



PLAN COMMISSION REPORT

Proposal: Site Plan and Architectural Review – Multi-family Residential Building

Description: Site, building, and related plan review for a multi-family residential building at 2398 – 2448 W. Colonial Woods Drive.

Applicant(s): Jeff Kleiner, Home Path Financial, Limited Partnership

Address(es): 2348-2398 W. Colonial Woods Dr. (2nd Aldermanic District)

Suggested Motion: That the Plan Commission approves the site, building, and related plans for construction of a new multi-family residential building to be located at 2348-2398 W. Colonial Woods Dr., be approved with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That all mechanicals, transformers, and utilities. All mechanical equipment, transformers, and utility boxes (ground, building and rooftop) shall be screened from view.

Owner(s): Home Path Financial, Limited Partnership

Tax Key(s): 810-1025-000, 810-1026-000, 810-1027-000, 810-1028-000, 810-1029-000, 810-1030-000, 810-1031-000, 810-1032-000, 810-1033-000, 810-1034-000, 810-1035-000, 810-1036-000, 810-1037-000, 810-1038-000, 810-1039-000, 810-1040-000

Lot Size(s): 5.4093 acres

Current Zoning District(s): Rm-1, Multifamily Residential

Overlay District(s): PUD

Wetlands: Yes No **Floodplain:** Yes No

Comprehensive Plan: Multi-Family

Background: In 2006, the Plan Commission approved a site plan for Phase I of Colonial Woods Condominiums, which included three (3) 8-unit residential buildings (Buildings 2-4), four 16-unit residential buildings (Buildings 5, 11-13), and five duplexes (Buildings 6-10). Since then, all three (3) 8-unit residential

buildings (Buildings 2-4) and all five (5) duplexes (Buildings 6-10) have been completed. Additionally, one (1) 16-unit residential building (Building 13) has also been completed.

The Applicant is now seeking approval for the site, architectural, and related plans for the construction of Building 5, a 16-unit residential building. Given the market constraints, the applicant intends that Building 5 will be rented out as an apartment building, not owner-occupied condominiums. The building will feature 12 two-bedroom, two-bathroom units and four two-bedroom, three-bathroom units with lofted dens.

District Specific Standards, Use Specific Standards, & Land Use: The proposal complies with the intent, standards, and requirements of the City's Zoning Ordinance, as well as the bulk and dimensional standards of the Rm-1 Multi-Family Residential District. It also conforms to the approved Colonial Woods Planned Unit Development (Ordinance 2391) from 2006. Additionally, the proposed land use is consistent with the City's Comprehensive Plan.

Design: The proposed building will feature a four-sided architectural design using traditional, durable materials. The façade will be clad in red brick, exceeding the 65% brick façade requirement set by the 2006 Planned Unit Development, and cream-colored fiber cement board separated by a cream-colored Trex trim board. Windows will be included on all sides of the building. The roof will be gabled, covered with gray asphalt shingles. Upper units will have balconies made of Trex posts, railings, and trim board. The proposed design meets the requirements of the Municipal Code for multi-family dwellings.

Screening: The proposed plan also designates the location for two dumpsters at the northeast corner of the building. These dumpsters will be screened by a concrete block enclosure with brick veneer to match the building's exterior. The gate for the enclosure will be made with steel framing and cedar wood boards. No external mechanical units or utilities are specified in the plans at this time. Any ground-mounted, building, and rooftop mechanical units, utility boxes, and transformers shall be screened in accordance with Code. This requirement is included in the recommended conditions of this approval for clarity.

Parking: The minimum parking requirement for multi-family residential buildings is one (1) enclosed space per dwelling unit. For the proposed 16-unit residential building, 16 enclosed parking spaces are required on-site. The Applicant is proposing a total of 30 enclosed parking spaces in the building's lower-level parking garage. Additionally, the Applicant plans to add nine (9) exterior parking spaces to the west of the building. All exterior parking spaces will be striped and paved with asphalt.

Lighting: Lighting plans and fixture cut sheets have been provided. The Applicant is proposing 26 wall-mounted light fixtures around the perimeter of the front and sides of the building. Of these, 25 fixtures will be black wall lanterns, while one (1) fixture, mounted above the garage entrance, will be black, rectangular, and low-profile. In accordance with the Code, all fixtures must have a color temperature of 3,500 Kelvins or lower. Additionally, the fixtures must be full cutoff, with the light source fully shielded and directed

downward. All proposed fixtures will meet these requirements, featuring a color temperature of 3,000 Kelvins and directing light downward.

Engineering and Utility: According to the City Engineering Department, the existing ponds, which were constructed as part of the original development, are designed to accommodate the additional impervious surfaces associated with the proposed Building 5. Therefore, no additional stormwater management will be required. Additionally, the proposed driveway on the public roadway (S. Orchard Way) must adhere to the City's Urban Driveway Approach Detail. The City Utility Department has no concerns. The applicant must comply with all relevant regulations and requirements.

Access: The proposed building will front W. Colonial Wood Drive, an existing private road. This private road will also provide access to the surface parking lot west of the building via an existing driveway. Access to the parking garage will be provided via an access drive off of S. Orchard Way, an existing public road. The site includes an existing concrete sidewalk, allowing for pedestrian access to the building.

Signage: No new or additional signage is being proposed as part of this review. Any future signs must comply with the Municipal Code, and the owner or tenant will need to apply for the necessary permits before installing any additional signs on the property.

Environmental: The site contains wetlands; however, no wetlands will be disturbed, and the proposed development will not encroach upon any wetland setbacks. Additionally, the site does not include any other environmentally sensitive areas, such as floodplains or environmental corridors. With the proposed new building, the site will be 42% green space, exceeding the 30% green space requirement.

Landscaping: The Applicant proposes landscaping for the front and exterior side yard foundation areas, including the planting of shrubs as shown in the submitted landscape plan, in accordance with Municipal Code requirements. Additionally, the Applicant plans to plant five (5) shade trees between the sidewalk and W. Colonial Woods Drive.

Since the adjacent uses are multi-family residential, no transitional landscaping is required. Furthermore, as no parking lots are proposed along any adjacent public or private right-of-way, perimeter landscaping for the parking lot is not required. The Applicant's proposed landscape plan meets the City of Oak Creek's landscaping requirements. The Plan Commission may, at its discretion, request additional landscaping on the site. As the development site currently contains no trees, a Tree Preservation and Removal Plan is not required.

Fire Department: The Fire Department indicated no concerns. The Applicant must comply with all regulations and requirements of the City of Oak Creek Fire Department.

Review/Options/Alternatives: The Plan Commission has the discretion to either approve the plans as presented, approve them with specified conditions, or disapprove the proposal. In reviewing the request, the Commission will evaluate it in light of the City’s Zoning Ordinance and any other relevant information.

The Plan Commission may only approve or approve with conditions if it is satisfied that the proposed project complies with all applicable provisions of the City’s Zoning Ordinance, as well as with all adopted plans and policy documents. Any approval with conditions must specify the necessary actions to bring the application into compliance with the City’s Zoning Ordinance and its adopted plans and policy documents.

The Plan Commission has the authority to modify any of the site plan review criteria outlined in Sec. 17.0804(g)(3)(a-j) of the City’s Zoning Ordinance. However, such modifications require a 3/4 majority vote of the Commissioners present at the meeting and must include supplemental design elements or improvements to compensate for any modifications to the specific standards.

If the request is not approved, the Plan Commissioners are required to provide the relevant Code Sections upon which the denial is based. This will allow the applicant to revise and resubmit the proposal accordingly.

Respectfully submitted & approved by:



Kristi Laine
Community Development Director

Prepared by:



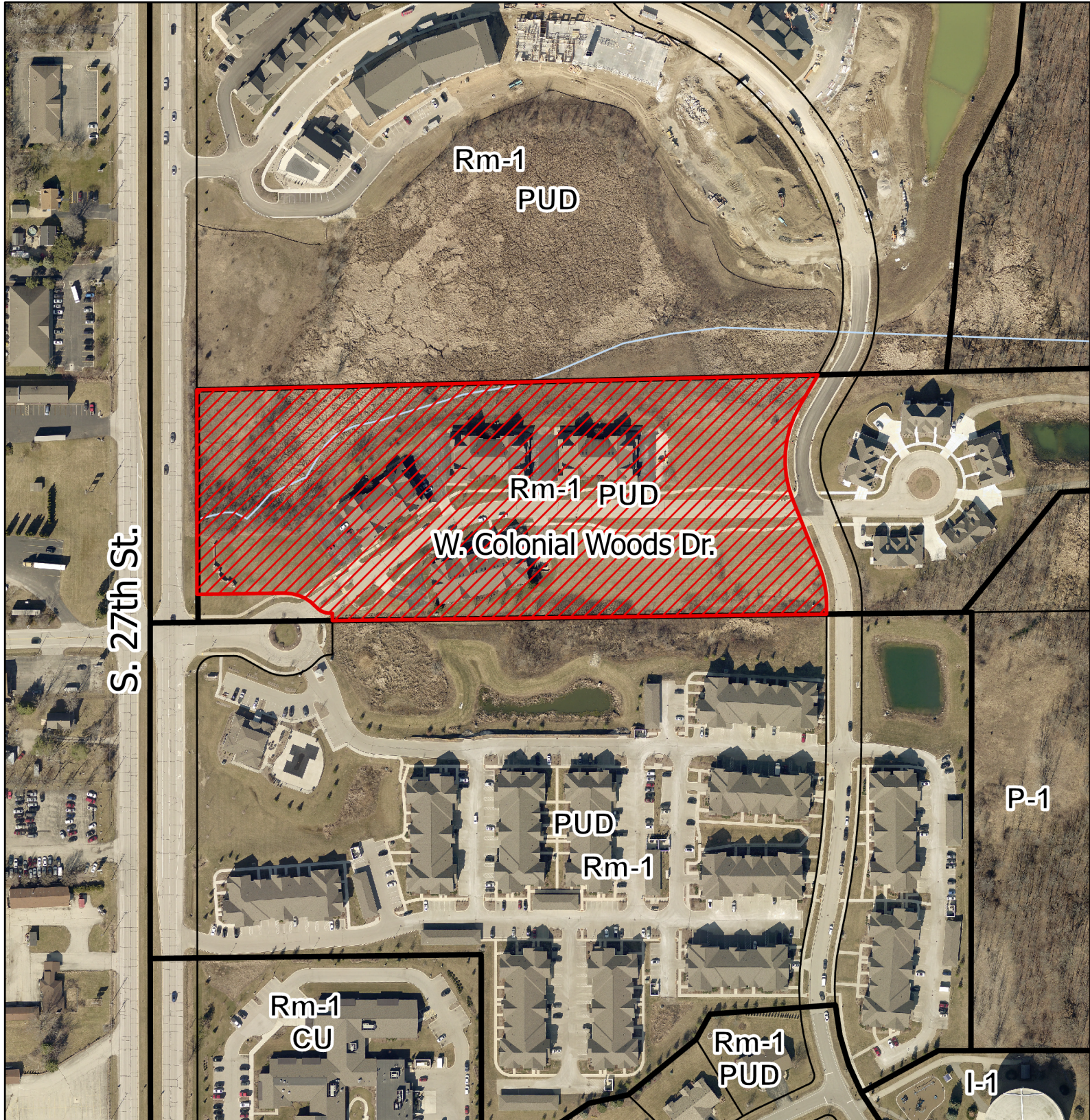
Todd Roehl
Senior Planner

Attachments:

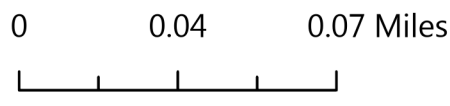
- Location Map
- Narrative (2 pages)
- Building, Landscape & Site Plans (14 pages)
- Renderings (2 page)
- Lighting Plan (4 pages)

Location Map

2350-2390 W. Colonial Woods Dr.



This map is not a survey of the actual boundary of the property this map depicts



Legend

- Zoning
- Official Street Map
- Parcels
- FloodFringe2024
- Floodway2024
- 2350-2390 W. Colonial Woods Dr.



2/10/2024

Attention: Todd Roehl – Senior Planner
Transmitting To: City Of Oak Creek
Transmitting Via email: troehl@oakcreekwi.gov
RE: Project Name: Colonial Woods
Quorum Architect's Project Number: 20116.01.02

Subject: Building #5 Colonial Woods
16 Unit Apartment Building

Todd,

I am writing to formally submit a brief narrative and description of our proposed project for consideration at the upcoming Plan Commission meeting.

The proposed project aims to build one (1) of the three (3) planned 16-unit multifamily residential buildings in the Planned Unit Development known as "Colonial Woods Planned Unit Development". The new developer Home Path Financial, LP intends to lease the building as apartments, in lieu of condos. The site is currently vacant land adjacent to the previously developed multi-family buildings.

Our plan includes thirty (30) below grade parking spaces, sixteen (16) units of living ranging from 1,224 to 1,323 square feet. Eight (8) dwelling units will be located on the first floor and eight (8) dwelling units will be located on the second floor, with third floor mezzanines accessible only from the individual second floor units.

1 st floor:	(8) 2-bed / 2 bath units
2 nd floor:	(4) 2-bed / 2 bath units
<u>2nd floor lofts:</u>	<u>(4) 2-bed / 3 bath units with lofted den (294 square feet)</u>
Total Units:	16

The project is designed to align with the city's previously approved planned unit development. We believe it will contribute positively to the community by benefits such as economic growth, job creation, housing opportunities and completing the original planned development.

We have submitted landscape, architectural and engineering drawings and are prepared to address any questions or concerns from the commission. Our team is committed to ensuring that this project meets all necessary requirements and enhances the surrounding area.

Please let us know if any additional documentation or details are needed before the meeting.

We appreciate your time and consideration and look forward to discussing our proposal further.

Sincerely,

A handwritten signature in black ink that reads 'Chris Hau'.

Chris Hau, Principal / Project Manager
chris@quorumarchitects.com
Quorum Architects, Inc.



Architectural Design • Interior Design • Site Design

3112 West Highland Blvd • Milwaukee, Wisconsin 53208 • ph. 414-265-9265 • www.quorumarchitects.com



Attached: Architectural, Landscape and Engineering Drawings, Plan Commission Application

Cc: Jeff Kleiner, CEO,
Home Path Financial, jeff@myhomepath.com

Tracie Kleiner, CFO,
Home Path Financial, tracie@myhomepath.com

Colby Kitchel, Director of Property Management
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BUILDING 5

COLONIAL WOODS

16 UNIT APARTMENT BUILDING

S 27TH STREET AND WEST COLONIAL WOODS DRIVE
OAK CREEK, WISCONSIN 53154

PLAN COMMISSION SET



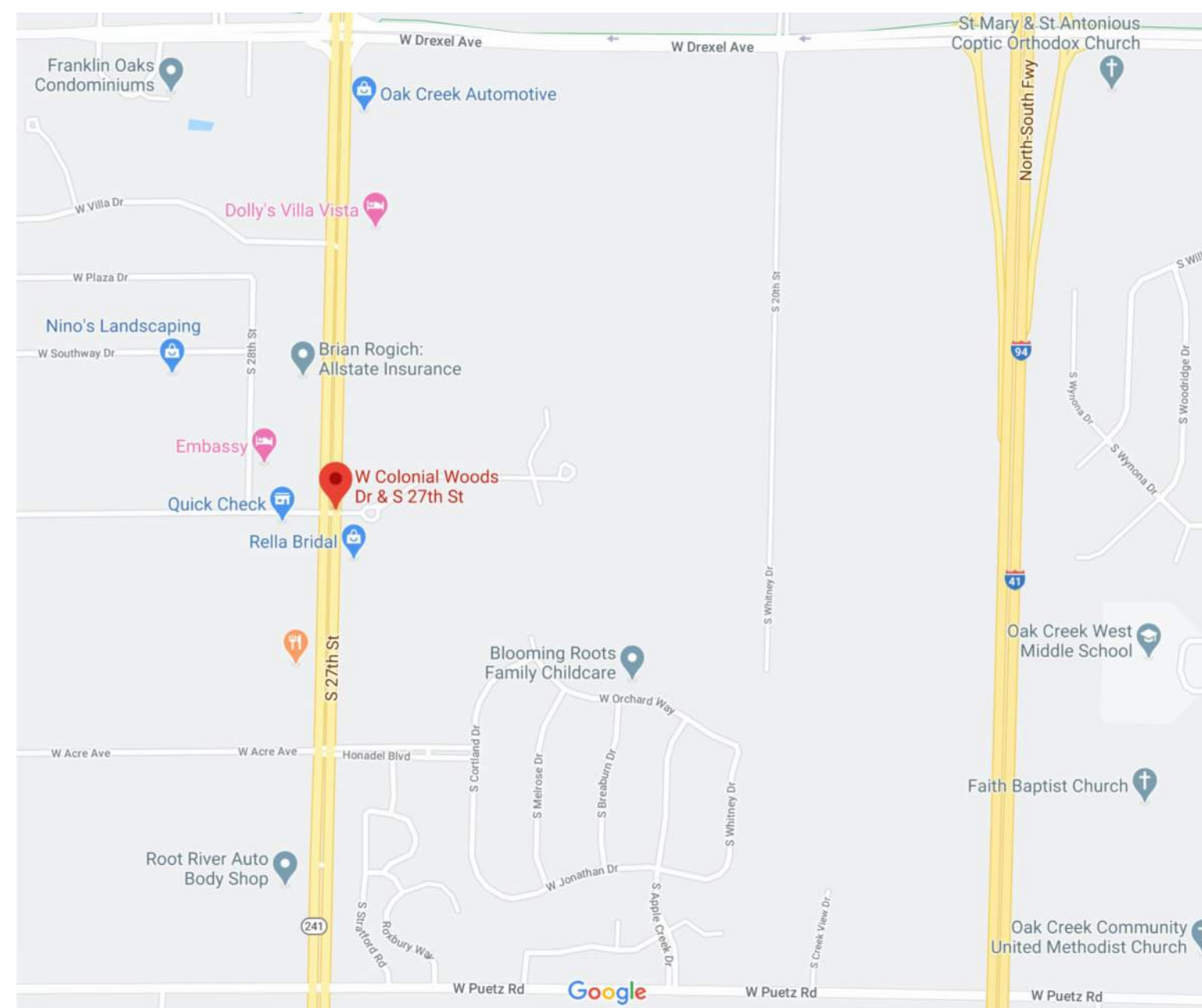
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CONSTRUCTION
QUORUM ARCHITECTS, INC.

DATE: FEBRUARY 7, 2025

PROJECT NUMBER: 20116.01.02

LOCATION MAP:



CONTACT INFORMATION:

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STRUCTURAL

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Email: tcowan@pierceengineers.com

DRAWING INDEX:

CS COVER SHEET
CS.2 ABBREVIATION, SYMBOLS, BUILDING INFORMATION AND GENERAL NOTES

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S4.2 STRUCTURAL DETAILS
S5.0 STRUCTURAL DETAILS

BLDG 5 - COLONIAL WOODS
16 UNIT APARTMENT BUILDING

PLAN COMMISSION SET

Project No.: 20116.01.02 Date: 02/07/25



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**BUILDING 5
 COLONIAL WOODS
 16 UNIT APARTMENT BUILDING**

S 27th St & West Colonial Woods Dr.
 Oak Creek, Wisconsin 53154

Revisions:

Sheet Name:
 OVERALL SITE PLAN

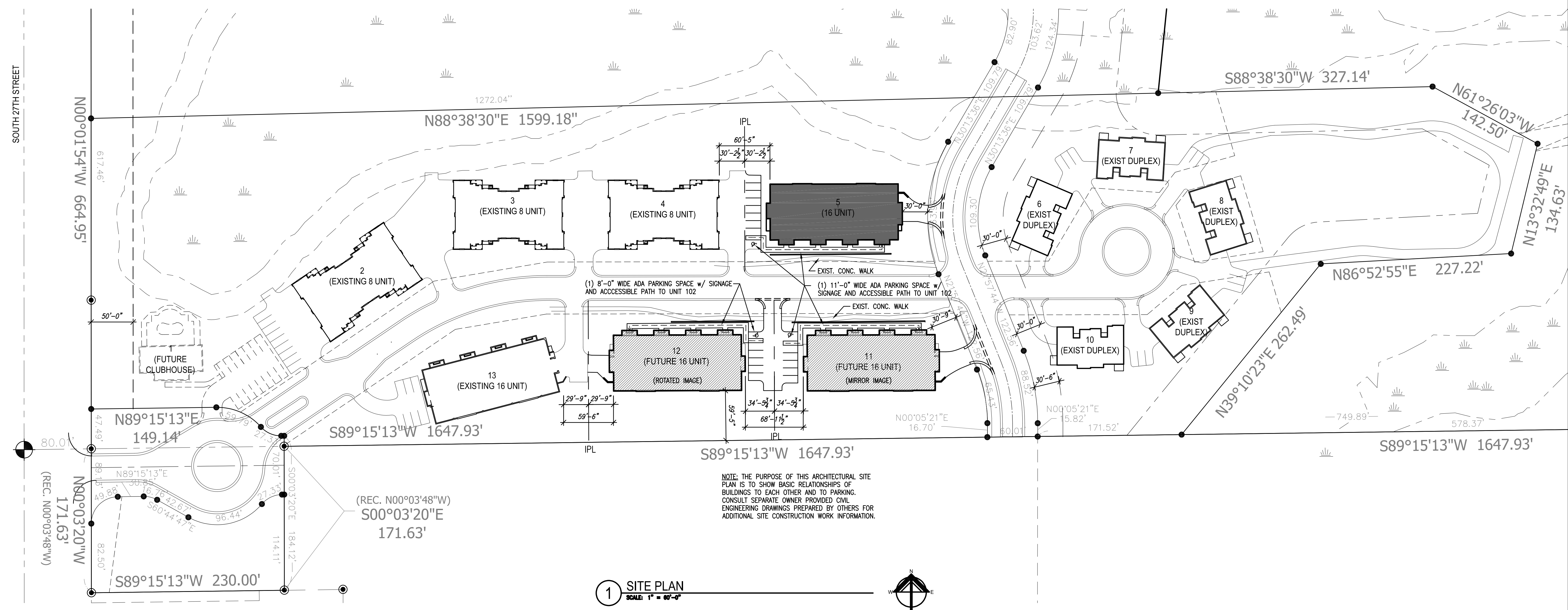
Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

Sheet No.

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NOTE: THE PURPOSE OF THIS ARCHITECTURAL SITE PLAN IS TO SHOW BASIC RELATIONSHIPS OF BUILDINGS TO EACH OTHER AND TO PARKING. CONSULT SEPARATE OWNER PROVIDED CIVIL ENGINEERING DRAWINGS PREPARED BY OTHERS FOR ADDITIONAL SITE CONSTRUCTION WORK INFORMATION.

1 SITE PLAN
 SCALE: 1" = 80'-0"

Feb 11, 2025 - 8:48am
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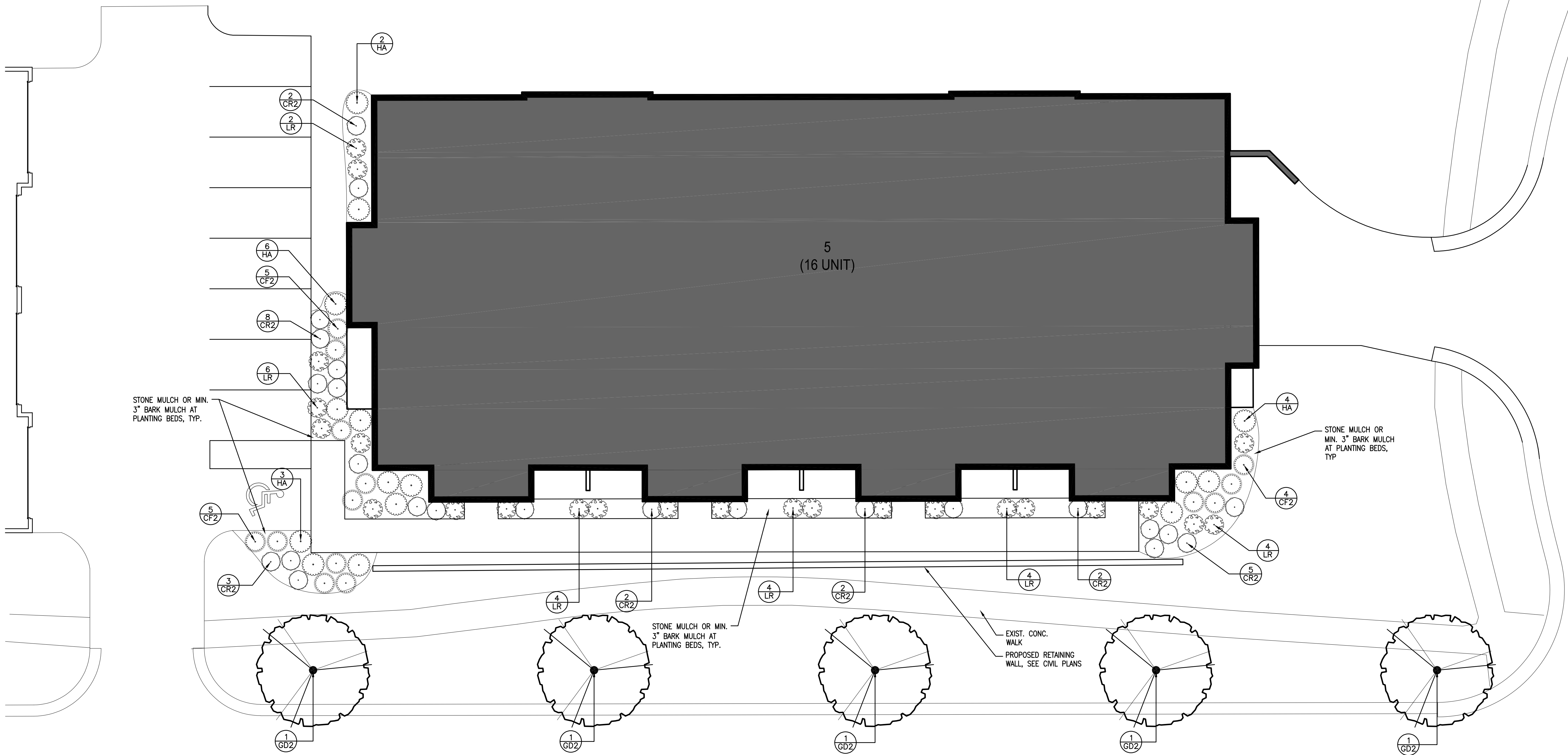
PLANT SCHEDULE - BUILDING 5						
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	ROOT	REMARKS
TREES						
	GD2	5	STREET KEEPER® HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES'	8" B&B OR 25 GAL. CONT.	
SHRUBS						
	CF2	14	ARCTIC FIRE® RED TWIG DOGWOOD	CORNUS STOLONIFERA 'FARROW'	5 GAL.	
	CR2	24	RUBY SPICE SUMMERSWEET	CLETHRA ALNIFOLIA 'RUBY SPICE'	5 GAL.	
	HA	15	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	5 GAL.	
	LR	24	KODIAK® ORANGE DIERVILLA	DIERVILLA X 'G2X8544'	5 GAL.	

GENERAL LANDSCAPE NOTES

- QUALITY ASSURANCE**
 - PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1.
 - MEASUREMENTS MEASURE ACCORDING TO ANSI Z60.1. DO NOT PRUNE TO OBTAIN REQUIRED SIZES.
 - DELIVERY, STORAGE, AND HANDLING
 - DELIVER BARE-ROOT STOCK PLANTS FREELY DRAIN IMMEDIATELY AFTER DROPPING UP BARE-ROOT STOCK. PACK ROOT SYSTEM IN NET STOW, HAY, OR OTHER SUITABLE MATERIAL TO KEEP ROOT SYSTEMS MOIST UNTIL PLANTING.
 - DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN, SMALL, WINDING, WIND BURN, SWELING, WIPPING, AND OTHER HANDLING AND TYPING DAMAGE. DO NOT BEND OR BRAG-TO TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.
 - HANDLE PLANTING STOCK BY ROOT BALL.
 - DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN THEIR APPROPRIATE ASPECT (SUN, FILTERED SUN, OR SHADE), PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- PROJECT CONDITIONS**
 - FIELD MEASUREMENTS VERIFY ACTUAL GRADE ELEVATIONS, SERVICE AND UTILITY LOCATIONS, PROVISION SYSTEM COMPONENTS, AND DIMENSIONS OF PLANTINGS AND CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
 - PLANTING RESTRICTIONS: PLANT DURING ONE OF THE FOLLOWING PERIODS: QUANTIFY PLANTING PERIODS WITH MAINTENANCE PERIODS TO PROVIDE REQUIRED MAINTENANCE FROM DATE OF SUBSTANTIAL COMPLETION.
 - DECIDUOUS TREES AND SHRUBS: APRIL 1 TO SEPTEMBER 30
 - PERENNIALS: MAY 15 TO SEPTEMBER 30
 - DO NOT INSTALL PLANT MATERIALS WHEN AMBIENT TEMPERATURES MAY DROP BELOW 35 DEGREES F OR RISE ABOVE 90 DEGREES F OR WHEN WIND VELOCITIES EXCEED 20 MPH.
 - COORDINATION WITH TURF AREAS (LAMNS): PLANT TREES, SHRUBS AND OTHER PLANTS AFTER FINISH GRASSES ARE ESTABLISHED AND BEFORE PLANTING TURF AREAS UNLESS OTHERWISE INDICATED.

PLANTING NOTES

- ALL PLANTING SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK AND 2010 1986. ANY PLANT SUBSTITUTION MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS MUST BE INSTALLED AS PER SIZES SHOWN ON PLAN.
- PREPARATION**
 - PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES AND TURF AREAS AND EXISTING PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
 - INSTALL EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOIL AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND NEIGHBORS.
 - LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE EXCAVATING OR PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
 - LAY OUT PLANTS AT LOCATIONS DIRECTED BY ARCHITECT. STAKE LOCATIONS OF INDIVIDUAL TREES AND SHRUBS AND OUTLINE AREAS FOR MULTIPLE PLANTINGS.
- PLANTING AREA ESTABLISHMENT**
 - LOOSEN SUBGRADE OF PLANTING AREAS TO A MINIMUM DEPTH OF 12 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STONES, ROOTS, RUBBER, AND OTHER EXTRANEUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - APPLY HEAVY TYPE FERTILIZER DIRECTLY TO SUBGRADE BEFORE LOOSENING.
 - THOROUGHLY BLEND PLANTING SOIL OFF-SITE BEFORE SPREADING OR SPREAD TOPSOIL. APPLY SOIL AMENDMENTS AND FERTILIZER ON SURFACE AND THOROUGHLY BLEND PLANTING SOIL.
 - SPREAD PLANTING SOIL TO A DEPTH OF 12 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADE AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- EXCAVATION FOR TREES AND SHRUBS**
 - PLANTING PITS AND TRENCHES: EXCAVATE CIRCULAR PLANTING PITS APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER WITH SIDES SLOPING INWARD AT A 45-DEGREE ANGLE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING.
 - SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY NOT BE USED AS PLANTING SOIL.
- TREE AND SHRUB PLANTING**
 - BEFORE PLANTING, VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL ACCORDING TO ANSI Z60.1.
 - REMOVE STEM GIRDLING ROOTS AND KNIVED ROOTS. REMOVE HARMED ROOTS BY CUTTING (SLASH); DO NOT BREAK.
 - SET BALLED AND BURLAPPED STOCK PLANTS AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES AND USE PLANTING SOIL FOR BACKFILL.
- PLANTING AREA MULCHING**
 - INSTALL WEED-CONTROL BARRIERS BEFORE MULCHING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO BE MULCHED. OVERLAPPING EDGES A MINIMUM OF 6 INCHES AND SECURE SEAMS WITH GALVANIZED PINS.
 - MULCH BACKFILLED SURFACES OF PLANTING AREAS AND OTHER AREAS INDICATED IN SECTION 2.5 KEEPING 4 INCHES FORM TRUNKS OR STEMS.
 - ALL PLANTING TO BE WATERED AT TIME OF PLANTING THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.



1 LANDSCAPE PLAN
 SCALE: 1" = 10'-0"

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BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING
 S 27th St & West Colonial Woods Dr.
 Oak Creek, Wisconsin 53154

Revisions:
 Sheet Name:
 LANDSCAPE PLAN
 Date: 02/07/2025
 Drawn By: CLR/CGH
 Project No.: 20116.01.02
 Sheet No.
L1.0

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**BUILDING 5
 COLONIAL WOODS
 16 UNIT APARTMENT BUILDING**

S 27th St & West Colonial Woods Dr.
 Oak Creek, Wisconsin 53154

Revisions:
 ADDENDUM #1
 03/07/2025

Sheet Name:
 GARAGE LEVEL FLOOR
 PLAN - OVERALL

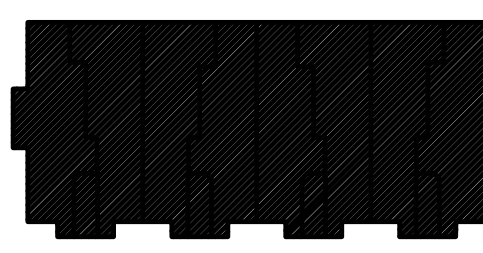
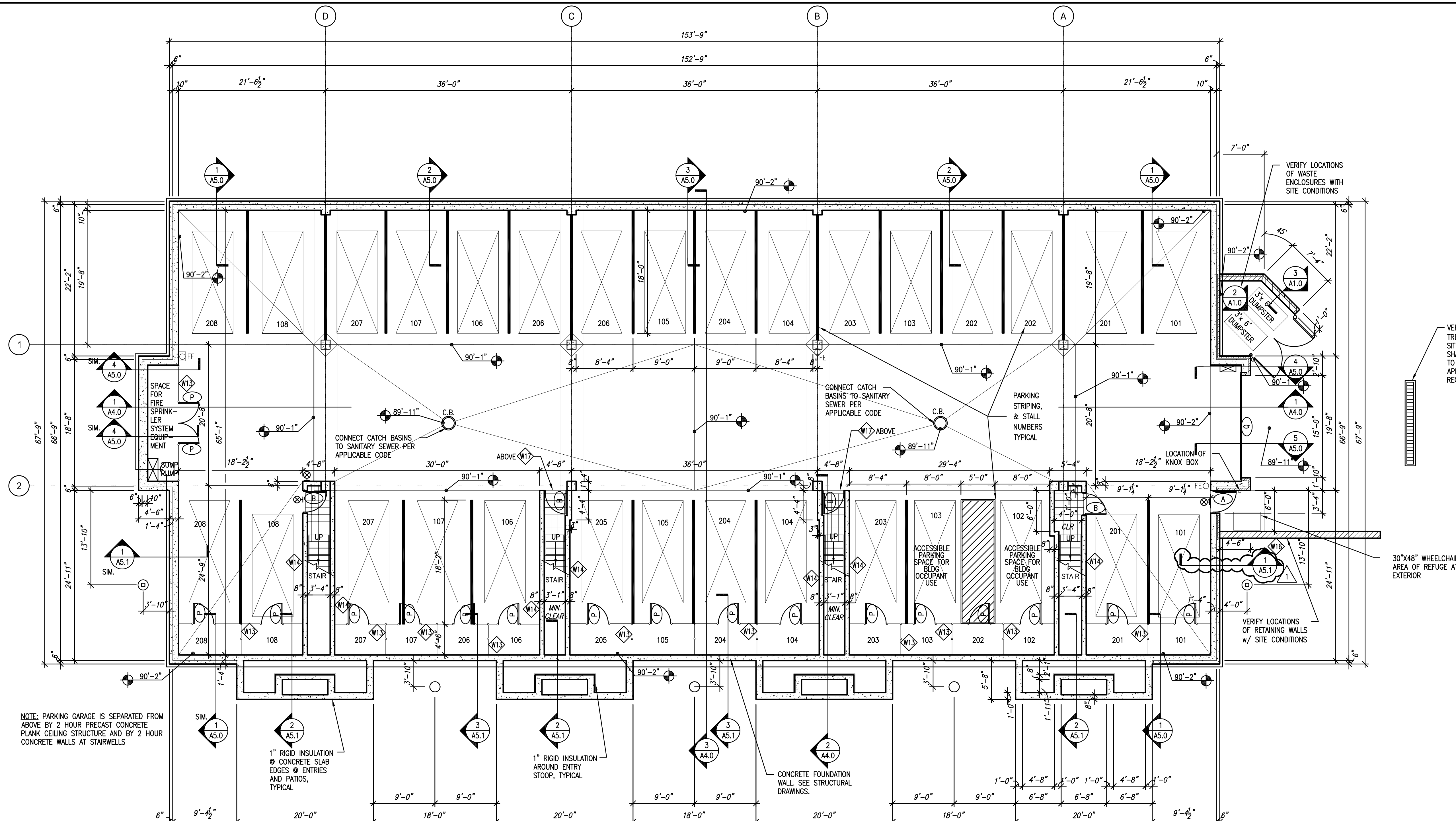
Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

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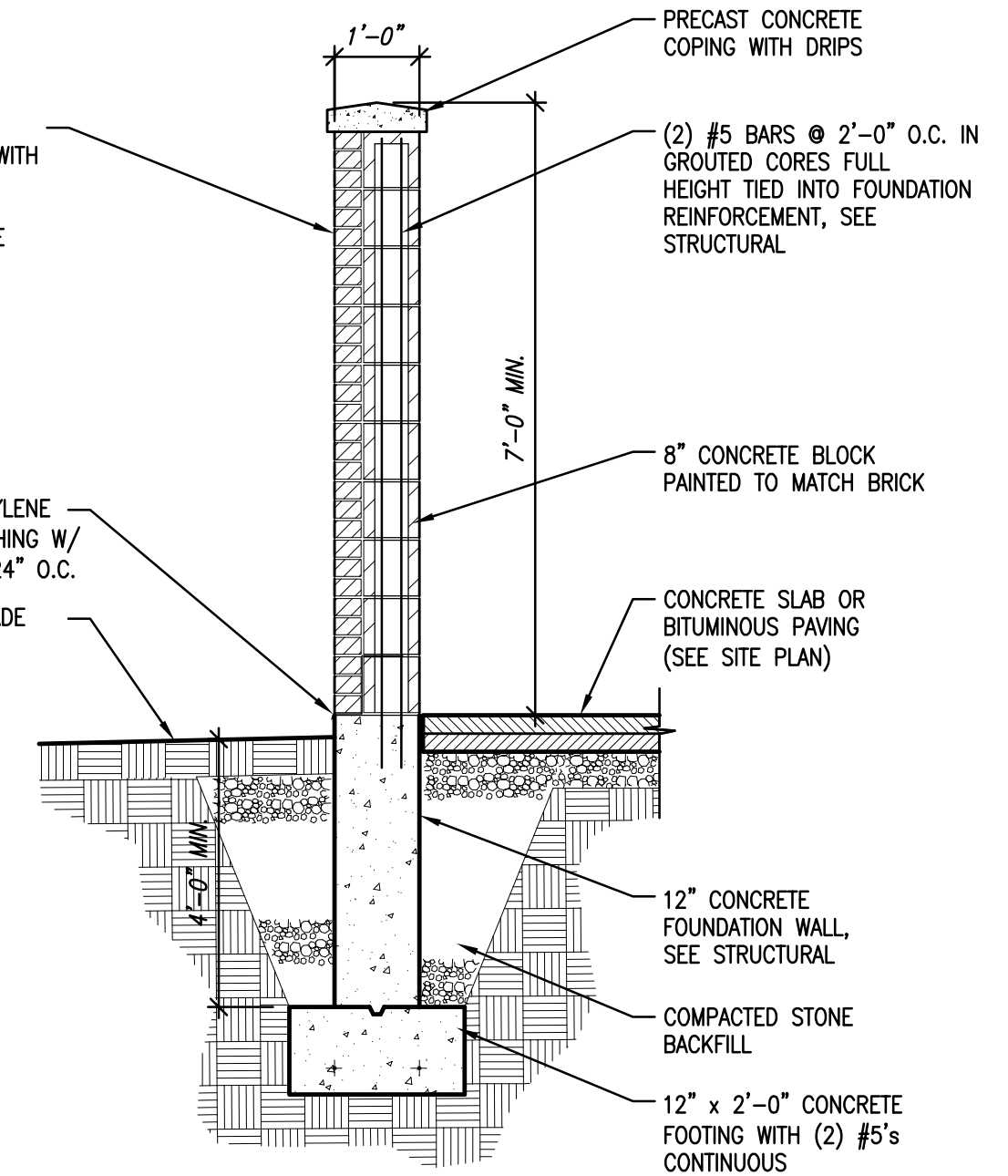
KEY PLAN

Mr. 07_2025 - 1:42pm
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2 DUMPSTER ENCLOSURE GATE ELEVATION (VERIFY SITE CONDITIONS)
 SCALE: 1/2" = 1'-0"

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL MEET APPLICABLE NATIONAL, STATE & LOCAL CODES.
 - ALL CONSTRUCTION OF FIRST FLOOR UNITS SHALL MEET ADA REQUIREMENTS. THIS INCLUDES SITE ACCESS TO EACH FIRST FLOOR UNIT. THIS ALSO INCLUDES MOUNTING HEIGHTS OF LIGHT SWITCHES, ELECTRICAL OUTLETS, OPERABLE WINDOW CONTROLS, DOOR HARDWARE INCLUDING PATIO DOORS, CONTROLS ON APPLIANCES, THERMOSTATS, AND OTHER OPERABLE ENVIRONMENTAL CONTROLS. ADEQUATE ILLUMINATION IS ALSO REQUIRED.
 - ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE SEALED PER APPROVED UL (OR EQUAL) SYSTEM APPROPRIATE FOR THE PARTICULAR RATED ASSEMBLY.
 - ALL CONSTRUCTION SHALL BE COMPLETED PER THESE DRAWINGS AND THE RELATED SPECIFICATIONS WHICH TOGETHER MAKE UP THE CONSTRUCTION DOCUMENTS FOR THIS BUILDING.
 - ALL INTERIOR DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED. DOOR LOCATION DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF JAMB AT DOOR OPENING.

3 DUMPSTER ENCLOSURE WALL SECTION (VERIFY WITH SITE CONDITIONS)
 SCALE: 1/2" = 1'-0"





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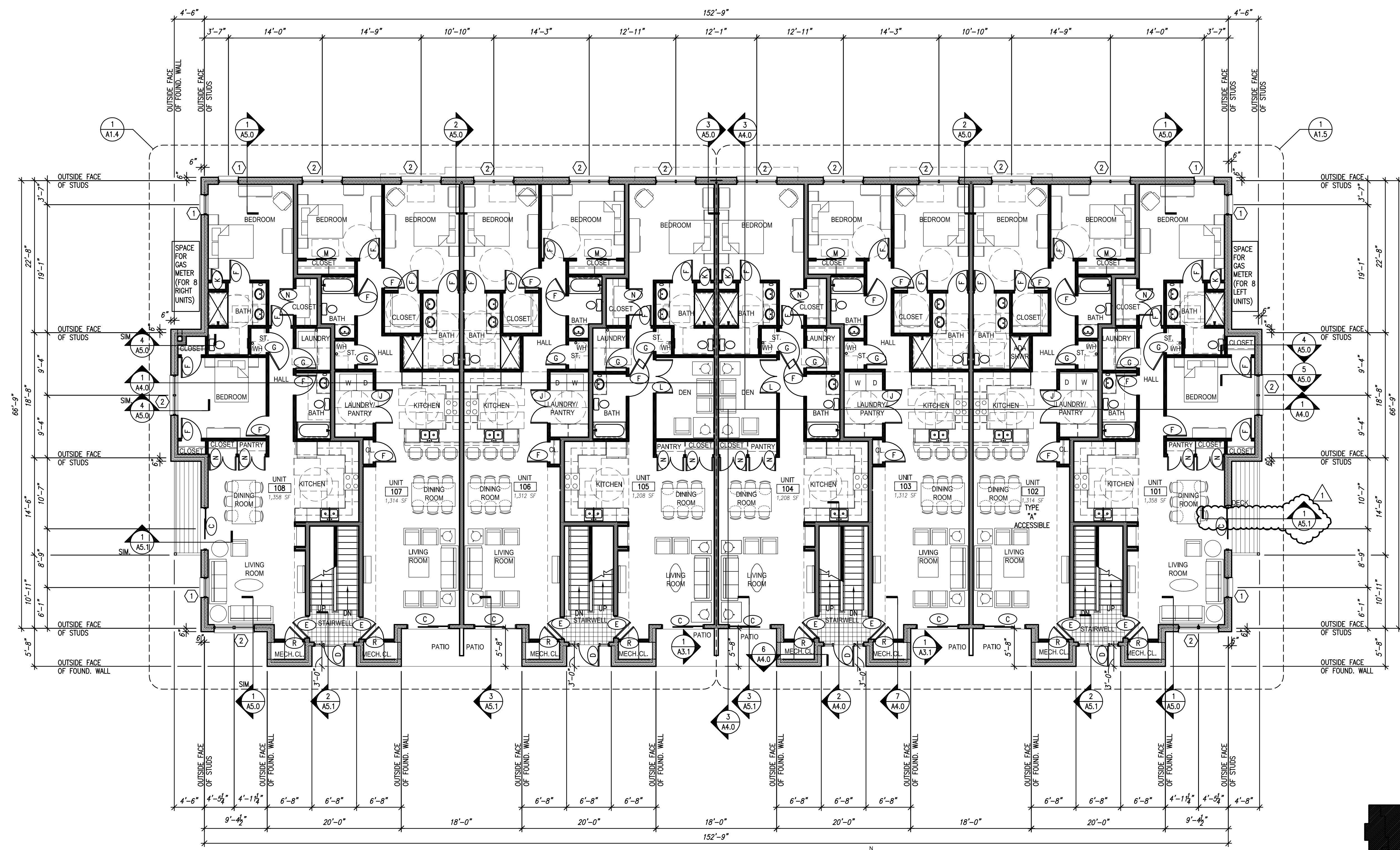
BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING

S 27th St & West Colonial Woods Dr.
 Oak Creek, Wisconsin 53154

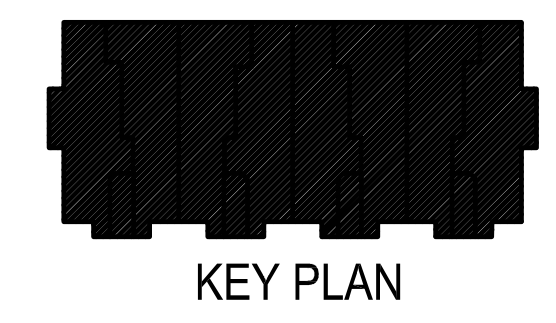
Revisions:
 ADDENDUM #1
 03/07/2025

Sheet Name:
 FIRST FLOOR
 PLAN - OVERALL
 Date: 02/07/2025
 Drawn By: CLR/CGH
 Project No.: 20116.01.02
 Sheet No.

A1.1



1 FIRST FLOOR PLAN - OVERALL
 SCALE: 1/8" = 1'-0"



GENERAL NOTES

- ALL CONSTRUCTION SHALL MEET APPLICABLE NATIONAL, STATE & LOCAL CODES.
- ALL CONSTRUCTION OF FIRST FLOOR UNITS SHALL MEET ADA REQUIREMENTS. THIS INCLUDES SITE ACCESS TO EACH FIRST FLOOR UNIT. THIS ALSO INCLUDES MOUNTING HEIGHTS OF LIGHT SWITCHES, ELECTRICAL OUTLETS, OPERABLE WINDOW CONTROLS, DOOR HARDWARE INCLUDING PATIO DOORS, CONTROLS ON APPLIANCES, THERMOSTATS, AND OTHER OPERABLE ENVIRONMENTAL CONTROLS. ADEQUATE ILLUMINATION IS ALSO REQUIRED.
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WINDOW TYPES

- 1 3'-0" x 5'-6" SINGLE HUNG WINDOW
- 2 (2) 3'-0" x 5'-6" SINGLE HUNG WINDOWS
- 3 3'-6" x 5'-0" SINGLE HUNG WINDOW
- 3A 3'-6" x 5'-0" SINGLE HUNG WINDOW WITH 3'-6" x 1'-2" ARCH TOP
- 4 3'-6" x 6'-2" ARCH TOP FIXED WINDOW

NOTE: ALL OPERABLE WINDOWS MUST MEET EMERGENCY ESCAPE & RESCUE CODE REQUIREMENTS OF 5.7 SQUARE FEET MINIMUM OPENING AREA WITH MINIMUM 2'-0" HEIGHT AND 1'8" MINIMUM WIDTH DIMENSIONS.

NOTE: PROVIDE 15" WIDE LOUVERED SHUTTERS WITH ARCH TOP, SOLID ARCH TOP, OR FLAT TOP WHERE INDICATED ON ELEVATIONS - SEE SHEETS A3.0 & A3.1.

Mr. 07_2025 - 2:31pm
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COLONIAL WOODS
16 UNIT APARTMENT BUILDING
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Revisions:
 ADDENDUM #1
 03/07/2025

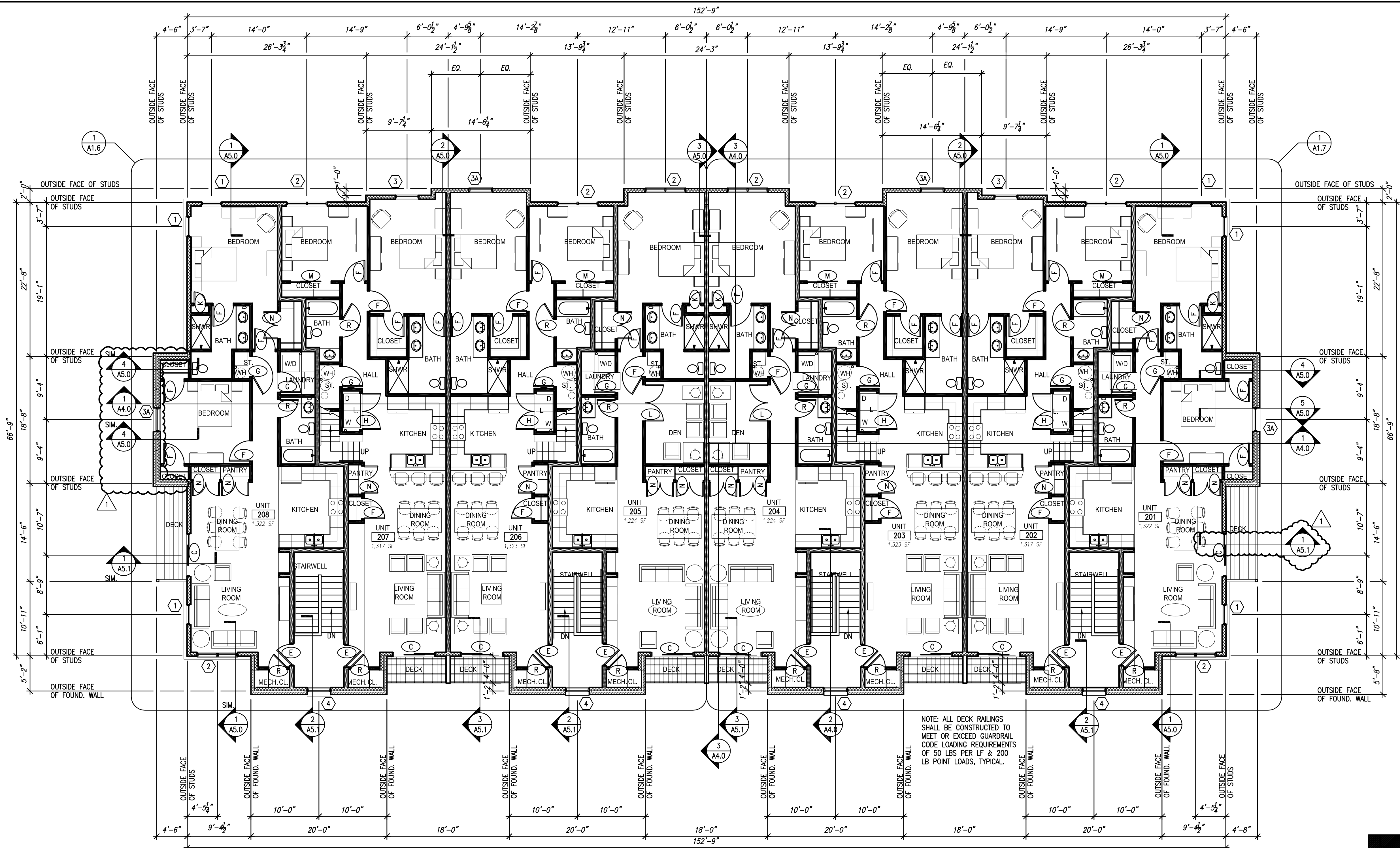
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 PLAN - OVERALL

Date: 02/07/2025
 Drawn By: CLR/CGH

Project No.: 20116.01.02

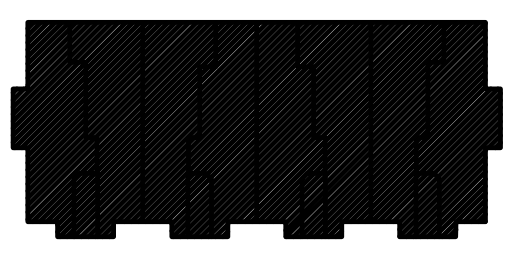
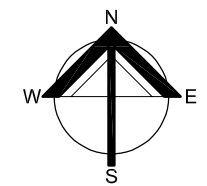
Sheet No.

A1.2



NOTE: ALL DECK RAILINGS SHALL BE CONSTRUCTED TO MEET OR EXCEED GUARDRAIL CODE LOADING REQUIREMENTS OF 50 LBS PER LF & 200 LB POINT LOADS, TYPICAL.

1 SECOND FLOOR PLAN - OVERALL
 SCALE: 1/8" = 1'-0"



KEY PLAN

GENERAL NOTES

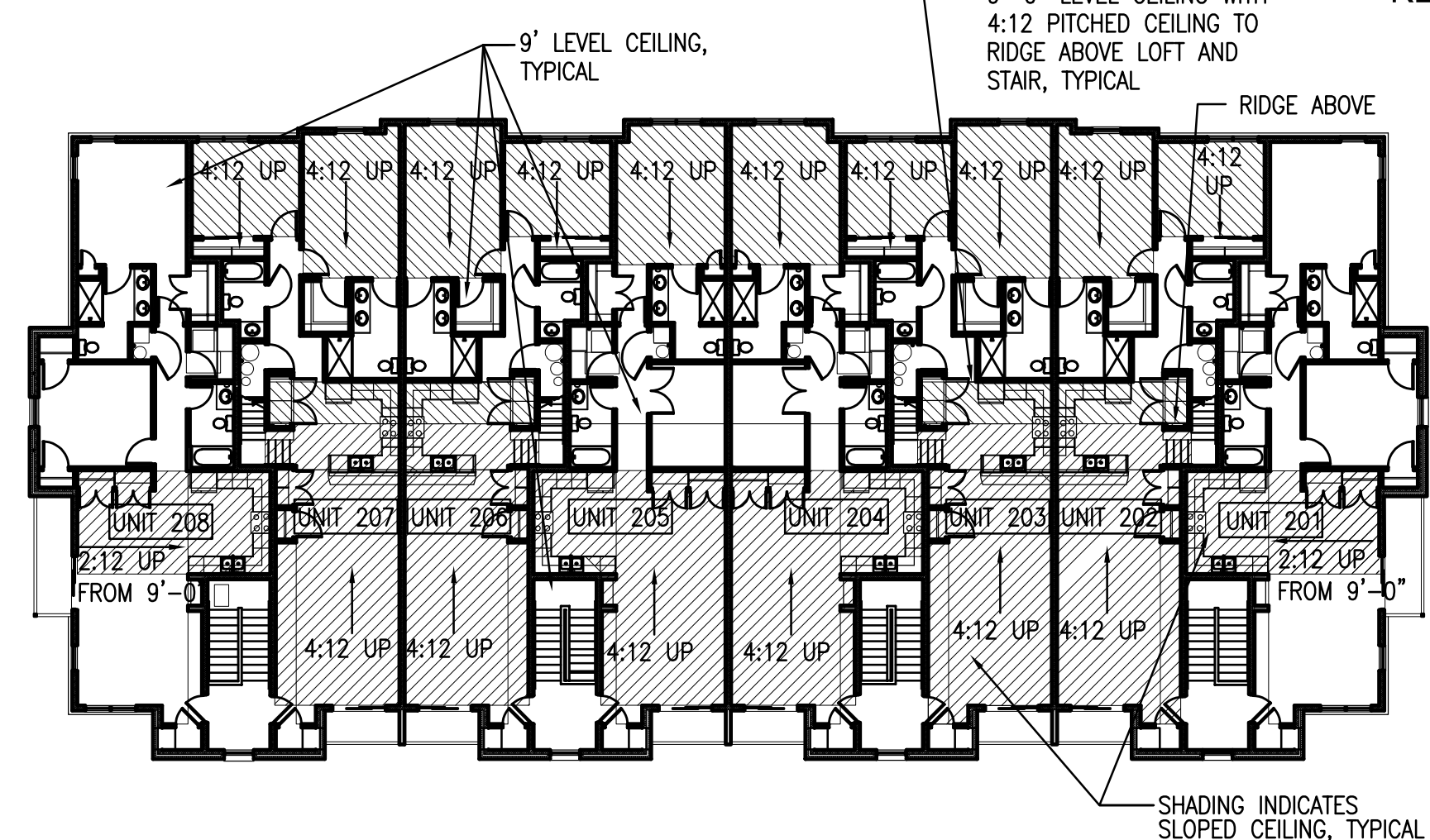
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- 3A 3'-6" x 5'-0" SINGLE HUNG WINDOW WITH 3'-6" x 1'-2" ARCH TOP
- 4 3'-6" x 6'-2" ARCH TOP FIXED WINDOW

NOTE: ALL OPERABLE WINDOWS MUST MEET EMERGENCY ESCAPE & RESCUE CODE REQUIREMENTS OF 5.7 SQUARE FEET MINIMUM OPENING AREA WITH MINIMUM 2'-0" HEIGHT AND 1'8" MINIMUM WIDTH DIMENSIONS.

NOTE: PROVIDE 15" WIDE LOUVERED SHUTTERS WITH ARCH TOP, SOLID ARCH TOP, OR FLAT TOP WHERE INDICATED ON ELEVATIONS - SEE SHEETS A3.0 & A3.1.



2 CATHEDRAL CEILINGS PLAN
 SCALE: N.T.S.

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 \\naap2\vol20\Projects\20116-00_Colonial Woods\20116-01_Colonial Woods\16_Unit\CDA_Building\5\20116-01-02_A12.dwg
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Revisions:

Sheet Name:
 THIRD FLOOR
 LOFT PLAN

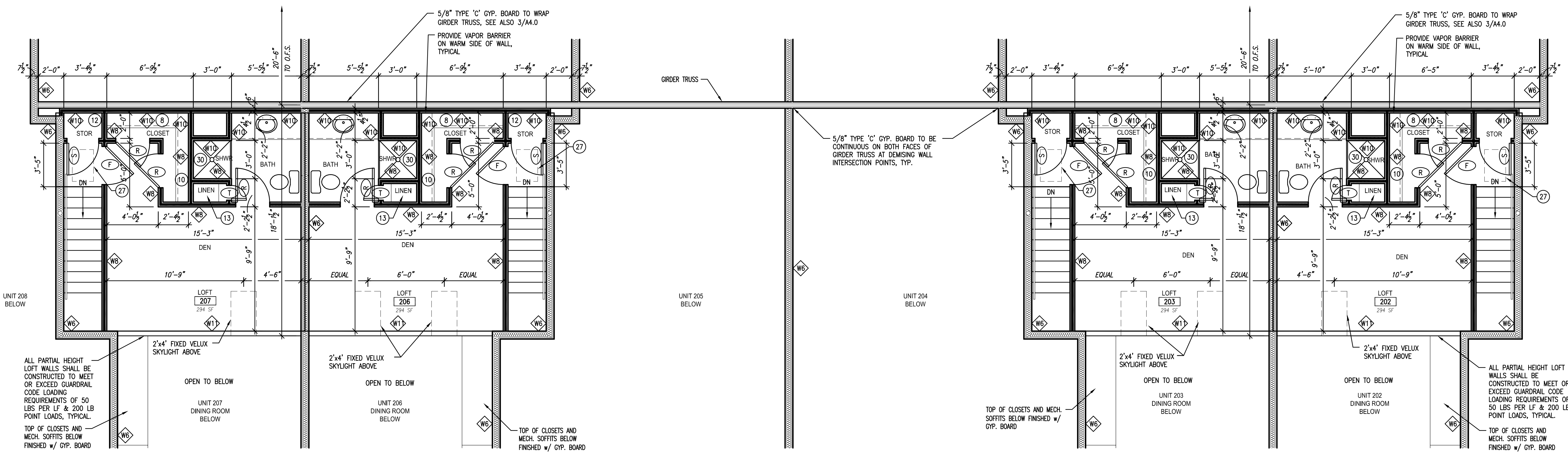
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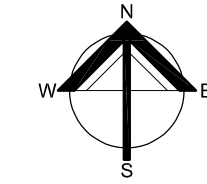
Project No.: 20116.01.02

Sheet No.

A1.3



1 THIRD FLOOR LOFT PLAN - OVERALL
 SCALE: 1/4" = 1'-0"



GENERAL NOTES

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- ALL CONSTRUCTION OF FIRST FLOOR UNITS SHALL MEET ADA REQUIREMENTS. THIS INCLUDES SITE ACCESS TO EACH FIRST FLOOR UNIT. THIS ALSO INCLUDES MOUNTING HEIGHTS OF LIGHT SWITCHES, ELECTRICAL OUTLETS, OPERABLE WINDOW CONTROLS, DOOR HARDWARE INCLUDING PATIO DOORS, CONTROLS ON APPLIANCES, THERMOSTATS, AND OTHER OPERABLE ENVIRONMENTAL CONTROLS. ADEQUATE ILLUMINATION IS ALSO REQUIRED.
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INTERIOR WALL TYPES (ALL FLOOR LEVELS)

- WB** - UL DESIGN NO. U340 - 1 HOUR RATED SYSTEM:
 - 2x6 BASE & SILL PLATES
 - 2x4 WOOD STUDS @ 24" O.C. EACH SIDE STAGGERED OPPOSITE @ 12" O.C.
 - 7/8" RESILIENT FURRING CHANNELS ONE SIDE
 - 3 1/2" SOUND ATTENUATION BATT INSULATION STAPLED TO STUDS
 - 5/8" TYPE 'C' GYPSUM BOARD EACH SIDE
 - NOTE: USE MOISTURE RESISTANT GWB ON ALL KITCHEN & BATHROOM WALLS.
 - ACOUSTICAL SEALANT AROUND PARTITION PERIMETER, SEE DETAIL 4/A4.0.
 - WALL THICKNESS= 7 1/2" NOMINAL
 - MINIMUM STC RATING OF 52
- W7** - UL DESIGN NO. U305 - 1 HOUR RATED SYSTEM:
 - 2x6 WOOD STUDS @ 16" O.C.
 - 7/8" RESILIENT FURRING CHANNELS ONE SIDE
 - FRICTION FIT 6 1/4"x15 1/4" R-19 UNFACED FIBERGLASS BATT INSULATION
 - 5/8" TYPE 'C' GYPSUM BOARD EACH SIDE
 - ACOUSTICAL SEALANT AROUND PARTITION PERIMETER, SEE DETAIL 4/A4.0.
 - WALL THICKNESS= 7 1/2" NOMINAL
 - STC RATING OF 56
- WB** - 2x4 WOOD STUDS @ 16" O.C. MAX.
 - 1/2" GYPSUM BOARD EACH SIDE
 - WALL THICKNESS= 4 1/2" NOMINAL
- WB** - 2x6 WOOD STUDS @ 16" O.C. MAX.
 - 1/2" GYPSUM BOARD EACH SIDE
 - WALL THICKNESS= 6 1/2" NOMINAL
- W10** - 2x4 WOOD STUDS @ 16" O.C. MAX.
 - 1/2" GYPSUM BOARD ON ONE SIDE
 - WALL THICKNESS= 4" NOMINAL
- W11** - SAME AS WB BUT ONLY 3'-6" HIGH WITH WOOD CAP & COVE TRIM (SEE 5/A6.1 SIM.)
- W12** - SAME AS WB BUT TO HEIGHT OF PLASTIC LAMINATE COUNTERTOP
- W13** - CHAINLINK FENCE W/ 2" DIA. PIPE AND GATE. (SEE 3/A5.1)
- W14** - 2 HOUR RATED 8" CONCRETE
- W15** - 12" CONCRETE BLOCK RETAINING WALL
- W17** - 2 HOUR RATED 8" CONCRETE BLOCK

CONSTRUCTION NOTES (ALL FLOOR LEVELS)

- PROVIDE RAISED FLR FOR HEATING & COOLING UNIT-SEE HVAC DESIGN
- SPACE FOR GAS METERS FOR 8 UNITS
- SPACE FOR ELEC. LOWBAY WATER HEATER w/ FLR DRAIN - SEE PLUMBING
- SPACE FOR OWNER'S WATER SOFTENING SYSTEM
- BLOCKING FOR (FUTURE) GRAB BARS (IN FIRST FLOOR UNITS)
- SELF SUPPORTING STONE COUNTERTOP WITH REMOVABLE BASE CABINETS ON FULLY FINISHED FLOOR BENEATH.
- ONE POLE @ 66" AFF WITH ONE 12" DEEP SHELF ABOVE
- ONE POLE @ 54" AFF & TWO 14" DEEP SHELVES ABOVE
- ONE POLE @ 48" AFF & TWO 12" DEEP SHELVES ABOVE
- ONE POLE @ 36" AFF & ONE @ 72" AFF w/ 12" DEEP SHELF ABOVE EACH
- FIVE 12" DEEP SHELVES ON ADJUSTABLE BRACKETS
- FIVE 18" DEEP SHELVES ON ADJUSTABLE BRACKETS
- FIVE 24" DEEP SHELVES ON ADJUSTABLE BRACKETS
- FIVE 16" DEEP DECORATIVE SHELVES ON ADJUSTABLE BRACKETS
- HVAC SUPPLY DUCT RUN ABOVE CEILING ENTIRE LENGTH OF UNIT, TYP. THIS FLOOR
- DRYER VENT ABOVE, TYP.
- 2'-6" x 10" RETURN GRILLE ABOVE DOOR - VERIFY SIZE WITH MECH.
- 1'-6" x 2'-8" RETURN GRILLE IN SIDE WALL - VERIFY SIZE WITH MECH.
- 3'-0" x 5'-0" CLEAR INTERIOR, FULLY ACCESSIBLE ADA SHOWER W/ SEAT (FIRST FLOOR)
- ONE POLE @ 54" AFF & TWO 24" DEEP SHELVES ABOVE
- ONE POLE @ 36" AFF & ONE @ 72" AFF w/ 14" DEEP SHELF ABOVE EACH
- 2'-6" x 5'-0" TUB/ SHOWER UNIT
- FRIGIDAIRE ELECTRIC STACKABLE WASHER & DRYER WITH LOUVERED EXHAUST & RIGID METAL DUCT ALLOWING 40' DUCT RUN
- INSTALL A MAXIMUM 3/4" HIGH THRESHOLD (FROM THE EXTERIOR SIDE) OF THE PATIO DOOR TO COMPLY WITH ADA REQUIREMENTS FOR ANY CURRENT OR FUTURE UNIT CONVERSIONS.
- IN WALL BLOCKING AND GRAB BARS TO BE INSTALLED PER ADA REQUIREMENTS.
- FAN ABOVE, SEE 2/A4.0 AND ELECTRICAL PLANS.
- 20"x30" (1) HR RATED ATTIC ACCESS PANEL ABOVE
- CAULK AT BRICK AROUND PERIMETER OF FRAMING PENETRATION
- 3'-0" x 5'-0" SHOWER UNIT
- 3'-0" x 3'-0" SHOWER UNIT
- INSTALL GYP. BOARD BEFORE SETTING TUB/SHOWER UNIT, TYPICAL

Feb 11, 2025 - 9:04am - 9:04am Colonial Woods\20116-01 Colonial Woods 16 Unit\Cad\Building 5\20116-01-02_A1.3.dwg
 03/20 Projects\20116-00 Colonial Woods\20116-01 Colonial Woods 16 Unit\Cad\Building 5\20116-01-02_A1.3.dwg
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ROOF NOTES

- 1 SHINGLE ROOF—SEE SHEET A4.0 FOR CONSTRUCTION TYPE.
 - 2 GUTTER - 4 3/4"(H) x 6"(W)
 - 3 (9) DOWNSPOUTS - 5" x 3 3/4" (11 NEEDED IF 3" x 4" USED)
 - 4 CONTINUOUS RIDGE VENT w/ 15 SQ. IN. PER FOOT VENTILATION
 - 5 FACE OF EXTERIOR WALL LINE BELOW.
 - 6 2'-0" x 4'-0" SKYLIGHT - SEE ALSO SHEET A1.3
 - 7 20" x 30" (MINIMUM) ONE-HOUR RATED CEILING ACCESS PANEL IN LOFT CEILING BELOW
 - 8 PREFIN. METAL VALLEY FLASHING. SEE DETAIL 6/A2.0.
 - 9 ICE & WATER SHIELD. 36" UP FROM VALLEYS AND 72" UP FROM EAVES, TYP.
 - 10 DECORATIVE GABLE LOUVER
 - 11 VENTILATING GABLE LOUVER
- NOTE:
 ADDITIONAL VENTILATION BEYOND AREAS NOTED ON ROOF PLAN PROVIDED BY PERFORATED SOFFITS OF GABLES.

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 16 UNIT APARTMENT BUILDING**
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Revisions:
 ADDENDUM #1
 03/07/2025

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 ROOF PLAN
 AND ROOF DETAILS

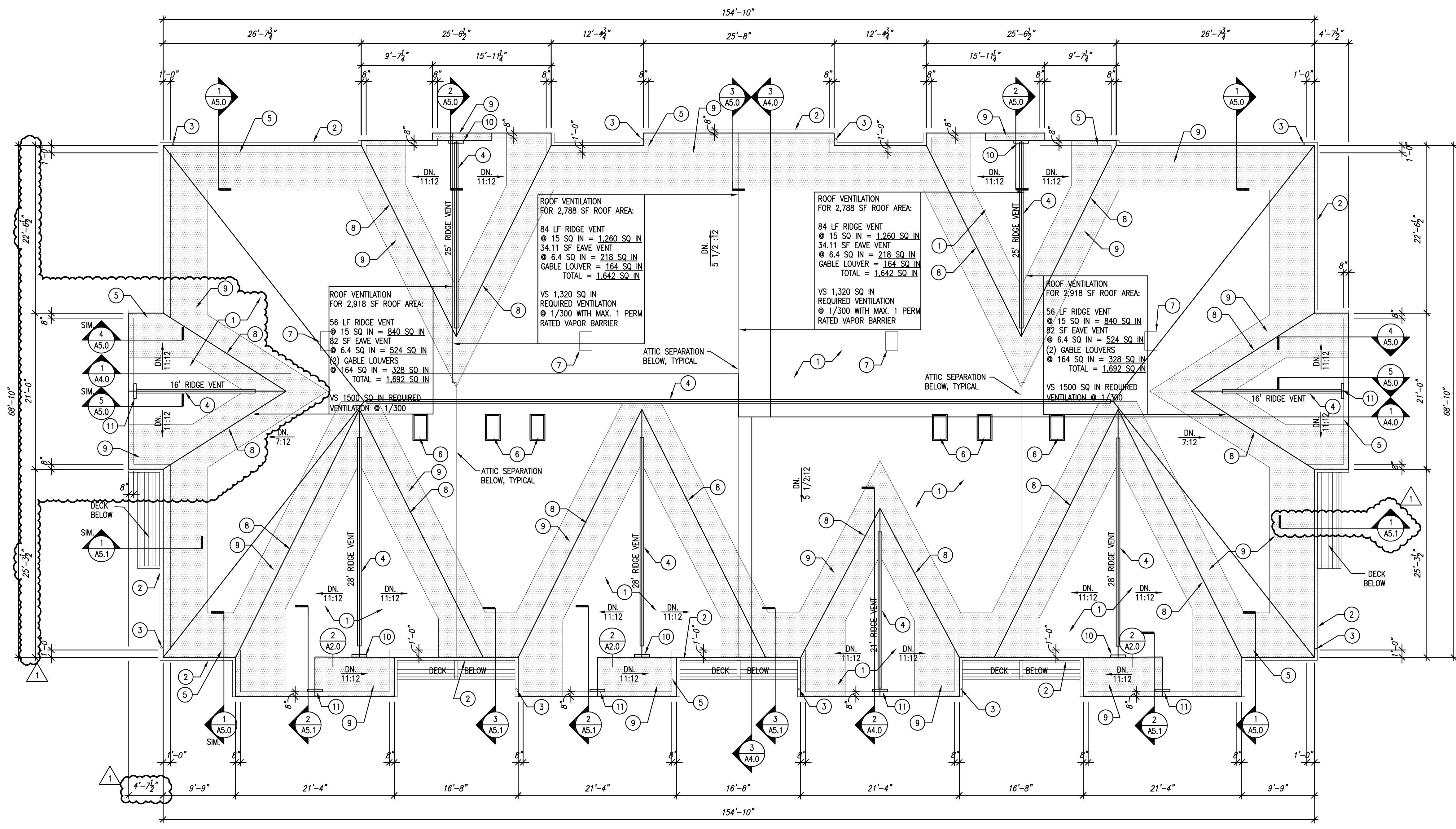
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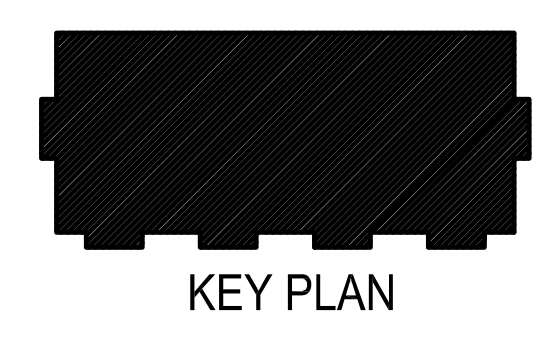
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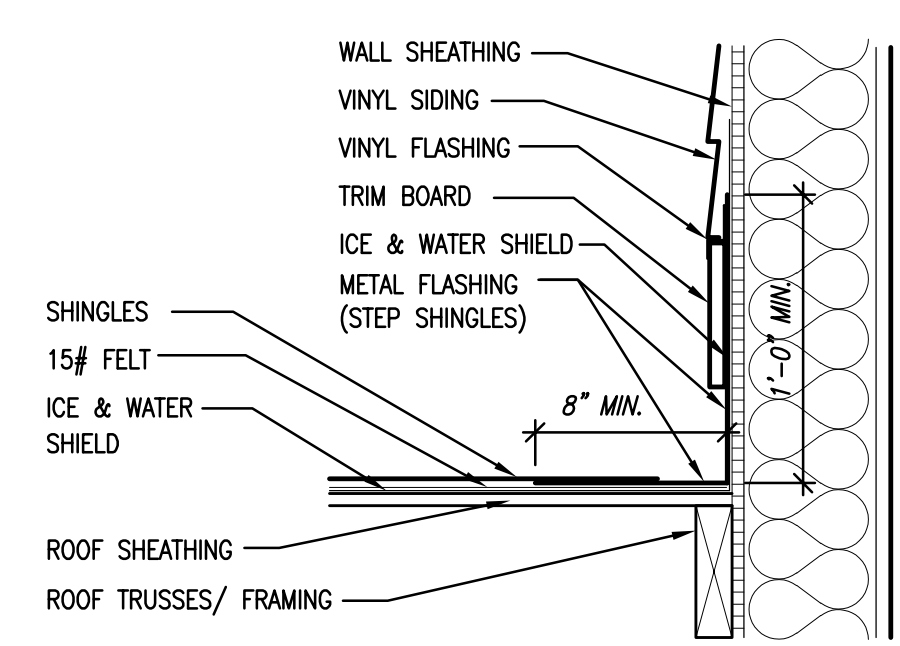
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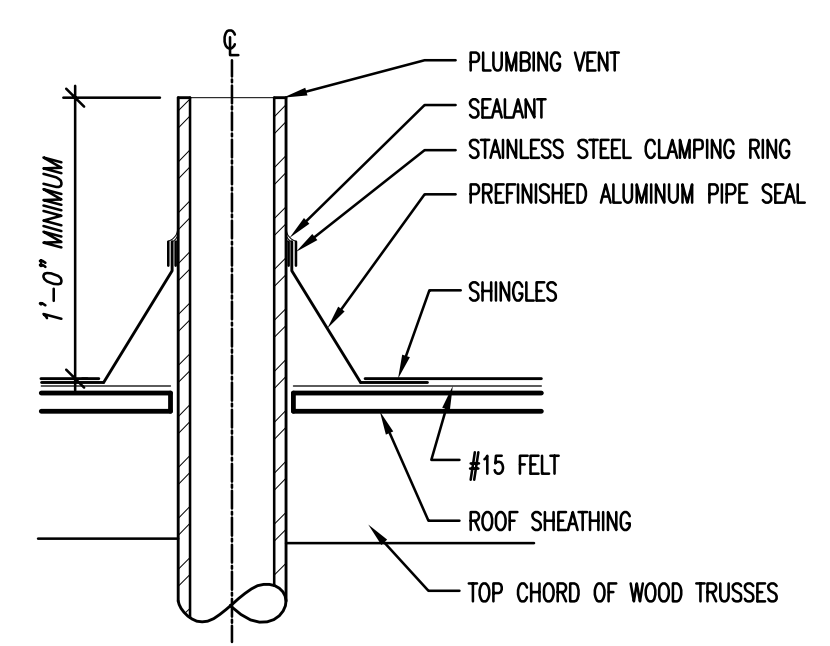
1 ROOF PLAN - OVERALL
 SCALE: 1/8" = 1'-0"



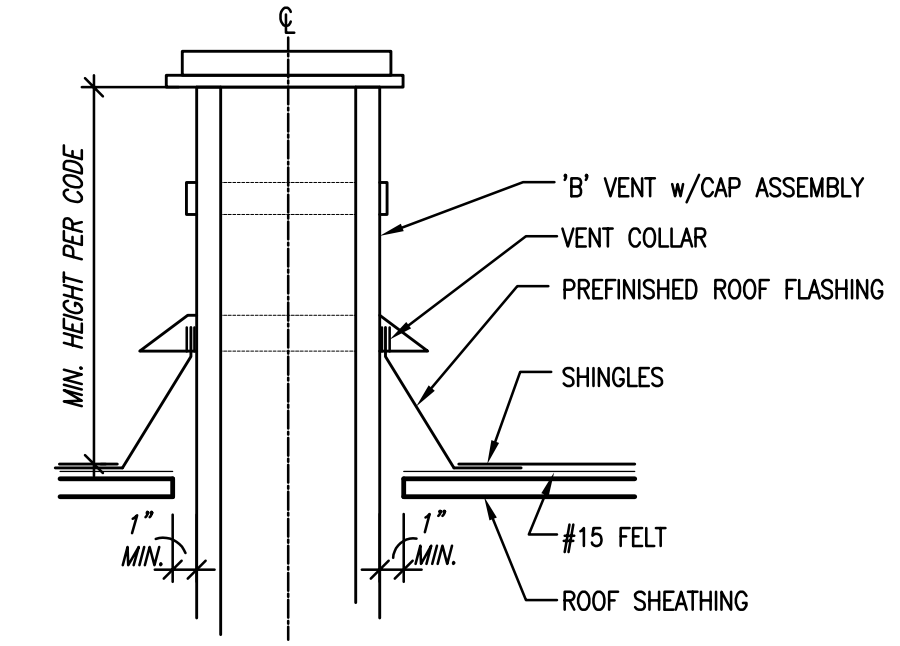
KEY PLAN



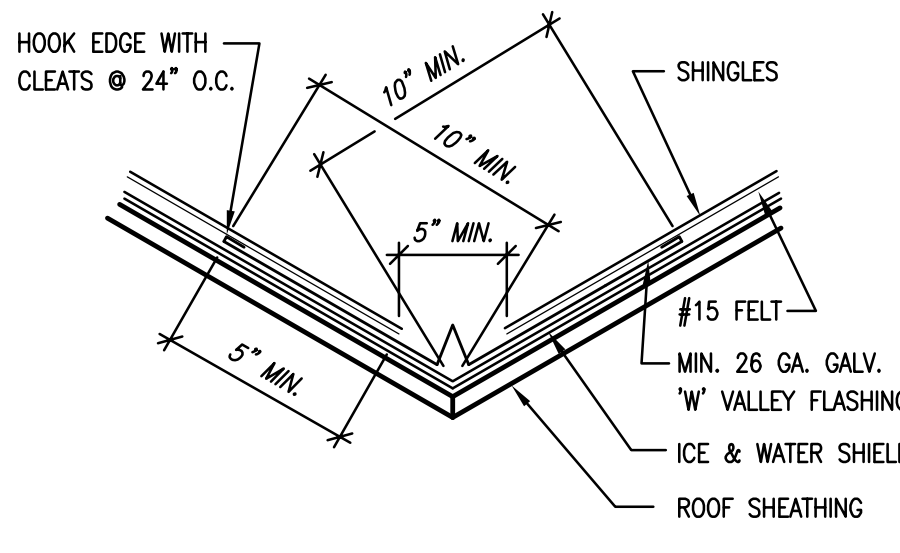
2 SIDE WALL FLASHING DETAIL
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3 VENT PIPE FLASHING DETAIL
 SCALE: 1 1/2" = 1'-0"



4 'B' VENT FLASHING DETAIL
 SCALE: 1 1/2" = 1'-0"

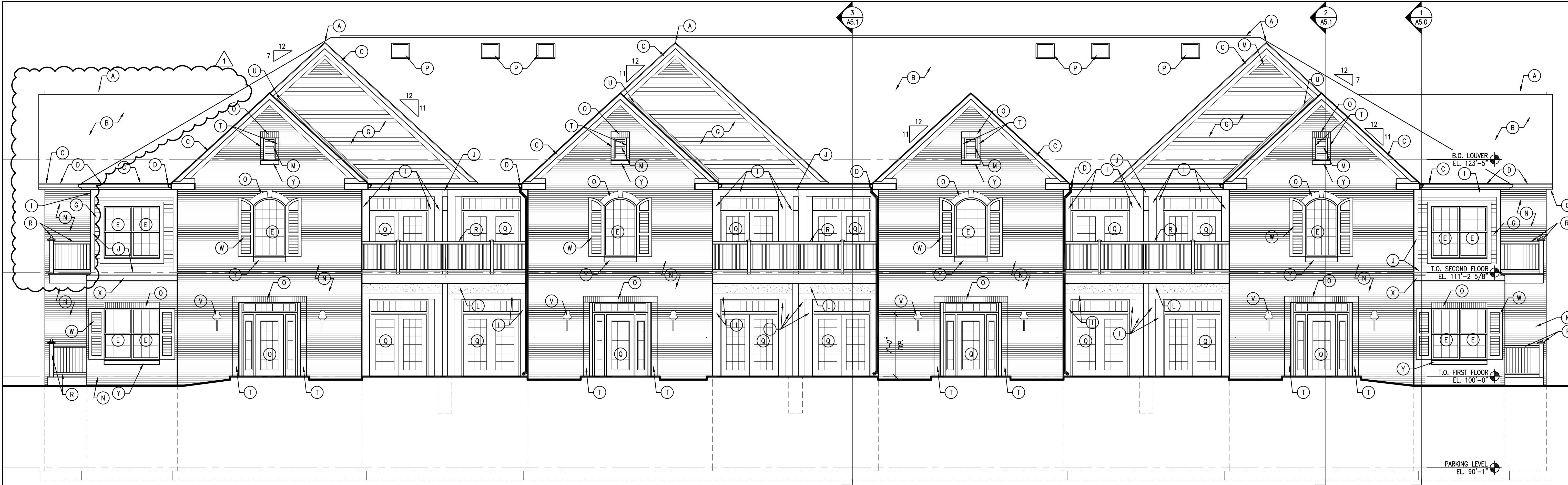


5 METAL VALLEY FLASHING DETAIL
 SCALE: 1 1/2" = 1'-0"

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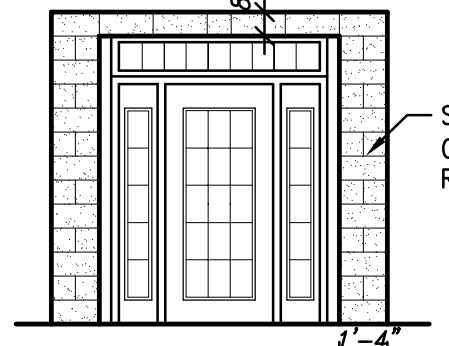


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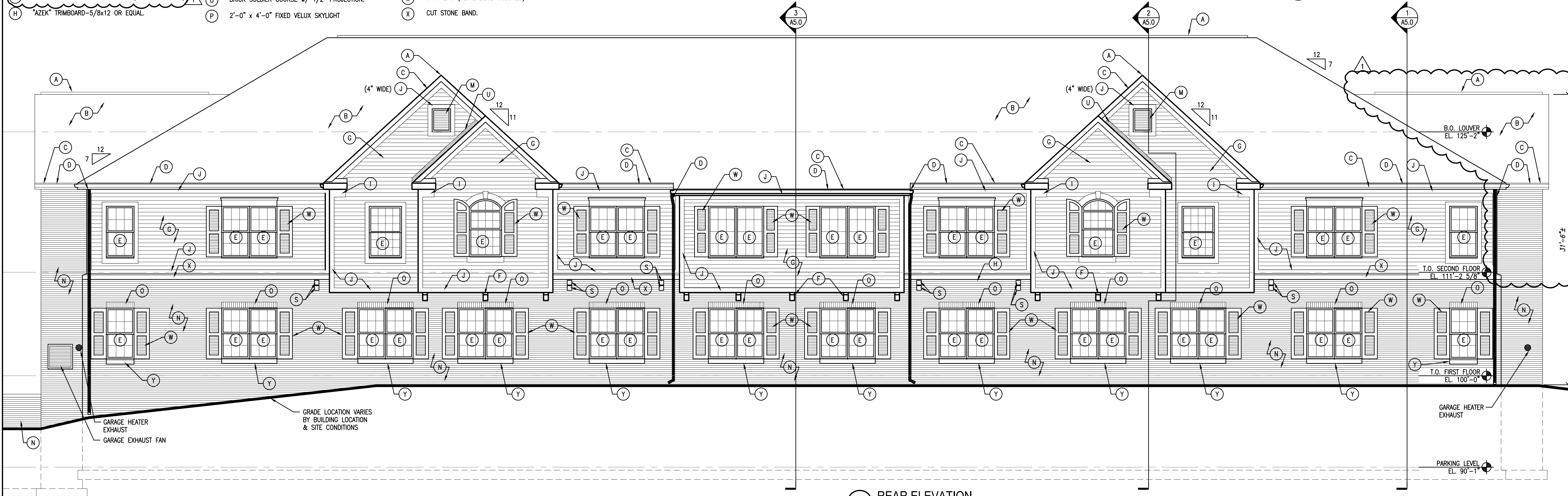
1 FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

2 ALTERNATE ENTRY SURROUND
 SCALE: 3/16" = 1'-0"



CONSTRUCTION NOTES

- | | | | |
|--|--|--|---|
| (A) CONTINUOUS RIDGE VENT. | (I) "AZEK" TRIMBOARD-5/8x10 OR EQUAL. | (Q) DOOR/TRANSOM-SEE DOOR SCHEDULE. | (Y) CUT STONE SILL. |
| (B) ASPHALT SHINGLES. (GRAY COLORED) | (J) "AZEK" TRIMBOARD-5/8x6 (OR AS NOTED) OR EQUAL. | (R) "TREX" POST & RAILING SYSTEM OR EQUAL. | (Z) 3'-6" HIGH GUARDRAIL @ TOP OF RETAINING WALL. |
| (C) FASCIA BOARD - "AZEK" 5/8x8 OR EQUAL. | (K) "AZEK" TRIMBOARD-5/8x8 OR EQUAL. | (S) DRYER VENT. | |
| (D) GUTTER & DOWNSPOUT-SEE A2.0 FOR LOCATION. | (L) "AZEK" 1/2" THICK SHEET OR EQUAL. | (T) BRICK w/ 1/2" PROJECTION | |
| (E) WINDOW-SEE FLOOR PLANS FOR TYPE. | (M) LOUVERS (SEE SHT A2.0 & SPEC.). | (U) FLASHING | |
| (F) BRACKET (FYRON). | (N) FACE BRICK. (RED COLORED) | (V) LIGHT FIXTURE ON BLOCKING (TYP.). | |
| (G) FIBER CEMENT SIDING & 6" TRIM. (CREAM COLORED) | (O) BRICK SOLDIER COURSE w/ 1/2" PROJECTION. | (W) SHUTTERS (SLATE BLUE COLORED) | |
| (H) "AZEK" TRIMBOARD-5/8x12 OR EQUAL. | (P) 2'-0" x 4'-0" FIXED VELLUX SKYLIGHT | (X) CUT STONE BAND. | |



3 REAR ELEVATION
 SCALE: 3/16" = 1'-0"

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16 UNIT APARTMENT BUILDING

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 Oak Creek, Wisconsin 53154

Revisions:
 ADDENDUM #1
 03/07/2025

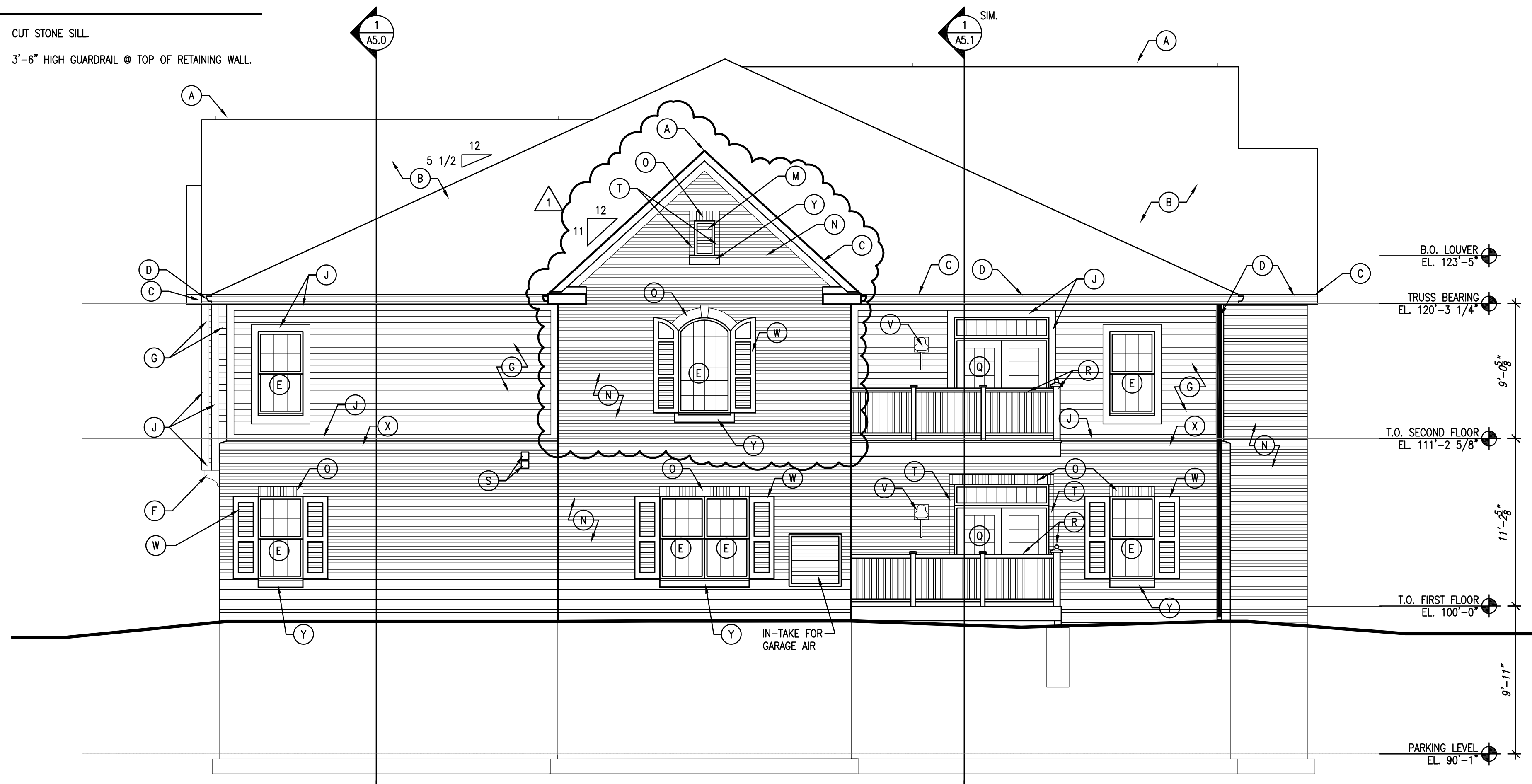
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 AND BACK
 Date: 02/07/2025
 Drawn By: CLR/CGH
 Project No.: 20116.01.02
 Sheet No.

A3.0

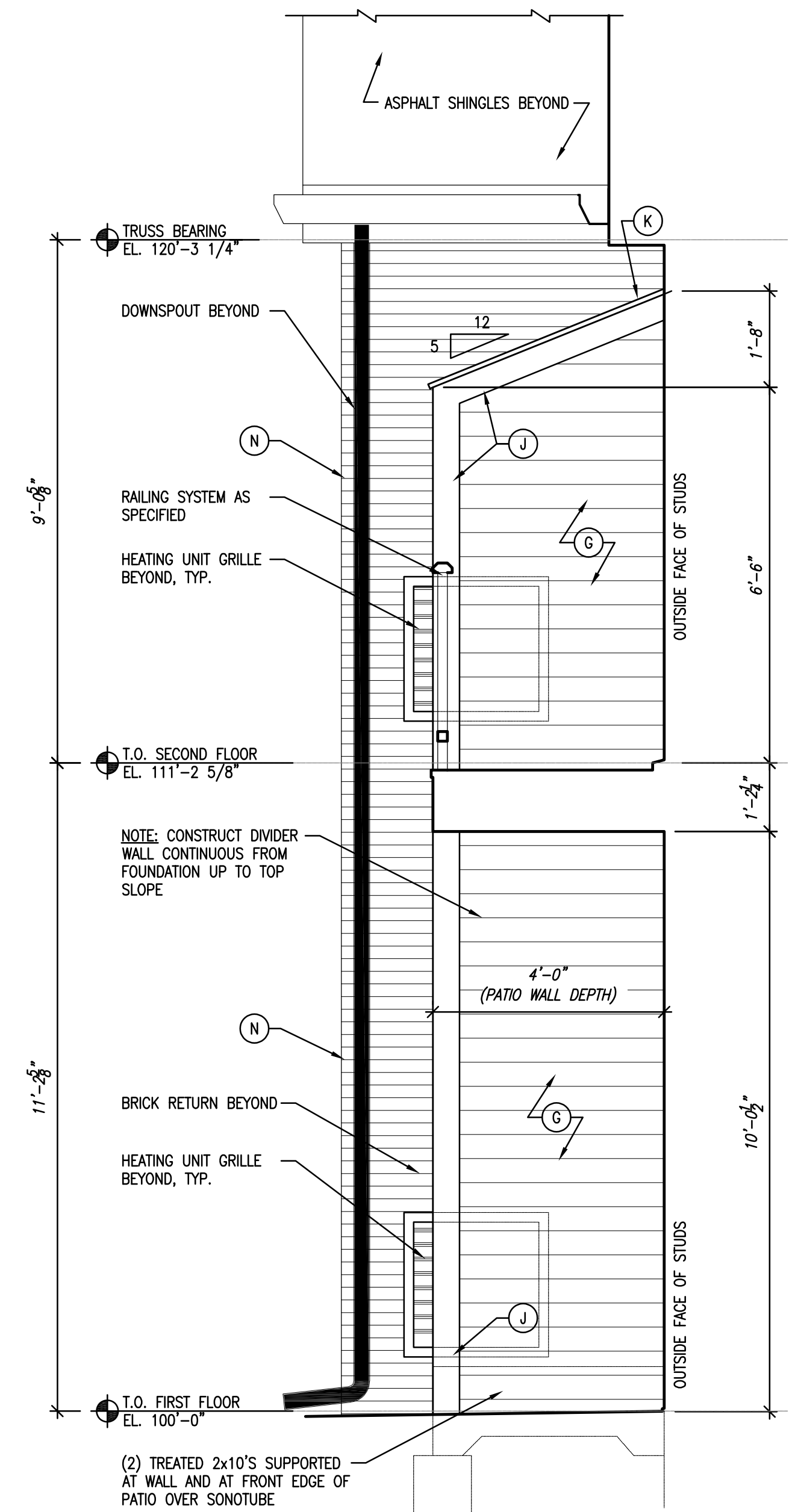
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CONSTRUCTION NOTES

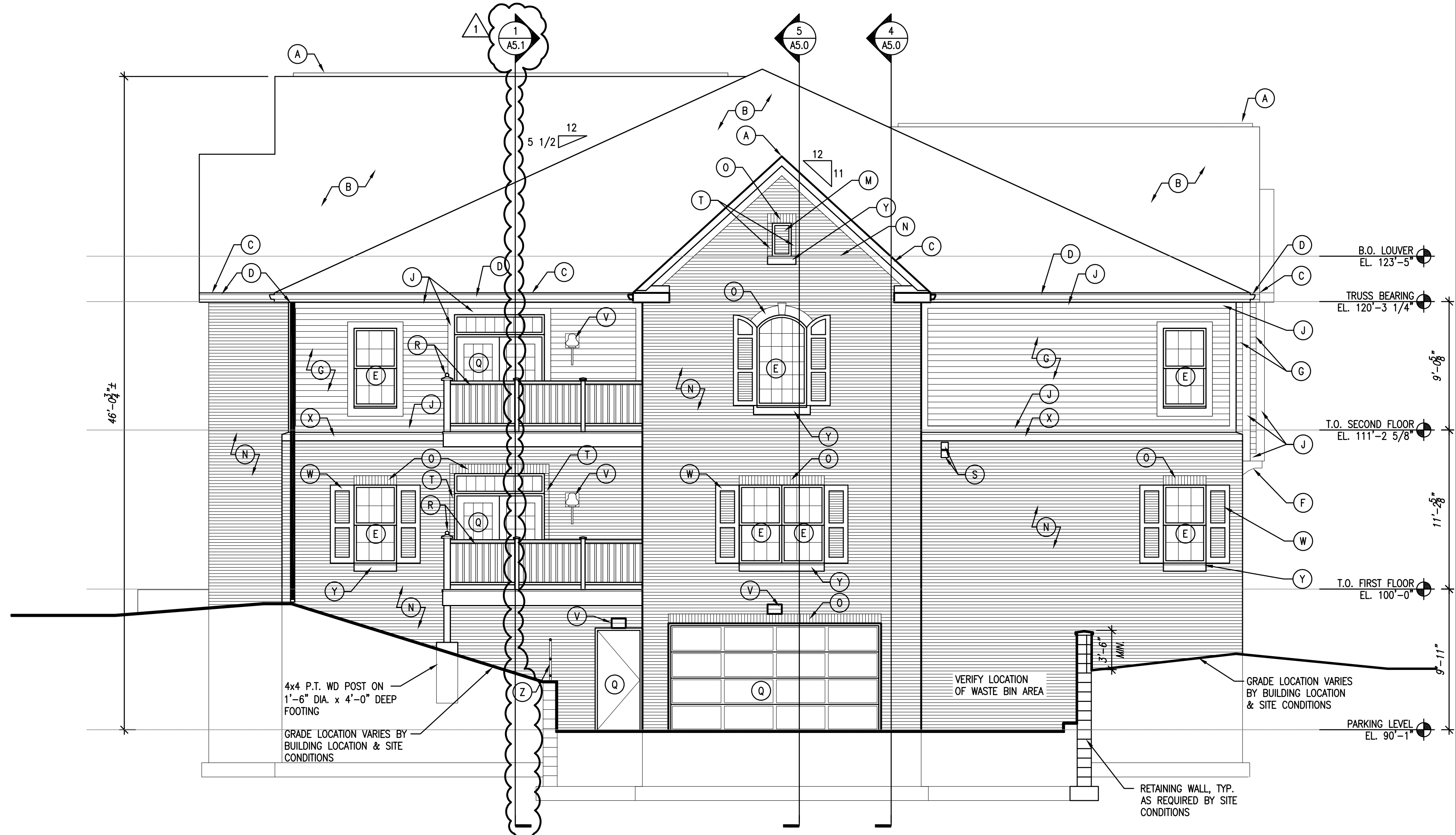
- | | | | |
|--|--|--|---|
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| (D) GUTTER & DOWNSPOUT-SEE A2.0 FOR LOCATION. | (L) "AZEK" 1/2" THICK SHEET OR EQUAL. | (T) BRICK w/ 1/2" PROJECTION | |
| (E) WINDOW-SEE FLOOR PLANS FOR TYPE. | (M) LOUVERS (SEE SHT A2.0 & SPEC.). | (U) FLASHING | |
| (F) BRACKET (FYPON). | (N) FACE BRICK. (RED COLORED) | (V) LIGHT FIXTURE ON BLOCKING (TYP.). | |
| (G) FIBER CEMENT SIDING & 6" TRIM. (CREAM COLORED) | (O) BRICK SOLDIER COURSE w/ 1/2" PROJECTION. | (W) SHUTTERS (SLATE BLUE COLORED) | |
| (H) "AZEK" TRIMBOARD-5/8x12 OR EQUAL. | (P) 2'-0" x 4'-0" FIXED VELUX SKYLIGHT | (X) CUT STONE BAND. | |



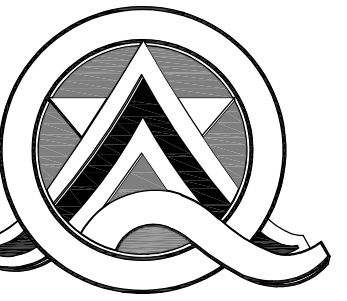
2 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



1 PATIO DIVIDER WALL ELEVATION
SCALE: 1/2" = 1'-0"



3 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



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CONSTRUCTION
QUORUM ARCHITECTS, INC.

BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING
S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:
ADDENDUM #1
03/07/2025

Sheet Name:
EXTERIOR BUILDING
ELEVATIONS - LEFT AND
RIGHT

Date: 02/07/2025
Drawn By: CLR/CGH
Project No.: 20116.01.02

Sheet No.
A3.1

Mar. 07. 2025 - 1:03pm
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FIRE-RATED CONSTRUCTION NOTES

- 1 1 HOUR RATED DWELLING UNIT PARTITION WALL (SEE WALL TYPE W6) *
 - 2 2 HOUR RATED PRECAST
 - 3 1 HOUR FLOOR/CEILING ASSEMBLY (SEE WALL TYPE F1) *
 - 4 1 HOUR ROOF/CEILING ASSEMBLY (SEE ROOF TYPE R1) *
 - 5 ATTIC SEPARATION DRAFT STOPPING - ONE LAYER 5/8" GYPSUM BOARD ONE SIDE - COORDINATE WITH ROOF PLAN SHEET A2.0 AND ROOF VENTILATION REQUIREMENTS. DRAFT STOPPING TO BE CONTINUOUS FROM EAVE TO EAVE.
 - 6 FIRESTOPPING IN FLOOR/CEILING SPACE AT EXTERIOR DWELLING UNIT PARTITION WALLS (SEE WALL TYPE W6) PROVIDE MINIMUM 1 1/2" THICK LUMBER OR TWO LAYERS 3/4" PARTICLE BOARD W/STAGGERED JOINTS ENTIRE LENGTH OF WALL INCLUDING WEB SPACES OF FLOOR TRUSSES.
 - 7 1 HR RATED STAIR ENCLOSURE (SEE WALL TYPE W7) *
 - 8 2 HOUR RATED CONCRETE BLOCK STAIR ENCLOSURE.
 - 9 20" x 30" MINIMUM 1 HOUR RATED ATTIC ACCESS PANEL w/ FLIP-DOWN STAIR
- * ALL UL DESIGNS SHALL BE CONSTRUCTED PER UL PUBLISHED DESCRIPTIONS INCLUDING FASTENERS AND NOTED SPACING. ANY PENETRATIONS INTO OR THROUGH RATED ASSEMBLIES MUST BE FIRE RATED AND INSTALLED PER CODE AND THE SPECIFIC UL DESIGN ASSEMBLY REQUIREMENTS. SUCH PENETRATIONS INCLUDE RECESSED LIGHTING FIXTURES, RECESSED EXHAUST FANS, DRYER VENTS, DUCTWORK, RECESSED SHOWER & TUB UNITS, PIPING, ELECTRICAL BOXES, ETC. PROVIDE FIRE DAMPERS AS REQUIRED. NOTE THAT CODE REQUIRES METAL RECEPTACLE BOXES WHICH MUST NOT BE BACK-TO-BACK IN RATED WALLS. NO OTHER PENETRATIONS ARE ALLOWED THROUGH DWELLING UNIT WALLS.

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**BUILDING 5
 COLONIAL WOODS
 16 UNIT APARTMENT BUILDING**

S 27th St & West Colonial Woods Dr.
 Oak Creek, Wisconsin 53154

Revisions:
 ADDENDUM #1
 03/07/2025

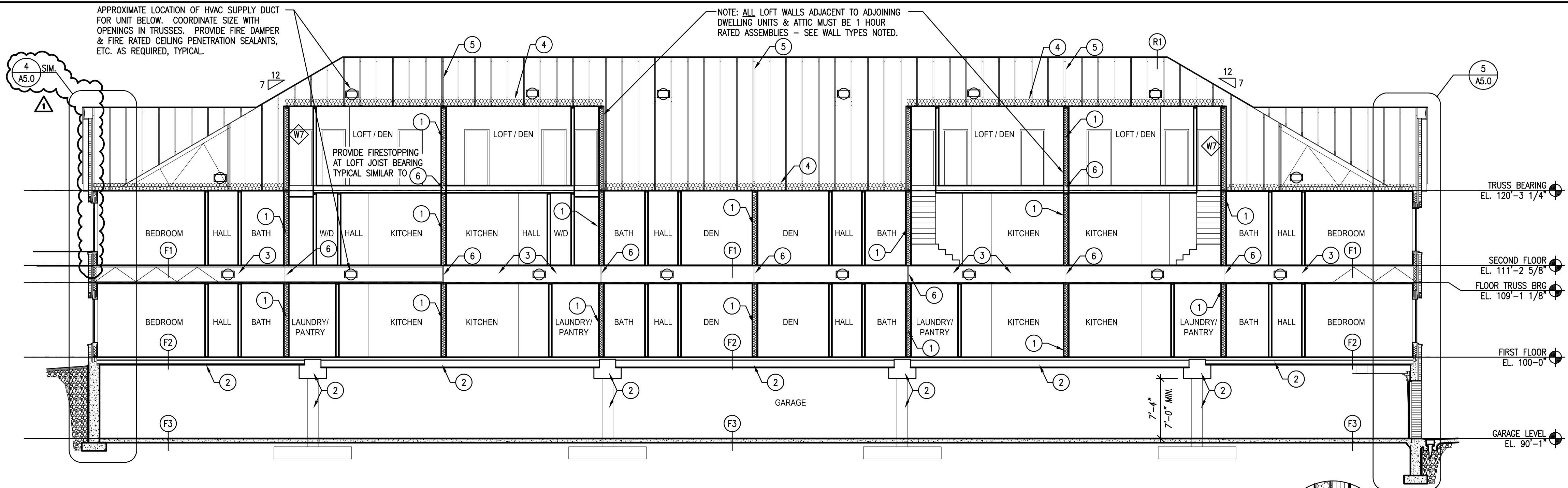
Sheet Name:
 BUILDING SECTIONS

Date: 02/07/2025
 Drawn By: CLR/CGH

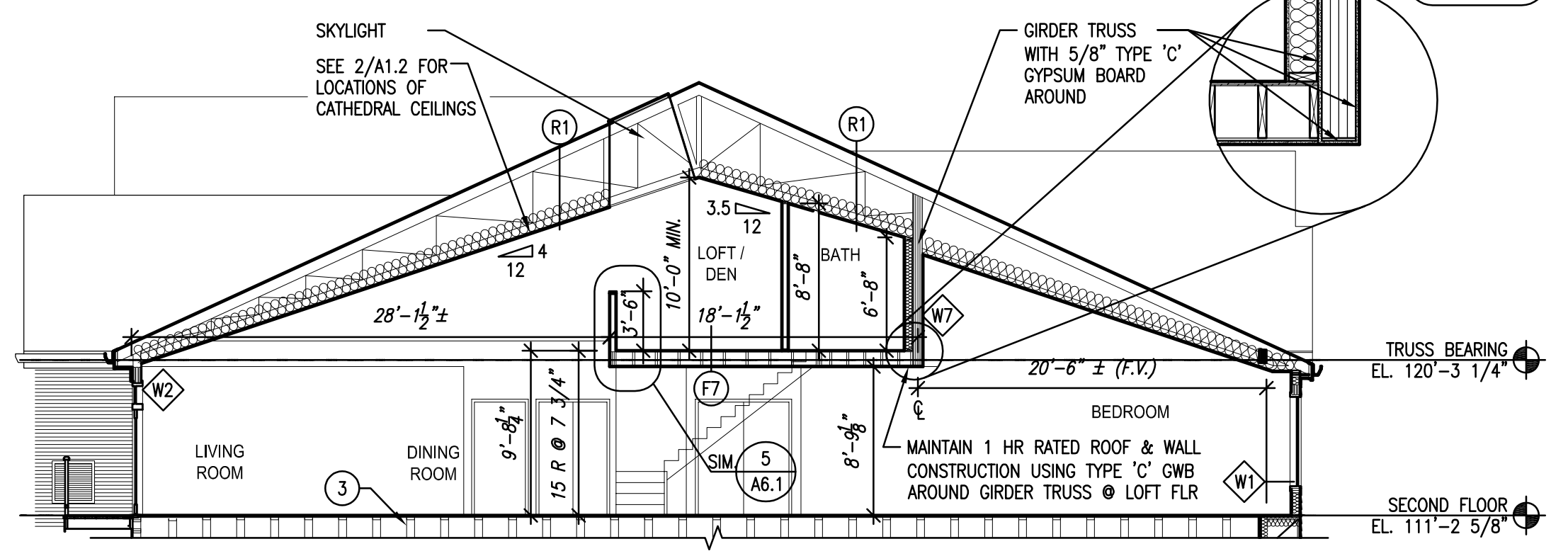
Project No.: 20116.01.02

Sheet No.

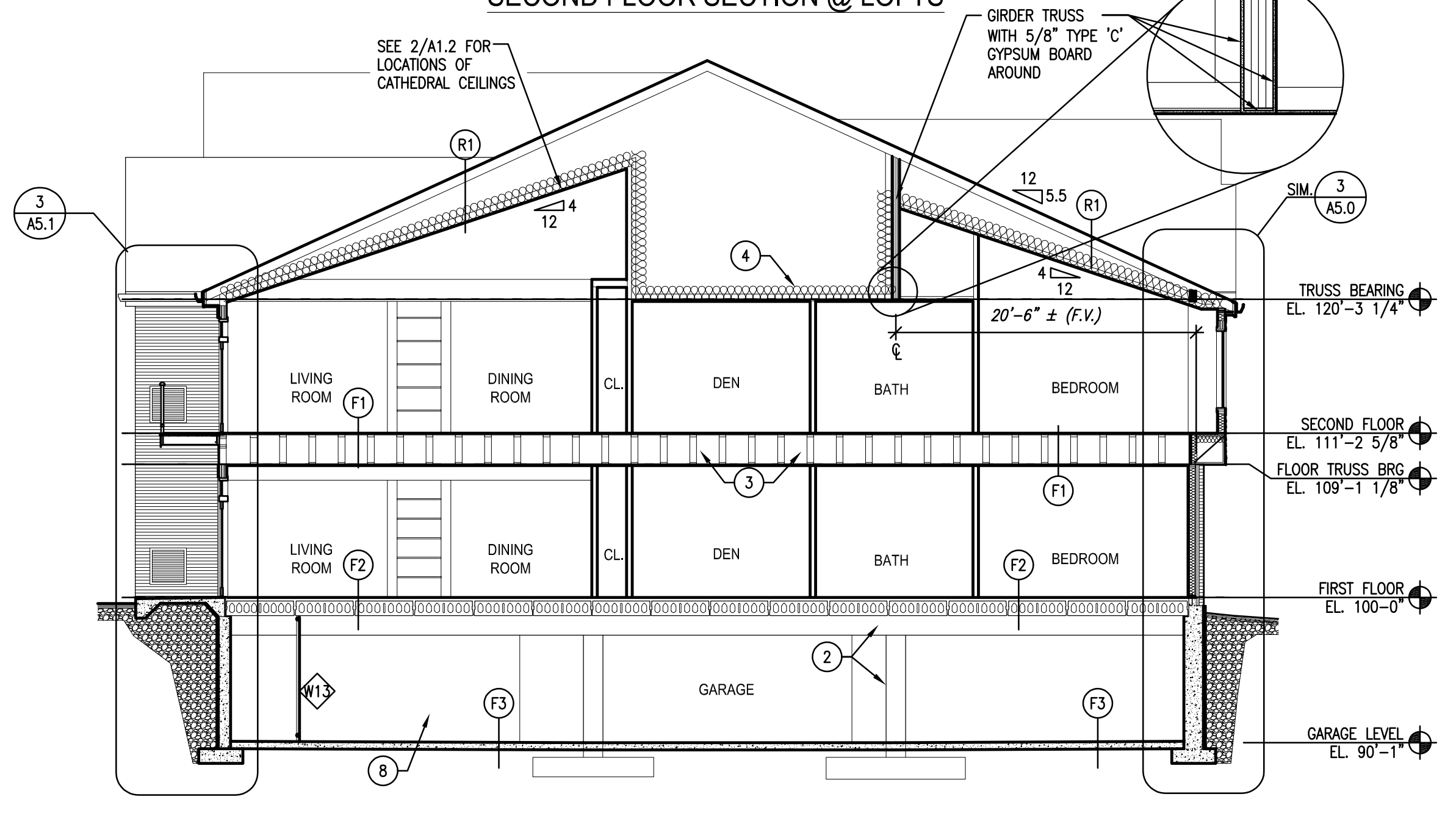
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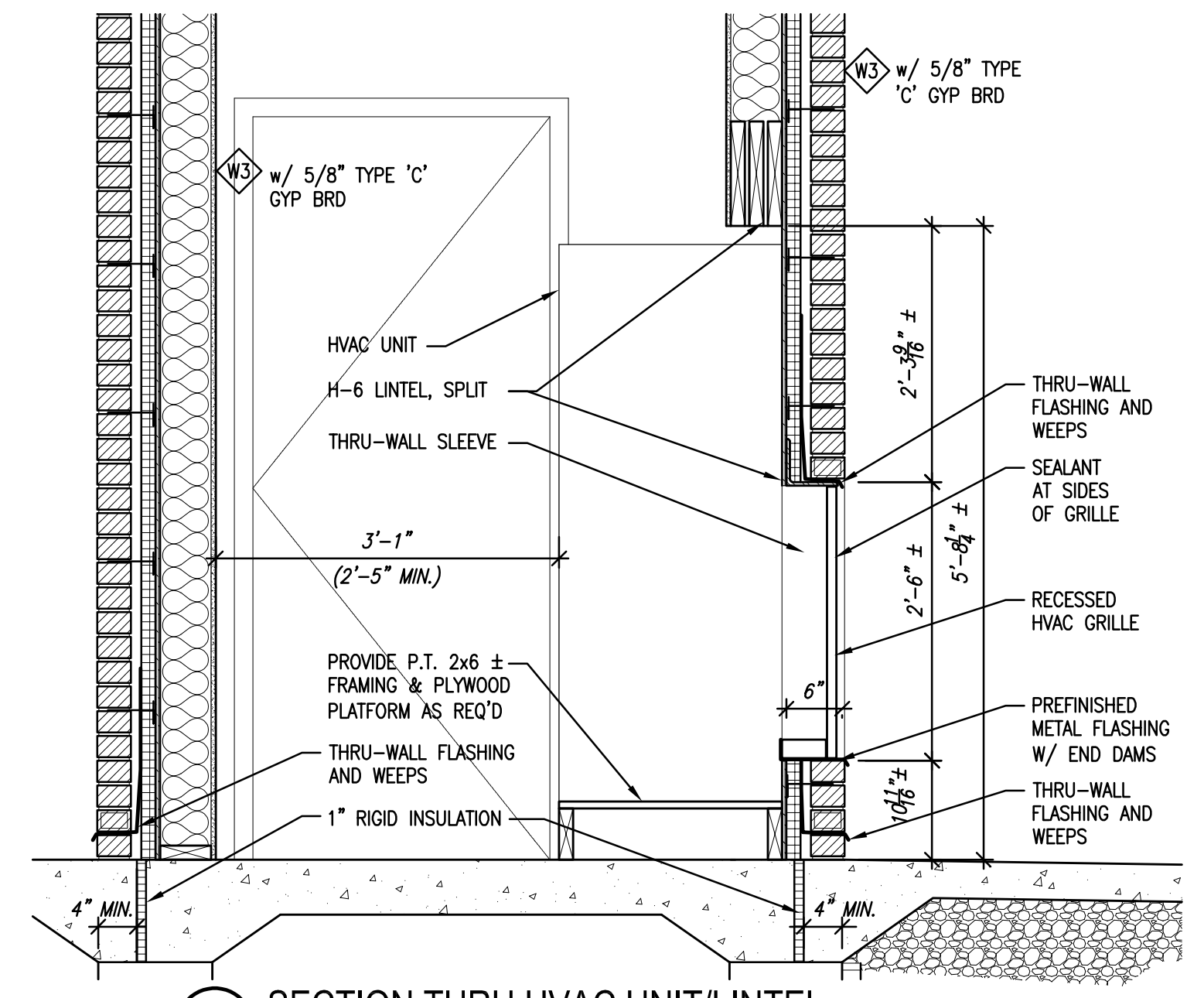
1 LONGITUDINAL BUILDING SECTION
 SCALE: 1/8" = 1'-0"



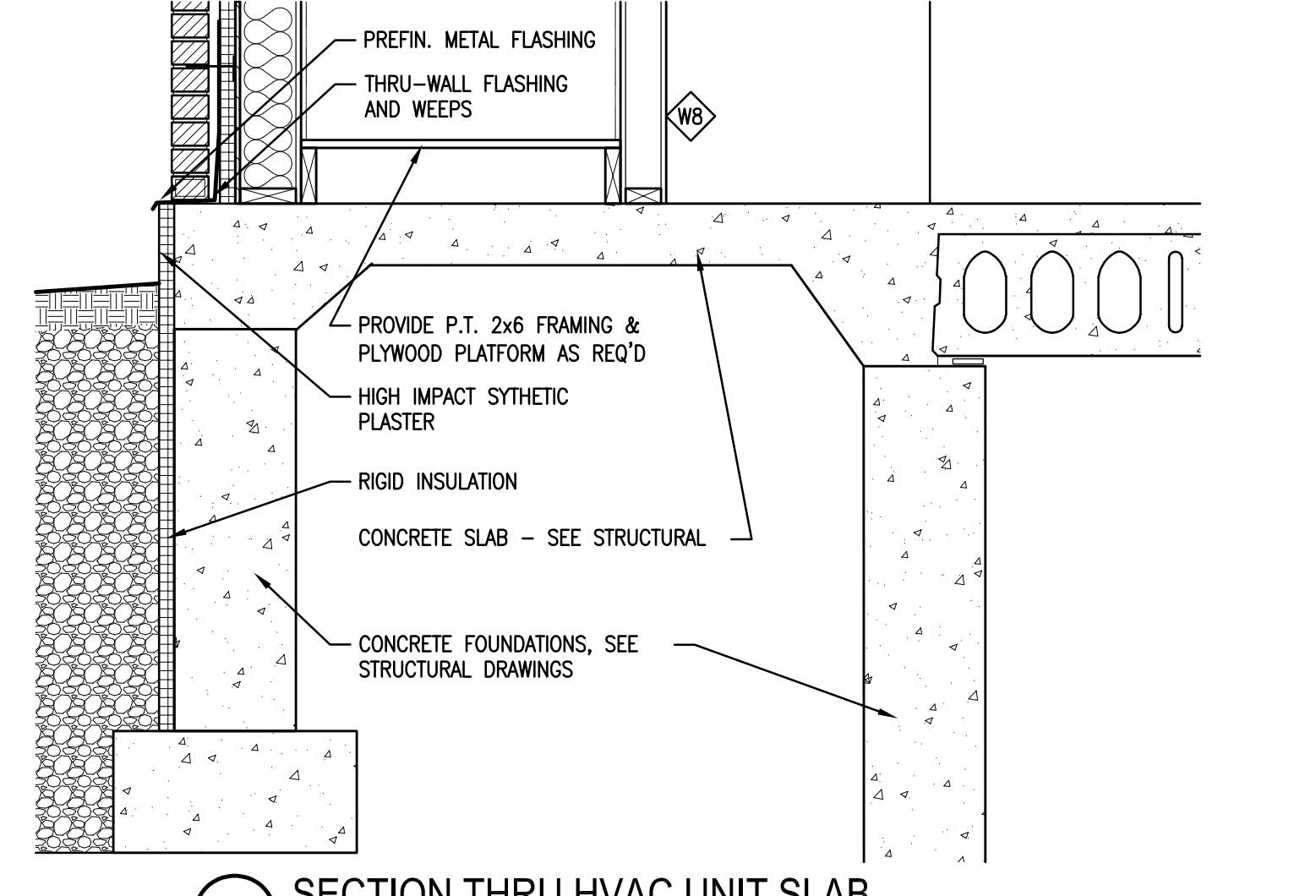
2 SECOND FLOOR SECTION @ LOFTS
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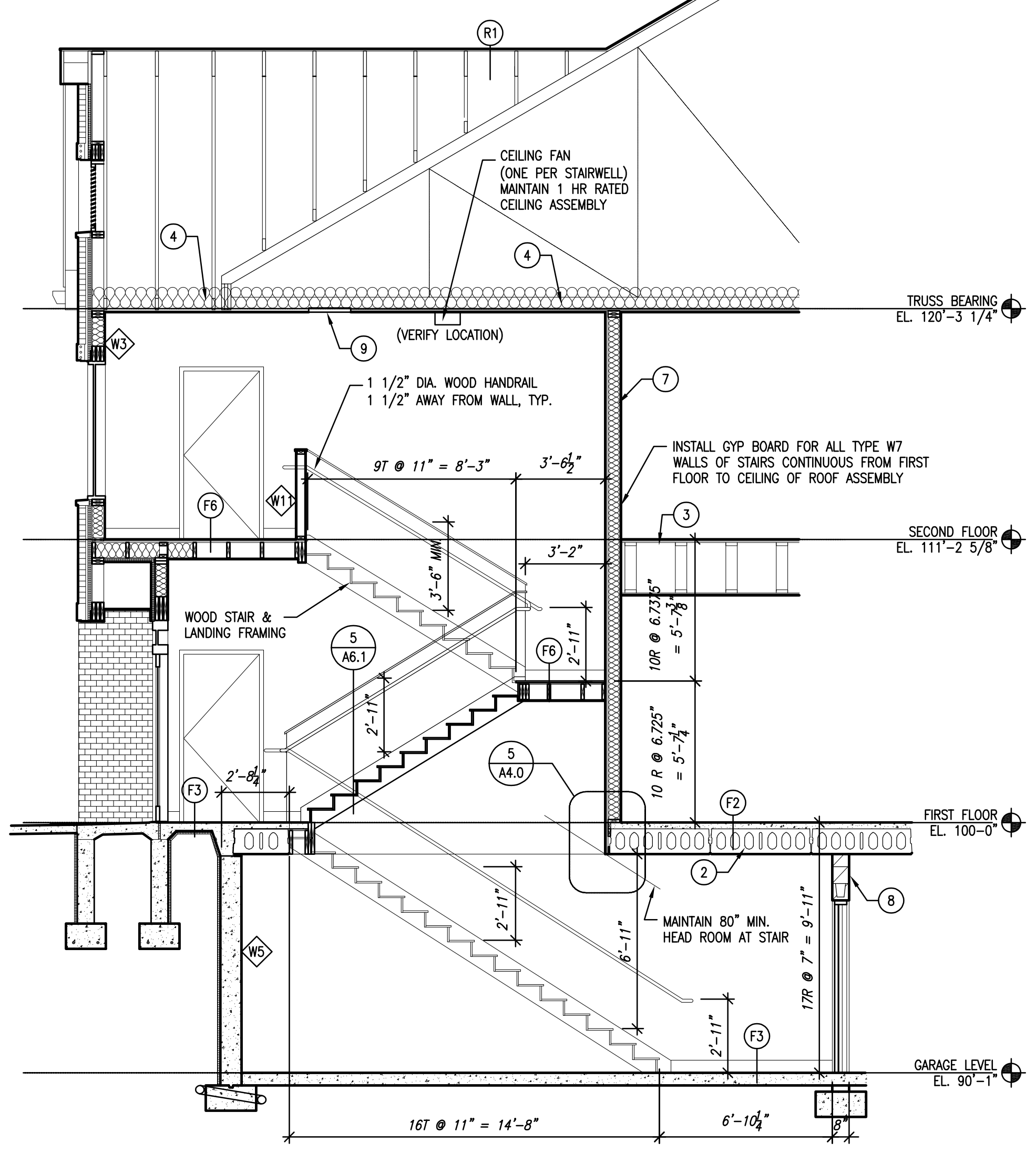
3 BUILDING CROSS SECTION
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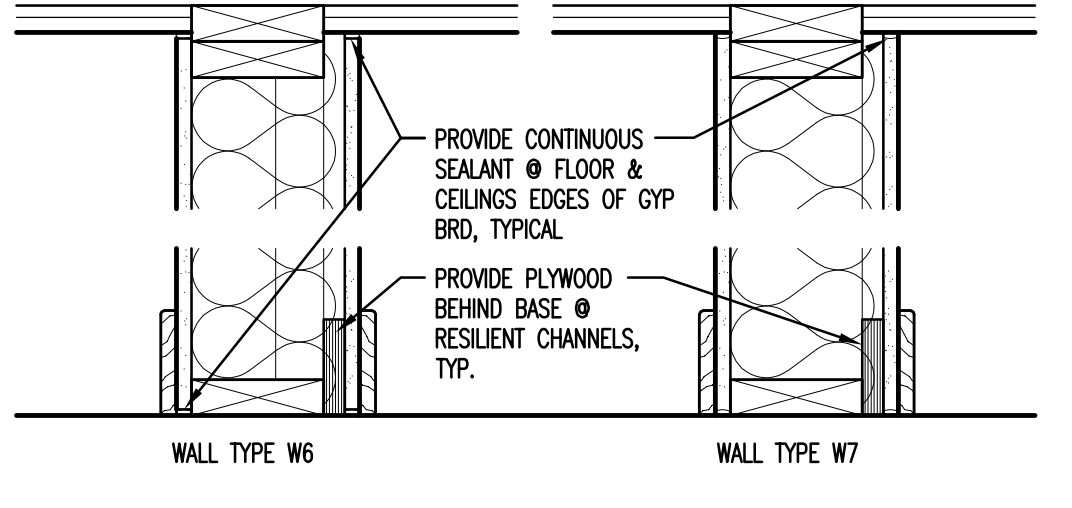
4 SECTION THRU HVAC UNIT/LINTEL
 SCALE: 3/4" = 1'-0"



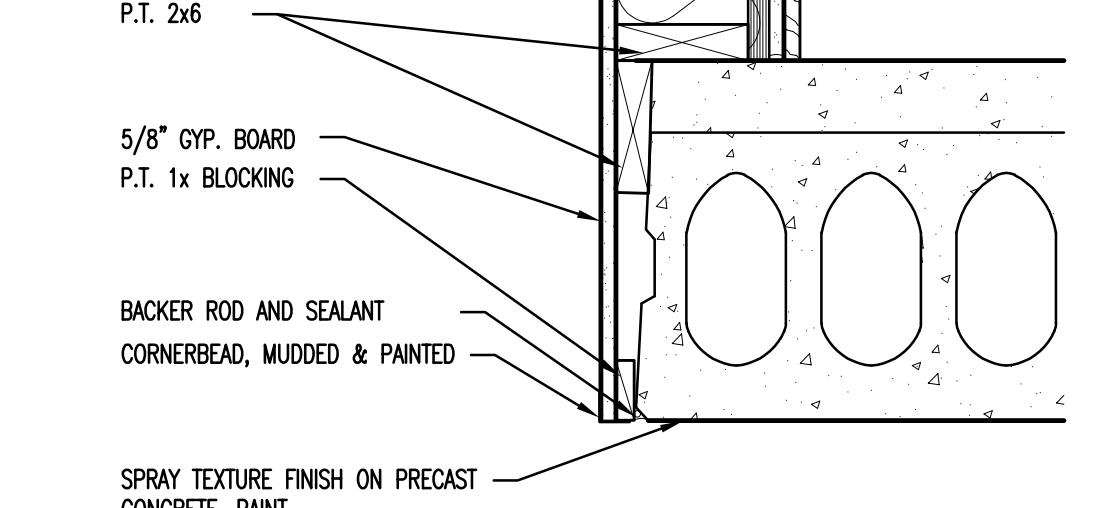
5 SECTION THRU HVAC UNIT SLAB
 SCALE: 3/4" = 1'-0"



6 STAIR SECTION
 SCALE: 1/4" = 1'-0"



7 SEALANT FOR SOUND RATING
 SCALE: 1 1/2" = 1'-0"



8 EDGE OF PRECAST DETAIL
 SCALE: 1 1/2" = 1'-0"

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 \\\nas2\vol20 Projects\20116-00 Colonial Woods\20116-01 Colonial Woods 16 Unit\CDA_Building 5\20116-01-02_A4.0.dwg
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BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING

S 27th St & West Colonial Woods Dr.
 Oak Creek, Wisconsin 53154

Revisions:

Sheet Name:
 WALL SECTIONS

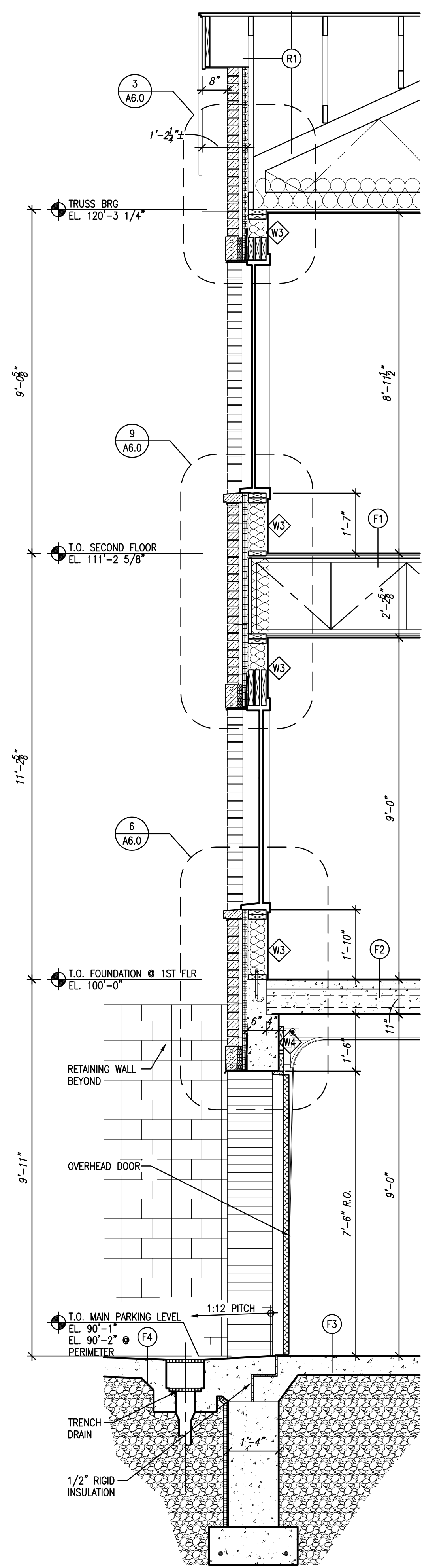
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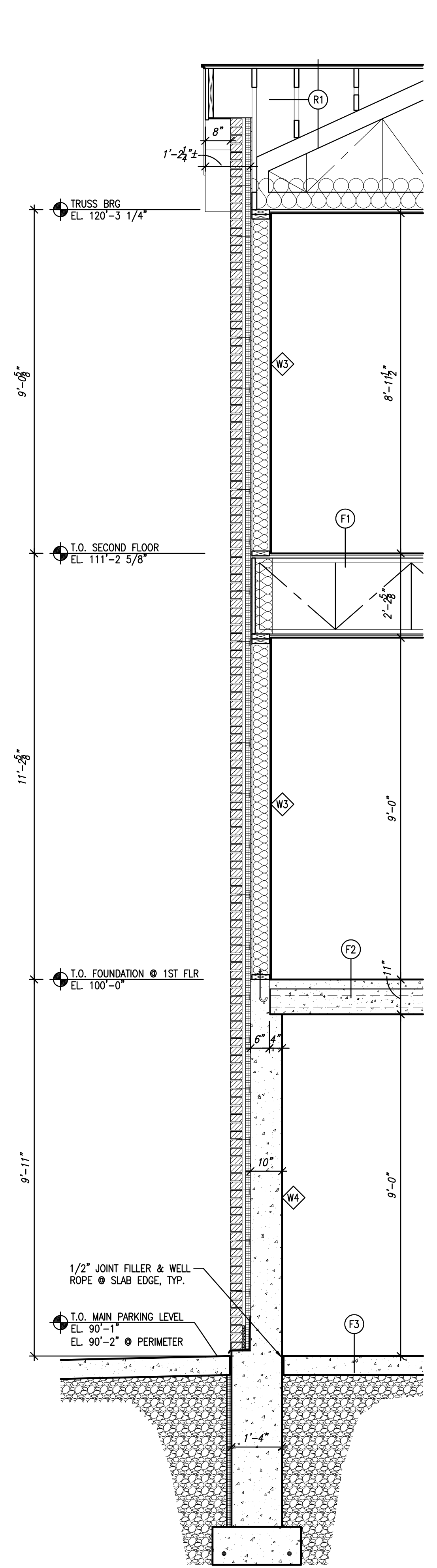
Project No.: 20116.01.02

Sheet No.

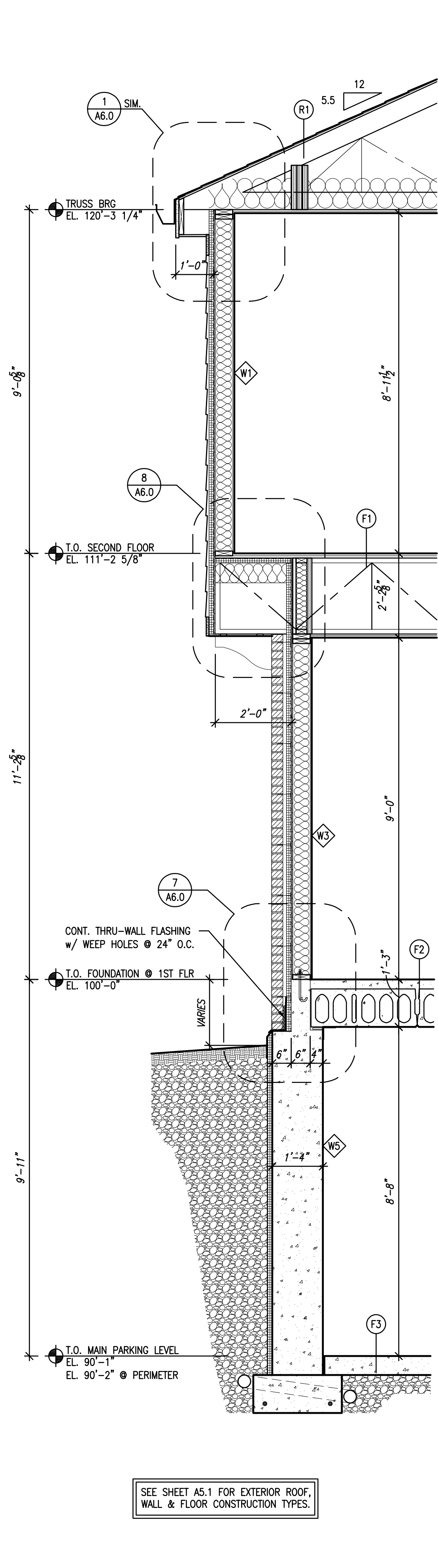
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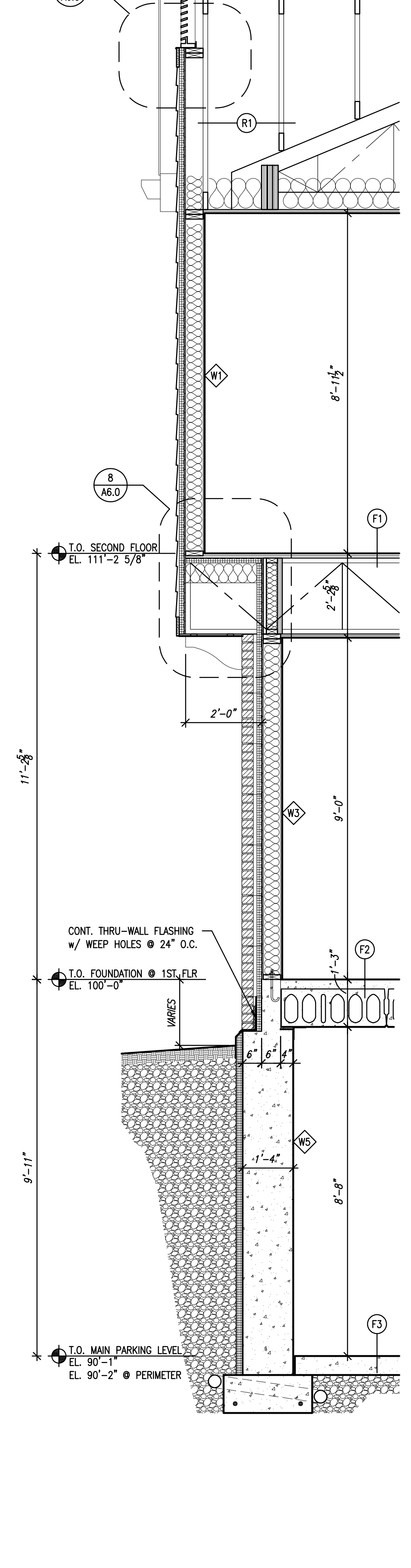
5 WALL SECTION
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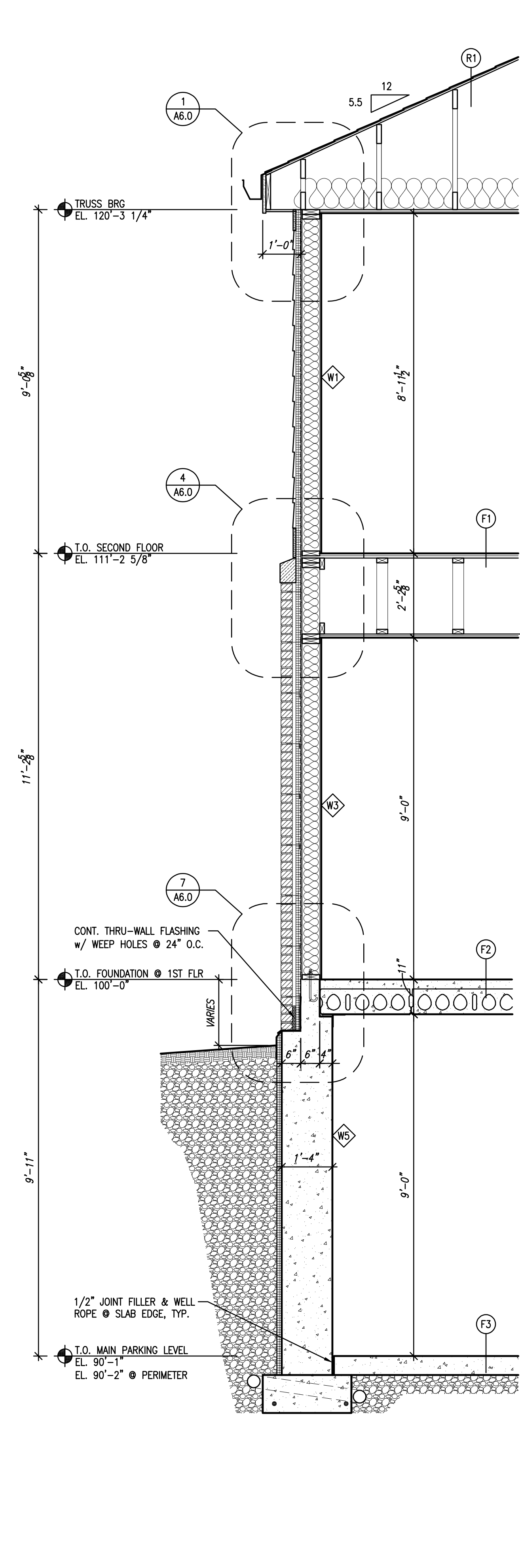
4 WALL SECTION
 SCALE: 1/2" = 1'-0"



3 WALL SECTION
 SCALE: 1/2" = 1'-0"



2 WALL SECTION
 SCALE: 1/2" = 1'-0"



1 WALL SECTION
 SCALE: 1/2" = 1'-0"

Feb 11, 2025 - 9:13am - 9:13am Colonial Woods\20116-01 Colonial Woods\20116-01-02_A5.0-A5.1.dwg
 02/20 Projects\20116-00 Colonial Woods\20116-01 Colonial Woods\20116-01-02_A5.0-A5.1.dwg
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BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING

S 27th St & West Colonial Woods Dr.
Oak Creek, Wisconsin 53154

Revisions:
ADDENDUM #1
03/07/2025

Sheet Name:
WALL SECTIONS AND
CONSTRUCTION TYPES

Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

Sheet No.

A5.1

ROOF CONSTRUCTION

- (R1) - 1 HOUR FIRE RATED CEILING/ROOF SYSTEM UL DES. NO. P522.
- ASPHALT SHINGLES.
- 15# ROOFING FELT.
- 1/2" EXTERIOR GRADE OSB ROOF SHEATHING - CLIPPED
- ROOF TRUSSES @ 24" O.C. MAX.
- 10" (R-38) BATT INSULATION
- 25 GA GALV. FURRING CHANNELS 1/2" x 2 3/8" @ 12" O.C. (MAX.)
- 6 MIL VAPOR BARRIER.
- 5/8" TYPE 'C' GYPSUM WALL BOARD (GWB).
- NOTE: USE MOISTURE RESISTANT GWB ON ALL BATHROOM WALLS.
- PROVIDE CONTINUOUS RIDGE VENT.

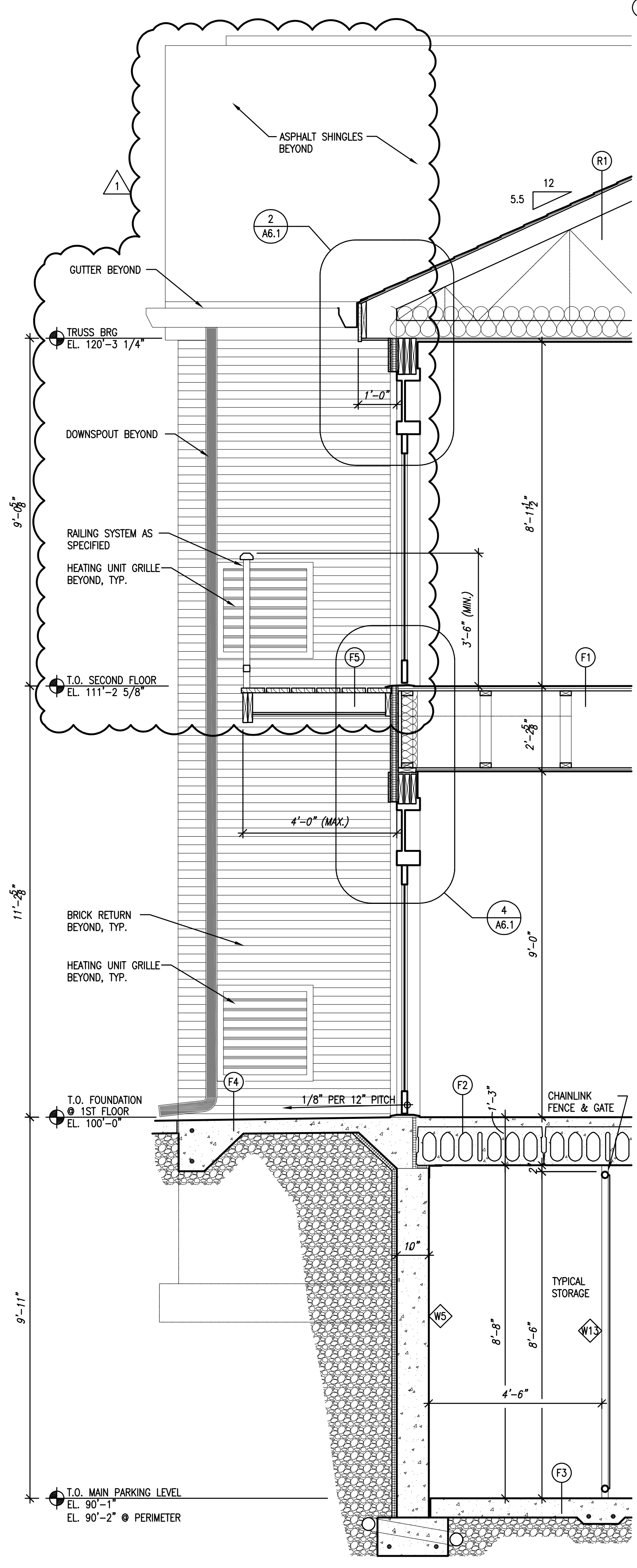
EXTERIOR WALL TYPES

- (W1) - RATED WALL ASSEMBLY PER U.L. DESIGN NO. U356
- FIBER CEMENT SIDING WITH FLAME SPREAD VALUE OF 20 OR LESS.
- "TYVEK" BUILDING PAPER.
- 1 1/2" CONTINUOUS RIGID INSULATION (R-7.5 MIN.)
- 1/2" EXTERIOR STRUCTURAL STEDI-R BOARD SHEATHING (R=1.5)
- 2x6 WOOD STUDS @ 16" O.C. (MAX.)
- 5 1/2" (R-19) FIBERGLASS INSULATION, w/ U.L. CLASSIFICATION
- 4 MIL VAPOR BARRIER.
- 5/8" GYPSUM WALL BOARD (GWB), TYPE 'C' OR 'X'
- NOTE: USE MOISTURE RESISTANT GWB ON ALL BATHROOM WALLS.
- WALL THICKNESS= 9" NOMINAL.
- (W2) - RATED WALL ASSEMBLY PER U.L. DESIGN NO. U356
- 1/2" THICK "AZEK" SHEET (SEE SPEC.) w/ U.L. CLASSIFICATION.
- "TYVEK" BUILDING PAPER.
- 1/2" EXTERIOR STRUCTURAL STEDI-R BOARD SHEATHING (R=1.5)
- 2x6 WOOD STUDS @ 16" O.C. (MAX.)
- 5 1/2" (R-19) FIBERGLASS INSULATION, w/U.L. CLASSIFICATION.
- 4 MIL VAPOR BARRIER.
- 5/8" GYPSUM WALL BOARD (GWB), TYPE 'C' OR 'X'
- NOTE: USE MOISTURE RESISTANT GWB ON ALL BATHROOM WALLS.
- WALL THICKNESS= 7 1/2" NOMINAL
- (W3) - FACE BRICK PER SPECIFICATION.
- CALV. BRICK TIES @ 16" HORIZONTALLY AND 16" VERTICALLY.
- 1" AIR SPACE MIN.
- "TYVEK" BUILDING PAPER
- 1 1/2" CONTINUOUS RIGID INSULATION (R-7.5 MIN.)
- 1/2" EXTERIOR STRUCTURAL STEDI-R BOARD SHEATHING (R=1.5)
- 2x6 WOOD STUDS @ 16" O.C. (MAX.)
- 5 1/2" (R-19) FIBERGLASS INSULATION, w/ U.L. CLASSIFICATION.
- 4 MIL VAPOR BARRIER.
- 5/8" GYPSUM WALL BOARD (GWB), TYPE 'C' OR 'X'
- NOTE: USE MOISTURE RESISTANT GWB ON ALL BATHROOM WALLS.
- WALL THICKNESS= 13" NOM., 12 3/4" ACT.
- (W4) - FACE BRICK PER SPECIFICATION.
- CALV. BRICK TIES @ 16" HORIZONTALLY AND 16" VERTICALLY.
- 1" AIR SPACE MIN.
- "TYVEK" BUILDING PAPER
- 1 1/2" CONTINUOUS RIGID INSULATION (R-7.5 MIN.)
- 10" REINFORCED CONCRETE WALL (SEE STRUCT. DWGS.)
- PROVIDE THRU-WALL FLASHING & WEEP HOLES @ 24" O.C.
- WALL THICKNESS= 16"
- (W5) - REINFORCED CONCRETE FOUNDATION WALL (SEE STRUCT. DWGS FOR EXACT SIZE AND LOCATIONS.)
- WATERPROOF ENTIRE FOUNDATION WALL
- ALTERNATE NO. 1: WATCHDOG BY TREMCO "+ ENERGY"
- 1 1/2" MIN. RIGID INSUL. FULL WALL HEIGHT THROUGHOUT (MIN. R=7.5)
- 2'-0" MIN. GRANULAR FILL OVER 4" DIA. DRAIN TILE. (BACKFILL ONLY AFTER FIRST FLOOR PLANK HAS BEEN SET.)
- WALL THICKNESS= 10" TO 16"
- (W13) - 2 x 6 WOOD STUDS @ 24" O.C. MAX.
- 1/2" EXTERIOR STEDI-R BOARD SHEATHING BOTH SIDES
- 1" AIR SPACE MIN. BOTH SIDES
- TRIM BOARDS AT FRONT, SIDES, & TOP
- NOMINAL WALL THICKNESS= 7"

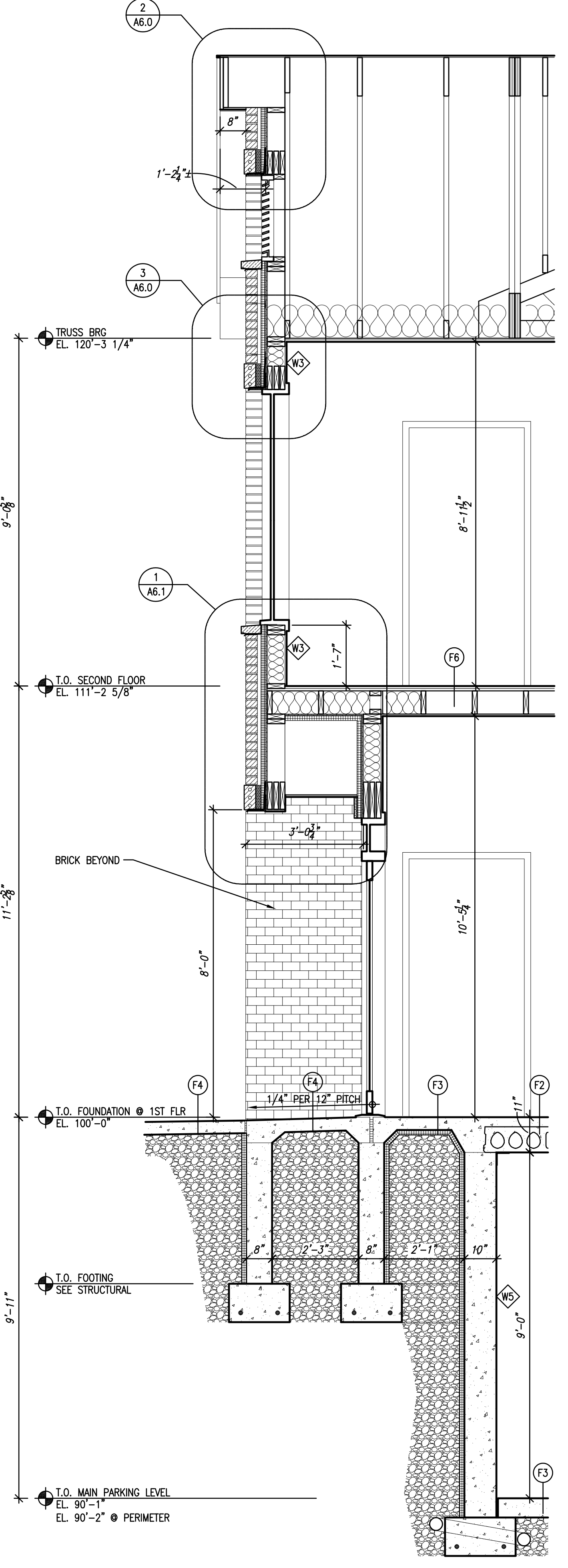
NOTE: SEE SHEET A1.3 FOR INTERIOR WALL TYPES

FLOOR CONSTRUCTION

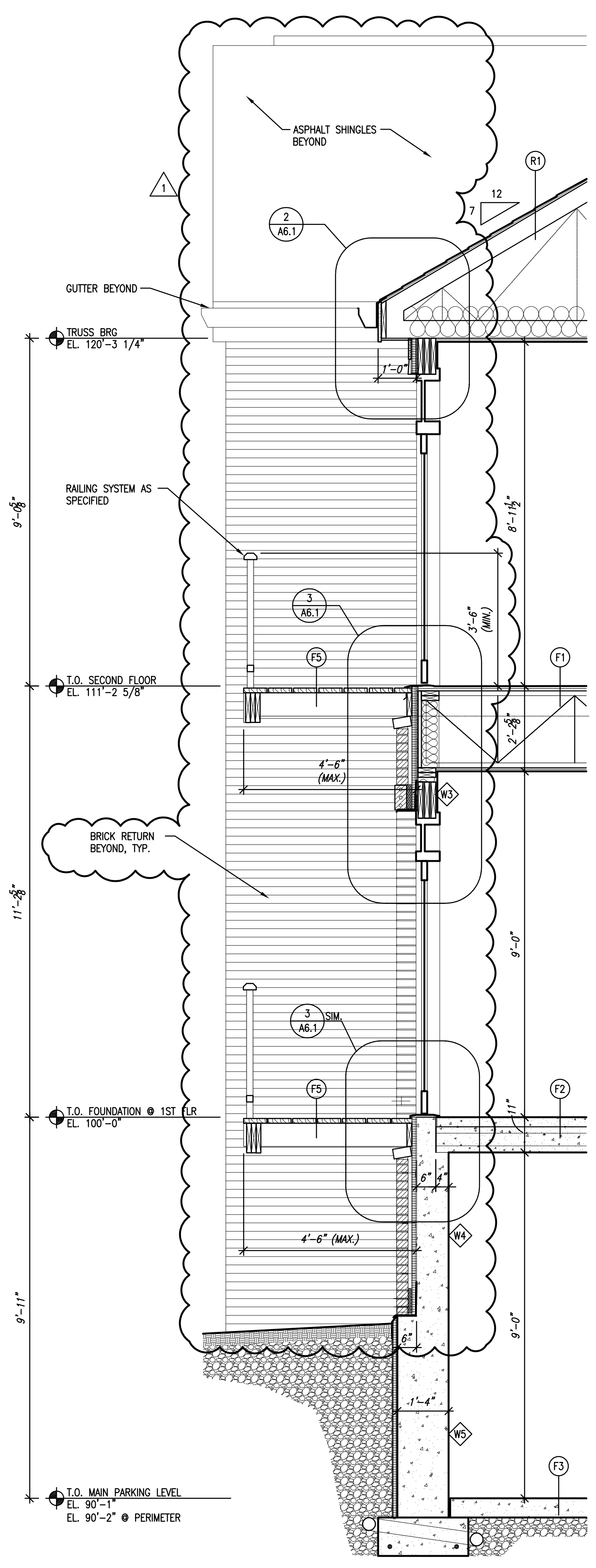
- (F1) - 1 HOUR FIRE RATED FLOOR - UL DES. NO. L528 - SYSTEM NO. 4
- 3/4" GYP-CRETE TOPPING.
- 3/4" GRADE 'C-D' PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO TRUSSES).
- 24" DEEP PREFAB. TRUSSES @ 24" O.C. MAX. SEE STRUCTURAL.
- NOTE: PROVIDE BRIDGING PER TRUSS MANUFACTURER
- NO. 26 MSG GALV. 1/2" RESILIENT CHANNELS @ 16" O.C.
- 5/8" TYPE 'C' GYPSUM WALLBOARD (GWB).
- NOTE: USE MOISTURE RESISTANT DRYWALL ON ALL CEILING ABOVE TUBS AND SHOWERS.
- MINIMUM STC OF 50.
- (F2) - 2 HOUR FIRE-RATED FLOOR SYSTEM:
- 3" (MIN.) CONCRETE TOPPING.
- 12" (OR 8") THICK PRECAST CONCRETE PLANK. (SEE STRUCT.).
- (F3) - 6" POURED CONC. FLOOR w/ 6x6 #6/#6 W.W.M.
- 6 MIL POLY VAPOR BARRIER.
- 6" (MIN.) COMPACTED GRANULAR FILL.
- (F4) - 4" MIN. POURED CONC. SLAB w/ 6x6 10/10 W.W.M
- 6" (MIN.) COMPACTED GRANULAR FILL.
- (F5) - 2x8 P. T. WOOD BOARD WITH 1/2" SPACING BETWEEN BOARDS.
- 2x8 (OR 2x10) P. T. WOOD JOISTS @ 16" O.C. (SEE STRUCT. DWGS.)
- (F6) - 3/4" GYP-CRETE TOPPING.
- 3/4" GRADE 'C-D' PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO JOISTS).
- 2x8 WOOD JOIST @ 16" O.C. (SEE STRUCT.)
- 5/8" TYPE 'C' GYPSUM WALLBOARD (GWB).
- (F7) FLOOR/CEILING
- 3/4" GYP-CRETE TOPPING.
- 3/4" GRADE 'C-D' PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO JOISTS).
- 2x10 & LVL FRAMING - SEE STRUCTURAL
- NO. 26 MSG GALV. 1/2" RESILIENT CHANNELS @ 16" O.C.
- 5/8" GYPSUM WALLBOARD (GWB).
- (F8) - 3/4" GYP-CRETE TOPPING.
- 3/4" GRADE 'C-D' PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO JOISTS).
- 2x10 WOOD JOIST @ 16" O.C. (SEE STRUCT.)
- 5/8" TYPE 'C' GYPSUM WALLBOARD (GWB).



3 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



1 WALL SECTION
SCALE: 1/2" = 1'-0"



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1 FRONT ELEVATION
 SCALE: 3/16" = 1'-0"



3 REAR ELEVATION
 SCALE: 3/16" = 1'-0"

BUILDING 5
COLONIAL WOODS
16 UNIT APARTMENT BUILDING

S 27th St & West Colonial Woods Dr.
 Oak Creek, Wisconsin 53154

Revisions:

Sheet Name:
 EXTERIOR BUILDING
 ELEVATIONS - FRONT
 AND BACK

Date: 02/07/2025

Drawn By: CLR/CGH

Project No.: 20116.01.02

Sheet No.

A3.0

Mar 07, 2025 - 14:11pm
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 ELEVATIONS - LEFT AND
 RIGHT

Date: 02/07/2025

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A3.1



② LEFT ELEVATION
 SCALE: 3/16" = 1'-0"



③ RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"

project info

scale

1" = 16'-0"

date

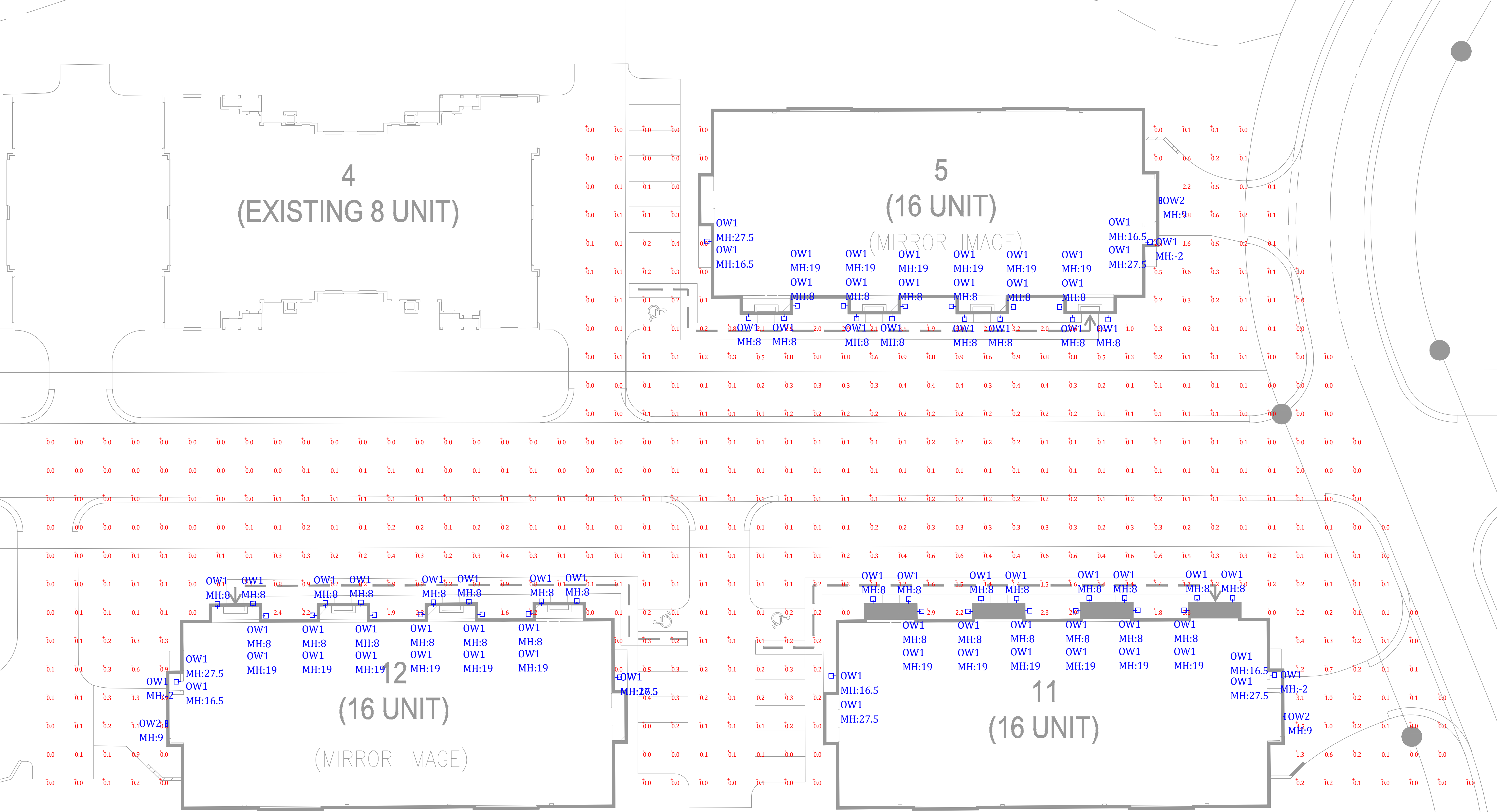
3/13/2025

designer



JS

sheet name



Luminaire Schedule							
QTY	TYPE	MFR	PART NUMBER	LLF	LUM WATTS	TOTAL WATTS	CCT
75	OW1	Progress	P560363-031+ 60W EQUIV LED LAMP [APPROXIMATED]	0.950	8	600	3000K
3	OW2	Lithonia	WPX1 LED P1 30K MVOLT DBLXD	0.950	11	33	3000K

P560363-031
COLONIAL WOODS CONDOMINIUMS
TYPE OW1


P560363-031
Bayside Non-Metallic

Bayside Collection One-Light Non-Metallic Black Outdoor Wall Lantern

Category: Outdoor
Finish: Black (No Finish)
Construction: Polycarbonate Housing



Width: 8 in
Extends: 9-3/8 in
Height: 10 in
H/CTR: 5-1/2 in

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted	6 inches of wire supplied	(1) Medium Base (E26) Socket	cULus Wet Location Listed
Swivel mounting strap for outlet box included	120 VAC	Lamp Type Incandescent: 40-watt MAX per socket LED: 10-watt MAX per socket	1-year Limited Warranty
Canopy covers a standard 4" recessed outlet box: 5" W., 1.25" ht., 5" depth		Dimmable to 10% brightness (See Dimming Notes)	Dark Sky compliant
			 Mad in USA

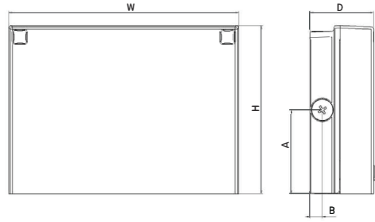


WPX LED Wall Packs



WPX1 LED P1 30K MVOLT DBLXD
COLONIAL WOODS CONDOMINIUMS
TYPE OW2

Specifications



Front View

Side View

Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

WPX1 LED P1	30K	MVOLT	DBLXD	
Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	1,550 Lumens, 11W ¹	30K 3000K	MVOLT 120V - 277V	(blank) None
WPX1 LED P2	2,900 Lumens, 24W	40K 4000K	347 347V ³	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ²
WPX2 LED	6,000 Lumens, 47W	50K 5000K		E14WC Emergency battery backup, CEC compliant (14W, -20°C min) ²
WPX3 LED	9,200 Lumens, 69W			PE Photocell ³
				DDBXD Dark bronze DWHXD White DBLXD Black Note: For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V or PE options.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



Performance Data

Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

Emergency Egress Battery Packs

The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT E4WH DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT E14WC DDBXD

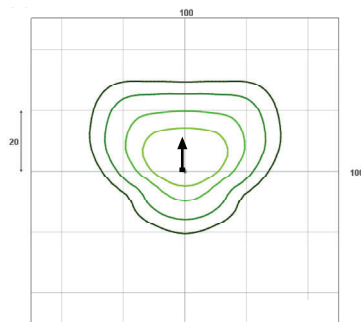
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

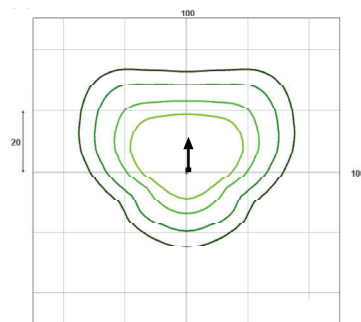
LEGEND

	0.1 fc
	0.2 fc
	0.5 fc
	1.0 fc

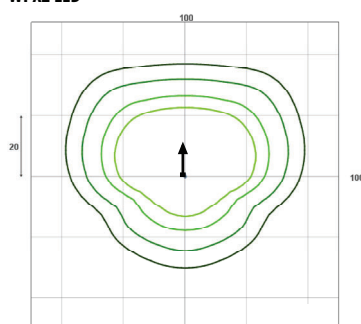
WPX1 LED P1



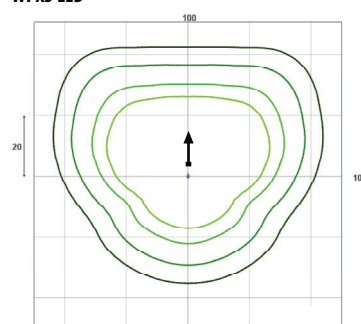
WPX1 LED P2



WPX2 LED



WPX3 LED



Mounting Height = 12 Feet.