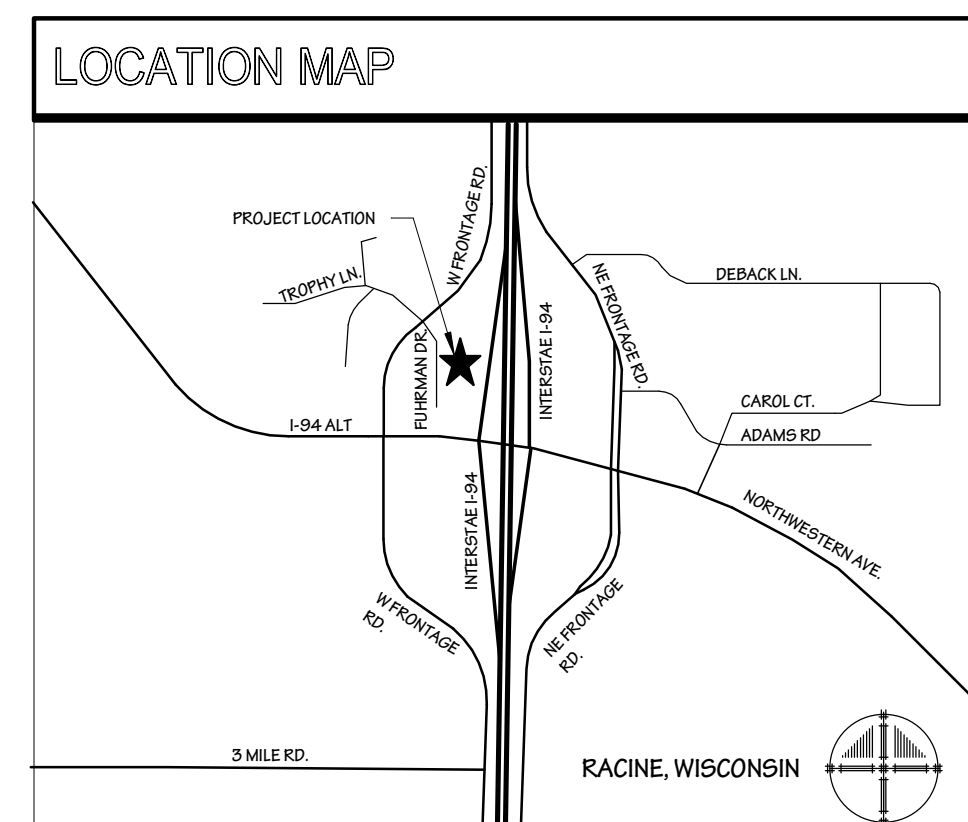
3030 CTH K, VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

PROJECT DATA
APPLICABLE CODES: 2015 IBC - INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS 2015 IBC - INTERNATIONAL EXISTING BUILDING CODE
BUILDING USE AND OCCUPANCY CLASSIFICATION:
CONSTRUCTION CLASSIFICATION:
BUILDING AREA: 53,484 SQUARE FEET

GENERAL NOTES
1. DO NOT SCALE DRAWINGS. 2. CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS. 3. EACH CONTRACTOR SHALL REVIEW AND COMPLETE PLANS FOR RELATED WORK. 4. ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.

ABBREVIATIONS			
ALT	ALTERNATE	HM	HOLLOW METAL
A/E	ARCHITECT/ENGINEER	HT	HEIGHT
AFF	ABOVE FINISH FLOOR	HW	HOT WATER
ALUM	ALUMINUM	INT	INTERIOR
BD	BOARD	INSUL	INSULATION
B/O	BOTTOM OF	JT	JOINT
CPT	CARPET	LAV	LAVATORY
CLG	CENTER LINE	MFR	MANUFACTURER
CLJ	CEILING	MIN	MINIMUM
CJ	CONTROL JOINT	MO	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	MTL	METAL
CONC	CONCRETE	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	NTS	NOT TO SCALE
CO	CLEAN OUT	OC	ON CENTER
CW	COLD WATER	OFCI	OWNER FURNISHED, CONTRACTOR TO INSTALL
CT	CERAMIC TILE		
DBL	DOUBLE	OPP	OPPOSITE
DF	DRINKING FOUNTAIN	PLYWD	PLYWOOD
DIA	DIAMETER	PL	PLASTIC LAMINATE
DIM	DIMENSION	F	PLATE
DN	DOWN	FT	PORCELAIN TILE
DR	DOOR	QT	QUARRY TILE
DS	DOWNSPOUT	REQD	REQUIRED
DTL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	SHT	SHEET
EA	EACH	SV	SHEET VINYL
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	SIM	SIMILAR
EL	ELEVATION	SS	SOLID SURFACE
EJ	EXPANSION JOINT	SST	STAINLESS STEEL
EQ	EQUAL	STD	STANDARD
EQUIP	EQUIPMENT	SAT	SUSPENDED ACOUSTIC TILE CEILING
EXIST	EXISTING	TBD	TO BE DETERMINED
EXT	EXTERIOR	TEMP	TEMPORARY
EWC	ELECTRIC WATER COOLER	T/O	TOP OF
FEC	FIRE EXTINGUISHER	T&G	TONGUE AND GROOVE
FIN	FINISH	TYP	TYPICAL
FD	FLOOR DRAIN	UNO	UNLESS NOTED OTHERWISE
FLR	FLOOR	VCT	VINYL COMPOSITION TILE
FRP	FIBERGLASS REINFORCED PLASTIC	VB	VINYL BASE
GA	GAUGE	VIF	VERIFY IN FIELD
GALV	GALVANIZED	WD	WOOD
GYP BD	GYP SUM BOARD	WWF	WELDED WIRE FABRIC

SHEET INDEX	
ARCHITECTURAL	
AD.0	TITLE SHEET
DS-C2.1	SITE PLAN AND FLOOR PLAN
DS-C.2	ELEVATIONS AND 3D VIEWS
CIVIL	
C-1	TITLE SHEET
C-2	EXISTING CONDITIONS & SITE DEMOLITION PLAN
C-3	DIMENSIONED SITE PLAN
C-4	SITE GRADING & EROSION CONTROL PLAN
C-5	PAVEMENT GRADING, MARKING & SIGNAGE PLAN
C-6	SITE UTILITY PLAN
C-7	TYPICAL SECTIONS & CONSTRUCTION DETAILS
C-8	TYPICAL SECTIONS & CONSTRUCTION DETAILS
C-9	TYPICAL SECTIONS & CONSTRUCTION DETAILS
ELECTRICAL	
E-1	SITE PLAN LIGHTING
E-2	SITE PLAN LIGHTING
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LANDSCAPE	
L-1.0	NORTH AREA LANDSCAPE PLAN
L-2.0	SOUTH AREA LANDSCAPE PLAN
L-3.0	LANDSCAPE SCHEDULES AND DETAILS



CLIENT:
CEDAR CREEK MOTORSPORTS
7518 STATE HIGHWAY 60
CEDARBURG, WISCONSIN 53012
PHONE: 262.377.5700
ATTN: BRETT GOTTLRELL



ARCHITECT:
PARTNERS IN DESIGN ARCHITECTS
600 52nd STREET, SUITE 220
KENOSHA, WISCONSIN 53140
PHONE: 262.652.2800
ATTN: MARK MOLINARO JR. AIA



CIVIL ENGINEER:
NIELSEN MADSEN + BARBER SC
1458 HORIZON BLVD, SUITE 200
RACINE, WISCONSIN 53406
PHONE: 262.634.5588
ATTN: MARK D. EBERLE, PE
JASMINE McDERMIT, PE



ELECTRICAL ENGINEER:
DAVID L. HANSON AND ASSOCIATES, INC.
3940 - 85TH STREET
KENOSHA, WISCONSIN 53142
PHONE: 262.654.2010
ATTN: DAVID L. HANSON, PE

LANDSCAPE ARCHITECT:
THOMAS NORDLOH ASSOCIATES
4111 TAFT ROAD
KENOSHA, WISCONSIN 53142
PHONE: 262.496.9191
ATTN: THOMAS NORDLOH



MILWAUKEE POWERSPORT

PROJECT NUMBER: 0000.23.101

PLAN COMMISSION SUBMITTAL

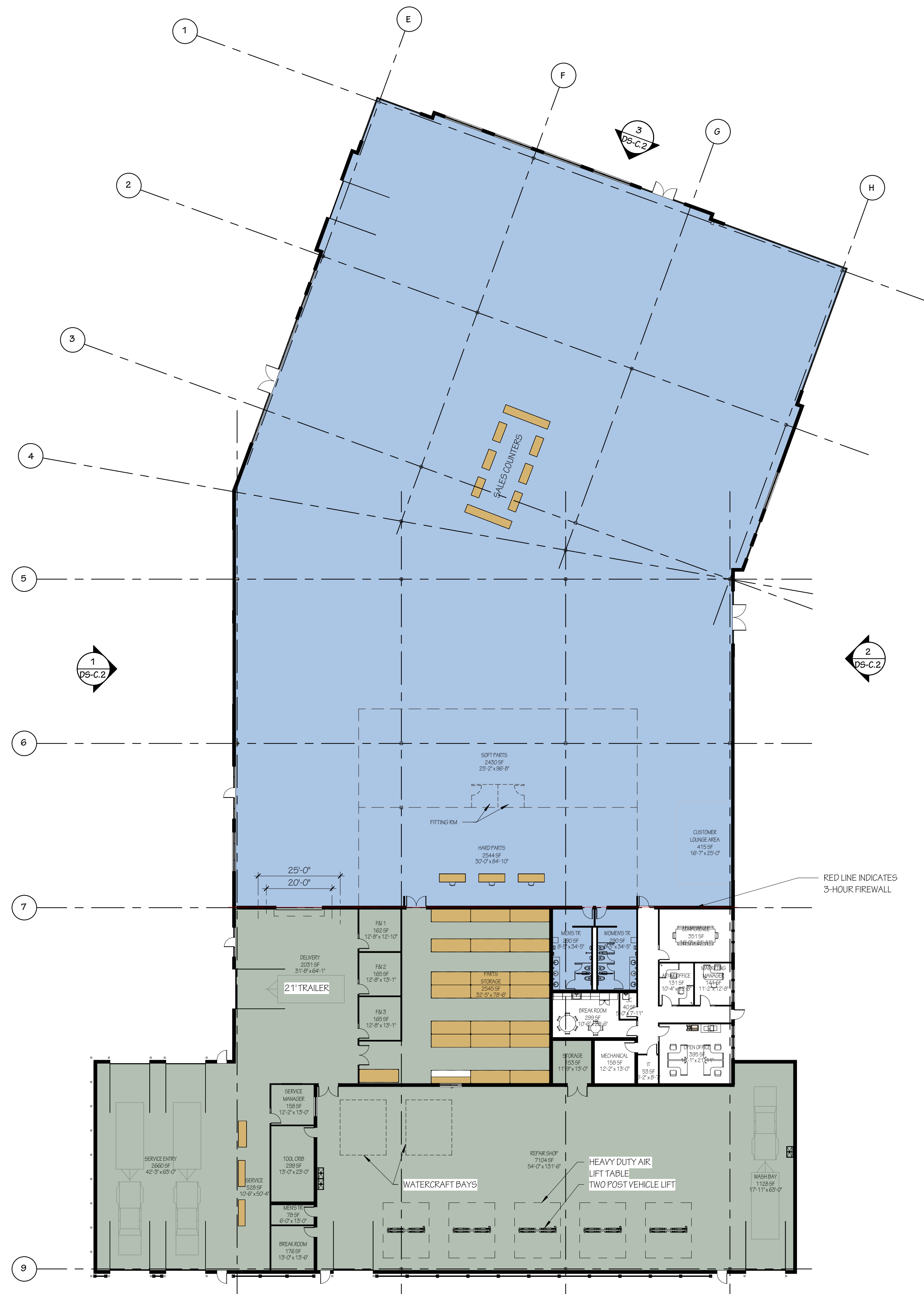
ISSUE DATE: 12.30.2024

OPTION C.2 DATA

TOTAL BUILDING AREA: 53,484 SF

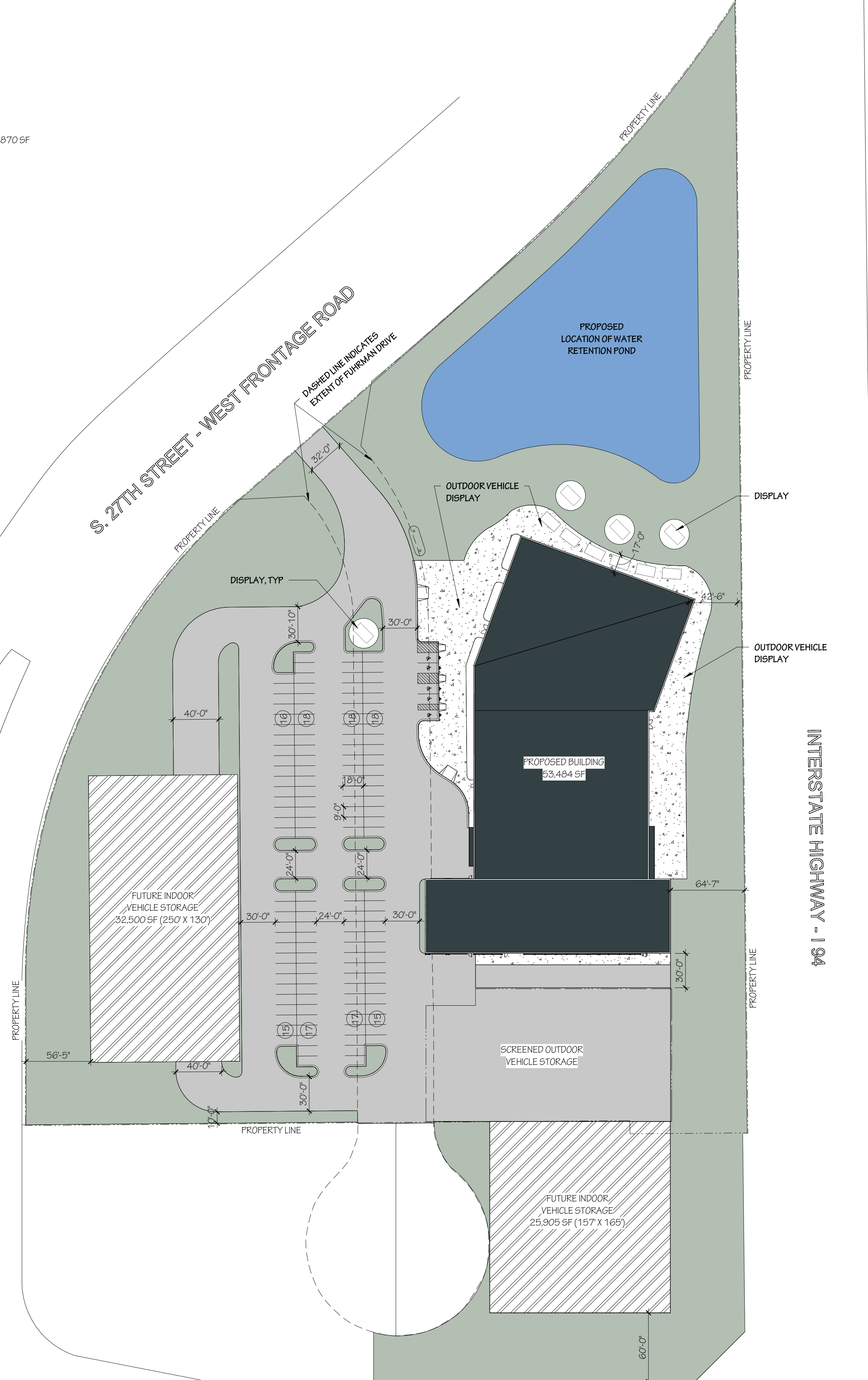
CHAPTER 3. USE AND OCCUPANCY CLASSIFICATION:

- (SALES FLOOR (INCL. HARD PARTS AND SOFT PARTS)) 34,870 SF
- (SERVICE RELATED PORTION) 16,580 SF
- (SUPPORT SUITE) 2,034 SF



1 OPTION C.2 - FLOOR PLAN
PS-C.2.1 1" = 20'-0"

MILWAUKEE POWERSPORTS
SITE PLAN & FLOOR PLAN



2 OPTION C.2 - SITE PLAN
PS-C.2.2 1" = 60'-0"

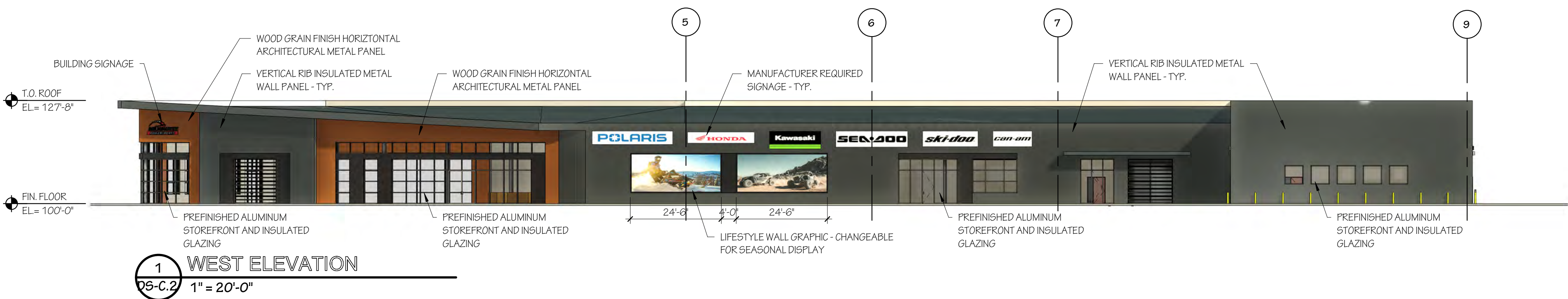
COUNTY TRUNK HIGHWAY - K

OPTION C.2
RAYMOND, WI
12.30.2024

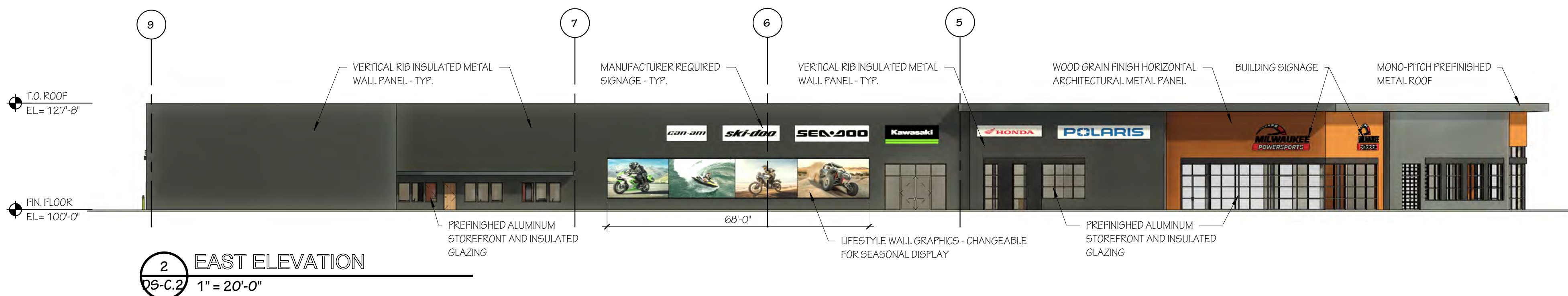


262.652.2800
Kenosha, WI

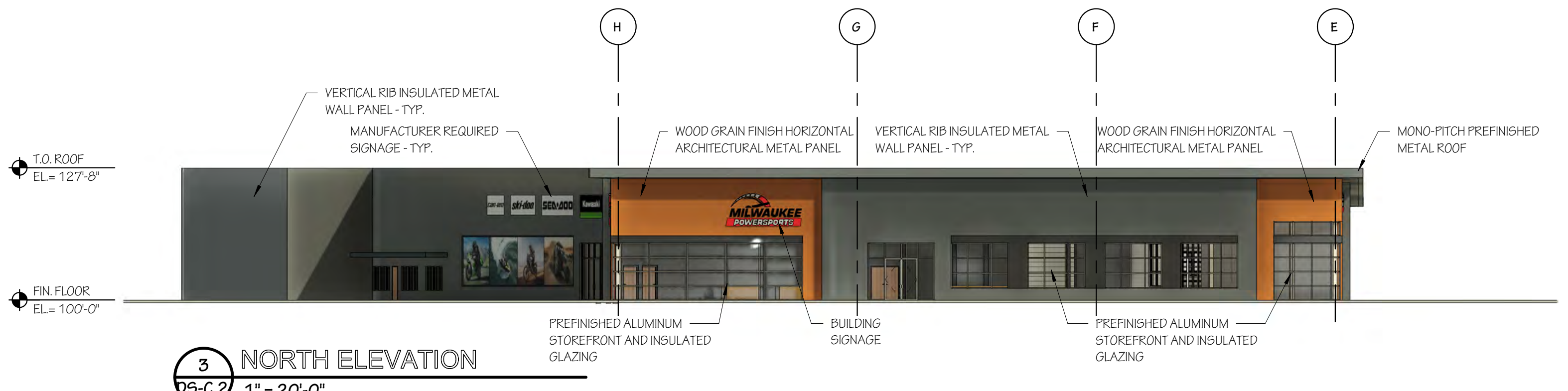
847.940.0300
Riverwoods, IL



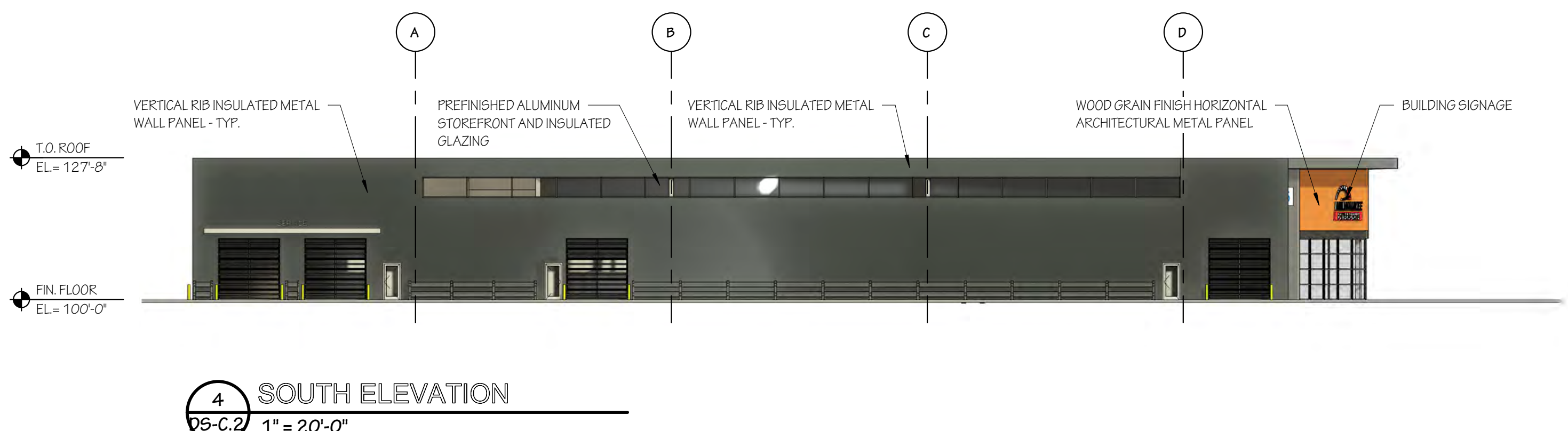
1 WEST ELEVATION
95-C.2 1" = 20'-0"



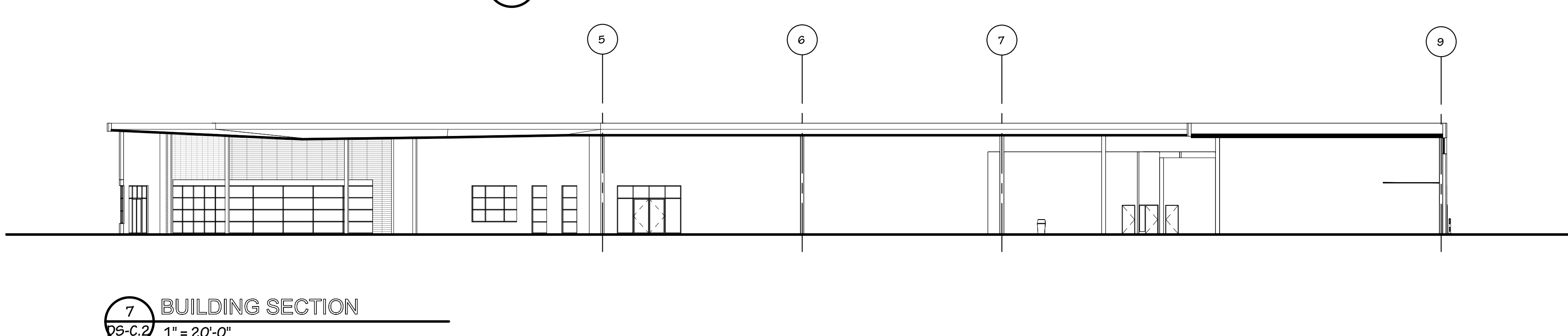
2 EAST ELEVATION
95-C.2 1" = 20'-0"



3 NORTH ELEVATION
95-C.2 1" = 20'-0"



4 SOUTH ELEVATION
95-C.2 1" = 20'-0"



7 BUILDING SECTION
95-C.2 1" = 20'-0"



5 NORTH-WEST PERSPECTIVE
95-C.2



6 NORTH-EAST PERSPECTIVE
95-C.2

MILWAUKEE POWERSPORTS
ELEVATIONS AND 3D VIEWS

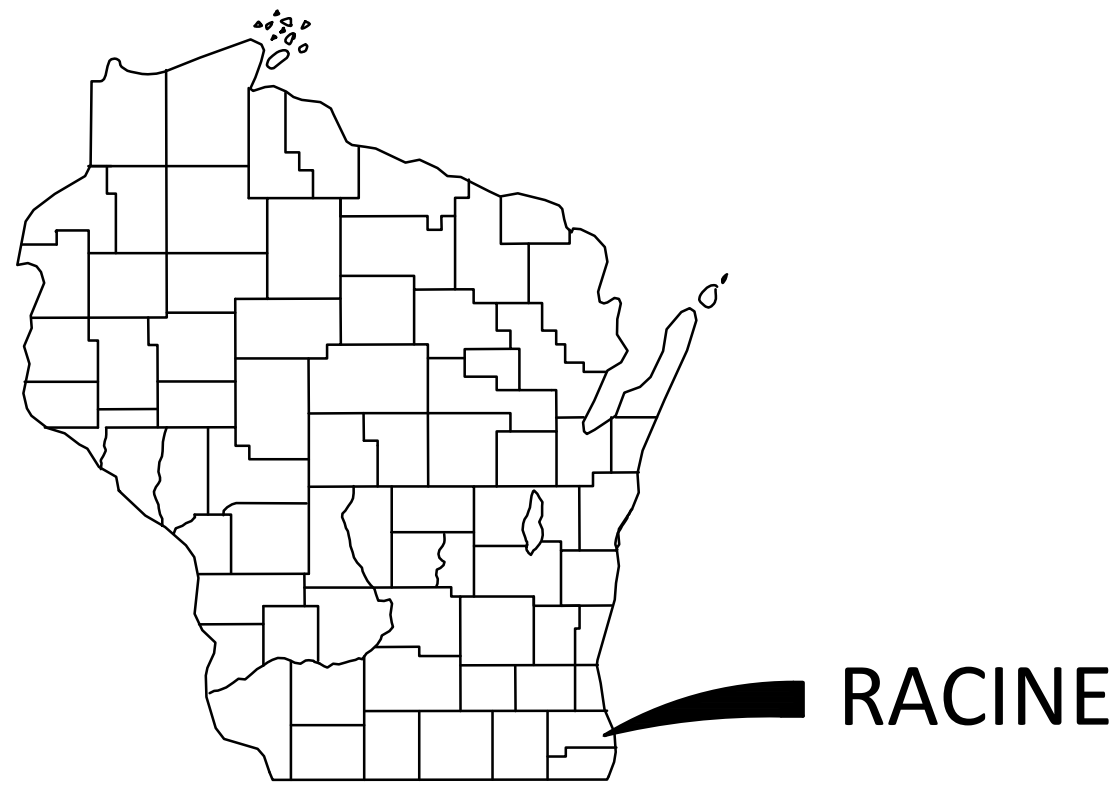
OPTION C.2
RAYMOND, WI
12.30.2024



Partners in Design
ARCHITECTS

262.652.2800
Kenosha, WI

847.940.0300
Riverwoods, IL



RACINE

CONSTRUCTION PLANS

for

MILWAUKEE POWERSPORTS

SITE GRADING, DRAINAGE, UTILITY & PAVEMENT IMPROVEMENTS

for

CEDAR CREEK MOTORSPORTS

Village of Raymond, Racine County, Wisconsin



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PLAN SHEET	SHEET NO.
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DIMENSIONED SITE PLAN	C-3
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TYPICAL SECTIONS & CONSTRUCTION DETAILS	C-7 - C-9
SITE LIGHTING PLAN	E-1 - E-5
LANDSCAPING PLAN	L-1.0 - L-3.0

OWNER

CEDAR CREEK MOTORSPORTS
 BRETT COTTRELL
 7518 STATE HIGHWAY 60
 CEDARBURG, WI 53012
 OFFICE: 262-377-5700
 EMAIL: brettccm7518@gmail.com

GOVERNMENT AGENCY CONTACTS

VILLAGE OF RAYMOND
 KARI MORGAN
 VILLAGE PRESIDENT
 PHONE: 262-930-8953
 EMAIL: president@raymondwi.com

RACINE COUNTY PUBLIC WORKS AND DEVELOPMENT
 PATRICE BRUNETTE
 HIGHWAYS AND PARKS SUPERINTENDENT
 OFFICE: 262-886-8440
 EMAIL: patrice.brunette@racinecounty.com

DEPARTMENT OF NATURAL RESOURCES
 PETER C. WOOD, PE
 WATER RESOURCE ENGINEER
 OFFICE: 262-884-2360
 EMAIL: peterwood@wisconsin.gov

RACINE COUNTY PUBLIC WORKS AND DEVELOPMENT
 ROLY BEHM
 DIRECTOR
 OFFICE: 262-886-8440
 EMAIL: roland.behm@racinecounty.com

UTILITY CONTACTS

SPECTRUM CHARTER COMMUNICATIONS
 JERRY SCHULTZ
 CONSTRUCTION COORDINATOR
 1320 N DR. MARTIN LUTHER KING JR DR.
 MILWAUKEE WI 53212-4002
 EMAIL: gerald.schultz@charter.com
 CELL: 414-232-7178
 OFFICE: 414-908-4863

WE-ENERGIES
 ALLIE KLAWINSKI
 KENOSHA SOUTH
 OFFICE: 262-552-3227
 EMAIL: Allie.Klawinski@we-energies.com
 NATURAL GAS EMERGENCY: (800) 261-5325
 ELECTRICAL EMERGENCY: (800) 662-4797

AT&T
 BRENT LEWIS
 MANAGER OSP PLANNING &
 ENGINEERING DESIGN
 411 7TH STREET, RACINE, WI 53403
 OFFICE: 262-636-0549
 CELL: 414-429-4214
 EMAIL: bl521d@att.com

AMERICAN TRANSMISSION COMPANY
 BRIAN MCGEE
 OFFICE: 262-552-68955
 EMAIL: bmcgee@atcllc.com
 EMERGENCY NUMBER: (800) 972-5341

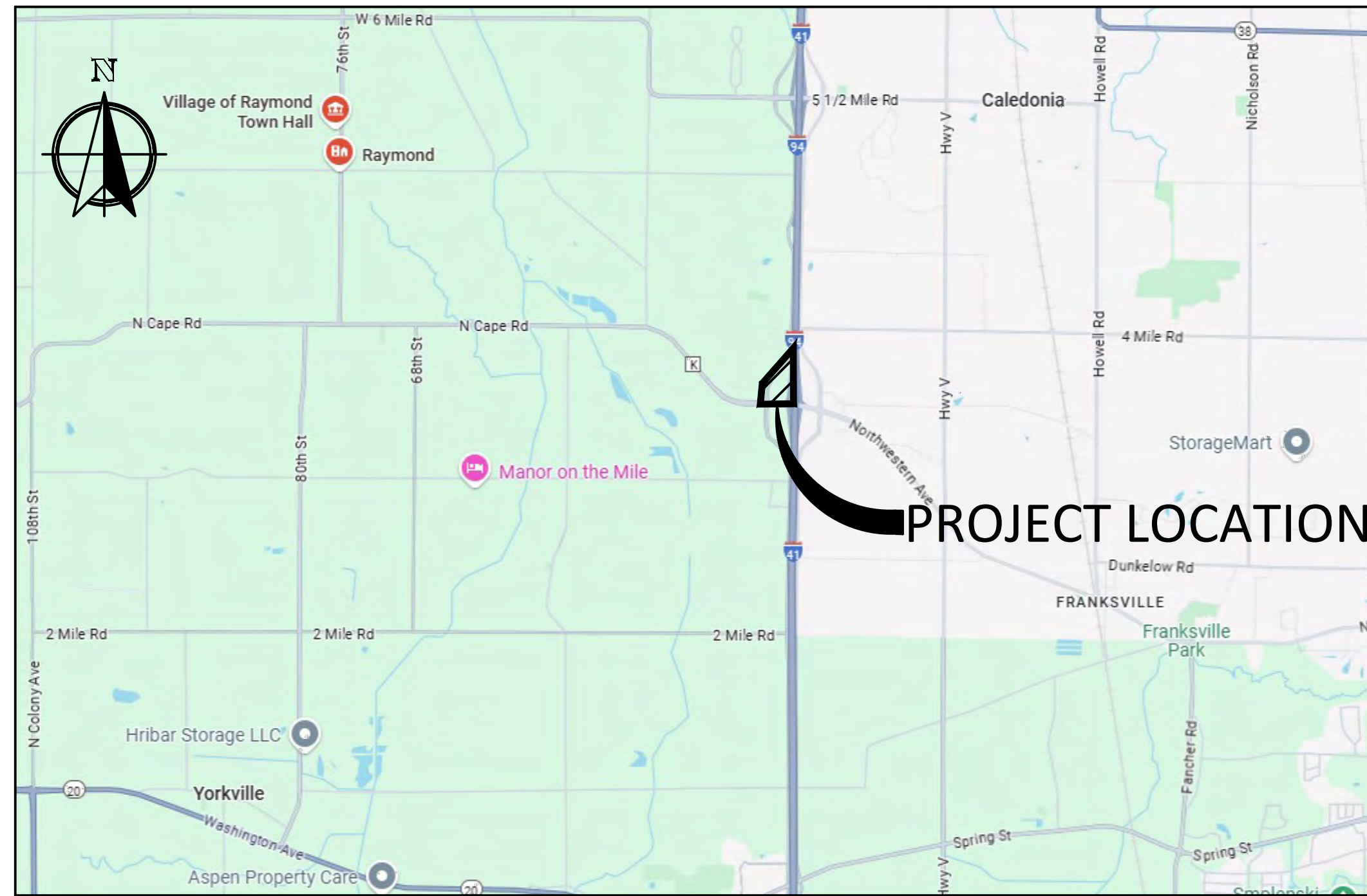
TDS TELECOM
 SOUTHEAST WISCONSIN
 OFFICE: 877-483-7142

LEGEND

Description	Existing	Description	Existing	Proposed
EDGE OF WOODS		WATER SHUT OFF		
DECIDUOUS TREE		WATER MAIN VALVE		
DECIDUOUS TREE REMOVAL		HYDRANT		
CONIFEROUS TREE		WATER MAIN REDUCER		
CONIFEROUS TREE REMOVAL		SANITARY MANHOLE		
BUSH		SANITARY CLEAN OUT		
SOIL BORING		STORM MANHOLE		
TELEPHONE BOX		CATCH BASIN		
GUY WIRE		LIGHT POLE		
UTILITY POLE		ENDWALL		
GAS VALVE		STORM SEWER		
GAS METER		SANITARY SEWER		
SEPTIC VENT		WATERMAIN		
ELECTRIC MANHOLE		CONTOURS		
COMMUNICATION MANHOLE		FIRE PROTECTION		
WATER MANHOLE		UTILITY CROSSING		
HVAC UNIT		DITCH OR SWALE		
UNDERGROUND VAULT		CULVERT		
SECTION CORNER		RAILROAD TRACKS		
MAIL BOX		FENCE		
GUARD POST		NO VEHICULAR ACCESS		
STREET SIGN		UNDERGROUND ELECTRIC		
ELECTRIC PEDESTAL		UNDERGROUND GAS MAIN		
ELECTRIC METER		UNDERGROUND COMMUNICATIONS		
PAD MOUNT TRANSFORMER		SILT FENCE		
FOUND IRON PIPE		OVERHEAD ELECTRIC		
SET IRON PIPE		FORCE MAIN		

ABBREVIATIONS

BASE LINE	BL	INVERT ELEVATION	IE
LONG CURV OF CURVE	CHD	LENGTH OF CURVE	ARC
CURB AND GUTTER	C&G	MANHOLE	MH
CATCH BASIN	CB	NORMAL WATER LEVEL	NWL
CENTERLINE	CL	POINT OF CURVATURE	PC
EDGE OF PAVEMENT	EOP	POINT OF TANGENCY	PT
FINISHED FIRST FLOOR	FFF	TANGENCY OF CURVE	TAN
FINISHED GRADE	FG	POINT OF VERTICAL INTERSECTION	PVI
FLOW LINE	FL	RADIUS	R
FLOODPLAIN	FP	RIGHT OF WAY	ROW
ORDINARY HIGH WATER MARK	OHWM	SANITARY SEWER	SAN
TOP OF BANK	TOB	STORM SEWER	STM
TOP OF CURB	TOC	TOP OF FOUNDATION	TOF
TOP OF WALK	TOW	WATER MAIN	WM



UTILITY NOTE

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mb
 Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd., Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Website: www.nmbssc.net

MILWAUKEE POWERSPORTS
 CONSTRUCTION PLANS
 FOR
CEDAR CREEK MOTORSPORTS
 VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MDE
 DRAFTED: _____ JPL
 DATE: 12-20-2024
 CHECKED: _____ MDE
 DATE: 12-20-2024

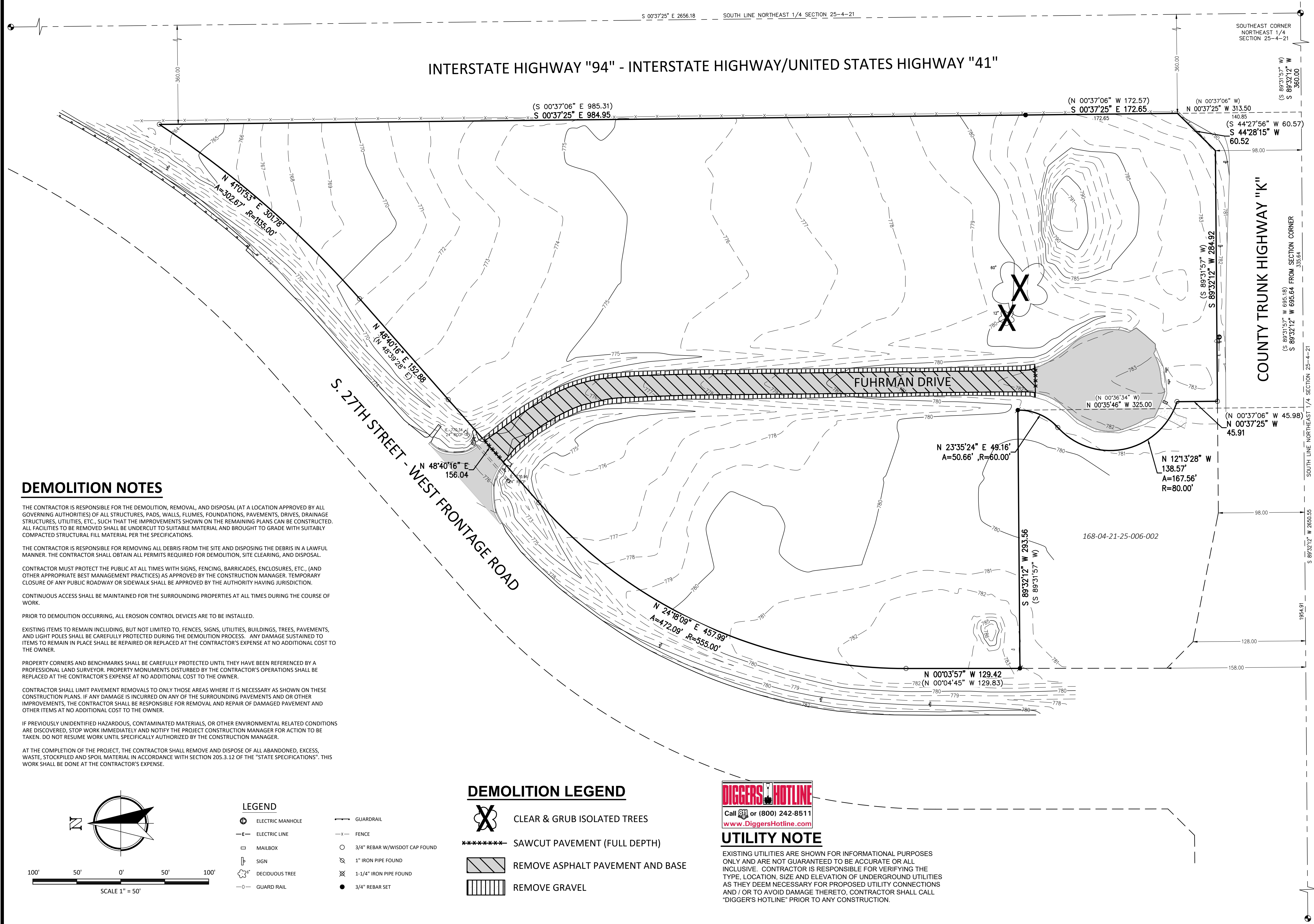
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SHEET
C-1

ISSUE FOR REVIEW (12-20-2024)

Friday, December 20, 2024

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INTERSTATE HIGHWAY "94" - INTERSTATE HIGHWAY/UNITED STATES HIGHWAY "41"

COUNTY TRUNK HIGHWAY "K"

FUHRMAN DRIVE

S. 27TH STREET - WEST FRONTAGE ROAD

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (AT A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED STRUCTURAL FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.
- PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS WHERE IT IS NECESSARY AS SHOWN ON THESE CONSTRUCTION PLANS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND/OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE OWNER.
- IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.
- AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

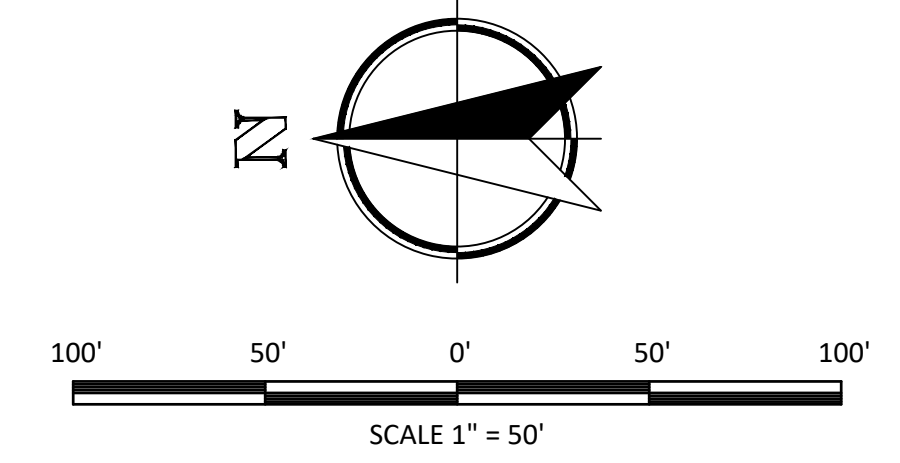
DEMOLITION LEGEND

- CLEAR & GRUB ISOLATED TREES
- SAWCUT PAVEMENT (FULL DEPTH)
- REMOVE ASPHALT PAVEMENT AND BASE
- REMOVE GRAVEL
- GUARDRAIL
- FENCE
- 3/4" REBAR W/WISDOT CAP FOUND
- 1" IRON PIPE FOUND
- 1-1/4" IRON PIPE FOUND
- 3/4" REBAR SET
- ELECTRIC MANHOLE
- ELECTRIC LINE
- MAILBOX
- SIGN
- DECIDUOUS TREE
- GUARD RAIL



UTILITY NOTE

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LEGEND

- ELECTRIC MANHOLE
- ELECTRIC LINE
- MAILBOX
- SIGN
- DECIDUOUS TREE
- GUARD RAIL
- GUARDRAIL
- FENCE
- 3/4" REBAR W/WISDOT CAP FOUND
- 1" IRON PIPE FOUND
- 1-1/4" IRON PIPE FOUND
- 3/4" REBAR SET

Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

MILWAUKEE POWERSPORTS
EXISTING CONDITIONS &
SITE DEMOLITION PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

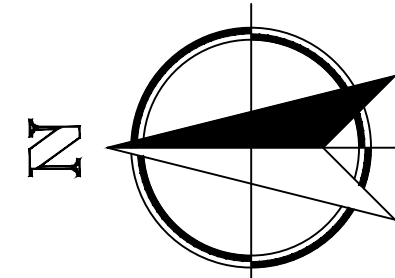
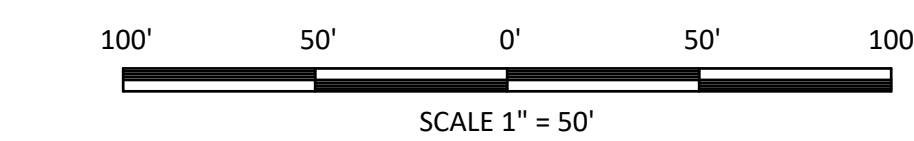
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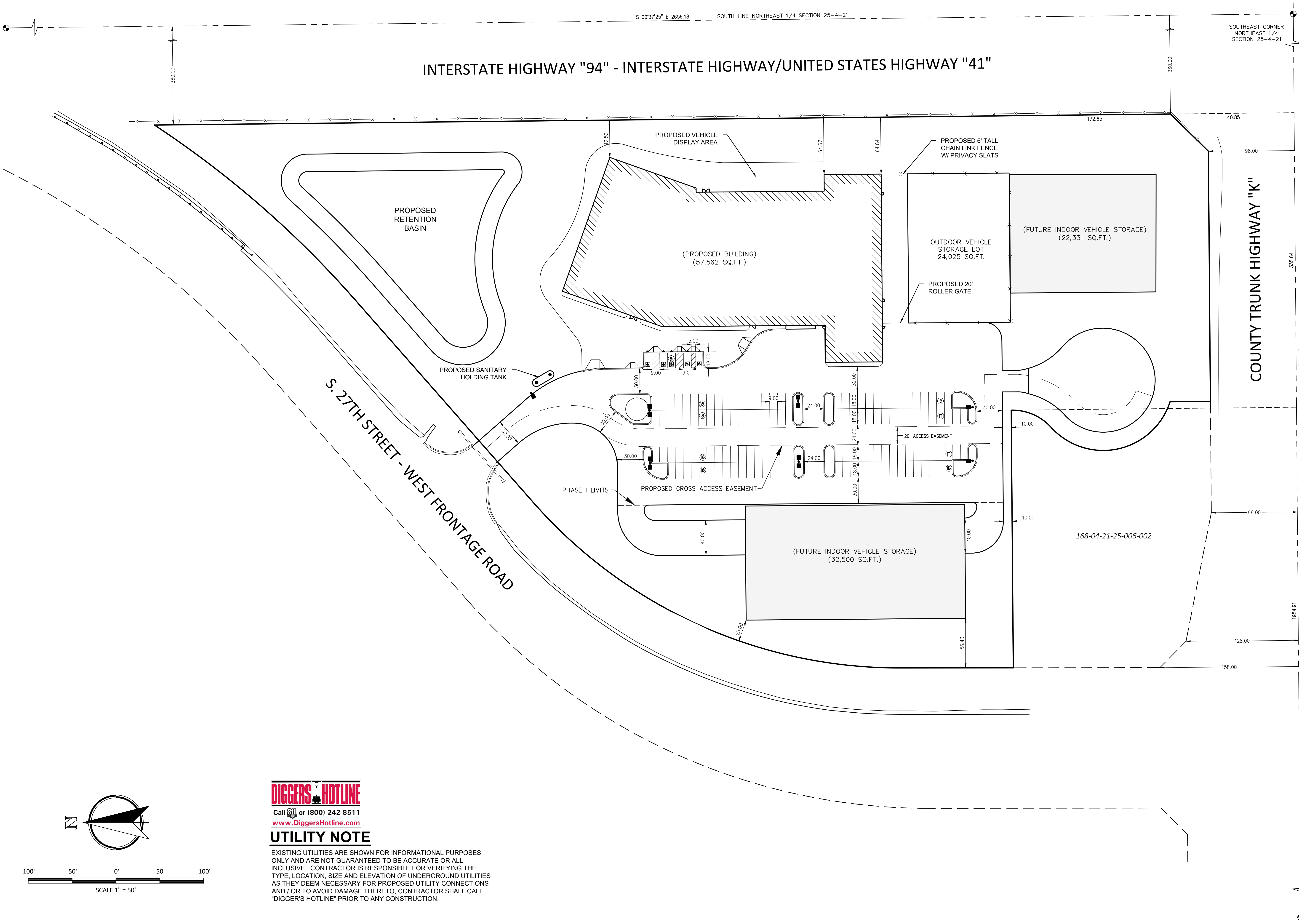
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UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.



Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd., Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Website: www.nmbssc.net

MILWAUKEE POWERSPORTS
 DIMENSIONED SITE PLAN
 FOR
 CEDAR CREEK MOTORSPORTS
 VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MDE
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2023.0160.01

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C-3

ISSUE FOR REVIEW (12-20-2024)

INTERSTATE HIGHWAY "94" - INTERSTATE HIGHWAY/UNITED STATES HIGHWAY "41"

SOUTHEAST CORNER
NORTHEAST 1/4
SECTION 25-4-21

Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd., Suite 200, Racine, WI. 53406
Tel: (262)634-5588 Website: www.nmbssc.net

REFERENCES

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WISDOT WEBSITE AT <http://roadwaystandards.dot.wi.gov/standards/stdspec/index.htm>

SITE GRADING & SUB-GRADE PREPARATION

EXISTING TOPSOIL AND OTHER NON-STRUCTURAL MATERIAL WITHIN THE PROPOSED BUILDING PAD, PAVEMENT SECTIONS AND STRUCTURAL FILL AREAS SHALL BE STRIPPED (REGARDLESS OF DEPTH) AND HAULED OFF SITE.

EXCAVATE, GRADE, AND SHAPE SUBGRADES TO THE LINES AND GRADES SHOWN ON THE PLANS. SEE TYPICAL SECTIONS AND CONSTRUCTION DETAILS FOR PAVEMENT THICKNESS AND MATERIALS.

FOR STRUCTURAL FILL DEPTHS LESS THAN 20 FEET, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION OF THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL HAVE A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS.

THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF THE OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY RECOMMENDED / APPROVED BY THE SOILS ENGINEER MONITORING THE PLACEMENT AND COMPACTION. COHESIVE SOILS WITH MODERATE TO HIGH EXPANSIVE POTENTIALS (PI>15) SHOULD, HOWEVER, BE PLACED, COMPACTED AND MAINTAINED PRIOR TO CONSTRUCTION AT A MOISTURE CONTENT OF 3± PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO LIMIT FUTURE HEAVE.

FILL MATERIAL SHALL BE PLACED IN LAYERS WITH A MAXIMUM LOOSE THICKNESS OF 9 INCHES. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION.

UPON COMPLETION OF THE SUBGRADE, A PROOF ROLL SHALL BE CONDUCTED BY THE CONTRACTOR ON ALL SUBGRADES TO RECEIVE DENSE AGGREGATE BASE COURSE. THE CONTRACTOR SHALL PROVIDE A FULLY LOADED QUAD-AXLE TRUCK (16 TON MINIMUM LOAD) TO PERFORM THE PROOF ROLL. CONTRACTOR SHALL COORDINATE THE PROOF ROLL WITH THE OWNER OR HIS REPRESENTATIVES TO ENSURE THEY ARE PRESENT.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

EROSION & SEDIMENT CONTROL NOTES

THE EROSION AND SEDIMENT CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE EROSION CONTROL PLAN. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND REGULATORY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE VILLAGE OF RAYMOND.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES REQUIRED FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND VILLAGE OF RAYMOND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE VILLAGE OF RAYMOND AND WDNR EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 360.21) AND MAINTAINED PER SPS 360.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED.

- A. AT LEAST WEEKLY.
- B. WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

THE CONTRACTOR SHALL MAINTAIN A MONITORING RECORD WHEN THE LAND DISTURBING CONSTRUCTION ACTIVITY INVOLVES ONE OR MORE ACRES. THE MONITORING RECORD SHALL CONTAIN AT LEAST THE FOLLOWING INFORMATION:

- A. THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED ABOVE.
- B. A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES. EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE VILLAGE OF RAYMOND OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT.

EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, DSPS, VILLAGE OF RAYMOND OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

ALL SEDIMENT AND EROSION CONTROL DEVICES, INCLUDING PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED.

INSTALL SILT FENCE PER SECTION 628 OF THE "STATE SPECIFICATIONS" AND WDNR TECHNICAL STANDARD 1056 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR SILTATION AT THE SITE OF THE PROPOSED SILT FENCE. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

ALL PROPOSED STORM SEWER STRUCTURES AND ADJACENT EXISTING STORM INLETS SHALL HAVE A LAYER OF GEOTEXTILE FABRIC (TYPE "FF") INSTALLED BETWEEN THE FRAME & GRATE TO PREVENT SEDIMENT OR SILT FROM ENTERING THE SYSTEM. THE INLET PROTECTION SHALL BE INSPECTED BY THE CONTRACTOR AND REPLACED EVERY 14 DAYS AND AFTER EACH RAINFALL EVENT. FABRIC TO BE REPLACED AS NEEDED TO MEET FIELD CONDITIONS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE (WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF RECORD).

EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

- A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- C. ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE DISCHARGED INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 AND BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH. PUMPED WATER CAN BE TREATED IN FILTER BAGS, STONE FILTERS OR SIMILAR DEVICES. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES, OTHER THAN SHOWN ON THE PLANS, MUST HAVE PRIOR APPROVAL BY THE VILLAGE OF RAYMOND.

DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.

ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 7 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND VILLAGE OF RAYMOND ORDINANCE.

EXCESS SOILS ARE TO BE HAULED OFF SITE OR ENCLOSED WITH AN APPROVED SEDIMENT CONTROL DEVICE WITHIN 24 HOURS.

SOIL PILES LEFT UNDISTURBED FOR 7 OR MORE DAYS WILL NEED TO BE STABILIZED BY AN APPROVED METHOD. ALL DISTURBED AREAS NOT COVERED BY PERMANENT STRUCTURES OR PAVEMENT SHALL BE FINISHED GRADED WITH 3'-6" TOPSOIL, SEEDING AND STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADE. IF DISTURBANCE OCCURS AFTER NOVEMBER 15TH AND BEFORE MAY 15TH, TYPE A SOIL STABILIZER SHALL BE USED.

ALL DISTURBED AREAS SHALL BE STABILIZED WITH CLASS I, TYPE A EROSION MATTING, EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AT THE END OF EACH WORK DAY AND AS REQUESTED BY THE VILLAGE OF RAYMOND.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

SITE GRADING & EROSION CONTROL LEGEND

— 692 —	EXISTING CONTOURS	- - - -	DISTURBED AREA (464,890 S.F. = 10.67 AC)
— 702 —	PROPOSED CONTOURS	- - - -	DRAINAGE SWALE CENTERLINE
⊘ 4/5 C-7	EROSION MAT - CLASS 1, TYPE B	⊘ 3 C-7	EROSION BALE & TEMPORARY DITCH CHECK
⊘ 1 C-7	SILT FENCE	NWL	NORMAL WATER LEVEL
⊘ 2 C-7	STORM SEWER INLET PROTECTION	HWM	HIGH WATER MARK
⊘ 4 C-8	MEDIUM RIP RAP (8' X 15')	FFF	FINISHED FIRST FLOOR
— 780.00 —	PROPOSED YARD GRADE		

UTILITY NOTE

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Call 888 or (800) 242-8511
www.DiggersHotline.com

SCALE 1" = 50'

S. 27TH STREET - WEST FRONTAGE ROAD

COUNTY TRUNK HIGHWAY "K"

MILWAUKEE POWERSPORTS
SITE GRADING & EROSION CONTROL PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

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DATE: 12-20-2024
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2023.0160.01
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C-4

PAVEMENT SPECIFICATIONS

DENSE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 305 OF THE "STATE SPECIFICATIONS". THE COMPLETED BASE SHALL BE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SHALL BE CONSTRUCTED IN FOUR-INCH (4") LIFTS AND COMPACTED ACCORDING TO SUBSECTION 305.3.2 OF THE "STATE SPECIFICATIONS".

ASPHALTIC CONCRETE PAVEMENT SHALL BE WISDOT LT 58-28 S MEETING THE REQUIREMENTS OF SECTION 460 OF THE "STATE SPECIFICATIONS". PAVEMENT SHALL BE INSTALLED IN TWO (2) LIFTS IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET. A TACK COAT SHALL BE INSTALLED BETWEEN THE LOWER AND UPPER COURSES IN ACCORDANCE WITH SECTION 455.3.2 OF THE "STATE SPECIFICATIONS".

CONCRETE FOR PAVEMENTS, SIDEWALKS, CURB & GUTTER AND APRONS SHALL BE GRADE A-FA, AIR-ENTRAINED, AS SPECIFIED IN SUBSECTION 501.3.1 OF THE "STATE SPECIFICATIONS". ALL EXTERIOR CONCRETE SHALL BE "READY-MIXED" AND RECEIVE A BROOM FINISH. ALL CONCRETE WORK SHALL BE CURED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 415.2.4 OF THE "STATE SPECIFICATIONS".

ALL CONCRETE CURB AND GUTTER SHALL BE 18" CONFORMING TO THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SECTION 601 OF THE "STATE SPECIFICATIONS". CURB & GUTTER SHALL BE "REVERSE PAN CURB" OR "STANDARD CURB" AS INDICATED BY THE LEGEND BELOW AND INSTALLED IN A MANNER TO SHED ALL STORM WATER RUNOFF TOWARDS THE DRAINAGE STRUCTURES.

CONTRACTION JOINTS SHALL BE AT TEN-FOOT (10') INTERVALS FOR CURB AND GUTTER AND FIVE-FOOT (5') INTERVALS FOR FIVE-FOOT (5') WIDE SIDEWALK. FINAL JOINTING PLAN FOR CONCRETE PAVEMENT TO BE PREPARED BY THE CONTRACTOR.

EXPANSION JOINTS SHALL BE PLACED AS OUTLINED IN SUBSECTION 601.3.6 OF THE "STATE SPECIFICATIONS". FILLER MATERIAL FOR EXPANSION JOINTS SHALL BE 1/2" FIBER MATERIAL.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLES, VALVE BOXES, ETC.) TO MATCH THE FINISHED GRADES OF THE AREA AFFECTED BY THE CONSTRUCTION.

PARKING LOT STRIPING, STOP BARS AND HANDICAPPED ACCESSIBLE SYMBOLS SHALL BE INSTALLED WITH WISCONSIN DOT APPROVED TRAFFIC PAINT IN ACCORDANCE WITH SECTION 646 OF THE "STATE SPECIFICATIONS". ALL PARKING STALL STRIPING SHALL BE FOUR INCHES (4") IN WIDTH AND SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER. SEE THE TYPICAL SECTIONS AND CONSTRUCTION DETAILS SHEET(S) OF THE PLAN SET FOR ADDITIONAL INFORMATION REGARDING PAVEMENT MARKINGS.

PROPOSED
RETENTION BASIN

(PROPOSED BUILDING)
(57,562 SQ.FT.)

OUTDOOR VEHICLE
STORAGE LOT
24,025 SQ.FT.

(FUTURE INDOOR VEHICLE STORAGE)
(32,500 SQ.FT.)

SCALE 1" = 20'



UTILITY NOTE

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PAVEMENT LEGEND

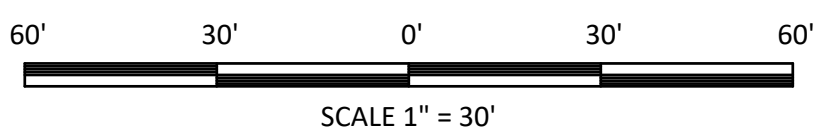
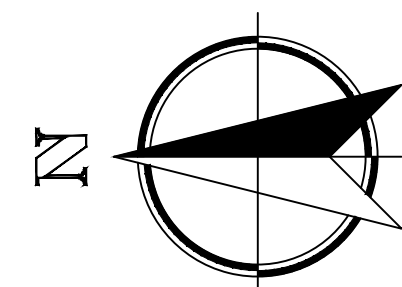
- 18" VERTICAL FACE, ACCEPTING PAN CURB & GUTTER
- 18" VERTICAL FACEREVERSE PAN CURB & GUTTER
- MEDIUM-DUTY (3 3/4") ASPHALT PAVEMENT
- HEAVY-DUTY (4 1/2") ASPHALT PAVEMENT
- HEAVY-DUTY (16") AGGREGATE BASE
- EXISTING SPOT GRADES
- FINISHED PAVEMENT GRADES
- FINISHED TOP OF CURB/SIDEWALK GRADES
FINISHED PAVEMENT FLANGE GRADES
- PAVEMENT SWALE CENTERLINE
- LIGHT DUTY (5") CONCRETE PAVEMENT
- CURB HEAD TAPER

PAVEMENT MARKING LEGEND

- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- SBSL/4" - SINGLE BLUE SOLID LINE / 4" WIDE EACH
- SBSL/4"/45"/4" - SINGLE BLUE SOLID LINE / 4" WIDE EACH, 45°, 4' O.C.
- ISA-W/B - INTERNATIONAL SYMBOL FOR ACCESSIBILITY - WHITE ON BLUE BACKGROUND

SIGN / POST LEGEND

- SIGN (DETAIL 2) MOUNTED ON POST (DETAIL 4)
AS SHOWN ON SHEET C-9



MILWAUKEE POWERSPORTS PAVEMENT GRADING, MARKING & SIGNAGE PLAN

FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MDE
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2023.0160.01

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C-5

MILWAUKEE POWERSPORTS
SITE UTILITY PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

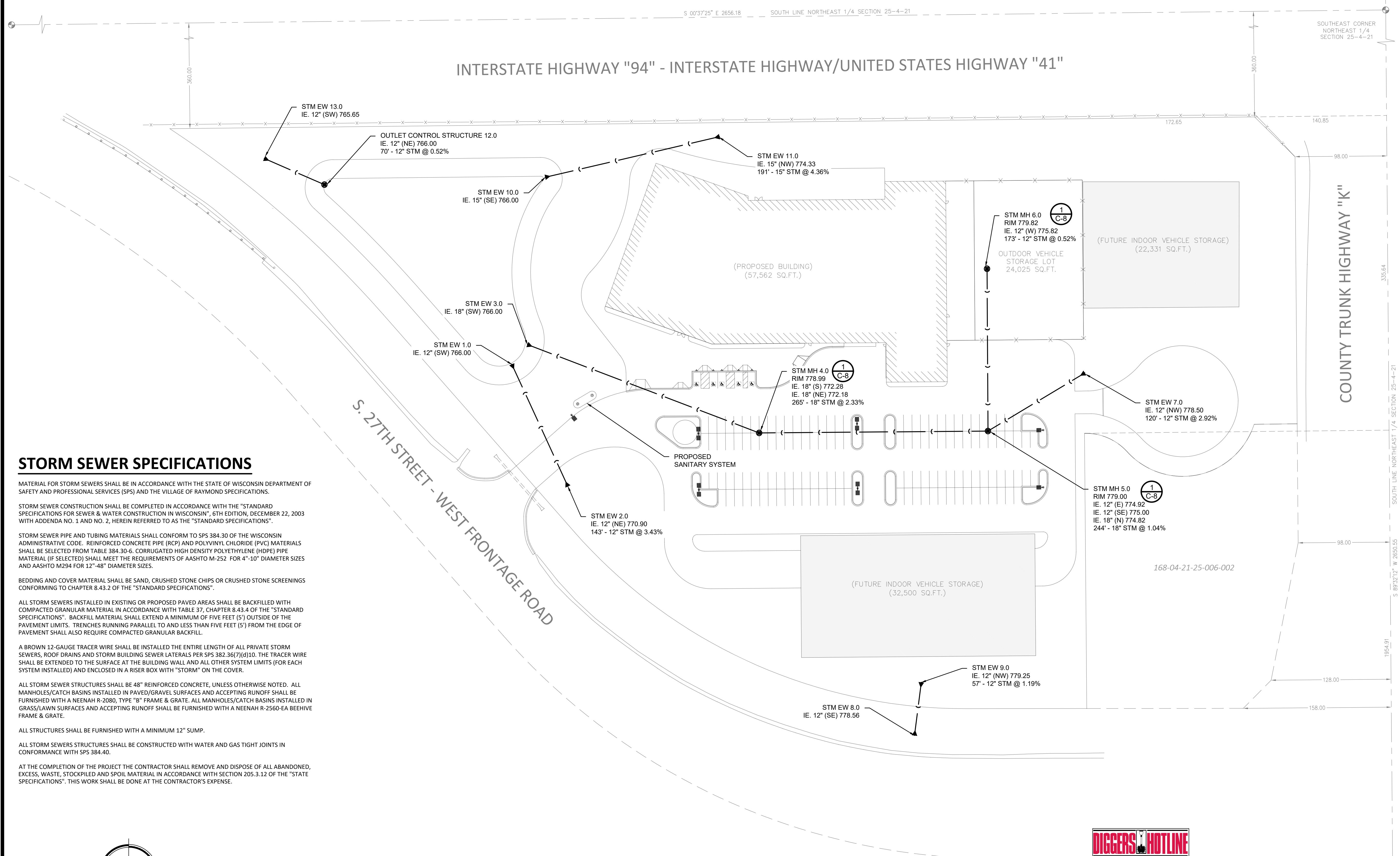
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ISSUE FOR REVIEW (12-20-2024)

INTERSTATE HIGHWAY "94" - INTERSTATE HIGHWAY/UNITED STATES HIGHWAY "41"



STORM SEWER SPECIFICATIONS

MATERIAL FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (SPS) AND THE VILLAGE OF RAYMOND SPECIFICATIONS.

STORM SEWER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN", 6TH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS THE "STANDARD SPECIFICATIONS".

STORM SEWER PIPE AND TUBING MATERIALS SHALL CONFORM TO SPS 384.30 OF THE WISCONSIN ADMINISTRATIVE CODE. REINFORCED CONCRETE PIPE (RCP) AND POLYVINYL CHLORIDE (PVC) MATERIALS SHALL BE SELECTED FROM TABLE 384.30-6. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE MATERIAL (IF SELECTED) SHALL MEET THE REQUIREMENTS OF AASHTO M-252 FOR 4"-10" DIAMETER SIZES AND AASHTO M294 FOR 12"-48" DIAMETER SIZES.

BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

ALL STORM SEWERS INSTALLED IN EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

A BROWN 12-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE STORM SEWERS, ROOF DRAINS AND STORM BUILDING SEWER LATERALS PER SPS 382.36(7)(d)10. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "STORM" ON THE COVER.

ALL STORM SEWER STRUCTURES SHALL BE 48" REINFORCED CONCRETE, UNLESS OTHERWISE NOTED. ALL MANHOLES/CATCH BASINS INSTALLED IN PAVED/GRAVEL SURFACES AND ACCEPTING RUNOFF SHALL BE FURNISHED WITH A NEENAH R-2080, TYPE "B" FRAME & GRATE. ALL MANHOLES/CATCH BASINS INSTALLED IN GRASS/LAWN SURFACES AND ACCEPTING RUNOFF SHALL BE FURNISHED WITH A NEENAH R-2560-EA BEEHIVE FRAME & GRATE.

ALL STRUCTURES SHALL BE FURNISHED WITH A MINIMUM 12" SUMP.

ALL STORM SEWERS STRUCTURES SHALL BE CONSTRUCTED WITH WATER AND GAS TIGHT JOINTS IN CONFORMANCE WITH SPS 384.40.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

STORM SEWER LEGEND

— (S) — PROPOSED STORM SEWER

UTILITY CONSTRUCTION NOTES

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION TO HAVE THE ADJACENT UNDERGROUND PUBLIC UTILITIES LOCATED. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

THE EXACT LOCATION OF THE SANITARY SEWER LATERAL, DOMESTIC WATER LINE, FIRE PROTECTION LEAD, NATURAL GAS SERVICE, ELECTRIC, PHONE AND CABLE LINES (AS THEY ENTER THE BUILDING) SHALL BE PER THE ARCHITECTURAL OR MECHANICAL DRAWINGS.

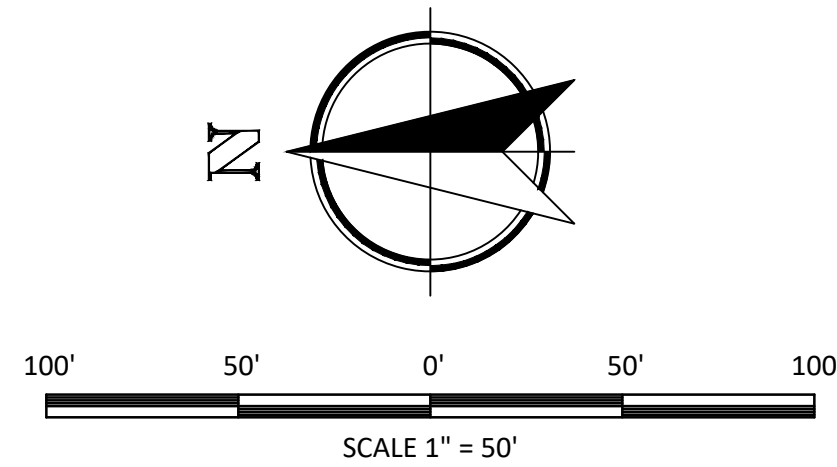
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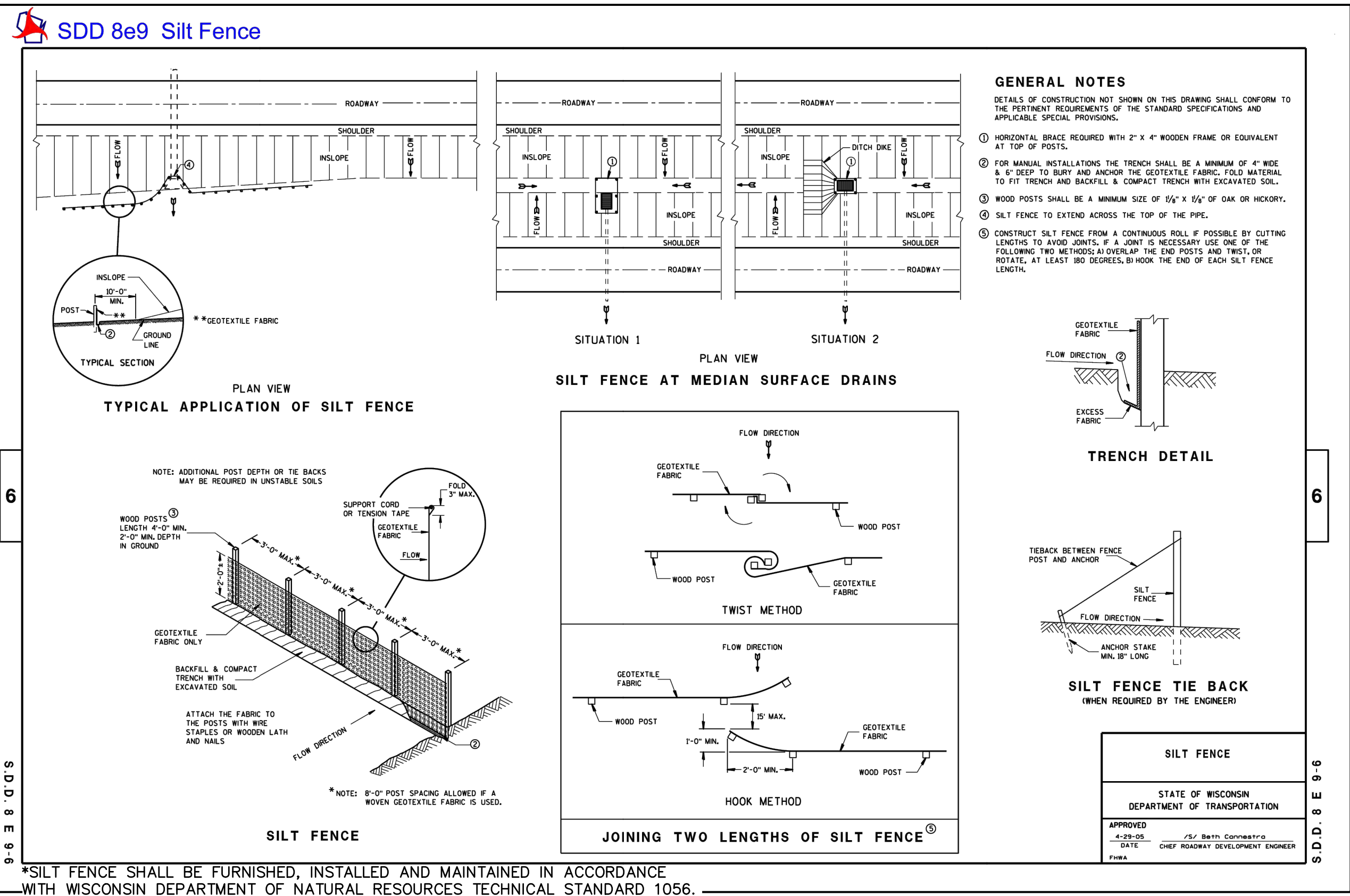


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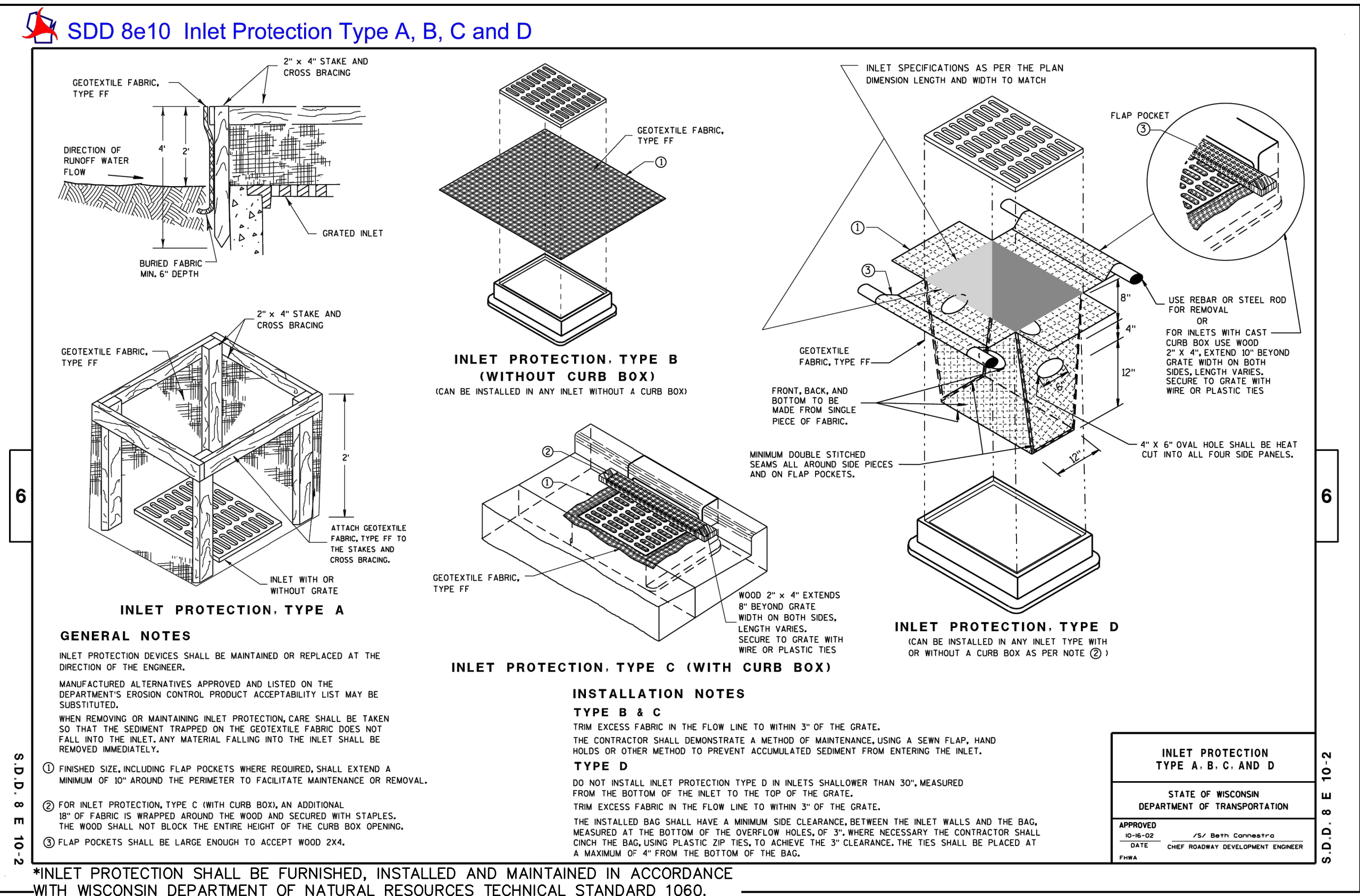
UTILITY NOTE

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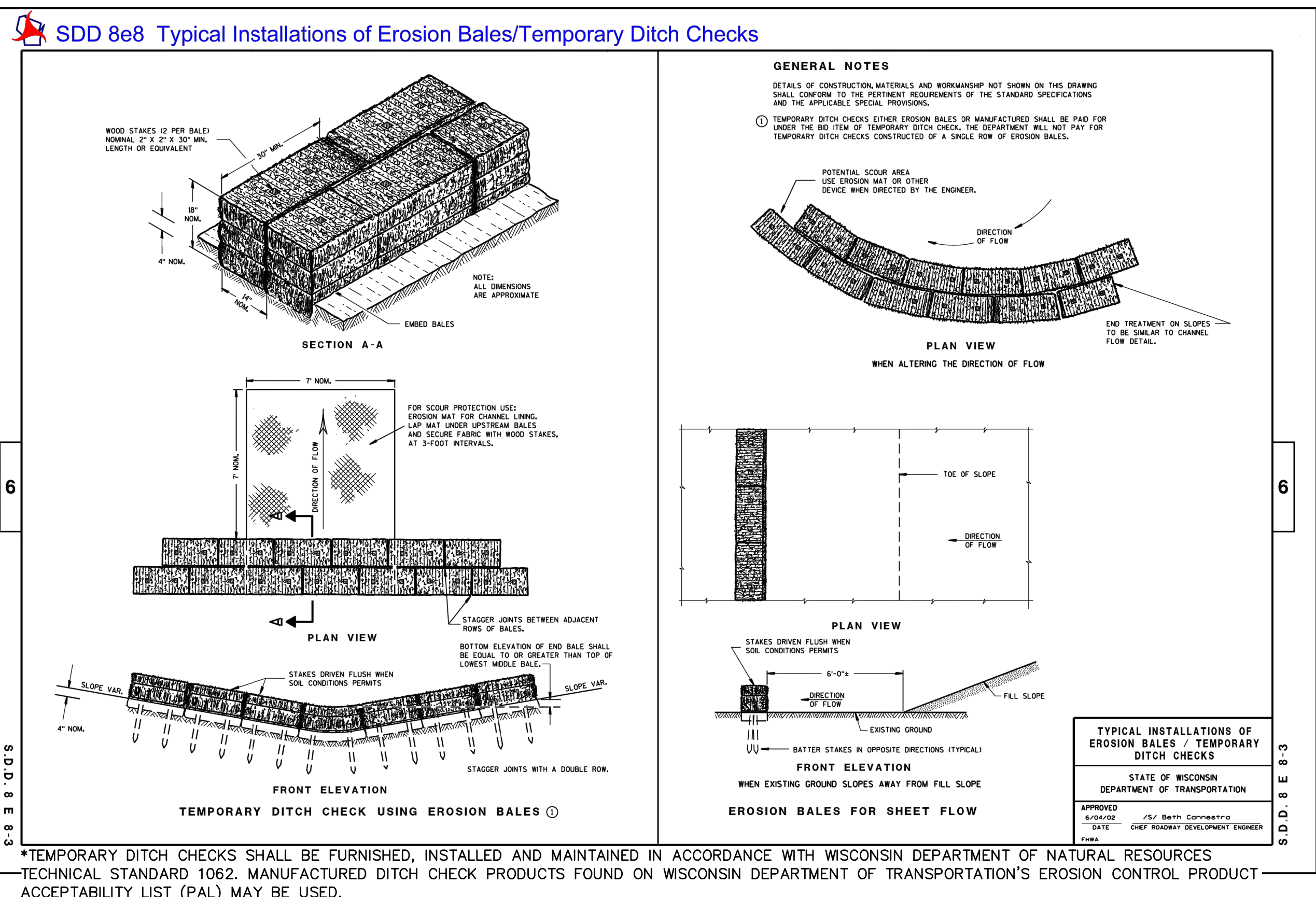




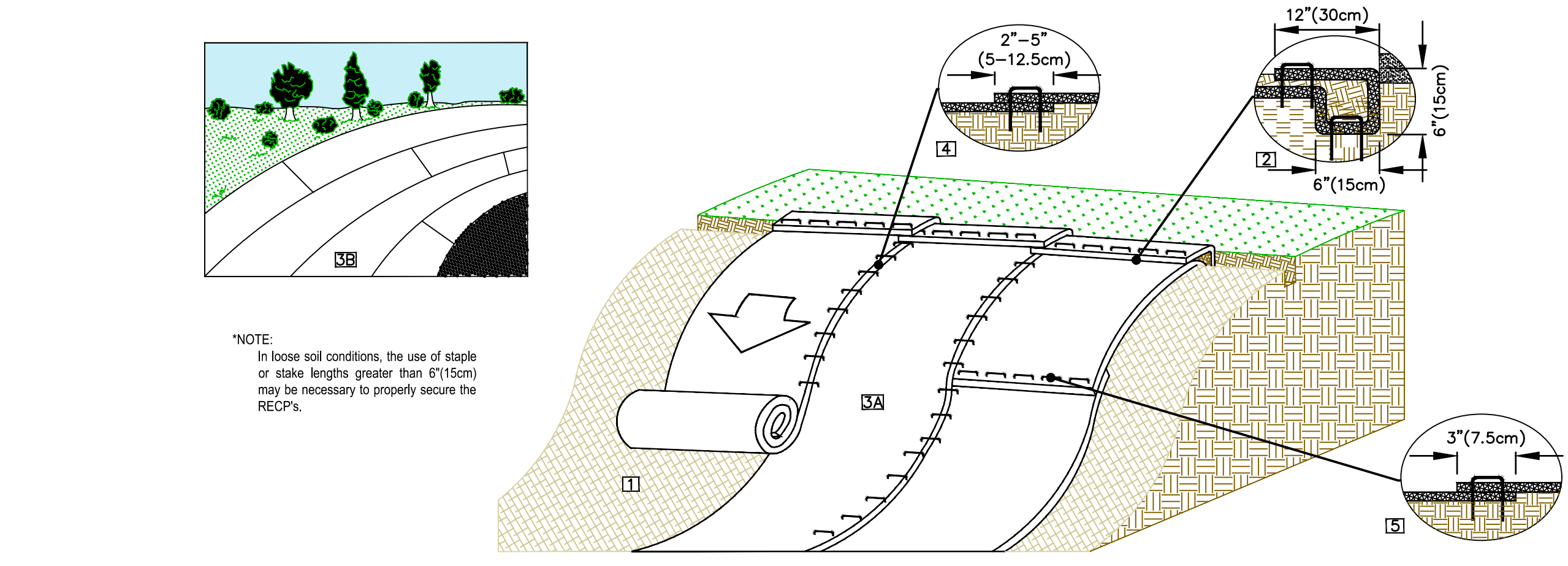
1 SILT FENCE DETAIL N.T.S.



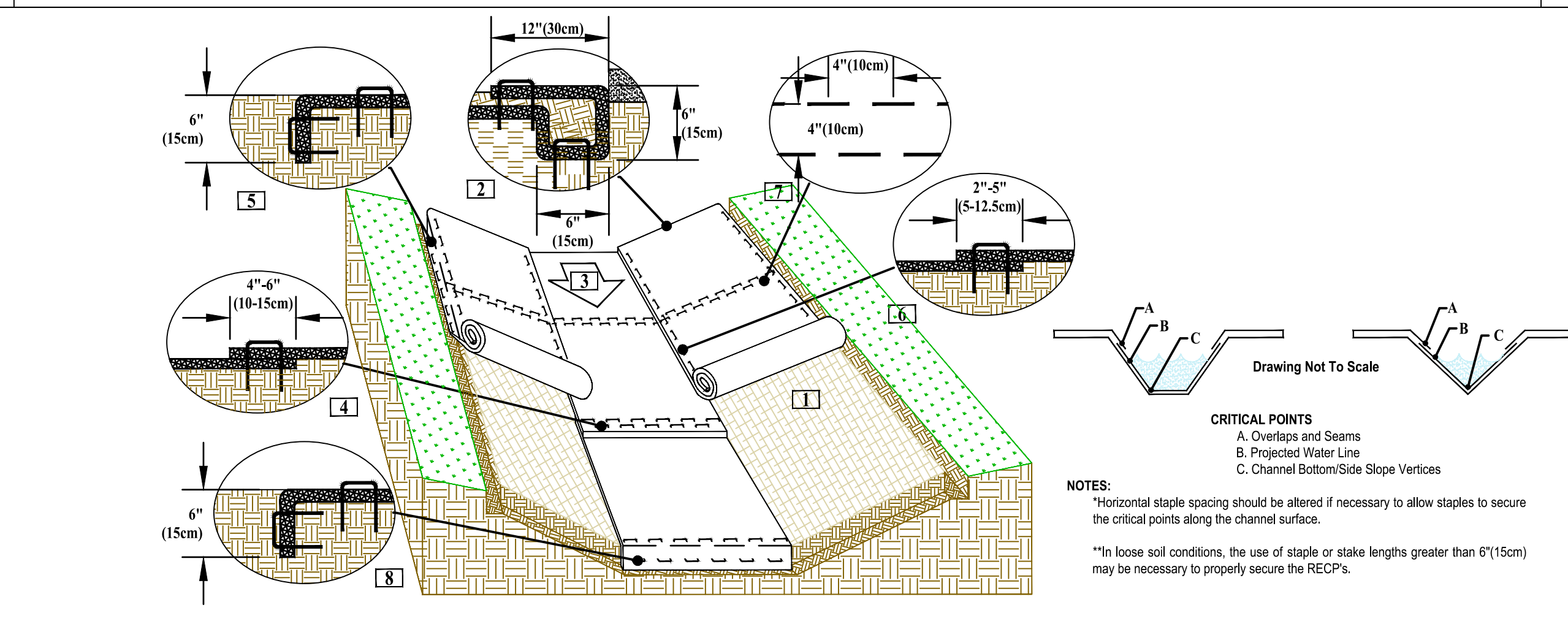
2 INLET PROTECTION DETAIL N.T.S.



3 EROSION BALE & TEMPORARY DITCH CHECK DETAIL N.T.S.



4 SLOPE INSTALLATION OF EROSION MAT DETAIL N.T.S.



5 SWALE INSTALLATION OF EROSION MAT DETAIL N.T.S.

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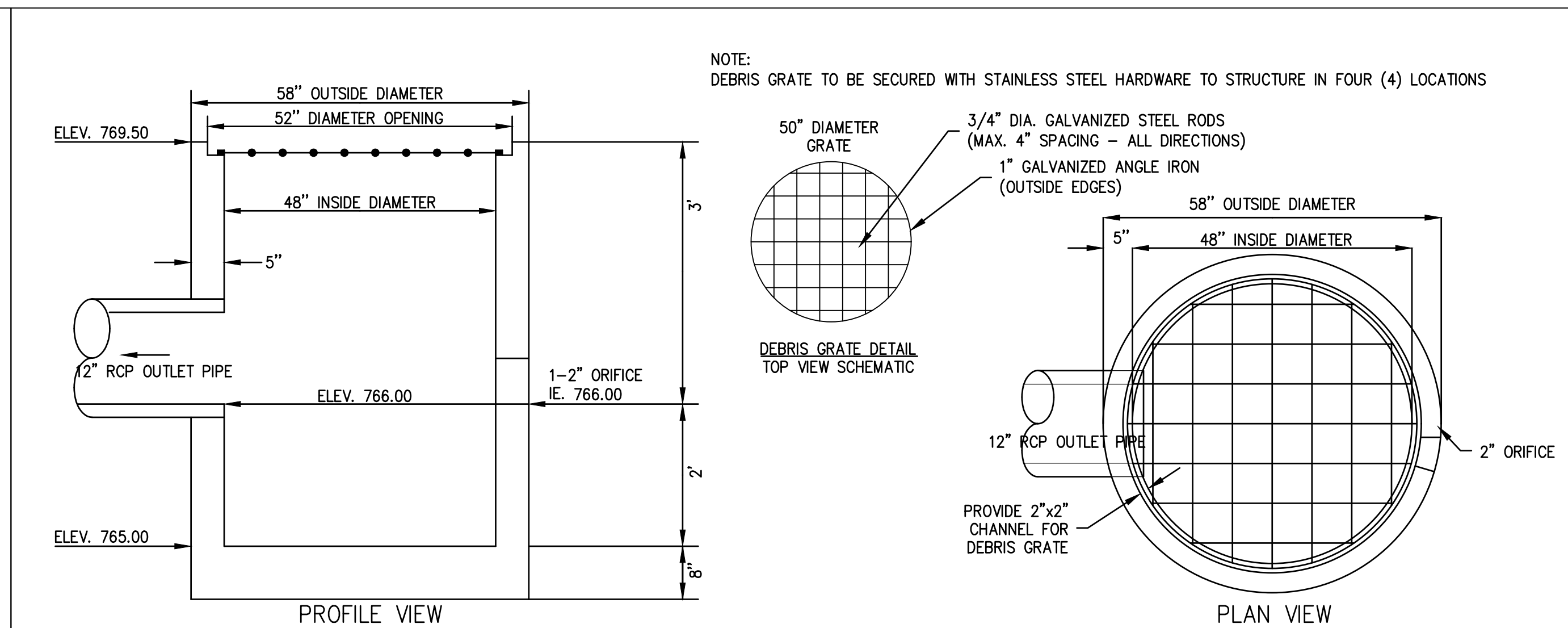
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ISSUE FOR REVIEW (12-20-2024)

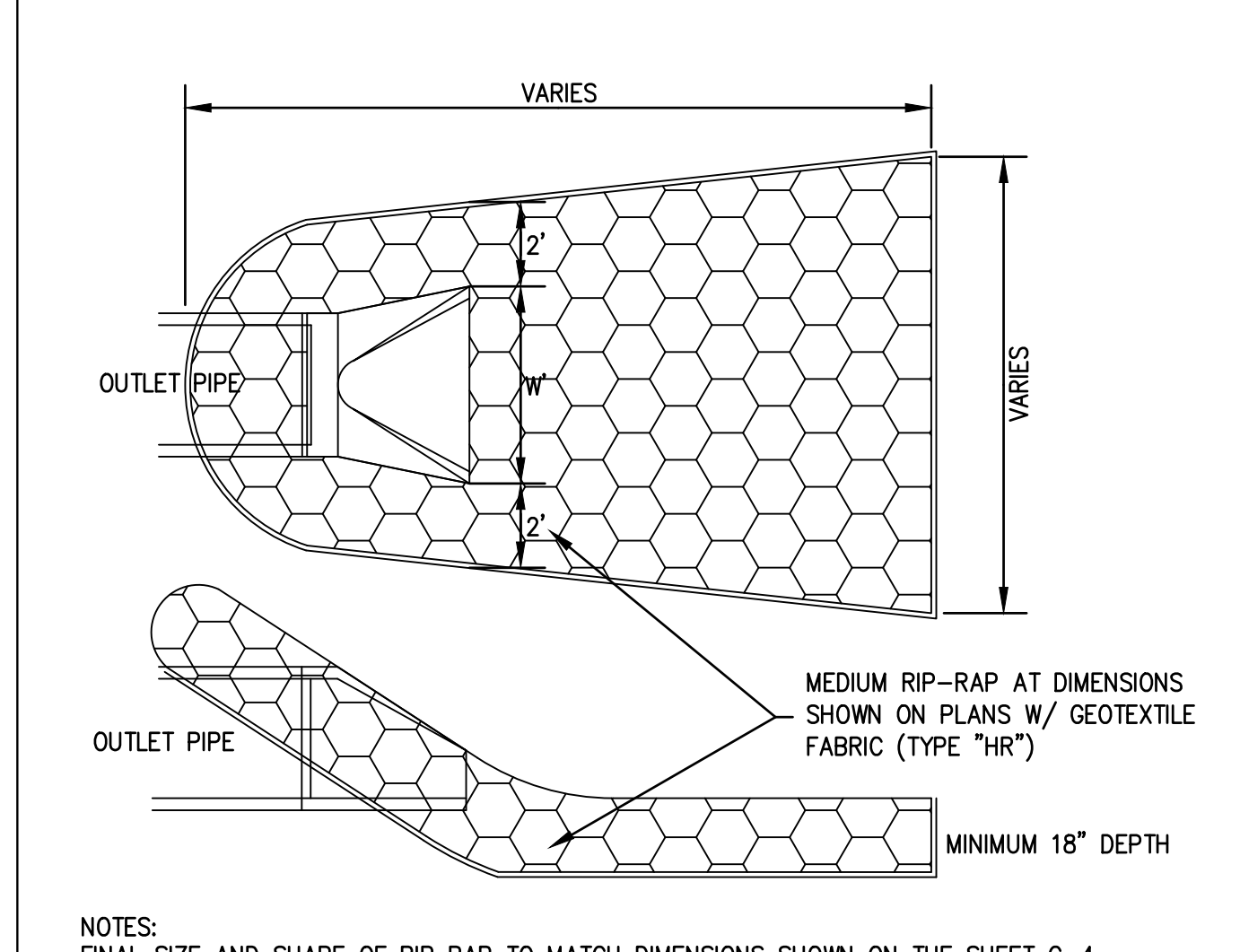
INSTALLATION NOTES FOR CURB AND GUTTER DETAILS

1. CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED DENSE AGGREGATE BASE COURSE EXTENDING A MINIMUM OF 12 INCHES BEHIND THE BACK OF CURB.
2. CURB PAN SHALL BE A MINIMUM OF SIX INCHES (6") THICK, EXCEPT AT DRIVEWAY LOCATIONS WHERE IT SHALL BE A MINIMUM OF EIGHT INCHES (8") THICK.
3. INSTALL TWO (2) NO. 4, 18-INCH LONG EPOXY COATED TIE BARS ANCHORED WITH AN EPOXY, EVENLY SPACED, DRIVEN NINE INCHES (9") INTO TO EXISTING OR PREVIOUSLY INSTALLED CURB AND GUTTER.
4. WHEN PLACED ADJACENT TO NEW CONCRETE, INSTALL NO. 4 18-INCH LONG EPOXY COATED TIE BARS, 36" ON CENTER PLACED A MINIMUM OF THREE AND ONE HALF INCHES (3½") BELOW THE TOP OF THE CURB PAN.
5. LATERAL CONTRACTION JOINTS TO BE PLACED AT AN INTERVAL OF 10 FEET TO A MINIMUM DEPTH OF TWO INCHES (2").
6. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT POINTS OF CURVATURE, ANGLE POINTS, THREE FEET (3') FROM EACH SIDE OF EVERY INLET AND EVERY 300 FEET ALONG TANGENT SECTIONS OR AS DIRECTED BY THE ENGINEER. EXPANSION JOINT FILLER MATERIAL SHALL MEET WSDOT SPECIFICATIONS HAVING THE SAME DIMENSIONS AS THE CURB & GUTTER WITH A 3/4" THICKNESS.
7. APPLY CONCRETE CURING COMPOUND PER WSDOT SPECIFICATIONS.

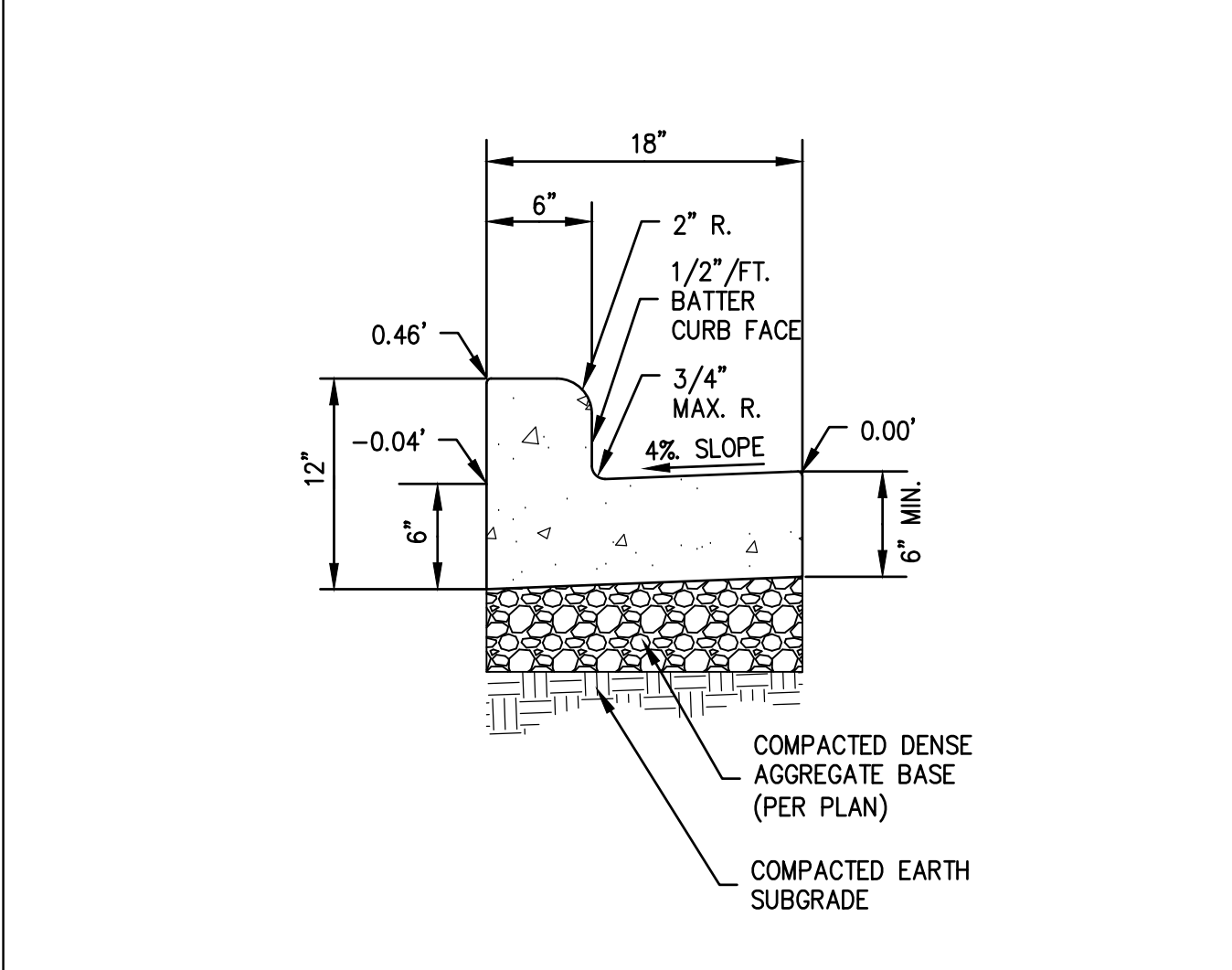


2 OUTLET CONTROL STRUCTURE DETAIL N.T.S.

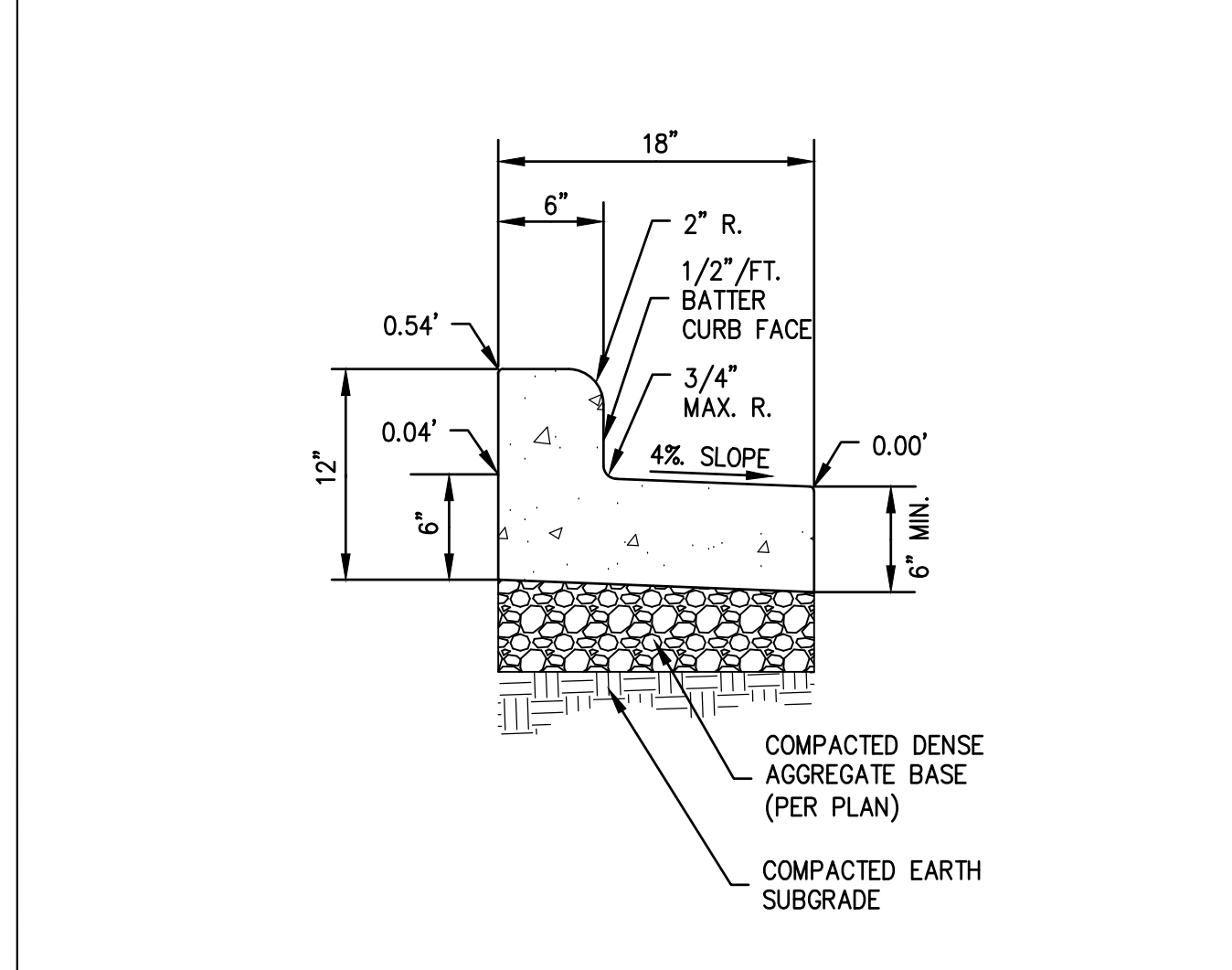
3 CONCRETE CURB AND GUTTER DETAIL NOTES N.T.S.



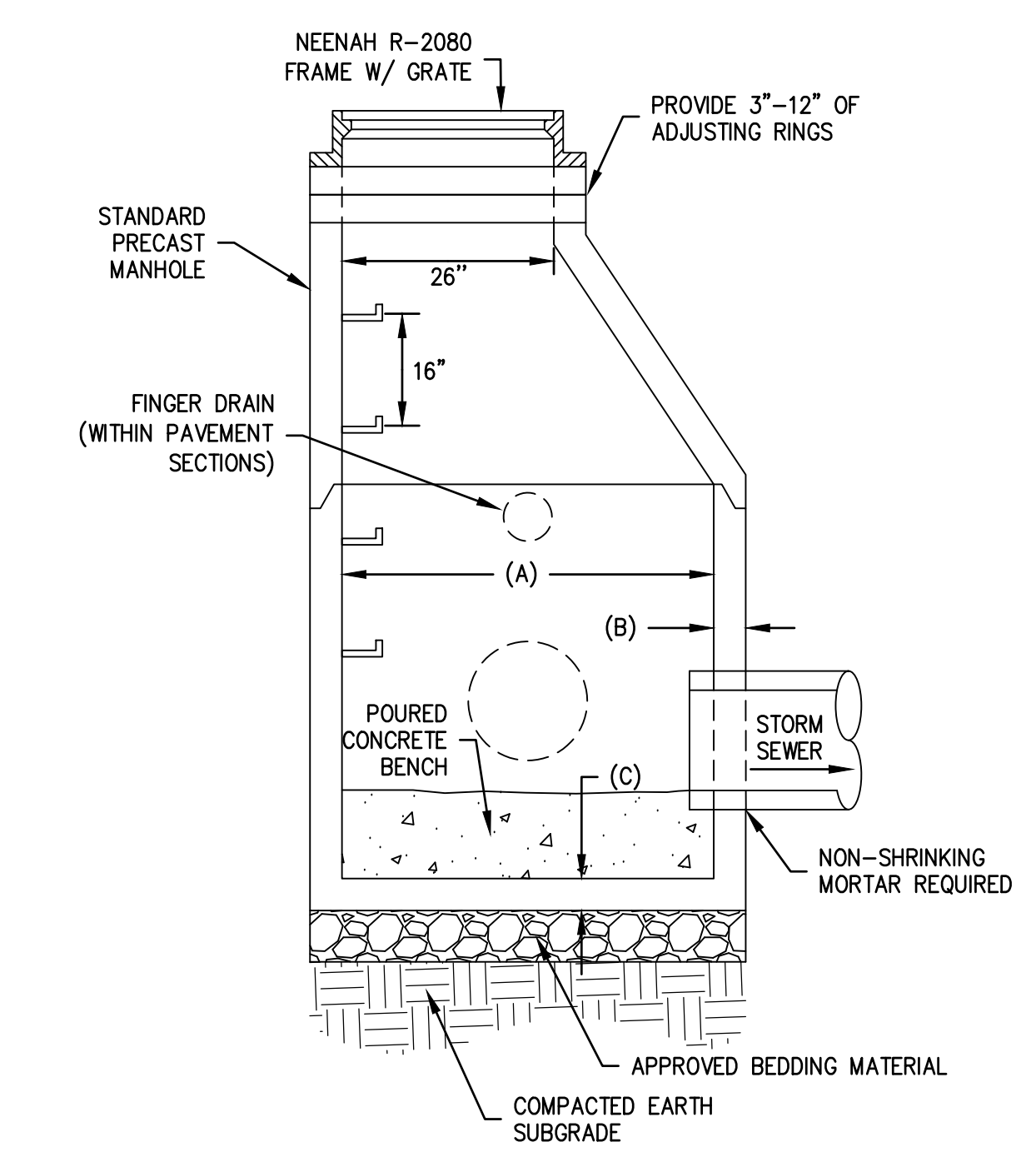
4 RIP RAP DETAIL N.T.S.



5 18" VERTICAL FACE CONCRETE CURB AND GUTTER DETAIL N.T.S.



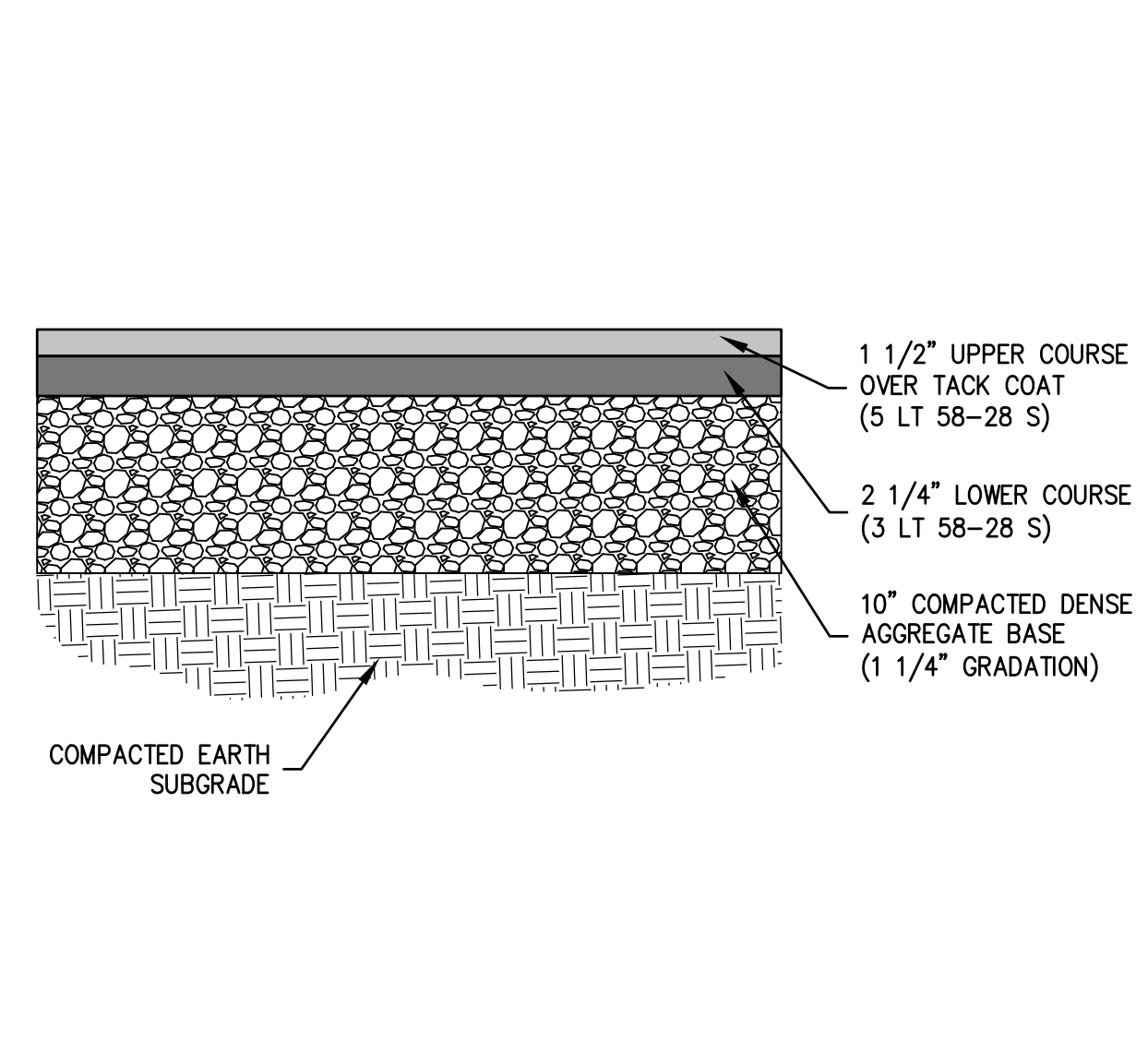
6 18" VERTICAL FACE REVERSE PAN CONCRETE CURB AND GUTTER DETAIL N.T.S.



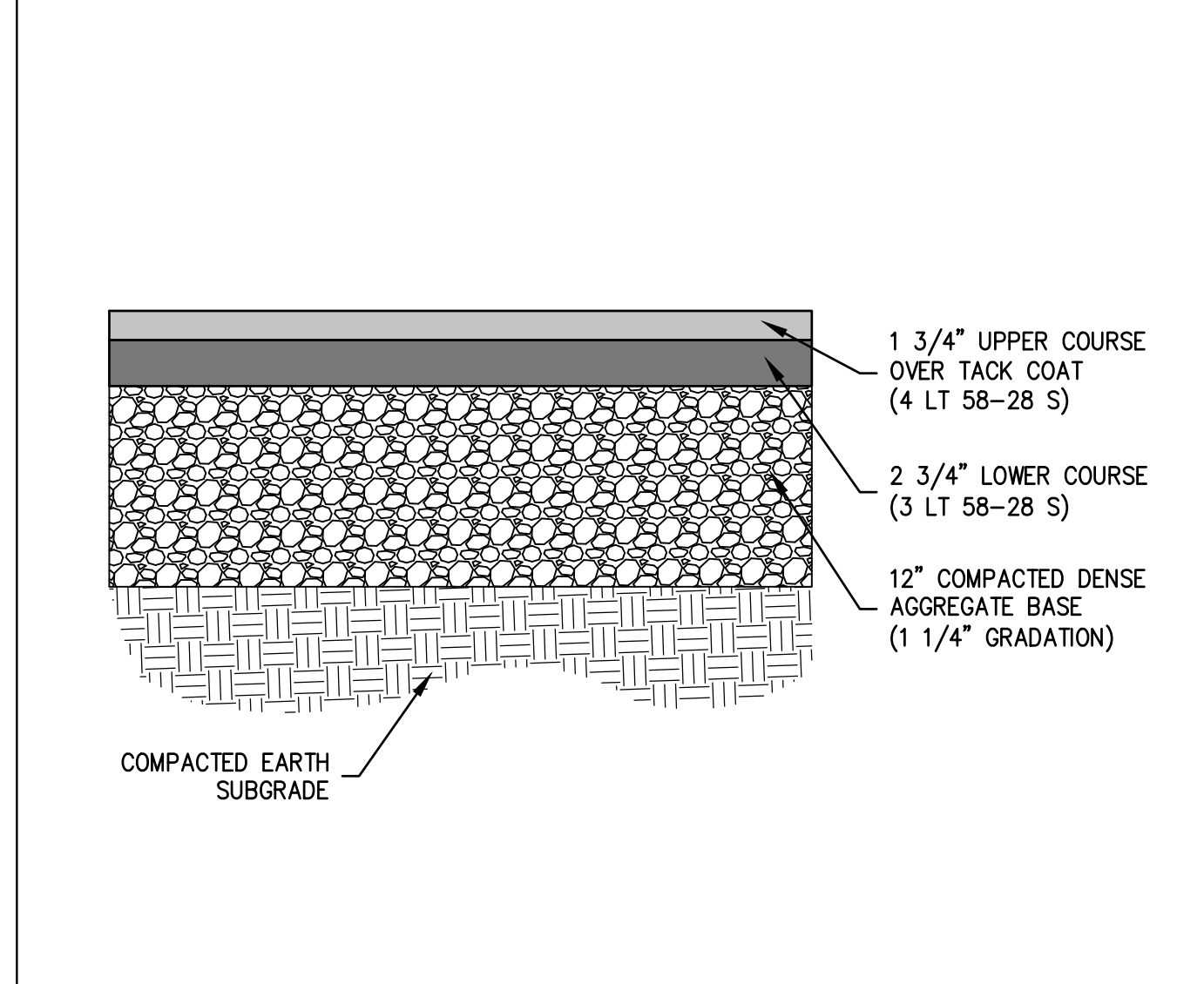
STRUCTURE DIAMETER (A)*	MINIMUM WALL THICKNESS (B)**	MINIMUM BASE AND TOP THICKNESS (C)**
4'	5"	6"
5'	6"	8"
6'	7"	8"
7'	8"	8"
8'±	9"	8"

*STRUCTURE DIAMETER SHALL BE STANDARD 48" UNLESS OTHERWISE NOTED ON PLAN
**MINIMUM THICKNESS SHALL NOT BE LESS THAN THAT REQUIRED TO MEET AASHTO H-20 LOADINGS

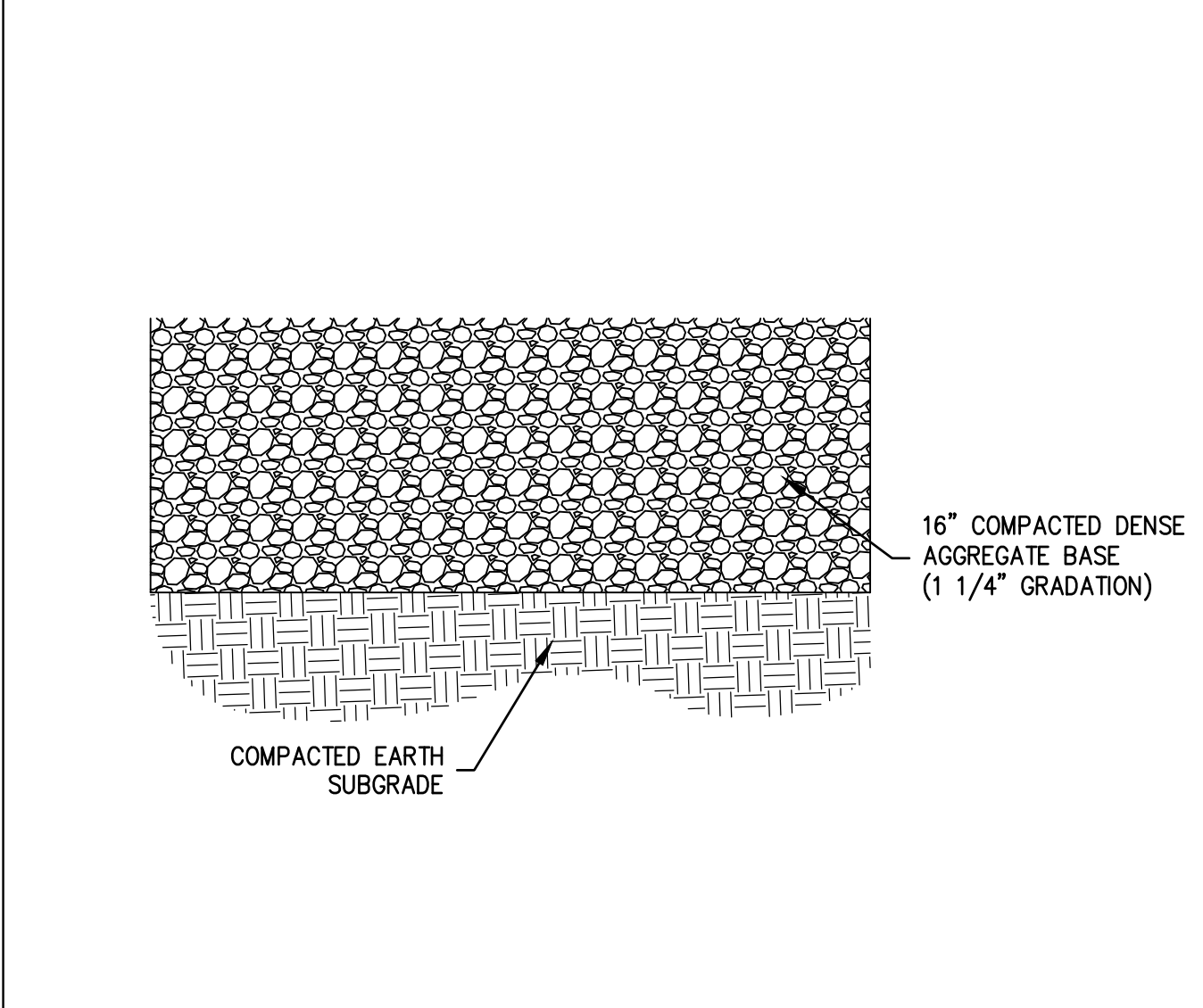
1 STANDARD STORM SEWER MANHOLE DETAIL N.T.S.



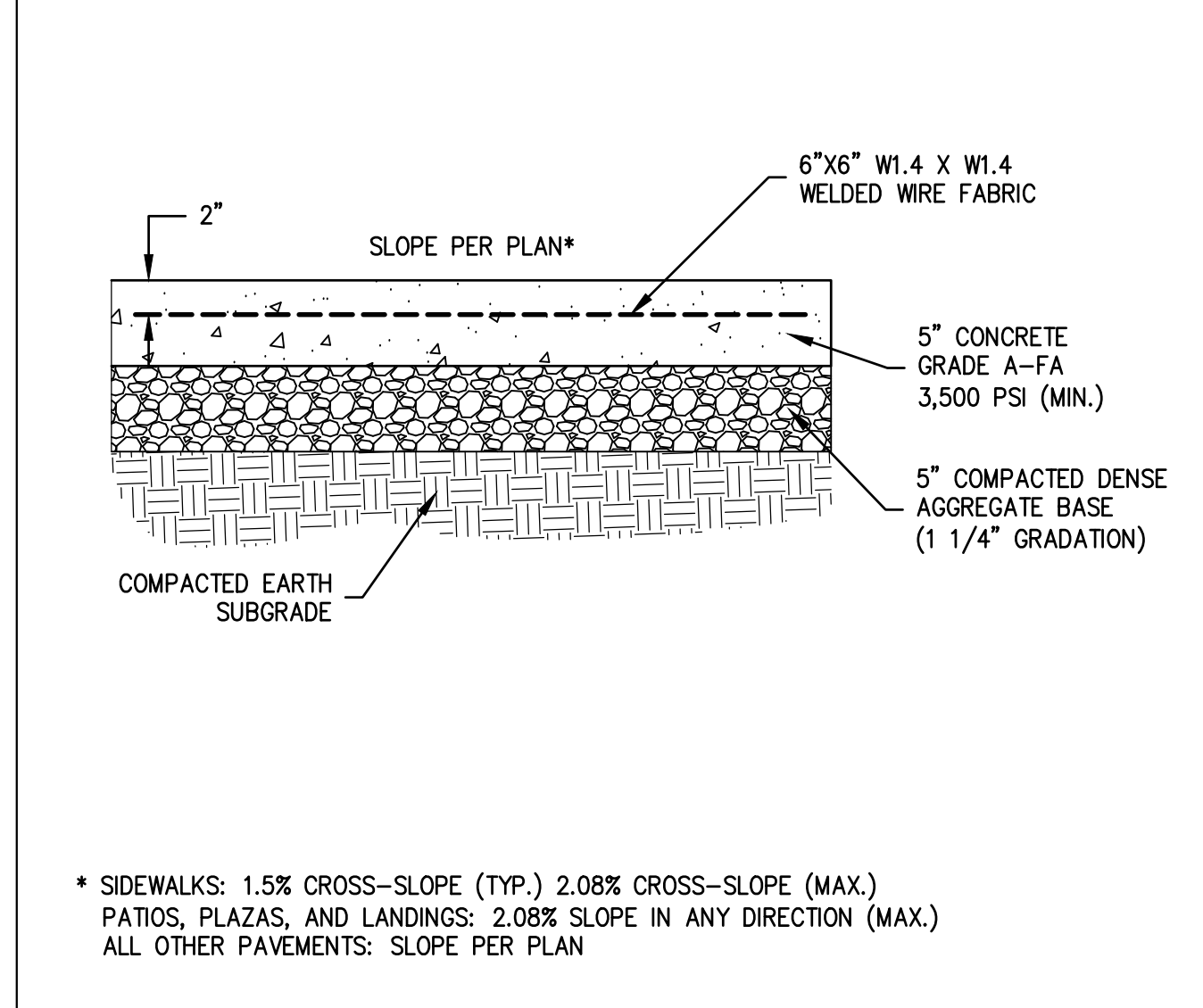
7 MEDIUM-DUTY ASPHALT PAVEMENT (3 3/4") (TYPICAL SECTION) N.T.S.



8 HEAVY-DUTY ASPHALT PAVEMENT (4 1/2") (TYPICAL SECTION) N.T.S.



9 HEAVY-DUTY AGGREGATE BASE (16") (TYPICAL SECTION) N.T.S.



10 LIGHT-DUTY CONCRETE PAVEMENT (5") (TYPICAL SECTION) N.T.S.

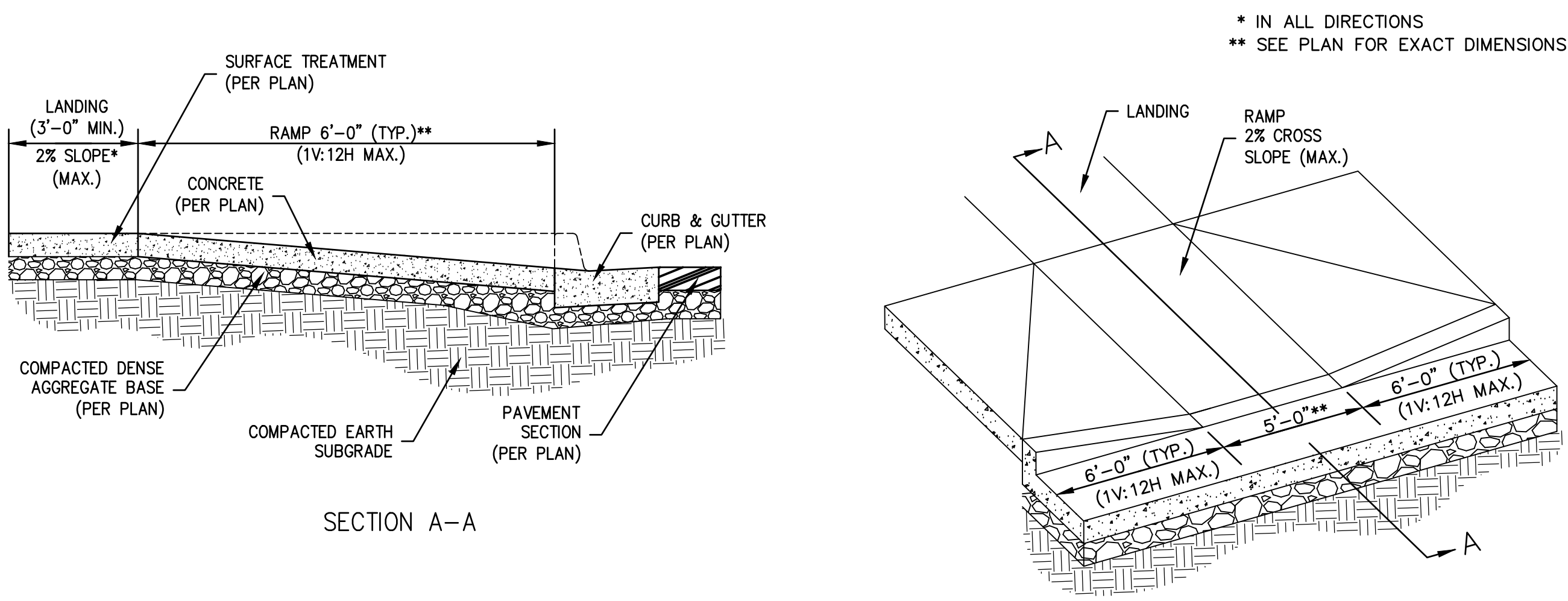
* SIDEWALKS: 1.5% CROSS-SLOPE (TYP.) 2.08% CROSS-SLOPE (MAX.)
PATIOS, PLAZAS, AND LANDINGS: 2.08% SLOPE IN ANY DIRECTION (MAX.)
ALL OTHER PAVEMENTS: SLOPE PER PLAN



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS

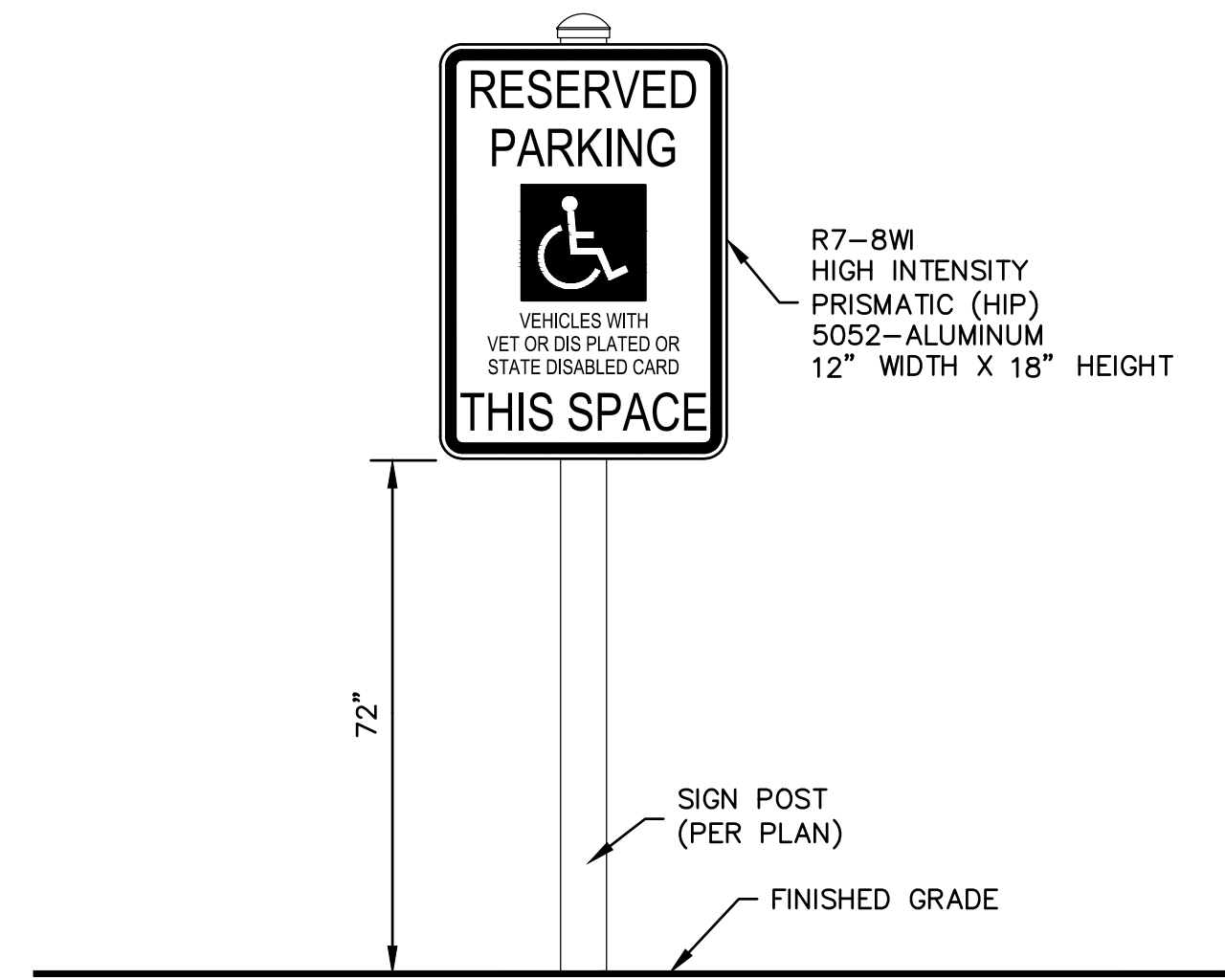
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

MILWAUKEE POWERSPORTS
TYPICAL SECTIONS & CONSTRUCTION DETAILS
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN



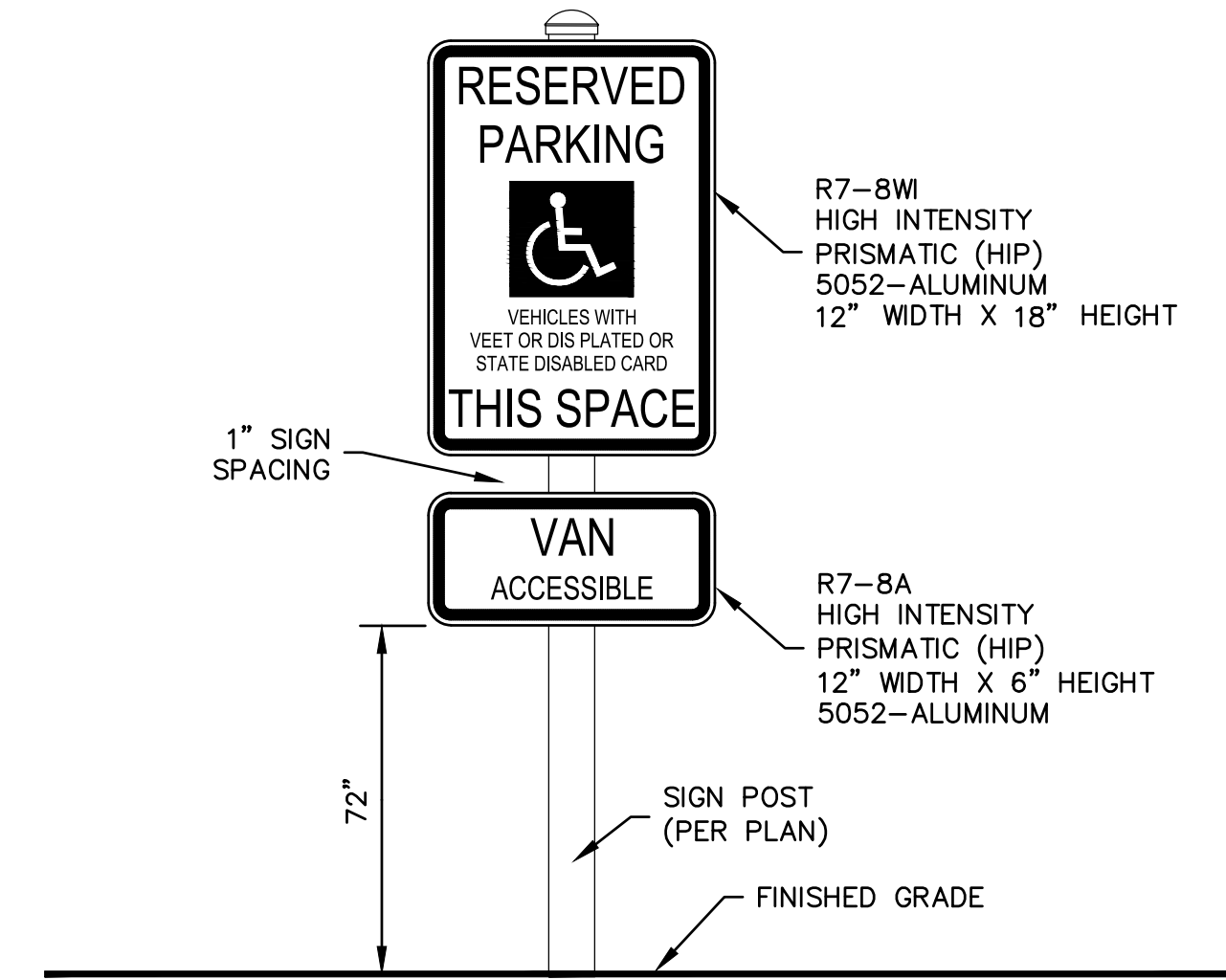
1 CONCRETE CURB AND GUTTER (72\"/>

N.T.S.



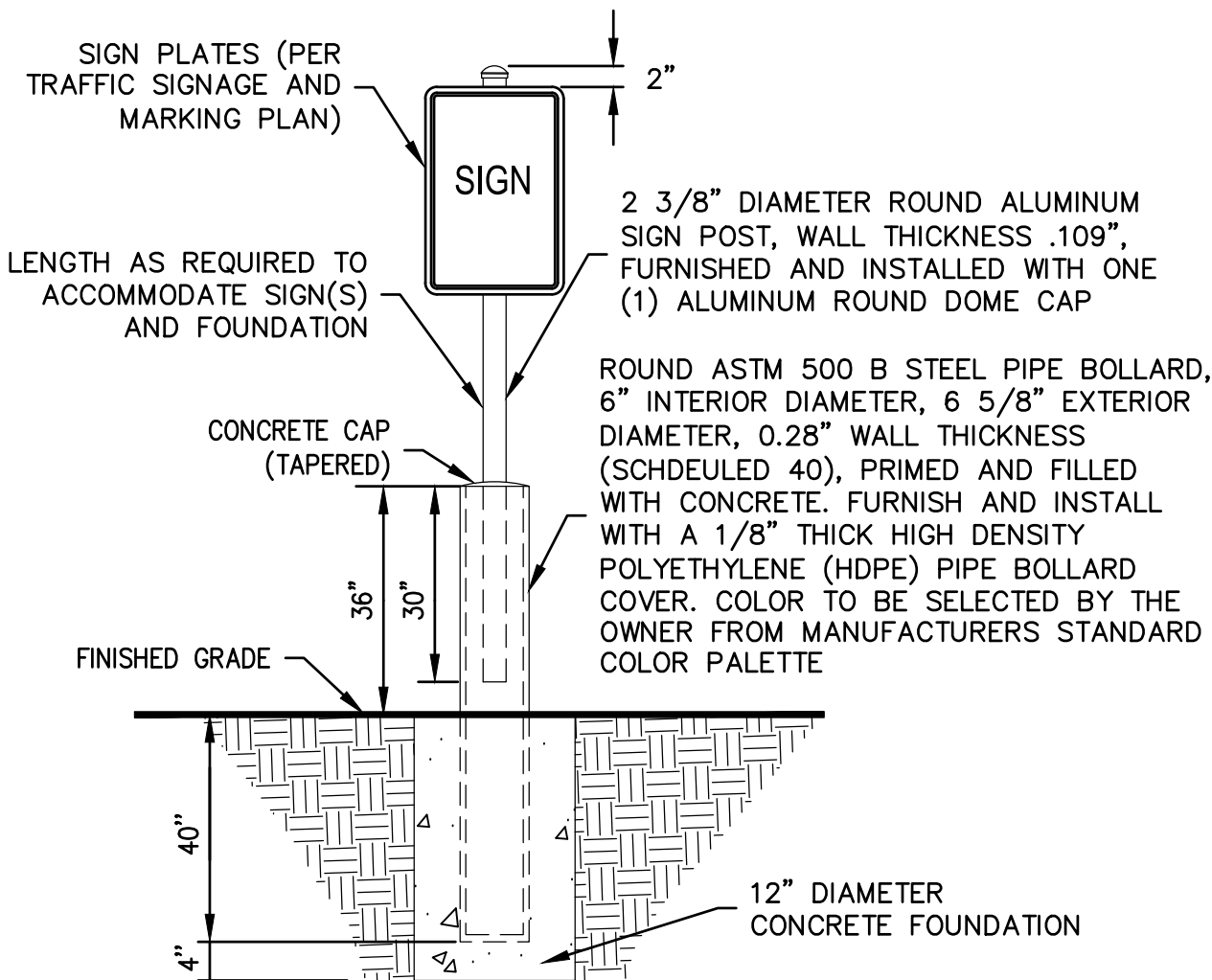
2 ADA "RESERVED PARKING" SIGN DETAIL

N.T.S.



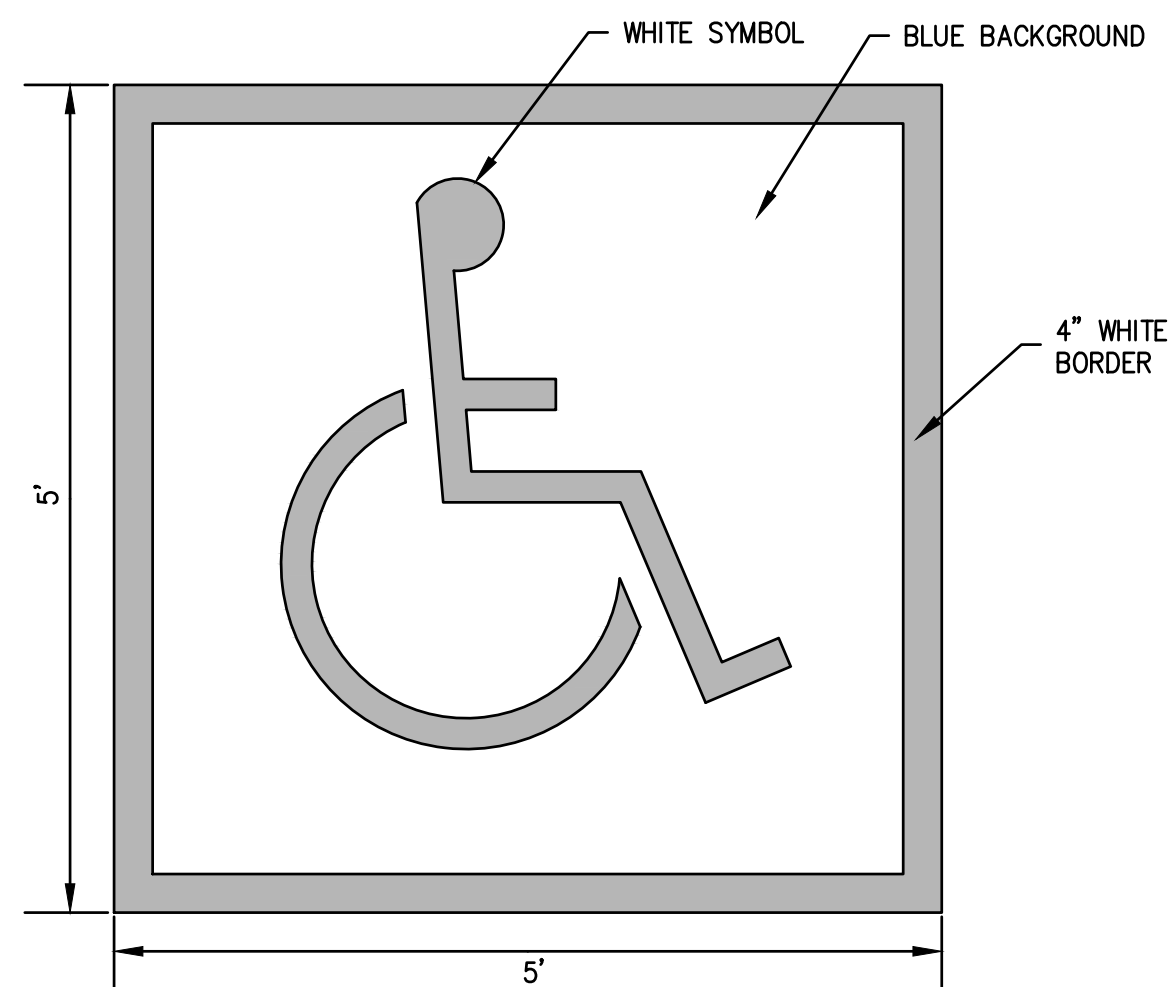
3 ADA "RESERVED PARKING VAN ACCESSIBLE" SIGN DETAIL

N.T.S.



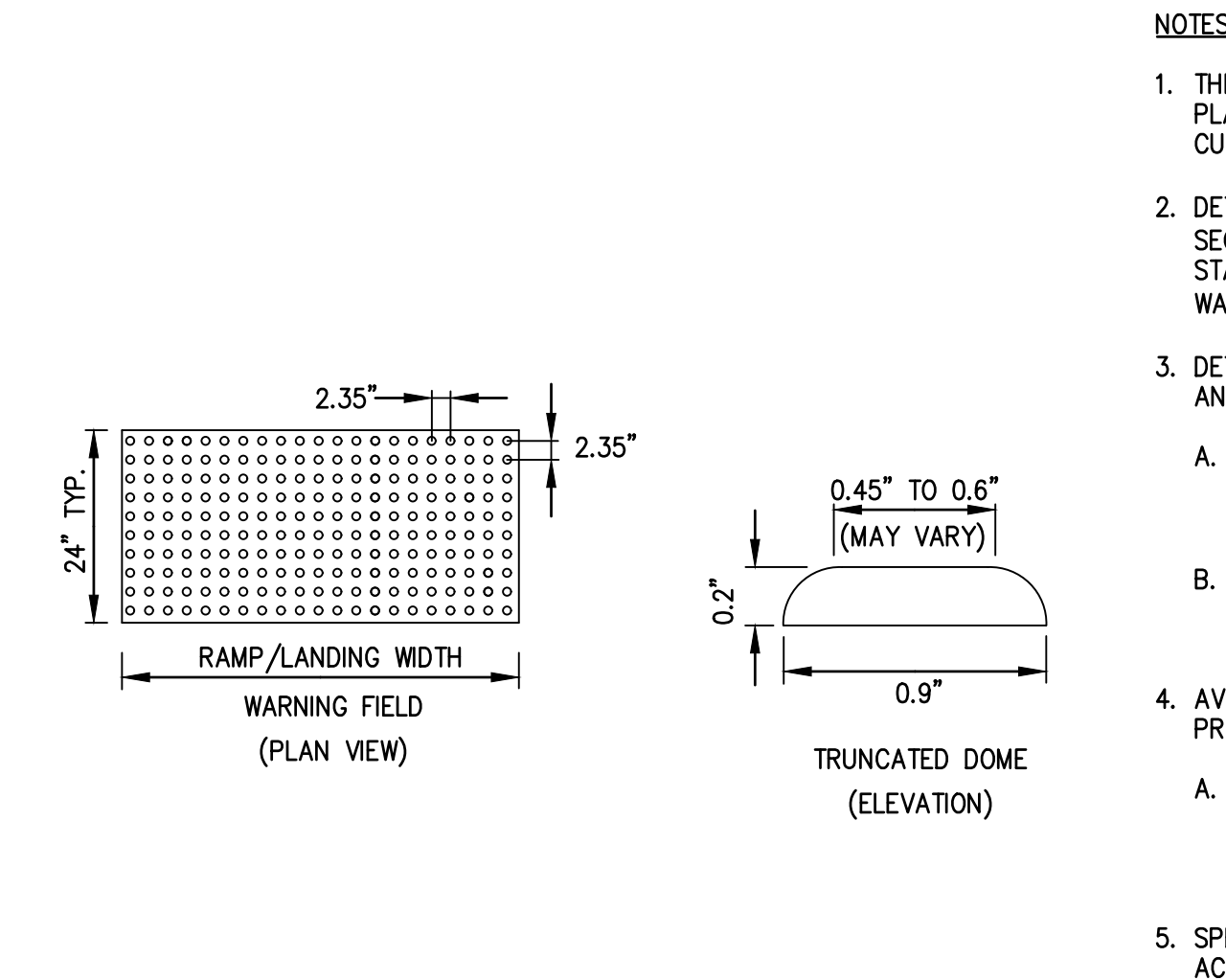
4 ALUMINUM ROUND SIGN POST W/
6\"/>

N.T.S.



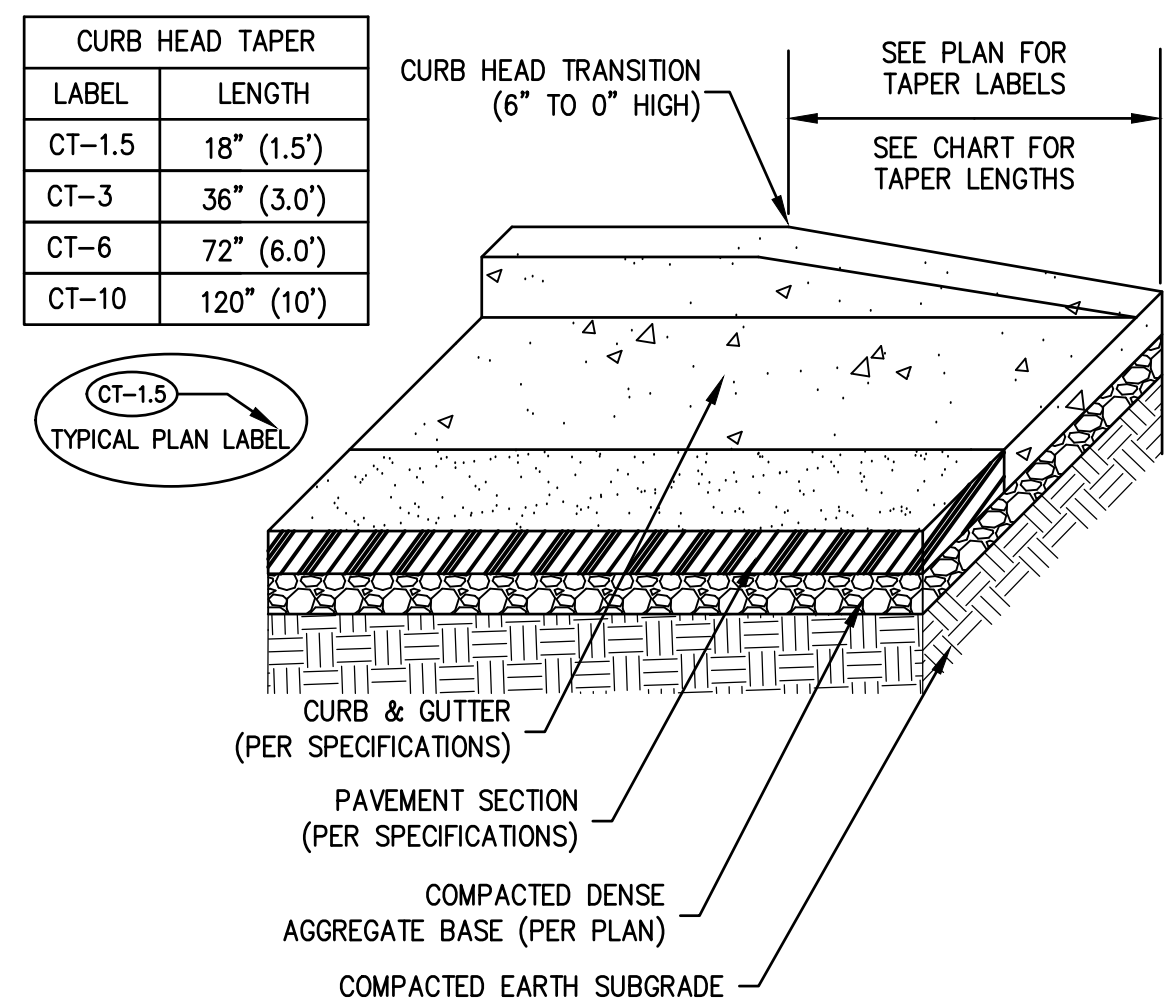
5 PAINTED INTERNATIONAL SYMBOL
FOR ACCESSIBILITY DETAIL

N.T.S.



6 DETECTABLE WARNING FIELD
DETAIL

N.T.S.



7 CURB HEAD TAPER DETAIL

N.T.S.

NOTES:

- THIS WORK WILL CONSIST OF FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR NECESSARY FOR THE PLACEMENT OF DETECTABLE WARNING DEVICES, COMPLETE AND READY FOR SERVICE AT ALL NEW SIDEWALK CURB RAMPS OR WHERE SHOWN ON THE PLAN.
- DETECTABLE WARNING FIELDS SHALL COMPLY WITH "THE DETECTABLE WARNINGS ON WALKING SURFACES" SECTION OF THE AMERICANS WITH DISABILITIES ACT (TITLE 49 CFR TRANSPORTATION, PART 37.9 STANDARDS FOR ACCESSIBLE TRANSPORTATION FACILITIES, APPENDIX A, SECTION 4.29.2 DETECTABLE WARNINGS ON WALKING SURFACES).
- DETECTABLE WARNING FIELDS SHALL EXTEND 24 INCHES (610 MM) MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP FLUSH SURFACE.
 - THE DETECTABLE WARNING FIELD SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB OR EDGE OF PAVEMENT IS 6 INCHES (150 MM) MINIMUM AND 8 INCHES (205 MM) MAXIMUM FROM THE FACE OF THE CURB OR EDGE OF PAVEMENT.
 - TRUNCATED DOMES SHALL BE ALIGNED ON A SQUARED GRID, ALIGNED IN ROWS PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. DOMES MUST NOT BE SKEWED DIAGONALLY TO THE DIRECT OF TRAVEL.
- AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED IN THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - CAST IN PLACE REPLACEABLE TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ADA SOLUTIONS, INC., CHELMSFORD, MA OR PRE-APPROVED EQUAL.
 - COLOR OF THE DETECTABLE WARNING FIELD SHALL BE SELECTED BY THE OWNER.
- SPECIFICATIONS FOR CONCRETE SEALANT AND OTHER RELATED MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE GUIDELINES SET BY THEIR RESPECTIVE MANUFACTURERS.

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MDE
DRAFTED: _____ JPL
DATE: 12-20-2024
CHECKED: _____ MDE
DATE: 12-20-2024

2023.0160.01

SHEET
C-9

ISSUE FOR REVIEW (12-20-2024)

INTERSTATE HIGHWAY "94" INTERSTATE HIGHWAY/UNITED STATES HIGHWAY "41"

COUNTY TRUNK HIGHWAY "K"

S 27TH STREET - WEST FRONTIER ROAD

PROPOSED RETENTION BASIN

PROPOSED BUILDING
(37,562 SQ.FT.)

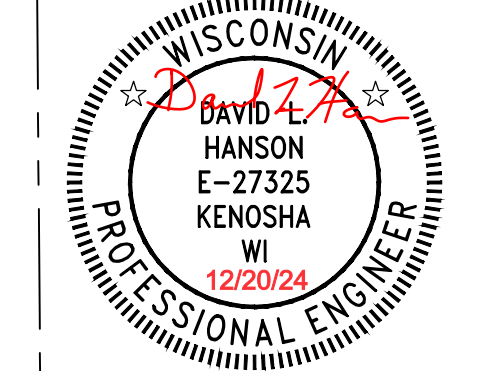
OUTDOOR VEHICLE STORAGE LOT
(24,025 SQ.FT.)

(FUTURE INDOOR VEHICLE STORAGE)
(22,331 SQ.FT.)

(FUTURE INDOOR VEHICLE STORAGE)
(32,500 SQ.FT.)

168-04-21-25-006-002

- SHEET NOTES
- ① GENERAL NOTE: FOOT CANDLES SHOWN WITH 1.00 LIGHT LUMEN DEPRECIATION FACTOR.
 - ② GENERAL NOTE: LIGHT COLOR TEMPERATURE IS 4000K.
 - ③ GENERAL NOTE: EXTERIOR LIGHTING SHALL BE CONTROLLED BY PHOTOCELL, TIME CLOCK AND CONTACTORS. AN ASTRONOMICAL TIME CLOCK AND LIGHTING CONTACTORS OR A LIGHTING CONTROL PANEL WITH ASTRONOMICAL TIME CLOCK FUNCTION WITH PHOTOCELL INPUT, ANY TIME CLOCKS AND LIGHTING CONTROL PANELS SHALL HAVE TEN HOUR MINIMUM BATTERY BACK UP OR EQUAL. CONTROLS SHALL BE DESIGNED TO MEET STATE AND IECC ENERGY CODES. EXTERIOR LIGHTING TO BE CONTROLLED PER INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015 AND WISCONSIN SPS 363 ENERGY CONSERVATION CODE. PARKING LOT LIGHTING SHALL BE REDUCED BY NOT LESS THAN 30% FROM ONE HOUR AFTER CLOSING TO ONE HOUR BEFORE OPENING. VERIFY LIGHTING CONTROL OPERATION WITH OWNER.
 - ④ GENERAL NOTE: VERIFY BUILDING VOLTAGES FOR LIGHTING CIRCUITS.
 - ⑤ CENTER LIGHT APPROXIMATELY 18' 9" AFG.
 - ⑥ CENTER LIGHT APPROXIMATELY 14' 9" AFG.



SHEET INDEX

E1	SITE LIGHTING PLAN
E2	LIGHT FIXTURE SCHEDULE, DETAILS, ENERGY CALCULATIONS
E3	LIGHT FIXTURE CUT SHEETS
E4	LIGHT FIXTURE CUT SHEETS
E5	LIGHT FIXTURE CUT SHEETS

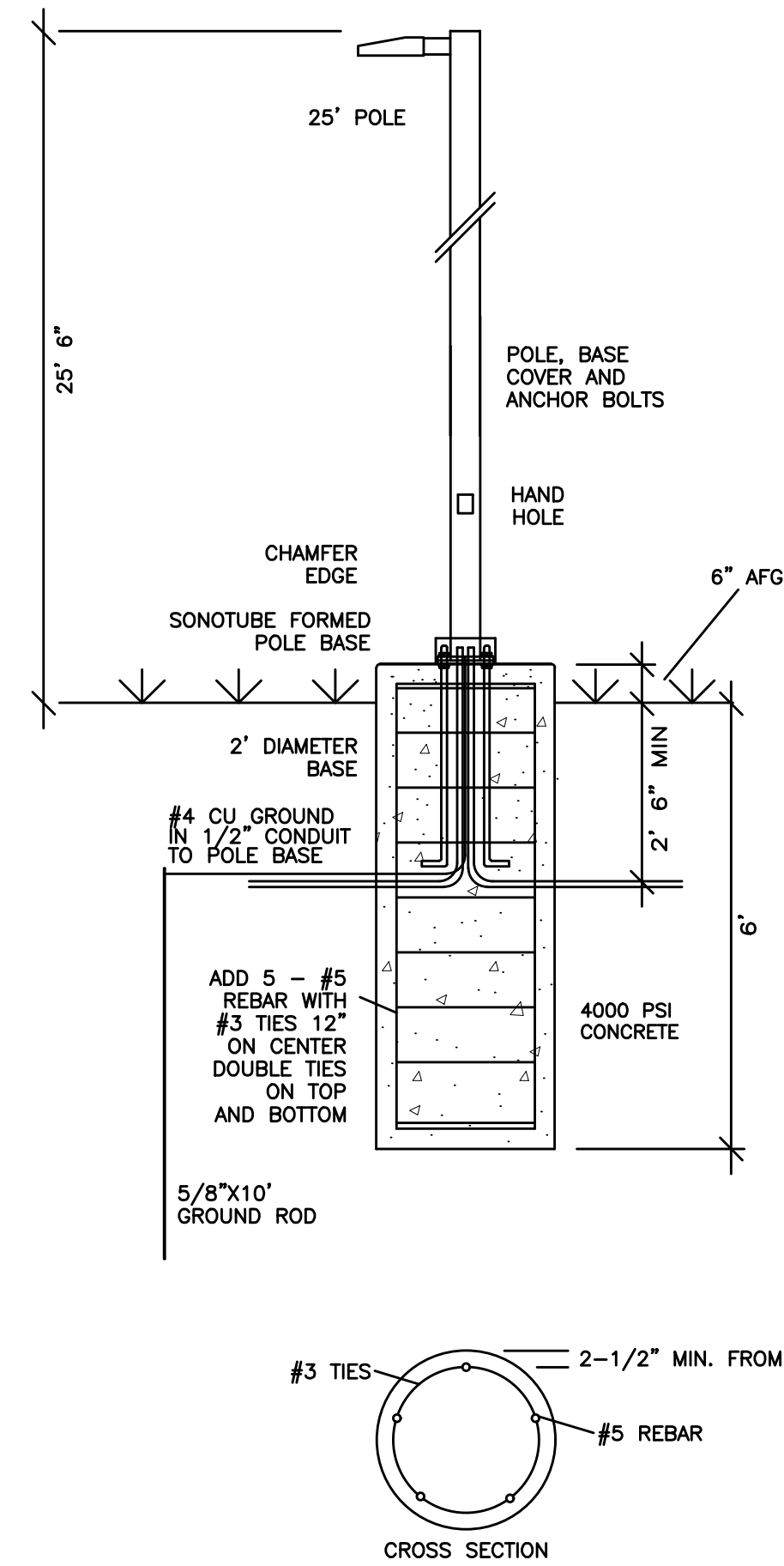
REVISIONS	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DAVID L. HANSON AND ASSOCIATES, INC.
3940 - 85 STREET
KENOSHA, WI 53142
(262) 654-2010

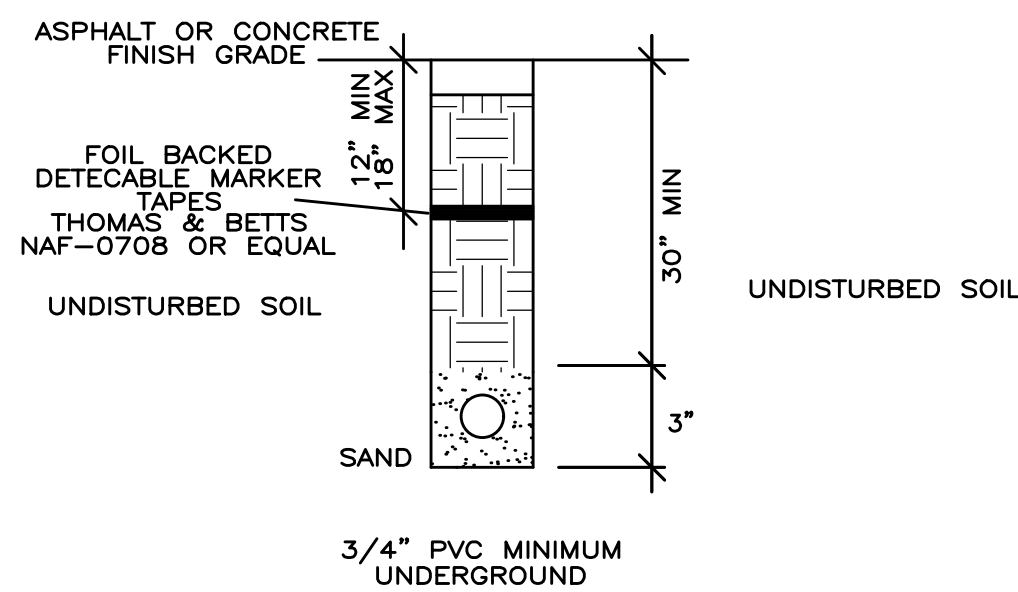
DATE: 12/20/24
BY: DLH

MILWAUKEE POWERSPORTS SITE LIGHTING PLAN FOR CEDAR CREEK MOTORSPORTS VILLAGE OF RAYMOND, RACINE COUNTY, STATE OF WISCONSIN

SHEET E1 OF 5



1 TYPICAL 25' LIGHT POLE BASE



2 TYPICAL TRENCHING DETAIL

COMcheck Software Version 4.1.5.5
Exterior Lighting Compliance Certificate

Project Information
 Energy Code: 2015 IECC
 Project Title: Milwaukee Powersports
 Project Type: New Construction
 Exterior Lighting Zone: 4 (High activity metropolitan commercial district (L24))

Construction Site: South 27th Street and I-94, Raymond, WI
 Owner/Agent: Milwaukee Powersports
 Designer/Contractor: David Hanson, Hanson and Associates, Inc., 3940 - 85 Street, Kenosha, WI 53142

Area/Surface Category	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B X C)
Parking/Drive (Parking area)	78095 R2	0.13	Yes	10152
South Drive/Storage (Driveway)	12535 R2	0.13	Yes	1630
Main entry	6 ft of door	30	Yes	180
Other door (not main entry)	27 ft of door	20	Yes	540
Total Tradable Watts (a) =				12502
Total Allowed Watts =				12502
Total Allowed Supplemental Watts (b) =				1300

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.
 (b) A supplemental allowance equal to 1300 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D E (C X D) Watt.
Parking/Drive (Parking area 78095 R2): Tradable Wattage			
LED 1: OA: Other	1	1	125
LED 2: OB: Other	2	4	250
LED 3: OC: Other	1	2	167
LED 4: copy 1: OD: Other	1	2	94
South Drive/Storage (Driveway 12535 R2): Tradable Wattage			
LED 4: OD: Other	1	4	376
Main entry (6 ft of door width): Tradable Wattage			
LED 6: OE: Other	1	1	69
Other door (not main entry) (27 ft of door width): Tradable Wattage			
LED 6: OF: Other	1	3	207
LED 8: OS: Other	1	2	38
LED 9: OS: Other	1	2	28
Total Tradable Proposed Watts = 2363			

Project Title: Milwaukee Powersports
 Data Filename: C:\Users\12626\Documents\MILWAUKEE POWER SPORTS\comcheck\Milwaukee Powersports.cck
 Report date: 12/20/24
 Page 1 of 6

COMCHECK LIGHTING ENERGY CALCULATIONS

LIGHTING FIXTURE SCHEDULE															
TYPE	DESCRIPTION	MFG.	CATALOG NO.	VOLTAGE	NO.	LAMP	BALLAST/DRIVER	TOTAL FIXTURE LBS	POLE (MAX. FIXTURE LBS @ 90 MPH)	TOTAL FIXTURE EPA	MAX POLE EPA (90MPH WIND)	LINE AMPS	WATTS	MOUNT	NOTES
OA	PARKING POLE: SINGLE TYPE T3M OPTIC	LITHONIA	DSX1-LED-P4-40K-70CRI-T3M-MVOLT-SPA-DDBXD	-	1	LED, 4,000K, 16,032 LUMENS, 129 LPW	1250mA LED	34 LBS	50 LBS	.69	2	-	125	25' POLE/6" AFG BASE	1,2,3,5
OB	PARKING POLE: DOUBLE TYPE T3M OPTIC	LITHONIA	(2) DSX1-LED-P4-40K-70CRI-T3M-MVOLT-SPA-DDBXD	-	2	LED, 4,000K, 16,032 LUMENS, 129 LPW	1250mA LED	68 LBS	138 LBS	1.38	5.5	-	250	25' POLE/6" AFG BASE	1,2,4,5
OC	PARKING POLE: SINGLE TYPE T3M OPTIC	LITHONIA	DSX1-LED-P6-40K-70CRI-T3M-MVOLT-SPA-DDBXD	-	1	LED, 4,000K, 20,989 LUMENS, 127 LPW	1250mA LED	34 LBS	50 LBS	.69	2	-	167	25' POLE/6" AFG BASE	1,2,3,5
OD	WALL MOUNT AREA TYPE T3M OPTIC	LITHONIA	DSX0-LED-P4-40K-70CRI-T3M-MVOLT-WBA-HS-DDBXD	-	1	LED, 4,000K, 11,374 LUMENS, 122 LPW	-	-	-	-	-	-	94	SURFACE	1
OE	WALL MOUNT AREA TYPE T3M OPTIC	LITHONIA	DSX0-LED-P3-40K-70CRI-T3M-MVOLT-WBA-HS-DDBXD	-	1	LED, 4,000K, 8,795 LUMENS, 128 LPW	-	-	-	-	-	-	69	SURFACE	1
OF	8" CANLESS WAFER DOWNLIGHT	JUNO	WF8-SWW5-90CRI-COLOR	120	1	LED, 4,000K, 1,690 LUMENS, 89 LPW	-	-	-	-	-	.17	19	RECESSED	6
OG	6" CANLESS WAFER DOWNLIGHT	JUNO	WF6-SWW5-90CRI-COLOR	120	1	LED, 4,000K, 1,000 LUMENS, 76 LPW	-	-	-	-	-	.11	13	RECESSED	6

1. BRONZE.
 2. VERIFY VOLTAGE AT BUILDING PANELS TO PROVIDE CIRCUITS TO LIGHTS (120V-277V).
 3. 4" SQUARE, .12" THICK, DARK BRONZE, 25' POLE FOR ONE LIGHT AT 90 DEGREES. LITHONIA SSS-25-4C-DM19AS-DDBXD. INCLUDE TEMPLATE AND ANCHOR BOLTS.
 4. 4" SQUARE, .179" THICK, DARK BRONZE, 25' POLE FOR TWO LIGHTS AT 90 DEGREES. LITHONIA SSS-25-4G-DM28AS-DDBXD. INCLUDE TEMPLATE AND ANCHOR BOLTS.
 5. EPA WITH 3 SECOND GUST PER AASHTO 2013.
 6. TRIM RING COLOR (MATTE WHITE, MATTE BLACK, BRUSHED NICKEL, OIL RUBBED BRONZE) TO BE SELECTED BY OWNER. INCLUDE CONSTRUCTION PAN AND EXTENSION CABLES AS REQUIRED.

SHEET INDEX
 E1 SITE LIGHTING PLAN
 E2 LIGHT FIXTURE SCHEDULE, DETAILS, ENERGY CALCULATIONS
 E3 LIGHT FIXTURE CUT SHEETS
 E4 LIGHT FIXTURE CUT SHEETS
 E5 LIGHT FIXTURE CUT SHEETS

NO.	DATE	DESCRIPTION

DAVID L. HANSON AND ASSOCIATES, INC.
 3940 - 85 STREET
 KENOSHA, WI 53142
 (262) 654-2010

DATE: 12/20/24

BY: DLH

MILWAUKEE POWERSPORTS
 SITE LIGHTING PLAN
 FOR
 CEDAR CREEK MOTORSPORTS
 VILLAGE OF RAYMOND, RACINE COUNTY, STATE OF WISCONSIN

SHEET E2 OF 5

D-Series Size 1 LED Area Luminaire

Specifications
 Length: 0.69 ft (8.3 in)
 EPA: 32.71 (34.1 in)
 Width: 14.26" (14.26")
 Height H1: 2.80" (2.80")
 Height H2: 2.73" (2.73")
 Weight: 34 lbs (15.4 kg)

Ordering Information
 EXAMPLE: DSX1 LED P7 40K 70CRI Y3M MVOLT SPL NTAIRRH DRH DDXB

Series	Size	Color/Temp	LED Quantity	Beam Angle	Optical	Mounting	Options
DSX1	P7	40K	70CRI	30°	Y3M	SP	None
	P7	40K	70CRI	30°	Y3M	SP	EA
	P7	40K	70CRI	30°	Y3M	SP	OC
	P7	40K	70CRI	30°	Y3M	SP	EA, OC

TYPE OA, OB AND OC LIGHTS

Ordering Information

Accessories

Shield Accessories

Drilling

Hand Orientation

DSX1 Area Luminaire - EPA

Mounting Type	Beam Angle	1.0m Footcandle	1.5m Footcandle	2.0m Footcandle
DSX1 with SP, SWN	30°	1.38	1.22	1.18
DSX1 with SP, SWN	30°	1.38	1.22	1.18
DSX1 with SP, SWN	30°	1.38	1.22	1.18

TYPE OA, OB AND OC LIGHTS

Photometric Diagrams

Includes photometric diagrams for the DSX1 LED P7 40K 70CRI. Shows beam spread, footcandle distribution at various heights, and photometric curves.

TYPE OA, OB AND OC LIGHTS

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Temperature (°C)	Multiplier
0°C	1.0
10°C	0.98
20°C	0.96
30°C	0.94
40°C	0.92
50°C	0.90
60°C	0.88
70°C	0.86
80°C	0.84
90°C	0.82
100°C	0.80

Projected Lumen Maintenance

Hours	LM-80 %
0	100
10,000	90
20,000	82
30,000	75
40,000	68
50,000	62
60,000	56
70,000	50
80,000	45
90,000	40
100,000	35

Electrical Load

Power (W)	Current (A)	Voltage (V)
100	0.83	120
200	1.67	120
300	2.50	120
400	3.33	120
500	4.17	120

FAO Dimming Settings

FAO	Dimming Level	Beam Spread
1	100%	30°
2	80%	35°
3	60%	40°
4	40%	45°
5	20%	50°

Motion Sensor Default Settings

Setting	Default	Options
Light Level	10 lux	1, 5, 10, 20, 30, 50, 100, 200 lux
Dark Level	1 lux	0.5, 1, 2, 3, 5, 10, 20, 30, 50, 100 lux
Time Delay	30 sec	5, 10, 20, 30, 45, 60, 90, 120, 150, 300 sec
Re-trigger	On	Off

Controls Options

Option	Description
FAO	FAO dimming interface
Motion Sensor	Motion sensor with PIR and photo eye
Photo Eye	Photo eye sensor
Photocell	Photocell for ambient light control
Control Panel	Control panel with buttons
Remote Control	Remote control
Intercom	Intercom for manual control

TYPE OA, OB AND OC LIGHTS

Performance Data

Lumen Output

Series	Size	Color/Temp	LED Qty	Beam Angle	Footcandle @ 1.0m	Footcandle @ 1.5m	Footcandle @ 2.0m
TYPE OA AND OB	P4	120W	30	150°	138	106	80
					146	112	84
					154	118	89
TYPE OC	P6	120W	30	180°	154	118	89
					162	124	94
					170	130	99

TYPE OA, OB AND OC LIGHTS

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

CONSTRUCTION

ANCHOR BASE POLES

SQUARE STRAIGHT STEEL

ANCHOR BASE POLES

SQUARE STRAIGHT STEEL

TYPE OA, OB AND OC POLES

SSS Square Straight Steel Poles

TECHNICAL INFORMATION - EPA (ft) WITH 1.3 gуст

Series	Height	Material	Weight	Max. Height	Max. Weight	Approx. Ship Weight
SSS	10	40	100	12	100	100
SSS	12	40	150	15	150	150
SSS	15	40	200	20	200	200

TYPE OA, OB AND OC POLES

SSS Square Straight Steel Poles

TECHNICAL INFORMATION - EPA (ft) WITH 1.3 gуст

Series	Height	Material	Weight	Max. Height	Max. Weight	Approx. Ship Weight
SSS	18	40	300	25	300	300
SSS	20	40	400	30	400	400
SSS	25	40	500	40	500	500

TYPE OA, OB AND OC POLES

REVISIONS									

DAVID L. HANSON AND ASSOCIATES, INC.
 3940 - 85 STREET
 KENOSHA, WI 53142
 (262) 654-2010

DATE: 12/20/24

BY: DLH

MILWAUKEE POWERSPORTS
 SITE LIGHTING PLAN
 FOR
 CEDAR CREEK MOTORSPORTS
 VILLAGE OF RAYMOND, RACINE COUNTY, STATE OF WISCONSIN

Juno Juno Wafer™ LED Downlight Series
4', 6' & 8' LED Ultra-Thin Wafer Switchable Downlight
SCCT Switchable White Downlight

ORDERING INFORMATION

Part No.	Size Style	Color Temperature	Beam Angle	Finish
WF4	4" Round	SWWS	30°	White
WF6	6" Round	SWWS	30°	White
WF8	8" Round	SWWS	30°	White

Accessories: Order as separate catalog items.

Part No.	Description
WF643 PAN	Universal New Construction Pan
WF4 PAN F12	4" New Construction pan, sold part of F12
WF6 PAN F12	6" New Construction pan, sold part of F12
WF8 PAN F12	8" New Construction pan, sold part of F12
WF4B BZ	4" New Construction pan, sold part of BZ
WF6B BZ	6" New Construction pan, sold part of BZ
WF8B BZ	8" New Construction pan, sold part of BZ
WF4B	Remolded 4" pan
WF6B	Remolded 6" pan
WF8B	Remolded 8" pan
WF4C SW/WH F12	4" New Construction pan, sold part of F12
WF6C SW/WH F12	6" New Construction pan, sold part of F12
WF8C SW/WH F12	8" New Construction pan, sold part of F12
WF4C SW/WH	Remolded 4" pan
WF6C SW/WH	Remolded 6" pan
WF8C SW/WH	Remolded 8" pan

PERFORMANCE DATA

Part No.	W4	W6	W8
Input Voltage	120V	120V	120V
Input Power Typical	19W (1.5/50)	139W (1.5/50)	199W (1.5/50)
Frequency	60Hz	60Hz	60Hz
UL/ETL	ICC ENEC, Part 15, Class 1 (Commercial)	ICC ENEC, Part 15, Class 1 (Commercial)	ICC ENEC, Part 15, Class 1 (Commercial)
Minimum Starting Temp	-40°F (-40°C)	-40°F (-40°C)	-40°F (-40°C)

Lighting Performance Data

Part No.	W4	W6	W8
Light Output (lm)	1800	12600	18000
Beam Diameter (ft)	1.5	1.5	1.5
Beam Diameter (in)	18	18	18
Beam Spread (ft)	1.5	1.5	1.5
Beam Spread (in)	18	18	18
Beam Spread (mm)	457	457	457
Beam Spread (m)	0.47	0.47	0.47
Beam Spread (cm)	4.7	4.7	4.7
Beam Spread (mm)	47	47	47
Beam Spread (m)	0.47	0.47	0.47
Beam Spread (cm)	4.7	4.7	4.7
Beam Spread (mm)	47	47	47

AcuityBrands One Ikonius Way • Conyers, GA 30012 • Phone 1-800-705-SEEV (7378) • Visit us at www.acuitybrands.com
Printed in U.S.A. © 2021-2024 Acuity Brands Lighting, Inc. Rev. 12/11/24 Light Commercial & Residential 2 of 9

TYPE OF, OG

Juno Juno Wafer™ LED Downlight Series
4', 6' & 8' LED Ultra-Thin Wafer Switchable Downlight
SCCT Switchable White Downlight

Specifications

Housing
Polycarbonate injection molded outer frame, with steel back plate. Nonconductive dead-front trim design suitable for a wide range of applications and codes requiring a nonconductive lens. • F12 3-pin platinum rated cable connector to connect from module to remote driver box • Steel spring clip for easy installation. 4", 6" or 8" cut out template is provided to ensure a correct sized hole is cut into ceiling for proper installation of the trim. Size of hole should not exceed 4 1/4" for the WF4, 6 1/4" for the WF6 and 8 1/4" for the WF8. • Can be installed from 5/8" to 1 1/2" ceiling thickness. • Can be removed from below the ceiling for service or replacement.

Optical System
Edge™ LED technology uses light guided plate to distribute light. • Polycarbonate lens provides even illumination throughout the space. • Efficient system that can produce over 670 lumens while using 9W (WF4), 970 lumens while using 139W (WF6) and 1440 lumens while using 199W (WF8). • Replaces 65W incandescent (WF4), 75W incandescent (WF6) and 100W incandescent (WF8).

Life
Rated for 50,000 hours at 70% lumen maintenance.

Labels
CSA certified to US and Canadian safety standards. • ENERGY STAR® certified product. • Suitable for wet location, covered ceiling. • AULOC certified in accordance with ASTM E283-2004. • NDM Certified. • Can be used to comply with California Title 24 Part 6 High Efficiency LED Light Source Requirements. • U.S. Patent No. 10,681,784.

Testing
All reports are based on published industry procedures; field performance may differ from laboratory performance.

Warranty
3 year limited warranty. This is the only warranty provided and no other statements in this specification shall create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Driver
Connect directly to 120V Class 2 (CAN ICES-005 (B) / NMB-005 (B)) LED driver. • 120V 60 Hz constant current driver provides noise free operation. • IC rated driver with convenience of a switch to choose between 5 selectable color temperature options ranging from 2700K (warm white), 3000K, 3500K, 4000K or 5000K (daylight). • The isolated driver integrated inside steel remote box with four 7/8" knockouts with slots for ground. Suitable for pulling wires with the 12 conductor wiring compartment to accommodate up to (6) 14 gauge insulated conductor or (4) 12 gauge insulated conductors, making the Wafer LED Downlights much easier to wire in 2x4/2x6 (plus ground) dry-chain applications and contractor friendly. • 2" plenum space required for the installation of the WF4 driver box. • Suitable for installation in rigid and drop ceiling applications with universal new construction pan.

Accessories: Order as separate catalog items.

Part No.	Description
WF643 PAN	Universal New Construction Pan
WF4 PAN F12	4" New Construction pan, sold part of F12
WF6 PAN F12	6" New Construction pan, sold part of F12
WF8 PAN F12	8" New Construction pan, sold part of F12
WF4B BZ	4" New Construction pan, sold part of BZ
WF6B BZ	6" New Construction pan, sold part of BZ
WF8B BZ	8" New Construction pan, sold part of BZ
WF4B	Remolded 4" pan
WF6B	Remolded 6" pan
WF8B	Remolded 8" pan
WF4C SW/WH F12	4" New Construction pan, sold part of F12
WF6C SW/WH F12	6" New Construction pan, sold part of F12
WF8C SW/WH F12	8" New Construction pan, sold part of F12
WF4C SW/WH	Remolded 4" pan
WF6C SW/WH	Remolded 6" pan
WF8C SW/WH	Remolded 8" pan

PERFORMANCE DATA

Part No.	W4	W6	W8
Input Voltage	120V	120V	120V
Input Power Typical	19W (1.5/50)	139W (1.5/50)	199W (1.5/50)
Frequency	60Hz	60Hz	60Hz
UL/ETL	ICC ENEC, Part 15, Class 1 (Commercial)	ICC ENEC, Part 15, Class 1 (Commercial)	ICC ENEC, Part 15, Class 1 (Commercial)
Minimum Starting Temp	-40°F (-40°C)	-40°F (-40°C)	-40°F (-40°C)

Lighting Performance Data

Part No.	W4	W6	W8
Light Output (lm)	1800	12600	18000
Beam Diameter (ft)	1.5	1.5	1.5
Beam Diameter (in)	18	18	18
Beam Spread (ft)	1.5	1.5	1.5
Beam Spread (in)	18	18	18
Beam Spread (mm)	457	457	457
Beam Spread (m)	0.47	0.47	0.47
Beam Spread (cm)	4.7	4.7	4.7
Beam Spread (mm)	47	47	47

AcuityBrands One Ikonius Way • Conyers, GA 30012 • Phone 1-800-705-SEEV (7378) • Visit us at www.acuitybrands.com
Printed in U.S.A. © 2021-2024 Acuity Brands Lighting, Inc. Rev. 12/11/24 Light Commercial & Residential 3 of 9

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REVISIONS	DATE	DESCRIPTION
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DAVID L. HANSON AND ASSOCIATES, INC.
3940 - 85 STREET
KENOSHA, WI 53142
(262) 654-2010

DATE:
12/20/24

BY:
DLH

PROJECT
MILWAUKEE POWERSPORTS
SITE LIGHTING PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, RAGINE COUNTY, STATE OF WISCONSIN

SHEET
E5
OF 5

SHEET INDEX
E1 SITE LIGHTING PLAN
E2 LIGHT FIXTURE SCHEDULE, DETAILS, ENERGY CALCULATIONS
E3 LIGHT FIXTURE CUT SHEETS
E4 LIGHT FIXTURE CUT SHEETS
E5 LIGHT FIXTURE CUT SHEETS

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No.	Revision/Issue	Date
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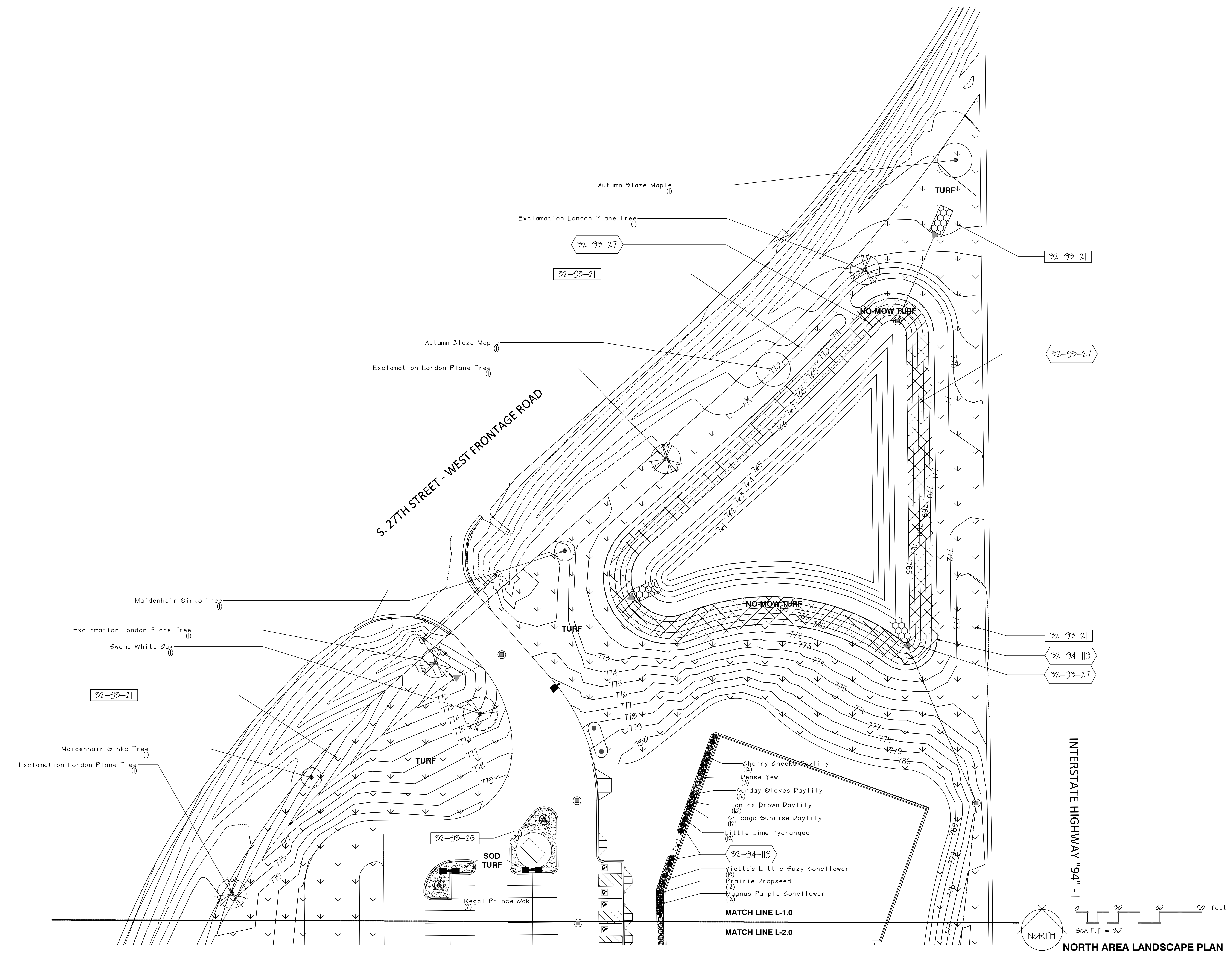
**LANDSCAPE PLAN
 MILWAUKEE POWERSPORTS
 RAYMOND, WISCONSIN**

Thomas H. Nordloh
 Landscape Architect
 Reg. # 057-000624

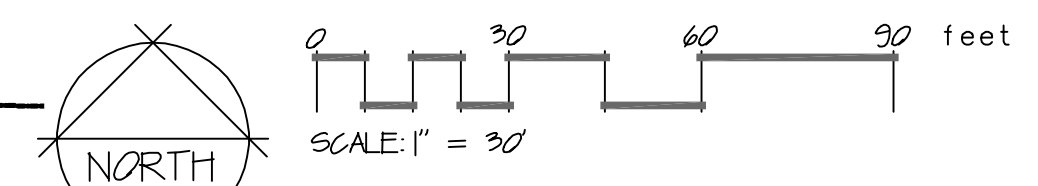
Project: **20241212**
 Date: **12-26-24**

Scale:
 Sheet

L-1.0



INTERSTATE HIGHWAY "94" -



NORTH AREA LANDSCAPE PLAN

No.	Revision/Issue	Date
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**LANDSCAPE PLAN
 MILWAUKEE POWERSPORTS
 RAYMOND, WISCONSIN**

Thomas H. Nordloh
 Landscape Architect
 Reg. # 057-000629

Project **20241212**

Date **12-26-24 1**

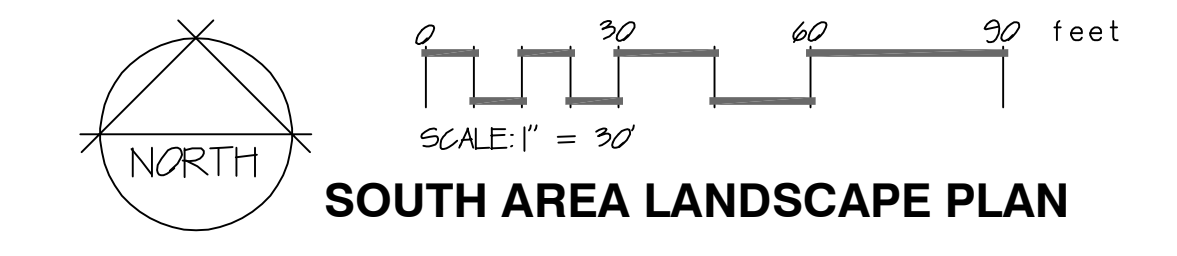
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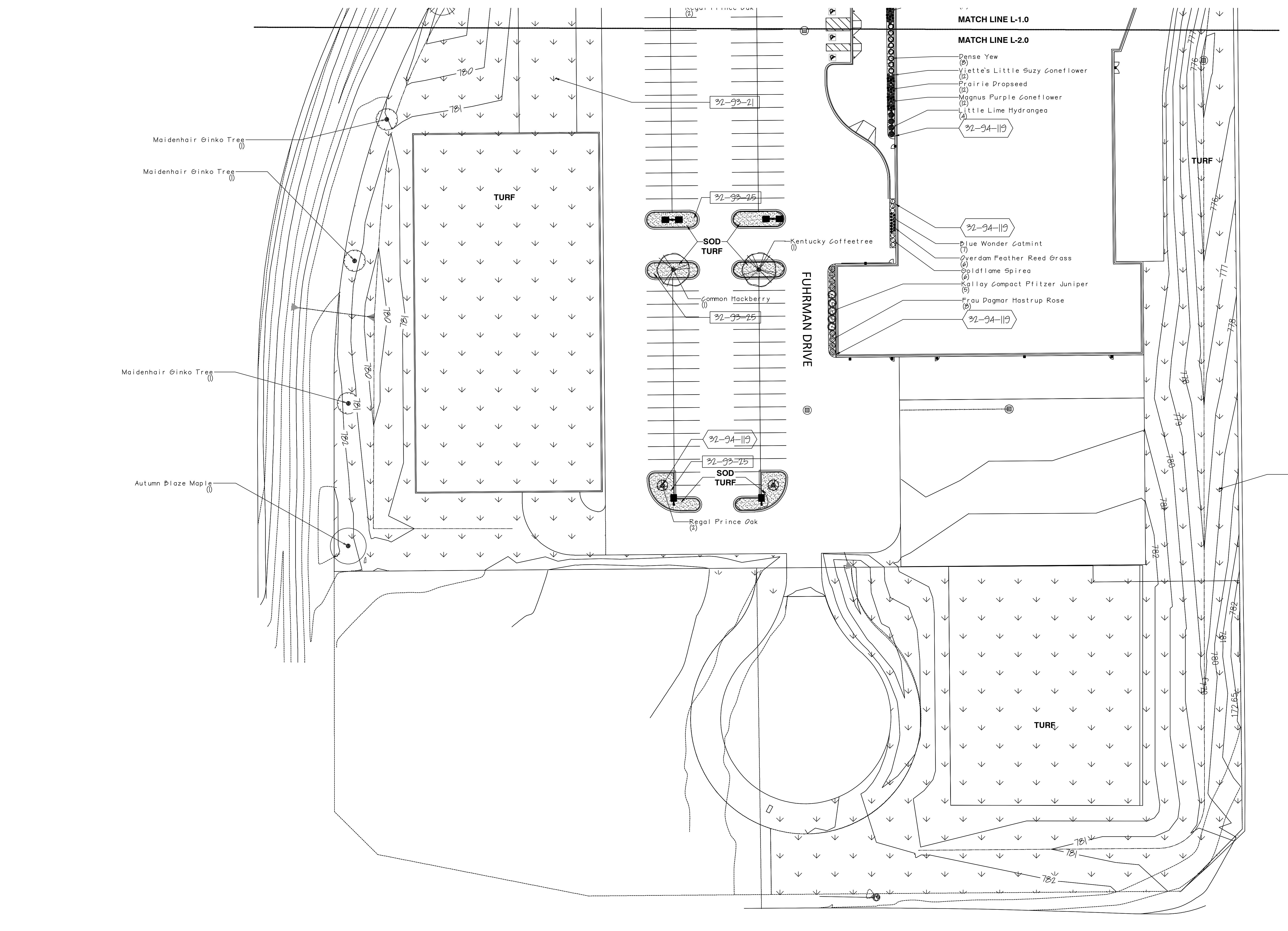
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INTERSTATE HIGHWAY/UNITED STATES HIGHWAY "41"

COUNTY TRUNK HIGHWAY "K"



SOUTH AREA LANDSCAPE PLAN



No.	Revision/Issue	Date
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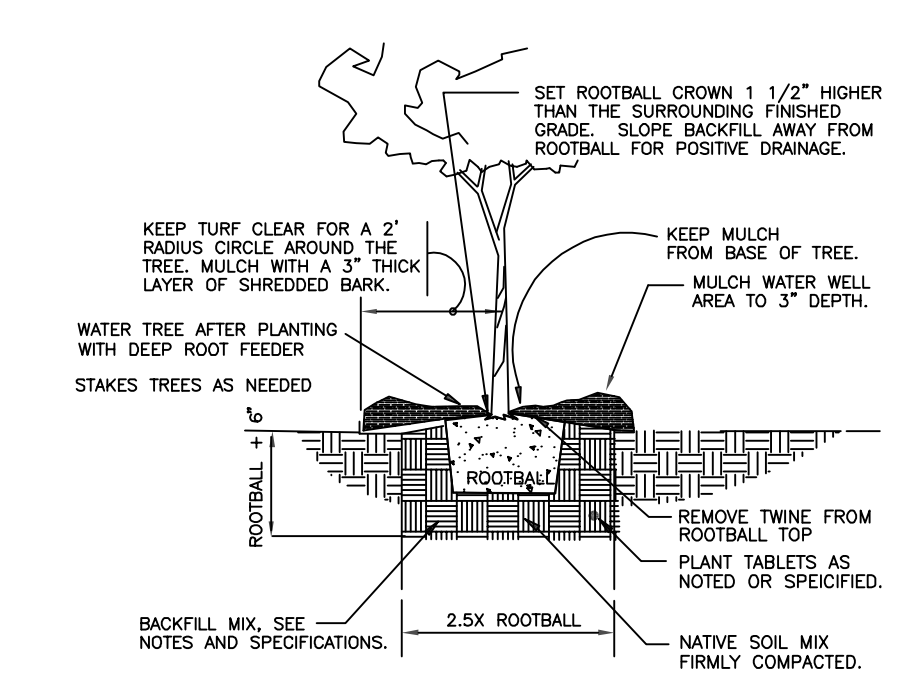
- GENERAL LANDSCAPE NOTES;**
1. Topsoil return to depth of 6" minimum is by excavating contractor. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
 2. Always contact Diggers Hotline (800-242-8511) or JULIE 811 (or 1-800-892-0123) before proceeding with any work.
 3. Landscape contractor is required to visit the site and review all civil plans related to the project. The civil plans take precedence over the landscape plans.
 4. Plant material to be of the highest quality available and should not include # 2 grade trees, evergreens or shrubs. Landscape contractor is to verify plant quantities Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by city forester.
 5. Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3" diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 1-2" layer of shredded bark mulch.
 6. Spade cut plant beds and tree rings with a 4" deep shovel cut.
 7. Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
 8. Seeded lawn areas to have high quality Bluegrass seed blend for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on fertilizer application rates.
 9. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade. Peat sod is not acceptable.
 10. Erosion blanket shall be installed using 90 day single net, double net or Turf Reinforcement Mats shall be installed per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.
 11. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.
 12. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment.
 13. Warranty of plants, trees, evergreens, shrubs shall be for a period of 18 months from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.

REFERENCE NOTES SCHEDULE OVERALL LANDSCAPE

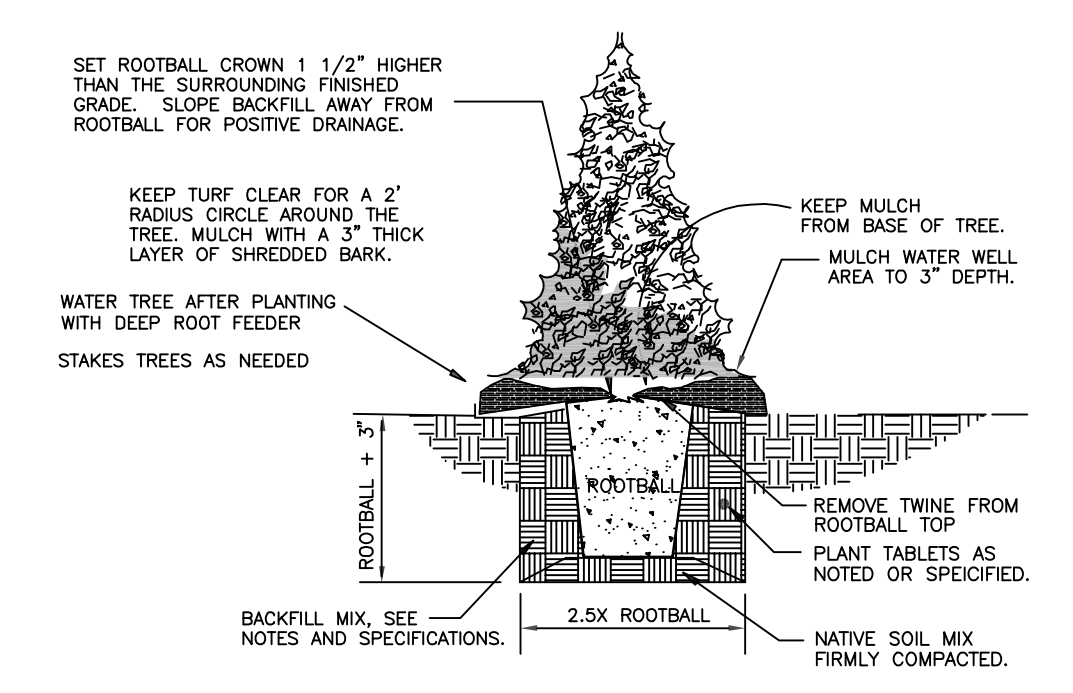
CODE	DESCRIPTION	QTY
Planting		
32-93-21	SHORT TERM DOUBLE NET STRAW EROSION CONTROL BLANKET OVER MULCH BEFORE INSTALLING PLANTS, INSTALL WITH METAL STAKES FULLY INSTALLED IN SOIL. DO NOT USE LONG TERM EROSION BLANKET.	233,512 sf
32-93-25	BLUEGRASS SOD, MINERAL BASED ONLY, PEAT SOD IS NOT PERMITTED	3,408 sf
32-93-27	NO-MOW FESCUE AND DN SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. LONG TERM AND GREEN NETTED BLANKET AND BENT OVER STAPLES WILL NOT BE ACCEPTED	123,331 sf
Planting Accessories		
32-94-119	SHREDDED BARK MULCH, 3-4" DEPTH	1,466 sf
32-94-136	3" DIAMETER MULCH TREE RING	19

PLANT SCHEDULE OVERALL LANDSCAPE

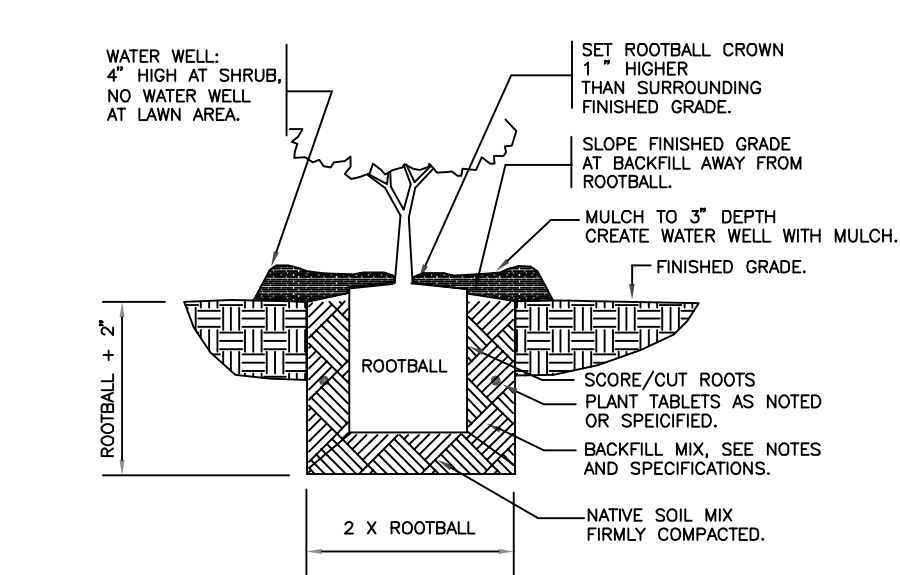
COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER	QTY
TREES				
Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" Cal.	B&B	3
Common Hackberry	Celtis occidentalis	2" Cal.	B&B	1
Maidenhair Ginkgo Tree	Ginkgo biloba 'Autumn Gold' TM	2" Cal.	B&B	5
Kentucky Coffeetree	Gymnocladus dioica 'Espresso'	2" Cal.	B&B	1
Exclamation London Plane Tree	Platanus x acerifolia 'Exclamation' TM	2" Cal.	B&B	4
Swamp White Oak	Quercus bicolor	2" Cal.	B&B	1
Regal Prince Oak	Quercus x warei 'Regal Prince'	2" Cal.	B&B	4
SUBTOTAL:				19
SHRUBS				
Little Lime Hydrangea	Hydrangea paniculata 'Little Lime'	3 gal.		16
Frau Dagmar Hastrup Rose	Rosa rugosa 'Frau Dagmar Hastrup'	3 gal.		8
Goldflame Spirea	Spiraea x bumalda 'Goldflame'	3 gal.		6
SUBTOTAL:				30
GRASSES				
Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1 gal.		6
Prairie Dropseed	Sporobolus heterolepis 'Tara'	1 gal.		24
SUBTOTAL:				30
ANNUALS/PERENNIALS				
Magnus Purple Coneflower	Echinacea purpurea 'Magnus'	1 gal.		24
Cherry Cheeks Daylily	Hemerocallis x 'Cherry Cheeks'	1 gal.		12
Chicago Sunrise Daylily	Hemerocallis x 'Chicago Sunrise'	1 gal.		12
Janice Brown Daylily	Hemerocallis x 'Janice Brown' TM	1 gal.		10
Sunday Glories Daylily	Hemerocallis x 'Sunday Glories'	1 gal.		12
Blue Wonder Catmint	Nepeta x faassenii 'Blue Wonder'	1 gal.		7
Viette's Little Suzy Coneflower	Rudbeckia fulgida speciosa 'Viette's Little Suzy'	1 gal.		27
SUBTOTAL:				104
SHRUB EVERGREENS				
Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	5 gal.		5
Dense Yew	Taxus x media 'Densiformis'	24"		11
SUBTOTAL:				16



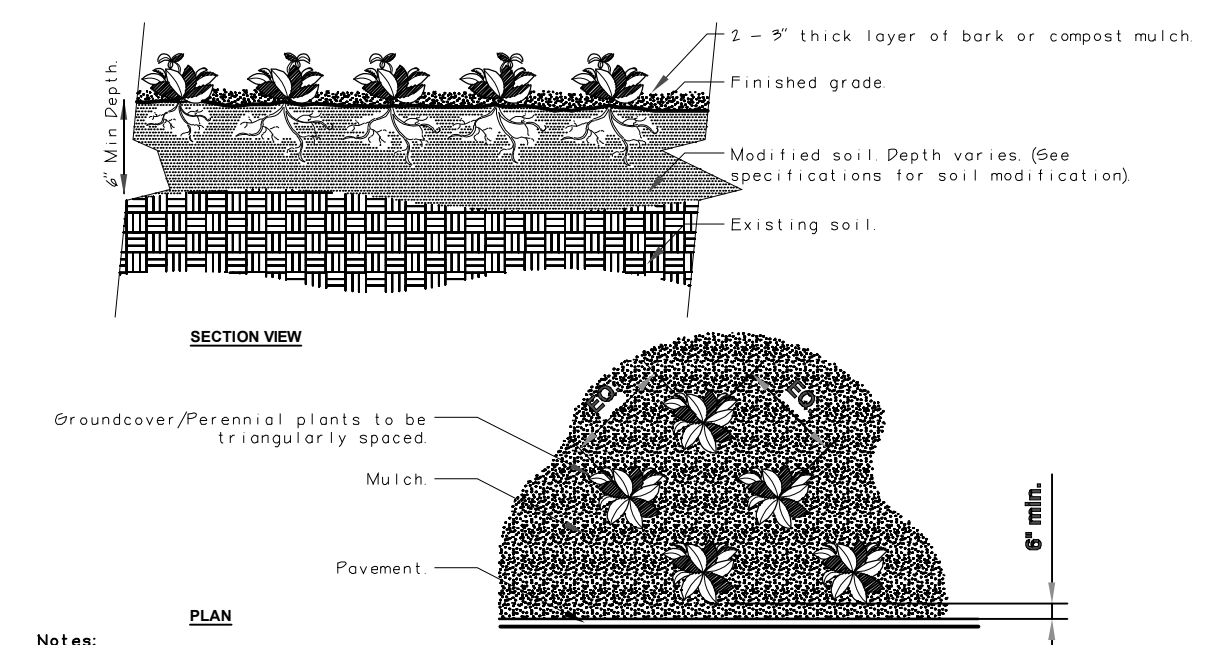
101 TREE PLANTING DETAIL
 1/4" = 1'-0"



102 EVERGREEN PLANTING DETAIL
 1/4" = 1'-0"



103 SHRUB PLANTING
 1/4" = 1'-0"



104 GROUND COVER AND PERENNIAL DETAIL
 3/4" = 1'-0"