

Item No. 5

# PLAN COMMISSION REPORT

Proposal:	Site Plan and Architectural Review – Multi-family Residential Building					
Description:	Site, building, and related plan review for a multi-family residential building at 2398 – 2448 W. Colonial Woods Drive.					
Applicant(s):	Jeff Kleiner, Home Path Financial, Limited Partnership					
Address(es):	2348-2398 W. Colonial Woods Dr. (2 <sup>nd</sup> Aldermanic District)					
Suggested Motion:	That the Plan Commission approves the site, building, and related plans for construction of a new multi-family residential building to be located at 2348-2398 W. Colonial Woods Dr., be approved with the following conditions:					
	<ol> <li>That all relevant Code requirements remain in effect.</li> <li>That all mechanicals, transformers, and utilities. All mechanical equipment, transformers, and utility boxes (ground, building and rooftop) shall be screened from view.</li> </ol>					
Owner(s):	Home Path Financial, Limited Partnership					
Tax Key(s):	810-1025-000, 810-1026-000, 810-1027-000, 810-1028-000, 810-1029-000, 810- 1030-000, 810-1031-000, 810-1032-000, 810-1033-000, 810-1034-000, 810-1035- 000, 810-1036-000, 810-1037-000, 810-1038-000, 810-1039-000, 810-1040-000					
Lot Size(s):	5.4093 acres					
Current Zoning District(s):	Rm-1, Multifamily Residential					
Overlay District(s):	PUD					
Wetlands:	⊠ Yes □ No Floodplain: □ Yes ⊠ No					

**Background:** In 2006, the Plan Commission approved a site plan for Phase I of Colonial Woods Condominiums, which included three (3) 8-unit residential buildings (Buildings 2-4), four 16-unit residential buildings (Buildings 5, 11-13), and five duplexes (Buildings 6-10). Since then, all three (3) 8-unit residential

buildings (Buildings 2-4) and all five (5) duplexes (Buildings 6-10) have been completed. Additionally, one (1) 16-unit residential building (Building 13) has also been completed.

The Applicant is now seeking approval for the site, architectural, and related plans for the construction of Building 5, a 16-unit residential building. Given the market constraints, the applicant intends that Building 5 will be rented out an apartment building, not owner-occupied condominiums. The building will feature 12 two-bedroom, two-bathroom units and four two-bedroom, three-bathroom units with lofted dens.

**District Specific Standards, Use Specific Standards, & Land Use:** The proposal complies with the intent, standards, and requirements of the City's Zoning Ordinance, as well as the bulk and dimensional standards of the Rm-1 Multi-Family Residential District. It also conforms to the approved Colonial Woods Planned Unit Development (Ordinance 2391) from 2006. Additionally, the proposed land use is consistent with the City's Comprehensive Plan.

**Design:** The proposed building will feature a four-sided architectural design using traditional, durable materials. The façade will be clad in red brick, exceeding the 65% brick façade requirement set by the 2006 Planned Unit Development, and cream-colored fiber cement board separated by a cream-colored Trex trim board. Windows will be included on all sides of the building. The roof will be gabled, covered with gray asphalt shingles. Upper units will have balconies made of Trex posts, railings, and trim board. The proposed design meets the requirements of the Municipal Code for multi-family dwellings.

**Screening:** The proposed plan also designates the location for two dumpsters at the northeast corner of the building. These dumpsters will be screened by a concrete block enclosure with brick veneer to match the building's exterior. The gate for the enclosure will be made with steel framing and cedar wood boards. No external mechanical units or utilities are specified in the plans at this time. Any ground-mounted, building, and rooftop mechanical units, utility boxes, and transformers shall be screened in accordance with Code. This requirement is included in the recommended conditions of this approval for clarity.

**Parking:** The minimum parking requirement for multi-family residential buildings is one (1) enclosed space per dwelling unit. For the proposed 16-unit residential building, 16 enclosed parking spaces are required onsite. The Applicant is proposing a total of 30 enclosed parking spaces in the building's lower-level parking garage. Additionally, the Applicant plans to add nine (9) exterior parking spaces to the west of the building. All exterior parking spaces will be striped and paved with asphalt.

Lighting: Lighting plans and fixture cut sheets have been provided. The Applicant is proposing 26 wallmounted light fixtures around the perimeter of the front and sides of the building. Of these, 25 fixtures will be black wall lanterns, while one (1) fixture, mounted above the garage entrance, will be black, rectangular, and low-profile. In accordance with the Code, all fixtures must have a color temperature of 3,500 Kelvins or lower. Additionally, the fixtures must be full cutoff, with the light source fully shielded and directed downward. All proposed fixtures will meet these requirements, featuring a color temperature of 3,000 Kelvins and directing light downward.

Engineering and Utility: According to the City Engineering Department, the existing ponds, which were constructed as part of the original development, are designed to accommodate the additional impervious surfaces associated with the proposed Building 5. Therefore, no additional stormwater management will be required. Additionally, the proposed driveway on the public roadway (S. Orchard Way) must adhere to the City's Urban Driveway Approach Detail. The City Utility Department has no concerns. The applicant must comply with all relevant regulations and requirements.

Access: The proposed building will front W. Colonial Wood Drive, an existing private road. This private road will also provide access to the surface parking lot west of the building via an existing driveway. Access to the parking garage will be provided via an access drive off of S. Orchard Way, an existing public road. The site includes an existing concrete sidewalk, allowing for pedestrian access to the building.

**Signage:** No new or additional signage is being proposed as part of this review. Any future signs must comply with the Municipal Code, and the owner or tenant will need to apply for the necessary permits before installing any additional signs on the property.

Environmental: The site contains wetlands; however, no wetlands will be disturbed, and the proposed development will not encroach upon any wetland setbacks. Additionally, the site does not include any other environmentally sensitive areas, such as floodplains or environmental corridors. With the proposed new building, the site will be 42% green space, exceeding the 30% green space requirement.

Landscaping: The Applicant proposes landscaping for the front and exterior side yard foundation areas, including the planting of shrubs as shown in the submitted landscape plan, in accordance with Municipal Code requirements. Additionally, the Applicant plans to plant five (5) shade trees between the sidewalk and W. Colonial Woods Drive.

Since the adjacent uses are multi-family residential, no transitional landscaping is required. Furthermore, as no parking lots are proposed along any adjacent public or private right-of-way, perimeter landscaping for the parking lot is not required. The Applicant's proposed landscape plan meets the City of Oak Creek's landscaping requirements. The Plan Commission may, at its discretion, request additional landscaping on the site. As the development site currently contains no trees, a Tree Preservation and Removal Plan is not required.

**Fire Department:** The Fire Department indicated no concerns. The Applicant must comply with all regulations and requirements of the City of Oak Creek Fire Department.

**Review/Options/Alternatives:** The Plan Commission has the discretion to either approve the plans as presented, approve them with specified conditions, or disapprove the proposal. In reviewing the request, the Commission will evaluate it in light of the City's Zoning Ordinance and any other relevant information.

The Plan Commission may only approve or approve with conditions if it is satisfied that the proposed project complies with all applicable provisions of the City's Zoning Ordinance, as well as with all adopted plans and policy documents. Any approval with conditions must specify the necessary actions to bring the application into compliance with the City's Zoning Ordinance and its adopted plans and policy documents.

The Plan Commission has the authority to modify any of the site plan review criteria outlined in Sec. 17.0804(g)(3)(a-j) of the City's Zoning Ordinance. However, such modifications require a 3/4 majority vote of the Commissioners present at the meeting and must include supplemental design elements or improvements to compensate for any modifications to the specific standards.

If the request is not approved, the Plan Commissioners are required to provide the relevant Code Sections upon which the denial is based. This will allow the applicant to revise and resubmit the proposal accordingly.

Respectfully submitted & approved by:

Kristin Saine

Kristi Laine Community Development Director

Prepared by:

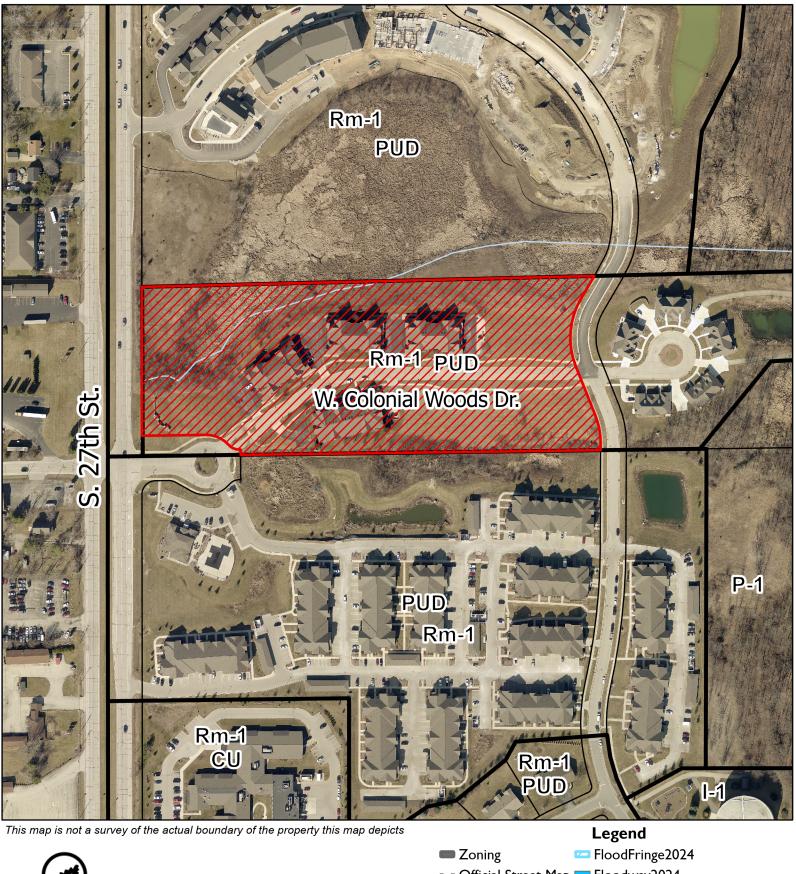
1. Roche

Todd Roehl Senior Planner

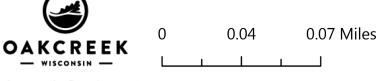
### Attachments:

Location Map Narrative (2 pages) Building, Landscape & Site Plans (14 pages) Renderings (2 page) Lighting Plan (4 pages)

# Location Map 2350-2390 W. Colonial Woods Dr.



Ν





Community Development

2/10/2024



Attention: Todd Roehl – Senior Planner Transmitting To: City Of Oak Creek Transmitting Via email: troehl@oakcreekwi.gov RE: Project Name: Colonial Woods Quorum Architect's Project Number: 20116.01.02

Subject: Building #5 Colonial Woods 16 Unit Apartment Building

Todd,

I am writing to formally submit a brief narrative and description of our proposed project for consideration at the upcoming Plan Commission meeting.

The proposed project aims to build one (1) of the three (3) planned 16-unit multifamily residential buildings in the Planned Unit Development known as "Colonial Woods Planned Unit Development". The new developer Home Path Financial, LP intends to lease the building as apartments, in lieu of condos. The site is currently vacant land adjacent to the previously developed multi-family buildings.

Our plan includes thirty (30) below grade parking spaces, sixteen (16) units of living ranging from 1,224 to 1,323 square feet. Eight (8) dwelling units will be located on the first floor and eight (8) dwelling units will be located on the second floor, with third floor mezzanines accessible only from the individual second floor units.

1 <sup>st</sup> floor:	(8) 2-bed / 2 bath units
2 <sup>nd</sup> floor:	(4) 2-bed / 2 bath units
2 <sup>nd</sup> floor lofts:	(4) 2-bed / 3 bath units with lofted den (294 square feet)
Total Units:	16

The project is designed to align with the city's previously approved planned unit development. We believe it will contribute positively to the community by benefits such as economic growth, job creation, housing opportunities and completing the original planned development.

We have submitted landscape, architectural and engineering drawings and are prepared to address any questions or concerns from the commission. Our team is committed to ensuring that this project meets all necessary requirements and enhances the surrounding area.

Please let us know if any additional documentation or details are needed before the meeting.

We appreciate your time and consideration and look forward to discussing our proposal further.

Sincerely,

Chris Hau, Principal / Project Manager chris@quorumarchitects.com **Quorum Architects, Inc.** 



Architectural Design • Interior Design • Site Design 3112 West Highland Blvd • Milwaukee, Wisconsin 53208 • ph. 414-265-9265 • www.quorumarchitects.com Attached: Architectural, Landscape and Engineering Drawings, Plan Commission Application

Cc: Jeff Kleiner, CEO, Home Path Financial, jeff@myhomepath.com

> Tracie Kleiner, CFO, Home Path Financial, tracie@myhomepath.com

Colby Kitchel, Director of Property Management Home Path Financial ckitchel@myhomepath.com

Mike Duffek Duffek Construction, duffekconstruction.com

Andrew Roensch Duffek Construction, aroensch@duffekconstruction.com





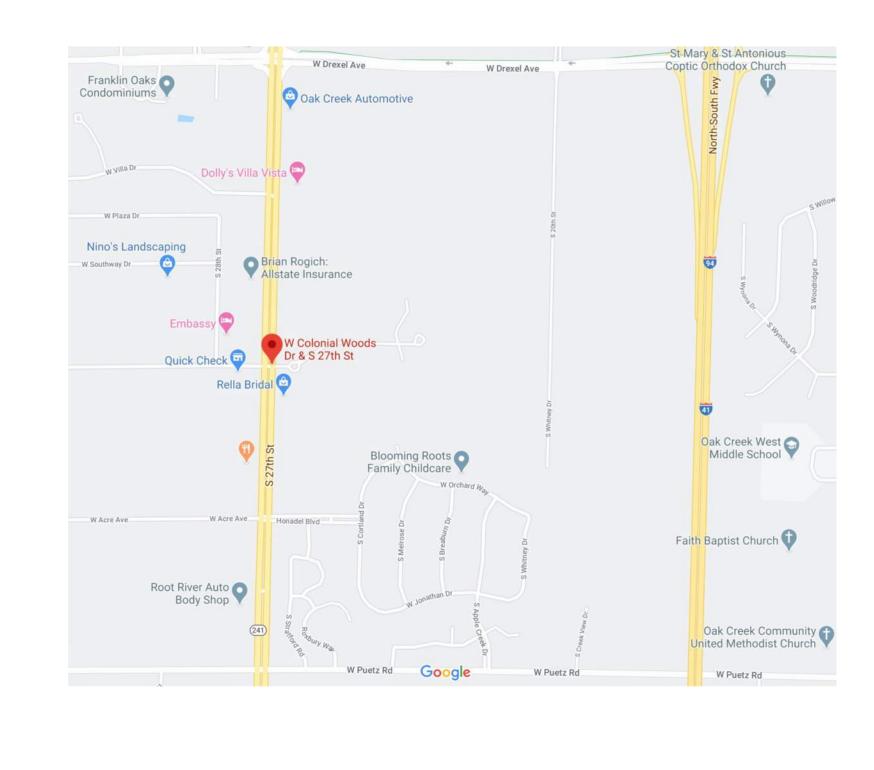
"We Recycle Buildings"

Architectural Design • Interior Design • Site Design 3112 West Highland Blvd • Milwaukee, Wisconsin 53208 • ph. 414-265-9265 • www.quorumarchitects.com

# BUILDING 5 COLONIAL WOODS **16 UNIT APARTMENT BUILDING**

# DATE: FEBRUARY 7, 2025

# LOCATION MAP:



©Copyright 2025, Quorum Architects, Inc.

S 27TH STREET AND WEST COLONIAL WOODS DRIVE OAK CREEK, WISCONSIN 53154

# PLAN COMMISSION SET

# CONTACT INFORMATION:

# ARCHITECTURAL

QUORUM ARCHITECTS, INC. 3112 West Highland Boulevard Milwaukee, Wl 53208 Phone: (414) 265-9265 Fax: (414) 265-9465 Contact: Chris Hau Email: chris@quorumarchitects.com

# STRUCTURAL

PIERCE ENGINEERS, INC. 181 N. Broadway Milwaukee, WI 53202 Phone: (414) 278-6060 Fax: (414) 278-6061 Contact: Ťom Cowan Email: tcowan@pierceengineers.com

# PROJECT NUMBER: 20116.01.02

# DRAWING INDEX:

	COVER SHEET ABBREVIATION, SYMBOLS, BUILDING AND GENERAL NOTES					
ARCHITECTURAL						

C1.0	OVERALL SITE PLAN
L1.0	LANDSCAPE PLAN
A1.0	GARAGE LEVEL FLOOR PLAN - OV
A1.1	FIRST FLOOR PLAN – OVERALL
A1.2	SECOND FLOOR PLAN - OVERALL
A1.3	THIRD FLOOR LOFT PLAN
A1.4	FIRST FLOOR ENLARGED PLAN - L
A1.5	FIRST FLOOR ENLARGED PLAN -
A1.6	SECOND FLOOR ENLARGED PLAN
A1.7	SECOND FLOOR ENLARGED PLAN -
A2.0	ROOF PLAN AND ROOF DETAILS
A3.0	EXTERIOR BUILDING ELEVATIONS FR
A3.1	EXTERIOR BUILDING ELEVATIONS LE
A4.0	BUILDING SECTIONS
A5.0	WALL SECTIONS
A5.1	WALL SECTIONS AND CONSTRUCTIO
A6.0	EXTERIOR DETAILS
A6.1	EXTERIOR DETAILS
A6.2	EXTERIOR DETAILS
A7.0	SCHEDULES AND DOOR DETAILS
A7.1	INTERIOR DETAILS
STRI	JCTURAL
S0.1	GENERAL NOTES & DESIGN CRITERI
SO 2	DESIGN CRITERIA & MINIMUM FASTE

S0.1	GENERAL NOTES & DESIGN CRITER
S0.2	DESIGN CRITERIA & MINIMUM FAST
S0.3	STRUCTURAL SCHEDULES & ROOF
S1.0	FOUNDATION PLAN
S2.0	FIRST FLOOR FRAMING PLAN
S2.1	SECOND FLOOR FRAMING PLAN
S2.2	LOFT FRAMING PLAN
S2.3	ROOF FRAMING PLAN
S3.0	STRUCTURAL DETAILS
S3.1	STRUCTURAL DETAILS
S3.2	STRUCTURAL DETAILS
S4.0	STRUCTURAL DETAILS
S4.1	STRUCTURAL DETAILS
S4.2	STRUCTURAL DETAILS
S5.0	STRUCTURAL DETAILS



# Quorum Architects, Inc. 3112 West Highland Boulevard Milwaukee, Wisconsin 53208 Phone: 414.265.9265 Fax: 414.265.9465

# PRELIMINARY

NOT FOR CONSTRUCTION OUORUM ARCHITECTS

INFORMATION

# ELECTRICAL

VERALL

LEFT RIGHT – LEFT – RIGHT

RONT AND BACK EFT AND RIGHT

ION TYPES

TENER SCHEDULE SNOW LOAD PLAN

E1.0 GARAGE LEVEL ELECTRICAL PLAN E1.1 FIRST FLOOR ELECTRICAL PLAN – LEFT E1.2 FIRST FLOOR ELECTRICAL PLAN - RIGHT SECOND FLOOR ELECTRICAL PLAN - LEFT E1.3 E1.4 SECOND FLOOR ELECTRICAL PLAN - RIGHT E1.5 THIRD FLOOR LOFT ELECTRICAL PLAN

> BLDG 5 - COLONIAL WOODS **16 UNIT APARTMENT BUILDING** PLAN COMMISSION SET

Project No.: 20116.01.02 Date: 02/07/25

# **BUILDING INFORMATION AND CODE ANALYSIS**

GOVERNING CODES: 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC) WITH WISCONSIN AMENDMENTS SPS 366 2015 INTERNATIONAL BUILDING CODE (IBC) WITH WISCONSIN AMENDMENTS SPS 362 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH WISCONSIN AMENDMENTS SPS 363 2015 INTERNATIONAL MECHANICAL CODE (IMC) WITH WISCONSIN AMENDMENTS SPS 365 2014 WISCONSIN PLUMBING CODE SPS 381-387 2011 NFPA NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS SPS 316

PROJECT DESCRIPTION:

(3) NEW 16-UNIT MULTI-FAMILY DWELLING UNIT OF SAME OR MIRRORED DESIGN WITH BÉLOW-GRADE PARKING, PRECAST CONSTRUCTION DECK ABOVE PARKING SEPARATING THE DWELLING UNITS AND WOOD-FRAME CONSTRUCTION ABOVE GRADE. UNITS ARE SIMILAR IN DESIGN TO EXISTING BUILDING #13 ON SAME SITE. PARKING BELOW-GRADE FOR 30 VEHICLES; 8 DWELLING UNITS AT FIRST FLOÖR AND 8 DWELLING UNITS AT SECOND FLOOR WITH THIRD FLOOR MEZZANINES ACCESSIBLE ONLY FROM THE INDIVIDUAL SECOND FLOOR UNITS.

	UP R2: APARTMENT HOUSE / CONDOMINIUMS S2: LOW-HAZARD STORAGE / ENCLOSED PARKING GARAGE ABLE 601 ISTRUCTION	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER IBC TABLE 601PRIMARY STRUCTURAL FRAME:1 HOURBEARING WALLS EXTERIOR (TABLE 602):1 HOURBEARING WALLS INTERIOR:1 HOURNONBEARING WALLS EXTERIOR: $X \ge 30$ FEET)O HOUR0 HOURNONBEARING WALLS INTERIOR0 HOURFLOOR AND SECONDARY MEMBERS1 HOURROOF AND SECONDARY MEMBERS1 HOUR			
FULL AUTOMATIC SPRINKLER					
FIRE ALARM AND DETECTION SINTERCONNECTED / HARDWIRE	SYSTEM PER IBC 907.2.11.2 ED SMOKE ALARMS REQUIRED WITHIN DWELLING UNITS.	$\frac{OCCUPANT LOAD PER IBC TABLE 1004.1.2}{OCCUPANT LOAD PER IBC TABLE 1004.1.2}$ $LOWER LVL GROUP S-2 (PARKING) 8,930 SF \times 200 SF (GROSS) SF/PERSON = 45 OCCUPANTS$ $LOWER LVL GROUP S-2 (STORAGE) 600 SF \times 300 SF (GROSS) SF/PERSON = 2 OCCUPANTS$			
	FEET ABOVE GRADE PER IBC TABLE 504.3	LOWER LEVEL TOTAL OCCUPANT LOAD = $47$ OCCUPANTS			
MAXIMUM ALLOWABLE: 60 FEE ACTUAL HEIGHT: 30 FEET	.1	FIRST FLOOR UNITS: (2) UNITS SHARE COMMON ENTRY: 2,400 SF x 200 SF (GROSS) SF/PERSON = 12 OCCUPANTS			
ALLOWABLE NUMBER OF STORIE MAXIMUM ALLOWABLE: 4 STO ACTUAL NUMBER OF STORIES		SECOND FLOOR UNITS: (2) UNITS SHARE COMMON EXIT STAIR: 2,718 SF x 200 SF (GROSS) SF/PERSON = 14 OCCUPANTS (OCCUPANT LOAD AT 2ND FLOOR INCLUDES PORTION OF 3RD FLOOR ACCESS FROM WITHIN UNIT)			
ALLOWABLE AREA PER FLOOR P DETERMINED BY SEPARATED U MAX. ALLOWABLE FIRE AREA:	<u>ER IBC TABLE 506.2</u> JSES: S—2 PARKING AND R—2 DWELLING UNITS SEPARATED BY 1—HOUR RATED CONSTRUCTION	EXITING AND EXIT WIDTH LOWER LEVEL 47 OCCUPANTS x 0.2 INCHES/OCCUPANT FOR OTHER EGRESS = 45 INCHES REQUIRED. 68 INCHES PROVIDED			
LOWER LEVEL: FIRST FLOOR: SECOND FLOOR:	10,528 GROSS SF (GROUP S–2) 11,320 GROSS SF (GROUP R–2; INCLUDES COVERED PATIOS AND BALCONIES) 11,187 GROSS SF (GROUP R–2)	FIRST FLOOR UNITS 12 OCCUPANTS x 0.2 INCHES/OCCUPANT FOR OTHER EGRESS = 2.4 INCHES REQUIRED. 34 INCHES PROVIDED			
THIRD FLOOR:	1,400 GROSS SF (GROUP R-2); ACCESSED ONLY FROM 2ND FLR OF UNITS 202, 203, 206 & 207	SECOND FLOOR UNITS			
TOTAL	34,435 GROSS SF	14 OCCUPANTS x 0.3 INCHES/OCCUPANT FOR STAIRS = $4.2$ INCHES REQUIRED 36 INCHES MINIMUM PROVIDED			

# GENERAL SYMBOLS

	EXISTING WALLS TO REMAIN		STEEL OR METAL	DWG SHEET	EXTERIOR ELEVATION MARKER
=====	EXISTING WALLS TO BE REMOVED	*****	BATT INSULATION	DWG	INTERIOR ELEVATION MARKER
	NEW FULL HEIGHT METAL STUD AND GYP. BD. WALLS		RIGID INSULATION		
	NEW PARTIAL HEIGHT METAL STUD AND		GYPSUM BOARD	SHEET	INTERIOR ELEVATION MARKER
	GYP. BD. WALLS		FINISHED WOOD	DWG SHEET	SECTION MARKER
	NEW MASONRY WALL		ROUGH CUT WOOD	DWG	DETAIL MARKER
	EXISTING COLUMN		WOOD BLOCKING OR SHIM	DWG	
	FURNITURE OR OTHER ITEMS SHOWN FOR REFERENCE	¢—	CENTER LINE		ENLARGED PLAN OR DETAIL N
	NEW MILLWORK	+ T.O. FLOOR EL. 100'-0"	EXISTING DATUM MARKER	HT AFF TYPE	CEILING TYPE MARKER
	CONCRETE	T.O. FLOOR EL. 100'-0"	NEW DATUM MARKER	BOT ELEV	EXISTING SPOT ELEVATION
	STONE			BOT ELEV	NEW SPOT ELEVATION

# ABBREVIATIONS

AB ABV A/C AC ACT ACP ACU AD ADDL ADDL ADDL ADJ AFF AFG AGGR AHU AL ALT ANO AP APPROX ARCH ASB ASPH	ANCHOR BOLT ABOVE AIR CONDITIONING ACOUSTIC ACOUSTICAL CEILING TILE ACOUSTICAL CEILING PANEL AIR CONDITIONING UNIT AREA DRAIN ADDITIONAL ADDENDUM ADJUSTABLE ABOVE FINISHED FLOOR ABOVE FINISHED FLOOR ABOVE FINISHED GRADE AGGREGATE AIR HANDLING UNIT ALUMINUM ALTERNATE ANODIZED ACCESS PANEL APPROXIMATE ARCHITECT(URAL) ASBESTOS ASPHALT	BOT BRA BRDG BRK B.S. BSMT BTWN BUR BVL BW C C/C CAB CATV CB CER CER CFCI CFOI
ASSY	ASSEMBLY	CG
ATTEN	ATTENUATION	CH
AUTO	AUTOMATIC	CI
AUX	AUXILIARY	CIP
AV	AUDIO VISUAL	CIR
AVG AWP	AVERAGE ACOUSTICAL WALL PANEL	CIRC CJ CKBD CKT
BD	BOARD	CL
BG	BUMPER GUARD	CLG
BH	BULKHEAD	CLKG
BJTUM	BITUMINOUS	CLO
BJ	BUTT JOINT	CLR
BLDG	BUILDING	CMU
BLK	BLOCK	CNTR
BLKG	BLOCKING	CO
BM	BEAM	COL
B.B.	BENCH MARK	COMB
BRG	BEARING	CONC.
BRK	BRICK	COND
B.O.	BOTTOM OF(ITEM)	CONF
BO	BY OTHERS	CONN
BOC	BACK OF CURB	CONST
BOF	BOTTOM OF FOOTING	CONT

© Copyright 2025, Quorum Architects, Inc.

BOTTOMCONTRBRICK RELIEF ANGLECOORDBRIDGINGCORRBEARINGCPTBRICKCRBOTH SIDESCRSBASEMENTCTBETWEENCTRBUILT-UP ROOF(ING)CTSKBEVELCOPBOTH WAYSCUCONDUITCUYDCENTER TO CENTERCUHCABINETCYLCABLE TELEVISIONCWCATCH BASINCERAMICCERAMICDCONTRACTOR FURNISHEDDBLCONTRACTOR FURNISHEDDBLCONTRACTOR FURNISHEDDEMOOWNER INSTALLEDDEPTCORNER GUARDDEPCOAT HOOKDFCAST IRONDIACAST IN PLACEDIAGCIRCUITDNCENTER LINEDOCEILINGDPCAULKINGDPCAULKINGDPRCLOSETDRCLEARDSCONCRETE MASONRY UNITDSPCONCRETE MASONRY UNITDSPCONCRETE MASONRY UNITDSPCONTRER CONCRETEDWRCONDENSATECONTERNICECONTERCEDWRCONTERENCECONTERNATECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTERENCECONTEREN		
CONDUITCUYDCENTER TO CENTERCUHCABINETCYLCABLE TELEVISIONCWCATCH BASINCEMENTCERAMICDCONTRACTOR FURNISHEDDBCONTRACTOR FURNISHEDDBLCONTRACTOR FURNISHEDDEMOOWNER INSTALLEDDEPTCORNER GUARDDEPCOAT HOOKDFCAST IRONDIACAST IN PLACEDIMCIRCLEDIMCIRCUMFERENCEDISPCONTROL JOINTDIVCHALKBOARDDLCIRCUITDNCENTER LINEDOCEILINGDPCAULKINGDPCAULKINGDPCONCRETE MASONRY UNITDSPCONCRETEDNCONCRETEDWCONDENSATECONFERENCECONFERENCECONFERENCECONDENSATECONSTRUCTIONCONSTRUCTIONEX	BRICK RELIEF ANGLE BRIDGING BEARING BRICK BOTH SIDES BASEMENT BETWEEN BUILT-UP ROOF(ING) BEVEL	COORD CORR CPT CR CRS CT CTR CTSK COP CU
CONTRACTOR FURNISHEDDBCONTRACTOR INSTALLEDDBLCONTRACTOR FURNISHEDDEMOOWNER INSTALLEDDEPTCORNER GUARDDEPCOAT HOOKDFCAST IRONDIACAST IN PLACEDIAGCIRCLEDIMCIRCUMFERENCEDISPCONTROL JOINTDIVCHALKBOARDDLCIRCUITDNCENTER LINEDOCEILINGDPCASETDRCLEARDSCONCRETE MASONRY UNITDSPCOUNTERDTCASED OPENINGDTLCONDENSATEDWRCONDENSATECONSTRUCTIONCONSTRUCTIONEX	CENTER TO CENTER CABINET CABLE TELEVISION CATCH BASIN	CUYD CUH CYL
CONSTRUCTION	CERAMIC CONTRACTOR FURNISHED CONTRACTOR INSTALLED CONTRACTOR FURNISHED OWNER INSTALLED CORNER GUARD COAT HOOK CAST IRON CAST IN PLACE CIRCLE CIRCUMFERENCE CONTROL JOINT CHALKBOARD CIRCUIT CENTER LINE CEILING CAULKING CLOSET CLEAR CONCRETE MASONRY UNIT COUNTER CASED OPENING COLUMN COMBINATION CONCRETE CONCRETE CONCRETE CONCRETE CONCRETE CONCRETE CONCRETE CONCRETE CONCRETE CONCRETE CONDENSATE CONFERENCE	DB DBL DEMO DEPT DF DIA DIA DIAG DIW DISP DIV DL DN DO DP DPR DR DSP DT DTL DW DWG
	CONSTRUCTION	EX

CONTRACTOR COORDINATE CORRIDOR CARPET COAT RACK COURSE CERAMIC TILE CENTER COUNTERSINK COPPER CONDENSING UNIT CUBIC FOOT (FEET) CUBIC YARD CABINET UNIT HEATEF CYLINDER COLD WATER
PENNY (NAIL SIZE) DECIBELS DOUBLE DEMOLITION DEPARTMENT DEPRESSED DRINKING FOUNTAIN DIAMETER DIAGONAL DIMENSION DISPENSER DIVISION DEAD LOAD

DOWN

DAMPER

DOWNSPOUT

DRAIN TILE

DETAIL(ED)

DISHWASHER

DRAWING(S)

DRAWER

EXISTING

EAST

EACH

DRY STANDPIPE

DOOR

DOOR OPENING

DAMP PROOFING

eb EC EDF	ELECTRIC BASEBOARD ELECTRICAL CONTRACT(OR) ELECTRIC DRINKING FOUNTAIN
ef Eg Eifs	EXHAUST FAN EXHAUST GRILLE EXTERIOR INSUL. & FINISH SYSTEM
es ESMT ERL ETR EW EWC EXH EXIST EXPO	EXP. JOINT ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EMERGENCY ENCLOSE, ENCLOSURE ENGINEER(ED) ELECTRICAL PANEL EQUIPMENT EXPOSED STRUCTURE EASEMENT ESTIMATE(D) EXISTING RELOCATED EXISTING TO REMAIN EACH WAY ELECTRIC WATER COOLER EXHAUST EXISTING EXPOSED EXPAND(ED), EXPANSION EXTERIOR
FA FAB FACP	FIRE ALARM FABRICATE(D) FIRE ALARM CONTROL PANEL FURNISHED BY OWNER
FBO FCO FCU FD FDN FE FEC	FURNISHED BY OWNER FLOOR CLEAN OUT FAN COIL UNIT FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR

FFE

FG

FINISH GRADE

MEANS OF EGRESS: (2) EXITS PROVIDED AT LOWER LEVEL (1) EXIT PROVIDED AT EACH PAIR OF 1ST FLOOR UNITS PER IBC TABLE 1006.3.2(1).

ALL SLEEPING ROOMS (BEDROOMS) TO HAVE EMERGENCY ESCAPE AND SECTION 1030 (MIN. 20 INCH WIDE x 24 INCH HIGH NET CLEAR OPENIN COMMON PATH OF TRAVEL: ≤125 FT FOR GROUP R-2; OCCUPANT

120 LINEAR FEET LONGEST PATH OF TRAVEL FROM FARTHEST CORNER EXTERIOR EXIT ACCESS AT GROUND FLOOR INCLUDING STAIRS.

EXIT ACCESS TRAVEL DISTANCE: ≤250 FT FOR GROUP R-2; WITH SPRIN ≤400 FT FOR GROUP S-2; WITH SPRIN

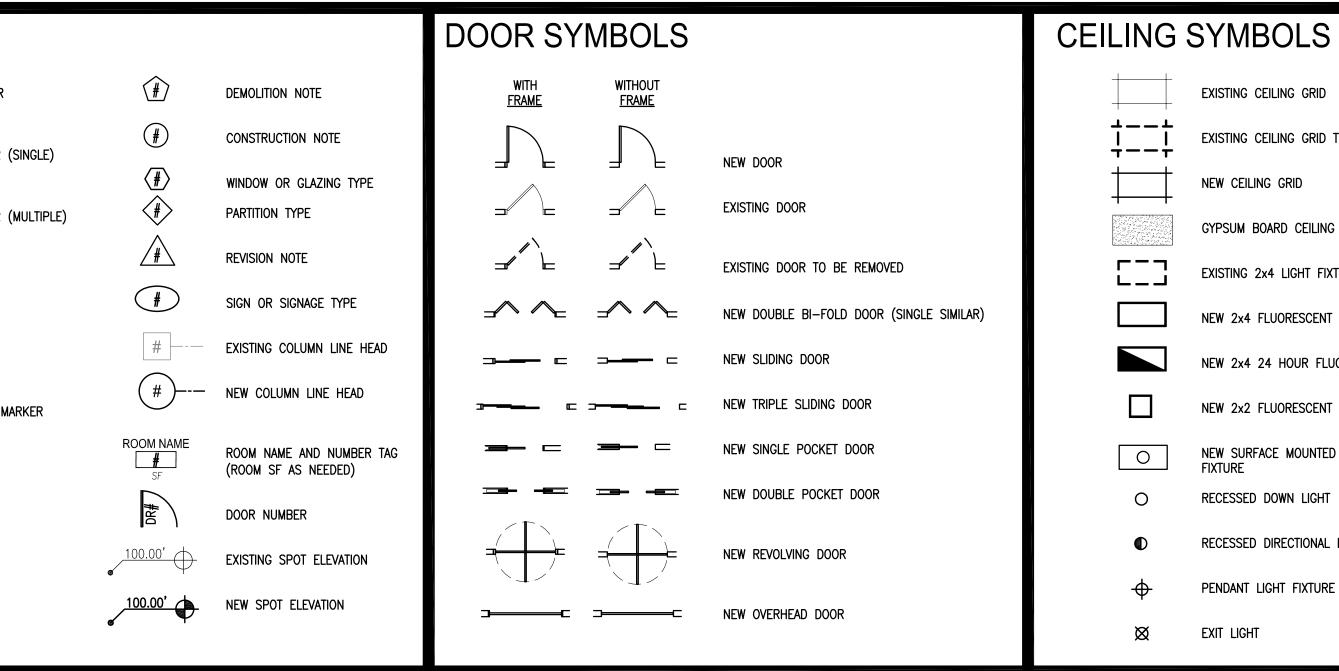
MINIMUM CORRIDOR WIDTH: 3'-8"; 3'-0" WHERE OCCUPANT LOAD LESS UNIT'S INTERIOR STAIRS IN GROUP R-2 OCCUPANCIES ARE NOT REQUIRE REFUGE IN BUILDINGS EQUIPPED WITH AUTOMATIC SPRINKLERS PER IBC

INTERIOR FINISH REQUIREMENTS PER IBC TABLE 803.11

GROUPS R-2 & S: SPRINKLERED TYPE C AT INTERIOR EXIT STAIRWAYS, RAMPS AND PASSAGEWA TYPE C AT CORRIDORS AND EXIT ACCESS STAIRWAYS AND RAM TYPE C AT ROOMS AND ENCLOSED SPACES

# ACCESSIBILITY

16 TOTAL DWELLING UNITS: (1) TYPE A ACCESSIBLE UNIT w/ ROLL-OTHER UNITS ARE TYPE B PER IBC 1107.6.2.2.2 AND 1107.7.1. 30 TOTAL PARKING SPACES IN LOWER LEVEL: (2) ACCESSIBLE SPAC <25 EXTERIOR PARKING SPACES PER BUILDING: (1) ACCESSIBLE SPACES ACCESSIBLE UNIT ON GROUND FLOOR HAVE ACCESSIBLE PATH FROM ENTRY AND ACCESS WITHIN THE UNIT. NO ELEVATOR SERVICE PROVI FLOOR. THIRD FLOOR ACCESSED ONLY FROM WITHIN UNITS.



	FIRE HYDRANT	н/с	HOT/COLD	LBS	POUND(S)	N/A	NOT APPLICABLE	PNL	PANEL
	FIRE HOSE CABINET	HDC	HANDICAP	LBL	LABEL	NAT	NATURAL	PT	PAINT
	FINISH	HDR	HEADER	LDR	LEADER	NIC	NOT IN CONTRACT	POC	POINT OF CONNECTION
	FIXTURE		HARDWOOD	LF	LINEAR FOOT	NRC	NOISE REDUCTION	PR	PAIR
	FLOOR LINE	HDWD				NRC		PRCST	PRECAST
		HDWR	HARDWARE	LH	LEFT HAND		COEFFICIENT		
	FLOOR	HM	HOLLOW METAL	LIN	LINEAR, LINEAL	NO	NUMBER	PREFAB	PREFABRICATE(D)
	FLASHING	HOR	HORIZONTAL	LKR	LOCKER	NOM	NOMINAL	PREFIN	PREFINISH(ED)
	FLEXIBLE	HP	HORSE POWER	LL	LIVE LOAD	NTS	NOT TO SCALE	PRELIM	PRELIMINARY
	FLUORESCENT	HR	HOUR	LLH	LONG LEG HORIZONTAL			PREP	PREPARE
	FACE OF <u>(ITEM)</u>	HT	HEIGHT	LLV	LONG LEG VERTICAL			PRV	POWER ROOF VENTILAT
	FACE OF CONCRETE	HTG	HEATING	LT	LIGHT	0/		PSF	
	FACE OF FINISH					0/	OVER	P.2L	POUNDS PER SQUARE
		HTR	HEATER	LTWT	LIGHTWEIGHT	OA	OVERALL		FOOT
	FACE OF MASONRY	HVAC	HEATING, VENTILATING AND	LVL	LEVEL	OBS	OBSCURE	PSI	POUNDS PER SQUARE
	FACE OF STUD		AIR CONDITIONING	LVR	LOUVER	OC	ON CENTER	PT	POINT
	FIREPROOF(ING), FIRE	HW	HOT WATER	LW	LIGHTWEIGHT	OD	OUTSIDE	PTD	PAPER TOWEL DISPENS
	PROTECTION			LWC	LIGHTWEIGHT CONCRETE		DIAMETER/DIMENSION	PTDR	PAPER TOWEL DISPENS
	FIRE RATED	IBC	INSTALLED BY CONTRACTOR			OFCI	OWNER FURNISHED		WITH RECEPTACLE
	FRAME	ID	INSIDE			OFCI		PTN	PARTITION
				MAINT	MAINTENANCE	050	CONTRACTOR INSTALLED		
	FULL SIZE		DIAMETER/DIMENSION			OFOI	OWNER FURNISHED	PTR	PAPER TOWEL RECEPTA
	FOOT OR FEET	IE	INVERT ELEVATION	MAS	MASONRY		OWNER INSTALLED	PVC	POLYVINYL CHLORIDE
	FOOTING	IN	INCH	MATL	MATERIAL	OFD	OVERFLOW DRAIN	PVG	PAVING
	FURNITURE, FURNISH	INCAND	INCANDESCENT	MAX	MAXIMUM	OFF	OFFICE	PVMT	PAVEMENT
	FURRING	INCL	INCLUDE	MC	MECHANICAL CONTRACTOR	OFS	OVERFLOW SCUPPER		
	FUTURE	INFO	INFORMATION	MCJ	MASONRY CONTROL JOINT	ÖH	OVERHEAD	QT	QUARRY TOWEL
	FIELD VERIFY	INSUL	INSULATE(D), INSULATION	MB	MOP BASIN	OHG	OVERHANG	QTY	QUANTITY
			INTEDIOD	MBR	MEMBER			Q II	QUANTIT
		INT	INTERIOR	MC	MEDICINE CABINET	OPH	OPPOSITE HAND	Р	
	041105	INV	INVERT			OPNG	OPENING	R	RISER
	GAUGE	IP	IRON PIPE	MECH	MECHANICAL	OPP	OPPOSITE	RA	RETURN AIR
	GALLON	IRRIG	IRRIGATE, IRRIGATION	MED	MEDIUM	ORD	OVERFLOW ROOF DRAIN	RAD	RADIUS
	GALVANIZED			MEMB	MEMBRANE			RBR	RUBBER
	GRAB BAR			MEZZ	MEZZANINE			RCP	REFLECTED CEILING PLA
	GENERAL CONTRACTOR	JAN	JANITOR	MFR	MANUFACTURE(R)	PAR	PARALLEL	RD	ROOF DRAIN
	GENERAL	JB	JUNCTION BOX	MH	MANHOLE	PC	PLUMING CONTRACTOR	RDWD	REDWOOD
	GLASS FIBER REINFORCED			MID	MIDDLE	PCC		REC	
		JST	JOIST				PRECAST CONCRETE		RECESS(ED)
	CONCRETE	JT	JOINT	MIN	MINIMUM	PED	PEDESTAL	REF	REFERENCE
	GLASS FIBER REINFORCED			MIR	MIRROR	PERP	PERPENDICULAR	REFL	REFLECTED
	GYPSUM	KB	KNOX BOX	MISC	MISCELLANEOUS	PERF	PERFORATED	REFRIG	REFRIGERATOR
	GALVANIZED IRON	KD	KNOCKED DOWN	MKB	MARKER BOARD	PRIM	PERIMETER	REG	REGISTER
	GLASS, GLAZING, GLAZE(D)	KIT	KITCHEN	MO	MASONRY OPENING	PG	PAGE	REINF	REINFORCED
	GROUND	KO	KNOCK OUT	MOD	MODULAR	PJ	PANEL JOINT	REQD	REQUIRED
	GRADE	KS	KNEE SPACE	MPH	MOP HOLDER	PKG	PARKING	RESIL	RESILIENT
		N3	KINEE SFACE	MTD	MOUNTED				
	GYPSUM WALLBOARD					PLT	PLATE	RET	RETURN
	GYPSUM			MTL	METAL	PL	PROPERTY LINE	REV	REVISE(D), REVISION
D	GYPSUM BOARD	L	LONG, LENGTH	MULT	MULTIPLE	PLBG	PLUMBING	RFG	ROOFING
		LAB	LABORATORY	MWS	MIRROR WITH SHELF	PLAM	PLASTIC LAMINATE	RGH	ROUGH
		LAM	LAMINATE(D)			PLAS	PLASTER	RH	RIGHT HAND
	HOSE BIB	LAV	LAVATORY			PLAST	PLASTIC	RI	ROUGH IN
	HOLLOW CORE			Ν	NORTH	PLYWD	PLYWOOD	RM	ROOM
				••				L/W	NUUM

TS PROVIDED AT LOWER LEVEL (IT PROVIDED AT EACH PAIR OF 1ST FLOOR AND 2ND FLOOR DWELLING	SANITARY FIXTURES - MINIMUM REQUIREMENTS PER IBC TABLE 2902 BASED ON R-2 RESIDENTIAL APARTMENT HOUSE USE.
PER IBC TABLE 1006.3.2(1). OOMS) TO HAVE EMERGENCY ESCAPE AND RESCUE OPENINGS PER IBC I WIDE x 24 INCH HIGH NET CLEAR OPENING). $\leq 125$ FT FOR GROUP R-2; OCCUPANT LOAD >30; WITH SPRINKLER $\leq 100$ FT FOR GROUP S; OCCUPANT LOAD >30; WITH SPRINKLER PATH OF TRAVEL FROM FARTHEST CORNER OF 3RD FLOOR LOFT TO ROUND FLOOR INCLUDING STAIRS. CE: $\leq 250$ FT FOR GROUP R-2; WITH SPRINKLER SYSTEM $\leq 400$ FT FOR GROUP S-2; WITH SPRINKLER SYSTEM	WATER CLOSETS         1 PER DWELLING UNIT REQUIRED; 1 PROVIDED         LAVATORIES         1 PER DWELLING UNIT REQUIRED; 1 PROVIDED         BATHTUBS/SHOWERS         1 PER DWELLING UNIT REQUIRED; 1 PROVIDED         DRINKING FOUNTAINS         NOT REQUIRED         OTHER FIXTURES         1 KITCHEN SINK PER DWELLING UNIT REQUIRED; 1 PROVIDED
'-8"; 3'-0" WHERE OCCUPANT LOAD LESS THAN 50 & WITHIN DWELLING ROUP R-2 OCCUPANCIES ARE NOT REQUIRED TO PROVIDE AREAS OF PED WITH AUTOMATIC SPRINKLERS PER IBC 1009.3, EXCEPTION 5 & 8	1 AUTOMATIC CLOTHES WASHER CONNECTION PER 20 UNITS REQUIRED; 1 PER UNIT PROVIDED
NTS PER IBC TABLE 803.11 (LERED EXIT STAIRWAYS, RAMPS AND PASSAGEWAYS RS AND EXIT ACCESS STAIRWAYS AND RAMPS ND ENCLOSED SPACES	
<ul> <li>(1) TYPE A ACCESSIBLE UNIT w/ ROLL-IN SHOWER PROVIDED. ALL PER IBC 1107.6.2.2.2 AND 1107.7.1.</li> <li>IN LOWER LEVEL: (2) ACCESSIBLE SPACES PROVIDED.</li> <li>ACCES PER BUILDING: (1) ACCESSIBLE SPACE PER BUILDING PROVIDED.</li> <li>IND FLOOR HAVE ACCESSIBLE PATH FROM PARKING, ACCESSIBLE THE UNIT. NO ELEVATOR SERVICE PROVIDED TO UNITS AT SECOND SSED ONLY FROM WITHIN UNITS.</li> </ul>	

EXISTING CEILING GRID	4	WALL SCONCE
EXISTING CEILING GRID TO BE REMOVED		WALL MOUNTED FIXTURE
NEW CEILING GRID		NEW SUPPLY AIR GRILLE
GYPSUM BOARD CEILING		NEW RETURN AIR GRILLE
EXISTING 2x4 LIGHT FIXTURE TO BE REMOVED		EXISTING EMERGENCY LIGHT
NEW 2x4 FLUORESCENT LIGHT FIXTURE		EXISTING EMERGENCY LIGHT TO BE REMOVED
NEW 2x4 24 HOUR FLUORESCENT LIGHT FIXTURE	40	NEW EMERGENCY LIGHT
NEW 2x2 FLUORESCENT LIGHT FIXTURE	o	EXISTING SPRINKLER HEAD
NEW SURFACE MOUNTED 2x4 FLUORESCENT LIGHT	•	NEW SPRINKLER HEAD
RECESSED DOWN LIGHT	\$	SINGLE POLE SWITCH
RECESSED DIRECTIONAL DOWN LIGHT		3 = 3 - WAY D = DIMMER
PENDANT LIGHT FIXTURE		$\frac{\text{LIGHTING ABBREVIATIONS}}{N = NEW FIXTURE}$ $R = REUSE SALVAGED FIXTURE$ $E = EXISTING TO REMAIN$
Exit light		E = EXISTING TO REMAIN D = REMOVE AND SALVAGE FOR

STG

STL STOR STRUCT

SUSP

SWLK

SYM

SYN

SYS

T&B

TEL

TEMP

TER

TERM T&G

THK

THLD

THRM

TKB

TLT

T.O.

TOB

TOC

TOF

TOM TOP

TOS

TOW

TPD

TYP

UCR

UL

UNF

UNO

UR

SW

SEATING

STEEL

STORAGE

SUSPENDED

STRUCTURE, STRUCTURAL

RND ROUND ROUGH OPENING RO NECTION ROW RIGHT OF WAY RESILIENT TILE RT ROOF TOP UNIT rtu SOUTH SUPPORT BRACKET SB SOLID CORE SC VENTILATOR SCD SEAT COVER DISPENSER SQUARE SCHED SCHEDULE SCREW SCR SQUARE INCH SDG SIDING SDS SOAP DISPENSER SURFACE DISPENSER SOAP DISPENSER DISPENSER SDR RECESSED SECT SECTION SELECT SEL RECEPTACLE LORIDE SQUARE FOOT (FEET) SF SUPPLY GRILLE SG SHELF SH SHOWER SHWR SHT SHEET SHTHG SHEATHING SHWR SHOWER SQUARE INCH SL SIMILAR SIM SLDG SLIDING SMOOTH SM ILING PLAN SHEET METAL SM SANITARY NAPKIN SND DISPENSER SNR SANITARY NAPKIN RECEPTACLE SPEC SPECIFICATION SPKR SPEAKER SPL SPLASH SQUARE SQ SVS SERVICE SINK SS STAINLESS STEEL STAINLESS STEEL SHELF SSS S&P SHELF & POLE ST STREET STA STATION SOUND TRANSMISSION STC COEFFICIENT STD STANDARD

SUSPENDED SWITCH BOARD SIDEWALK SQUARE YARD SYMMETRICAL SYNTHETIC SYSTEM
TREAD TOP AND BOTTOM TOWEL BAR TELEPHONE TEMPORARY TERRAZZO TERMINATE TONGUE & GROOVE TRANSFER GRILLE THICK THRESHOLD THERMAL TACK BOARD TOILET TOP OF(ITEM) TOP OF GEAM TOP OF CONCRETE OR CURB TOP OF FOOTING TOP OF FOOTING TOP OF FOOTING TOP OF FOOTING TOP OF STEEL TOP OF STEEL TOP OF WALL TOILET PAPER DISPENSER TUBE STEEL TELEVISION TYPICAL
UNDER COUNT REFRIG. UNDERWRITERS LABORATORY

UNFINISHED

URINAL

UNLESS NOTED OTHERWISE

JS JTIL	URINAL SCREEN UTILITY
VCT VERT VEST VG VP VT	VENT VARIABLE AIR VOLUME VITREOUS CLAY PIPE VINYL COMPOSITION T VERTICAL VESTIBULE VERTICAL GRAIN VAPOR PROOF VINYL TILE VENT THROUGH ROOF VINYL WALL COVERING
WI WP WR WS WSCT WT WWF	WEST WITH WATER CLOSET WOOD WINDOW WIDE FLANGE WATER HEATER WROUGHT IRON WITHOUT WATERPROOF(ING) WATER RESISTANT WORK STATION WAINSCOT WEIGHT WELDED WIRE FABRIC WELDED WIRE MESH
YRD	YARDS
KFMR	TRANSFORMER

TILE

<b>BUILDING 5</b>	COLONIAL WOODS	<b>16 UNIT APARTMENT BI</b>
Revisions:		

W00 154 53. Wes ov √ St ee ٹ <del>ہ</del> S 27 Oak

<u>с</u>

# Sheet Name: ABBREVIATIONS, SYMBOLS, BUILDING INFORMATION AND GENERAL NOTES

Date:		02/07/2025
Drawn	By:	CLR/CGH

Project No.: 20116.01.02

Sheet No.

**CS.2** 

Quorum Architects. Inc. 3112 West Highland Boulevard

Milwaukee, Wisconsin 53208 Phone: 414,265,9265 Fax: 414,265,9465

www.quorumarchitects.com

PRELIMINARY

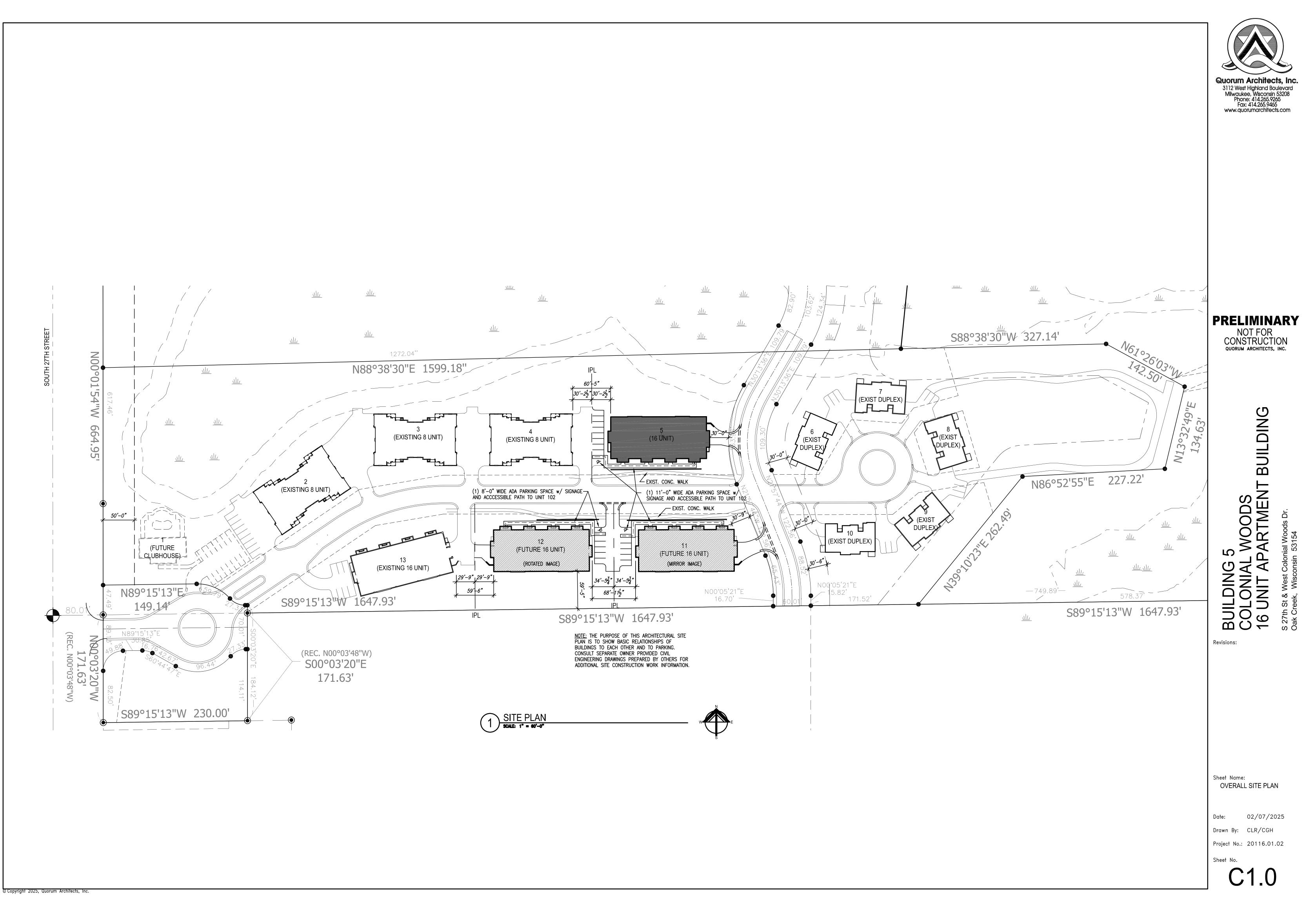
NOT FOR CONSTRUCTION

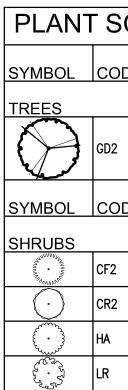
QUORUM ARCHITECTS, INC.

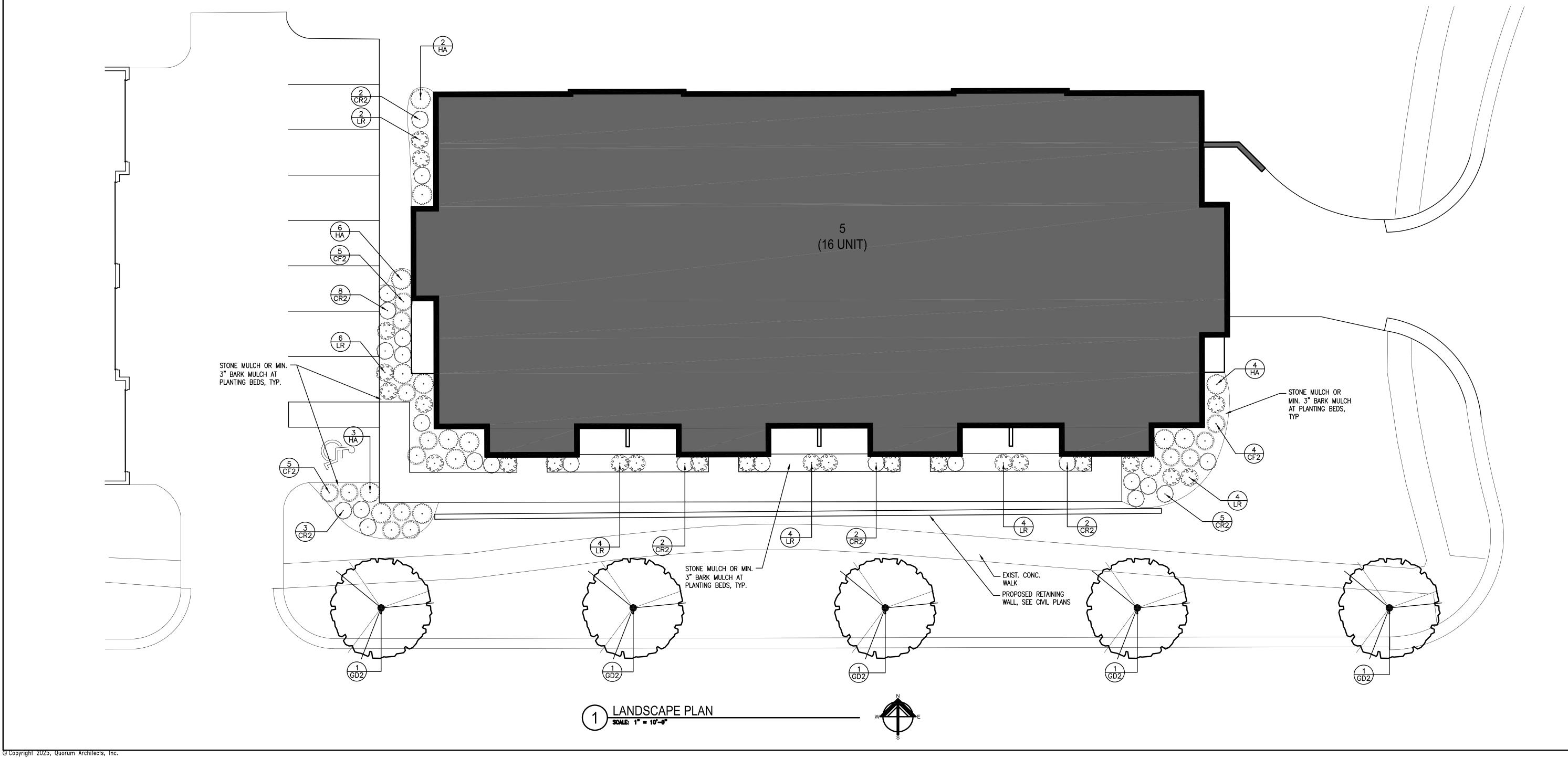
C

DIN

 $\supset$ 







SCH	EDU	LE - BUILDING 5			
DDE	QTY	COMMON NAME	BOTANICAL NAME	ROOT	REMARKS
2	5	Street Keeper® Honey Locust	gleditsia triacanthos inermis 'draves'	8' B&B OR 25 GAL CONT.	
DDE	QTY	COMMON NAME	BOTANICAL NAME	ROOT / CONT	REMARKS
2	14	ARCTIC FIRE® RED TWIG DOGWOOD	CORNUS STOLONIFERA 'FARROW'	5 GAL.	
2	24	RUBY SPICE SUMMERSWEET	CLETHRA ALNIFOLIA 'RUBY SPICE'	5 GAL.	
	15	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	5 GAL.	
	24	KODIAK® ORANGE DIERVILLA	DIERVILLA X 'G2X88544'	5 GAL.	

# GENERAL LANDSCAPE NOTES

### 1. QUALITY ASSURANCE

- A. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1. B. MEASUREMENTS: MEASURE ACCORDING TO ANSI Z60.1. DO NOT PRUNE TO OBTAIN REQUIRED SIZES.
- 2. DELIVERY, STORAGE, AND HANDLING
- C. DELIVER BARE-ROOT STOCK PLANTS FRESHLY DUG. IMMEDIATELY AFTER DIGGING UP BARE-ROOT STOCK, PACK ROOT SYSTEM IN WET STRAW, HAY, OR OTHER SUITABLE MATERIAL TO KEEP ROOT SYSTEM MOIST UNTIL PLANTING.
- D. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE, PROVIDE PROTECTIVE COVENING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.
- E. HANDLE PLANTING STOCK BY ROOT BALL.
- F. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN THEIR APPROPRIATE ASPECT (SUN, FILTERED SUN, OR SHADE), PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST. 4. PROJECT CONDITIONS
- A. FIELD MEASUREMENTS: VERIFY ACTUAL GRADE ELEVATIONS, SERVICE AND UTILITY LOCATIONS, IRRIGATION SYSTEM COMPONENTS, AND DIMENSIONS OF PLANTINGS AND CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
- B. PLANTING RESTRICTIONS: PLANT DURING ONE OF THE FOLLOWING PERIODS. COORDINATE PLANTING PERIODS WITH MAINTENANCE PERIODS TO PROVIDE REQUIRED MAINTENANCE FROM DATE OF SUBSTANTIAL COLUME FROM. COMPLETION. 1. DECIDUOUS TREES AND SHRUBS: APRIL 1 TO SEPTEMBER 30
- 2. PERENNIALS: MAY 15 TO SEPTEMBER 30 C. DO NOT INSTALL PLANT MATERIALS WHEN AMBIENT TEMPERATURES MAY DROP BELOW 35 DEGREES F OR RISE ABOVE 90 DEGREES F OR WHEN WIND VELOCITIES EXCEED 30 MPH.
- D. COORDINATION WITH TURF AREAS (LAWNS): PLANT TREES, SHRUBS AND OTHER PLANTS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING TURF AREAS UNLESS OTHERWISE INDICATED.

## PLANTING NOTES

- 1. ALL PLANTING SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.0 1986. ANY PLANT SUBSTITUTION MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS MUST BE INSTALLED AS PER SIZES SHOWN ON PLAN. 2. PREPARATION
- A. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES AND TURF AREAS AND EXISTING PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
- B. INSTALL EROSION—CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL—BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- C. LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE EXCAVATING OR PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
- D. LAY OUT PLANTS AT LOCATIONS DIRECTED BY ARCHITECT. STAKE LOCATIONS OF INDIVIDUAL TREES AND SHRUBS AND OUTLINE AREAS FOR MULTIPLE PLANTINGS. 3. PLANTING AREA ESTABLISHMENT
- A. LOOSEN SUBGRADE OF PLANTING AREAS TO A MINIMUM DEPTH OF 12 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY. 1. APPLY INSERT TYPE FERTILIZER DIRECTLY TO SUBGRADE BEFORE LOOSENING.
- 2. THOROUGHLY BLEND PLANTING SOIL OFF-SITE BEFORE SPREADING OR SPREAD TOPSOIL, APPLY SOIL AMENDMENTS AND FERTILIZER ON SURFACE, AND THOROUGHLY BLEND PLANTING SOIL. 3. SPREAD PLANTING SOIL TO A DEPTH OF 12 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- 4. EXCAVATION FOR TREES AND SHRUBS A. PLANTING FITS AND TRENCHES: EXCAVATE CIRCULAR PLANTING PITS APPROXIMATELY THREE TIME AS WIDE AS BALL DIAMETER WITH SIDES SLOPING INWARD AT A 45-DEGREE ANGLE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING.
- B. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY NOT BE USED AS PLANTING SOIL. 5. TREE AND SHRUB PLANTING
- A. BEFORE PLANTING, VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL ACCORDING TO ANSI Z60.1.
- B. REMOVE STEM GIRDLING ROOTS AND KINKED ROOTS. REMOVE INJURED ROOTS BY CUTTING CLEANLY; DO NOT BREAK.
- C. SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES AND USE PLANTING SOIL FOR BACKFILL.

- D. PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE BACK FILL BLOUE WITH 2/3 EXISTING SOIL, 1/3 PEAT MOSS. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY, OR STONES.
- E. ALL SHRUBS TO BE POCKED PLANTED WITH A 50/50 MIX OF PLANT STARTER AND EXISTING SOIL.
- F. SET CONTAINER-GROWN STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 1 INCH ABOVE ADJACENT FINISH GRADES AND USE PLANTING SOIL FOR BACKFILL. G. PROVIDE 3'-4' DIAMETER MULCH RINGS AROUND ALL LAWN TREES
- H. ALL SHRUB BEDS RECEIVE A 2-3" LAYER OF SHREDDED HARDWOOD BARK MULCH (OR BROWN ENVIRONULCH.) EDGE ALL BEDLINES WITH A 4" DEEP SHOVEL SPADED EDGE.
- PERENNIAL, GRASS, VINE, GROUND COVER, AND ANNUAL PLANTINGS A. SET OUT AND SPACE GROUND COVER AND PLANTS OTHER THAN TREES, SHRUBS, AND VINES PER PLANTING PLAN.
- B. ALL AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. ROTOTILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROX. 8". (NOTE: PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON CONDITION OF EXISTING SOIL.)

6.1 PER EVERY 100 SQUARE FEET ADD: ONE 2 CU. FT. BALE OF PEAT MOSS 2 LBS. OF 5-10-5 GARDEN FERTILIZER ONE CU. YARD OF COMPOSTED MANURE, PLANT STARTER OR OTHER COMPOSTED,ORGANIC MATERIAL C. USE PLANTING SOIL FOR BACKFILL.

- D. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. D. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS.
   LAWN INSTALLATION: SEE PLANTING SCHEDULE TO DETERMINE IF SOD OR SEED TO BE USED. CONTRACTOR TO FURNISH AND PREPARE TOPSOID (MIN. 3") AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY AND PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH TO BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT DISCRETION OF CONTRACTOR ON HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED SA COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE. RECOMMENDED SEED MIX: PROGREEN RENEW AVAILABLE AT PROGREEN PLUS, OR EQUIVALENT QUALITY SEED MIX WHICH WILL GERMINATE QUICKLY.
   B. BANTING APEA MULCHING.
- PLANTING AREA MULCHING A. INSTALL WEED-CONTROL BARRIERS BEFORE MULCHING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO BE MULCHED, OVERLAPPING EDGES A MINIMUM OF 6 INCHES AND SECURE SEAMS WITH GALVANIZED PINS.
- B. MULCH BACKFILLED SURFACES OF PLANTING AREAS AND OTHER AREAS INDICATED IN SECTION 2.5 KEEPING 4 INCHES FORM TRUNKS OR STEMS.
- . ALL PLANTING TO BE WATERED AT TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.



Quorum Architects, Inc. 3112 West Highland Boulevard Milwaukee, Wisconsin 53208 Phone: 414.265.9265 Fax: 414.265.9465 www.quorumarchitects.com

# PRELIMINARY NOT FOR CONSTRUCTION QUORUM ARCHITECTS, INC.

DING. UL Ξ WOODS Ď Colonial Woods E consin 53154 BUILDING COLONIAL 16 UNIT AF St & West ( reek, Wisco S 27th 3 Oak Cr

S

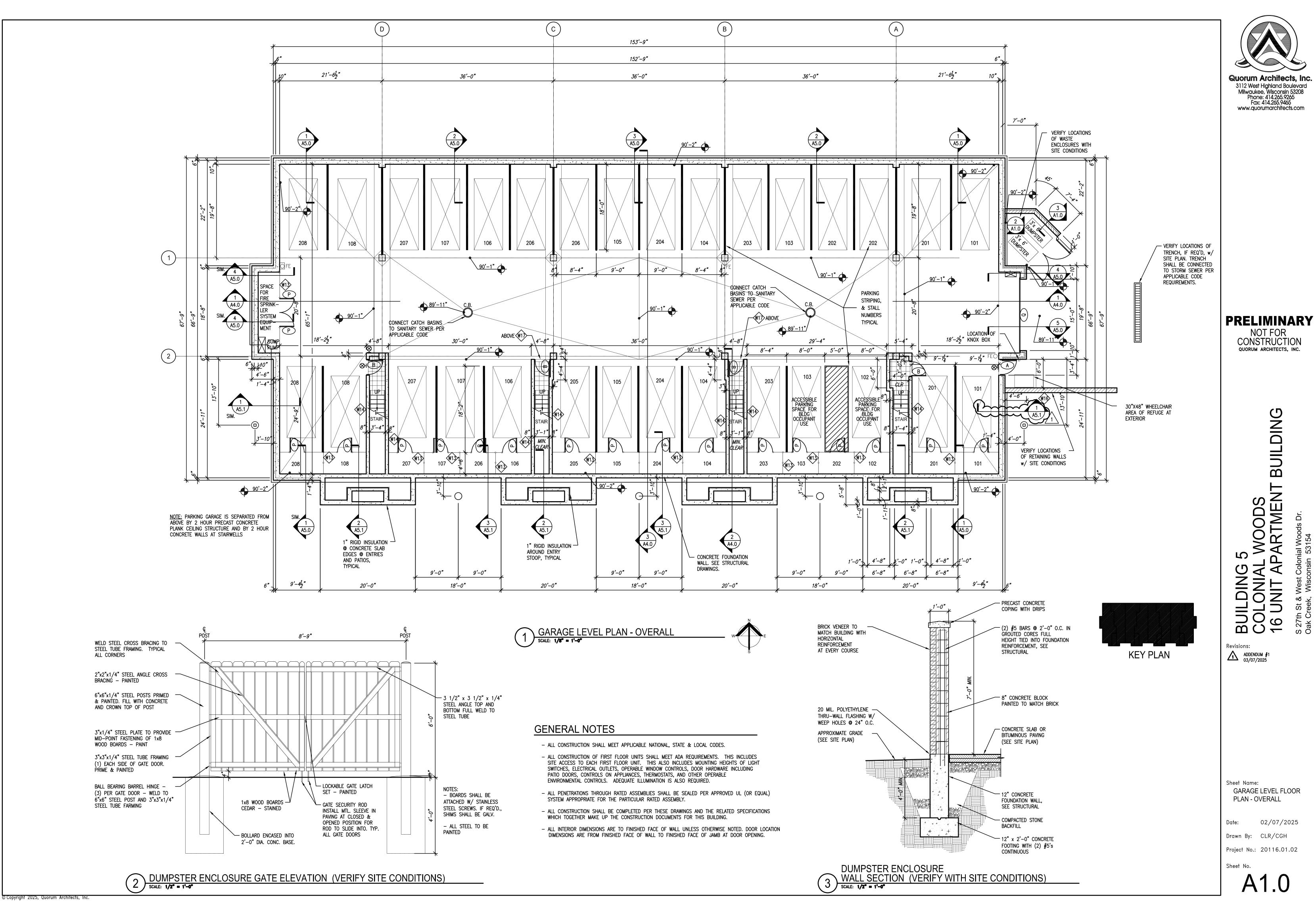
**Revisions:** 

Sheet Name: LANDSCAPE PLAN

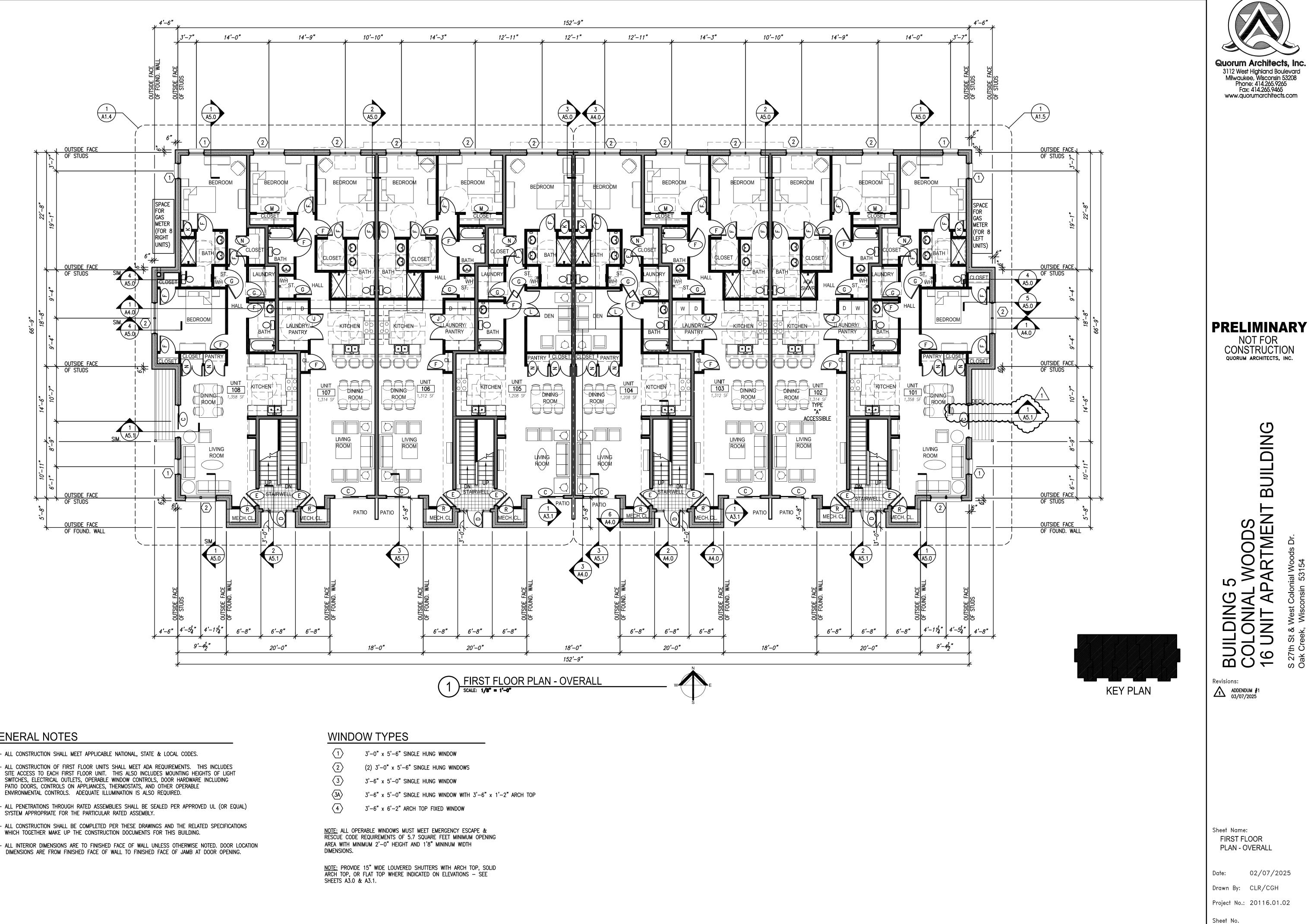
02/07/2025 Date: Drawn By: CLR/CGH Project No.: 20116.01.02 Sheet No.

> .0 1

21'–6<u>1</u>" A5.0 \* \* \* \* 90'-2" 208 207 108 <u>90'-1"</u> ┏┿┫┟ <u>5. M 40</u> ⊗H(B] 4'-6" (A5.1) SIM. (W13) 108 208 <u>90'-2"</u> SIM. A5.0 NOTE: PARKING GARAGE IS SEPARATED FROM ABOVE BY 2 HOUR PRECAST CONCRETE  $\begin{pmatrix} 2\\ A5.1 \end{pmatrix}$ PLANK CEILING STRUCTURE AND BY 2 HOUR CONCRETE WALLS AT STAIRWELLS 1" RIGID INSULATION -© CONCRETE SLAB EDGES @ ENTRIES



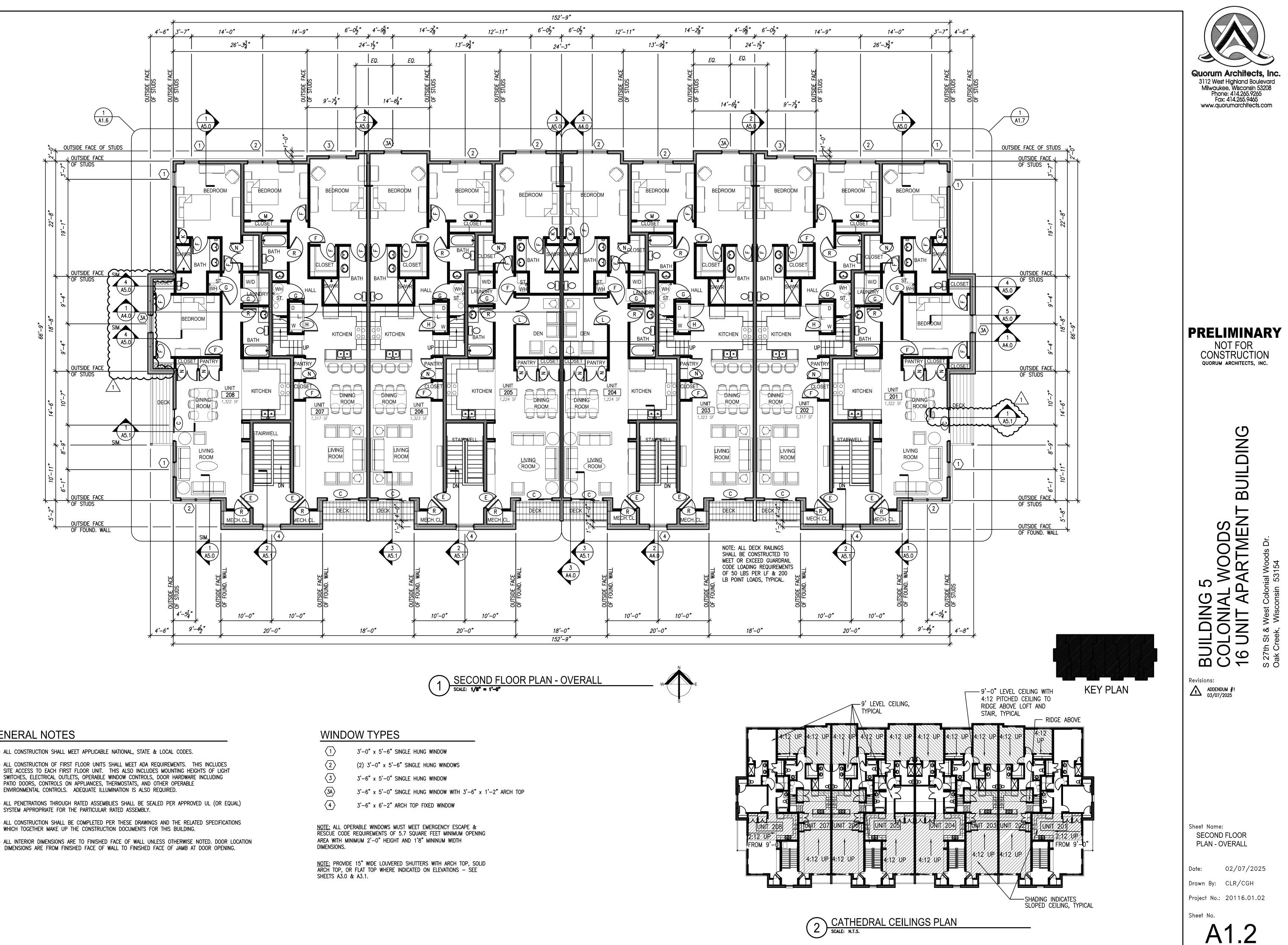
© Copyright 2025, Quorum Architects, Inc.



# **GENERAL NOTES**

- ALL CONSTRUCTION SHALL MEET APPLICABLE NATIONAL, STATE & LOCAL CODES.
- ALL CONSTRUCTION OF FIRST FLOOR UNITS SHALL MEET ADA REQUIREMENTS. THIS INCLUDES SITE ACCESS TO EACH FIRST FLOOR UNIT. THIS ALSO INCLUDES MOUNTING HEIGHTS OF LIGHT SWITCHES, ELECTRICAL OUTLETS, OPERABLE WINDOW CONTROLS, DOOR HARDWARE INCLUDING PATIO DOORS, CONTROLS ON APPLIANCES, THERMOSTATS, AND OTHER OPERABLE
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE SEALED PER APPROVED UL (OR EQUAL)
- ALL CONSTRUCTION SHALL BE COMPLETED PER THESE DRAWINGS AND THE RELATED SPECIFICATIONS
- ALL INTERIOR DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED. DOOR LOCATION DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF JAMB AT DOOR OPENING.

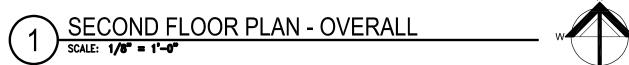
A1.1

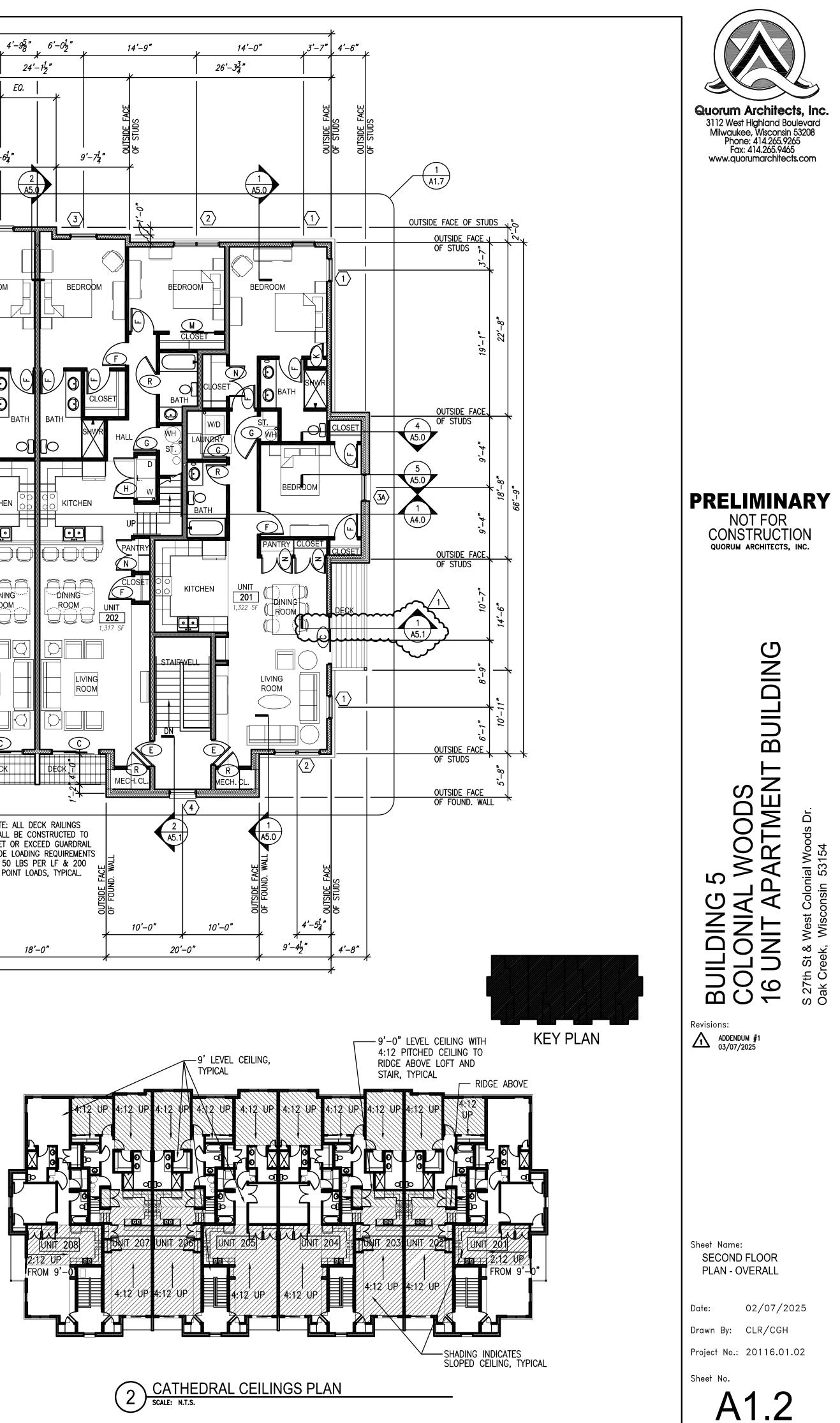


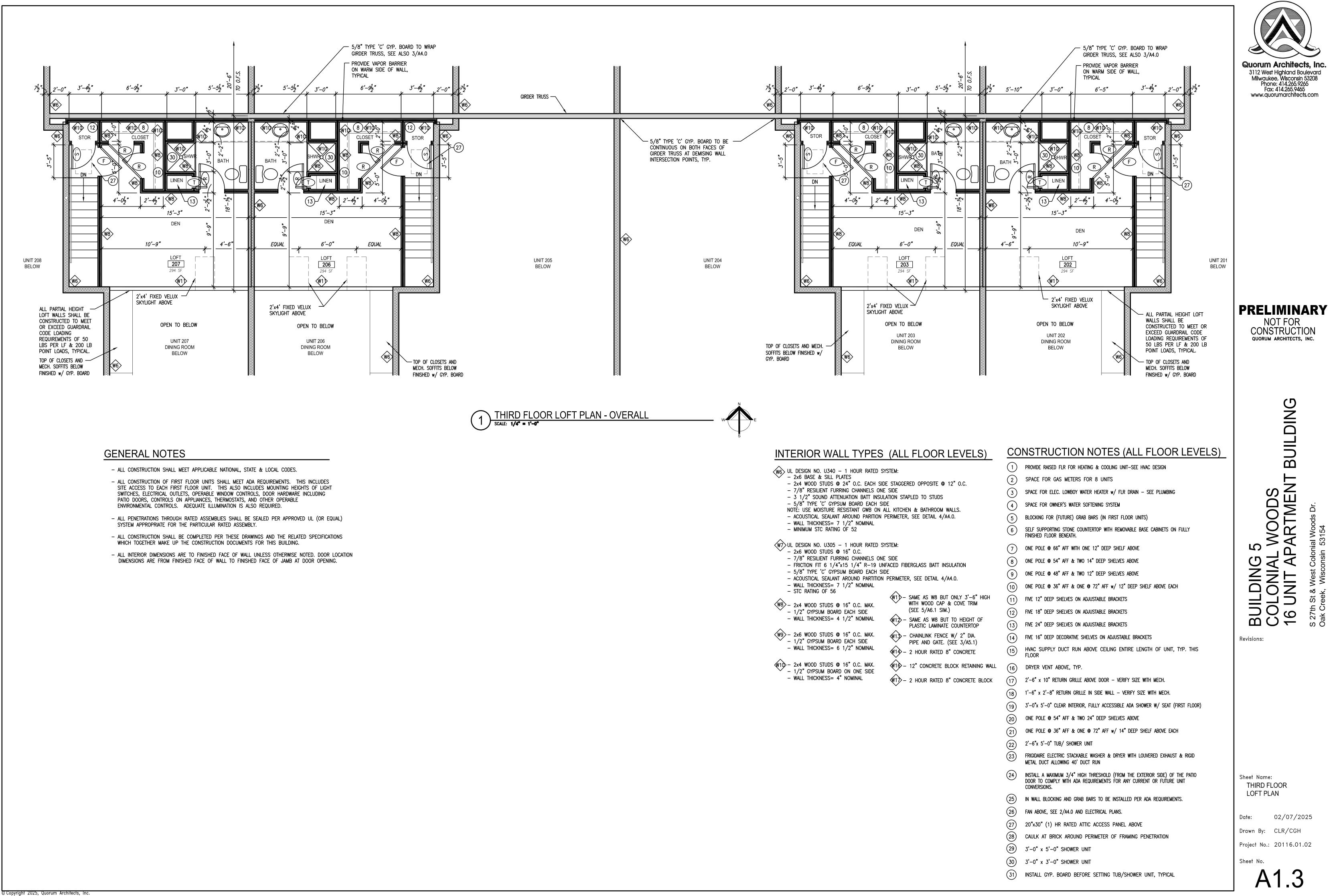
# **GENERAL NOTES**

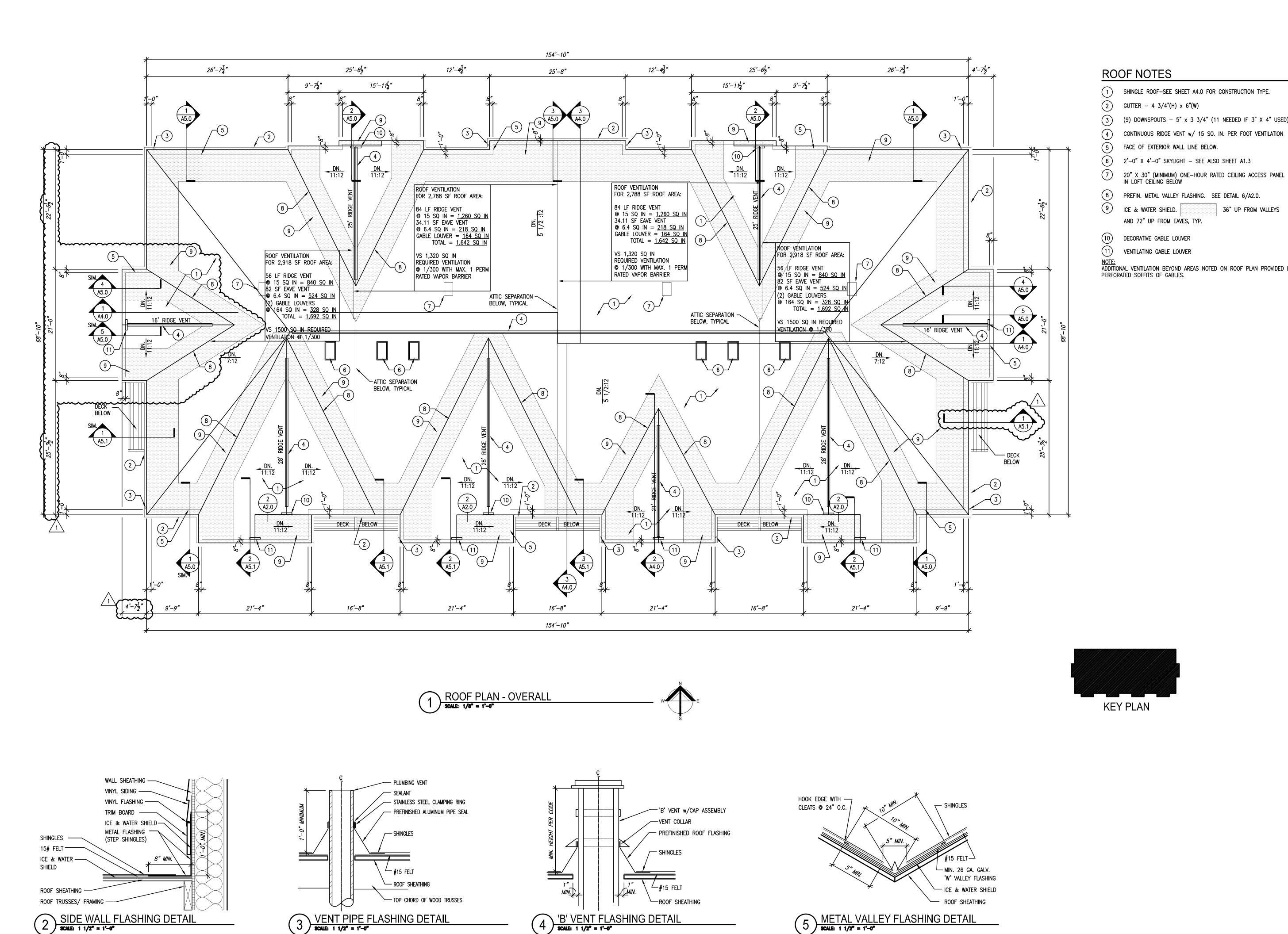
- ALL CONSTRUCTION SHALL MEET APPLICABLE NATIONAL, STATE & LOCAL CODES.
- ALL CONSTRUCTION OF FIRST FLOOR UNITS SHALL MEET ADA REQUIREMENTS. THIS INCLUDES SITE ACCESS TO EACH FIRST FLOOR UNIT. THIS ALSO INCLUDES MOUNTING HEIGHTS OF LIGHT SWITCHES, ELECTRICAL OUTLETS, OPERABLE WINDOW CONTROLS, DOOR HARDWARE INCLUDING PATIO DOORS, CONTROLS ON APPLIANCES, THERMOSTATS, AND OTHER OPERABLE
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE SEALED PER APPROVED UL (OR EQUAL)
- ALL CONSTRUCTION SHALL BE COMPLETED PER THESE DRAWINGS AND THE RELATED SPECIFICATIONS
- ALL INTERIOR DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED. DOOR LOCATION DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF JAMB AT DOOR OPENING.

© Copyright 2025, Quorum Architects, Inc.









07,

© Copyright 2025, Quorum Architects, Inc.

- (1) SHINGLE ROOF-SEE SHEET A4.0 FOR CONSTRUCTION TYPE.
- (3) (9) DOWNSPOUTS 5" x 3 3/4" (11 NEEDED IF 3" X 4" USED)
- CONTINUOUS RIDGE VENT w/ 15 SQ. IN. PER FOOT VENTILATION

- IN LOFT CEILING BELOW
- PREFIN. METAL VALLEY FLASHING. SEE DETAIL 6/A2.0.
- 36" UP FROM VALLEYS

ADDITIONAL VENTILATION BEYOND AREAS NOTED ON ROOF PLAN PROVIDED BY

Quorum Architects. Inc. 3112 West Highland Boulevard Milwaukee, Wisconsin 53208 Phone: 414.265.9265 Fax: 414.265.9465 www.quorumarchitects.com PRELIMINARY NOT FOR CONSTRUCTION QUORUM ARCHITECTS, INC. DING. UIL Ξ WOODS Ď t Colonial Woods I consin 53154

Sheet Name: ROOF PLAN AND ROOF DETAILS

S

Revisions:

ADDENDUM #1 03/07/2025

S 27th St & West ( Oak Creek, Wisco

BUILDING COLONIAL 16 UNIT AF

02/07/2025 Date: Drawn By: CLR/CGH Project No.: 20116.01.02

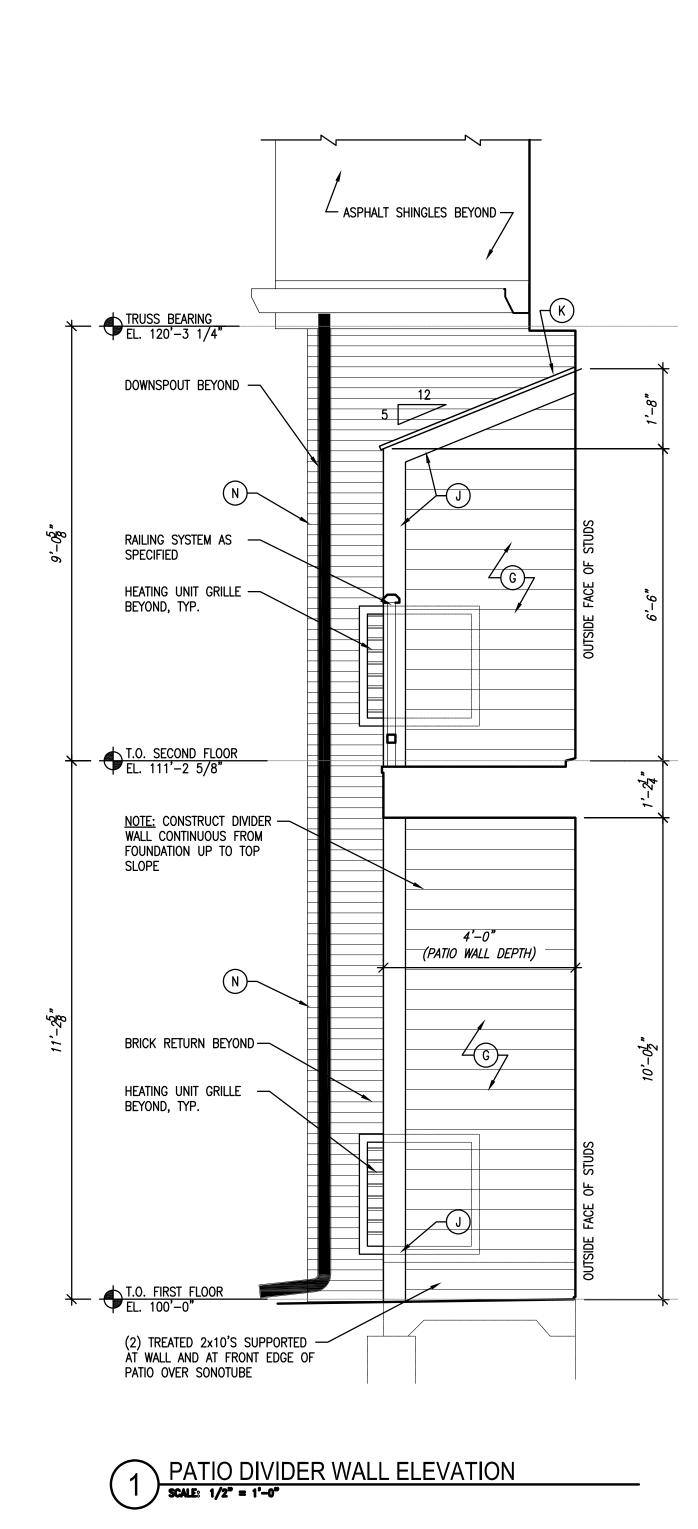




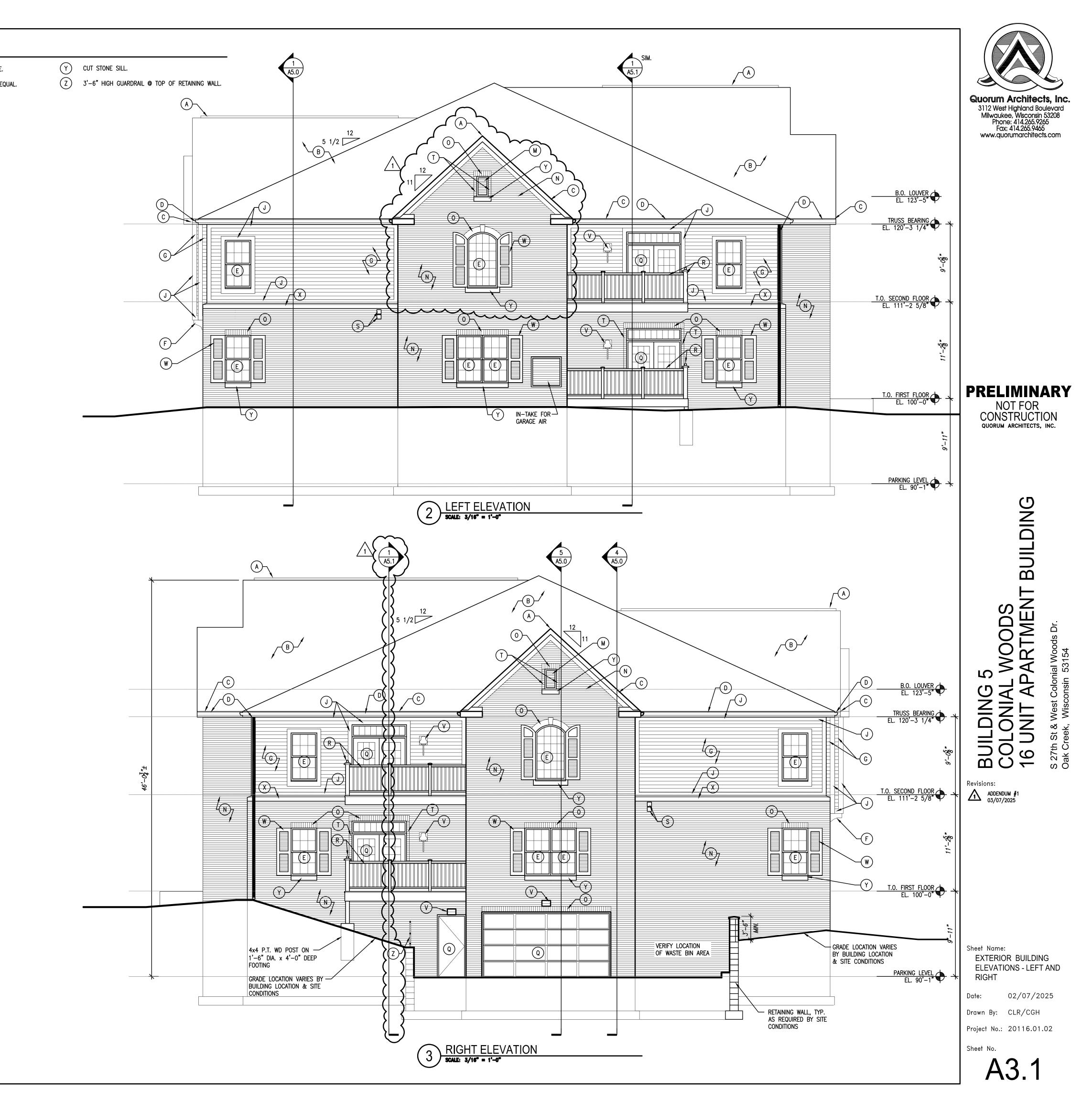
a or, zuzu = nuuzpin aapp2\d\20 Projects\20116-00 Colonial Woods\20116-01 Colonial Woods 16 Unit\CDs\\_Building 5\20116-01-02\_A30-#

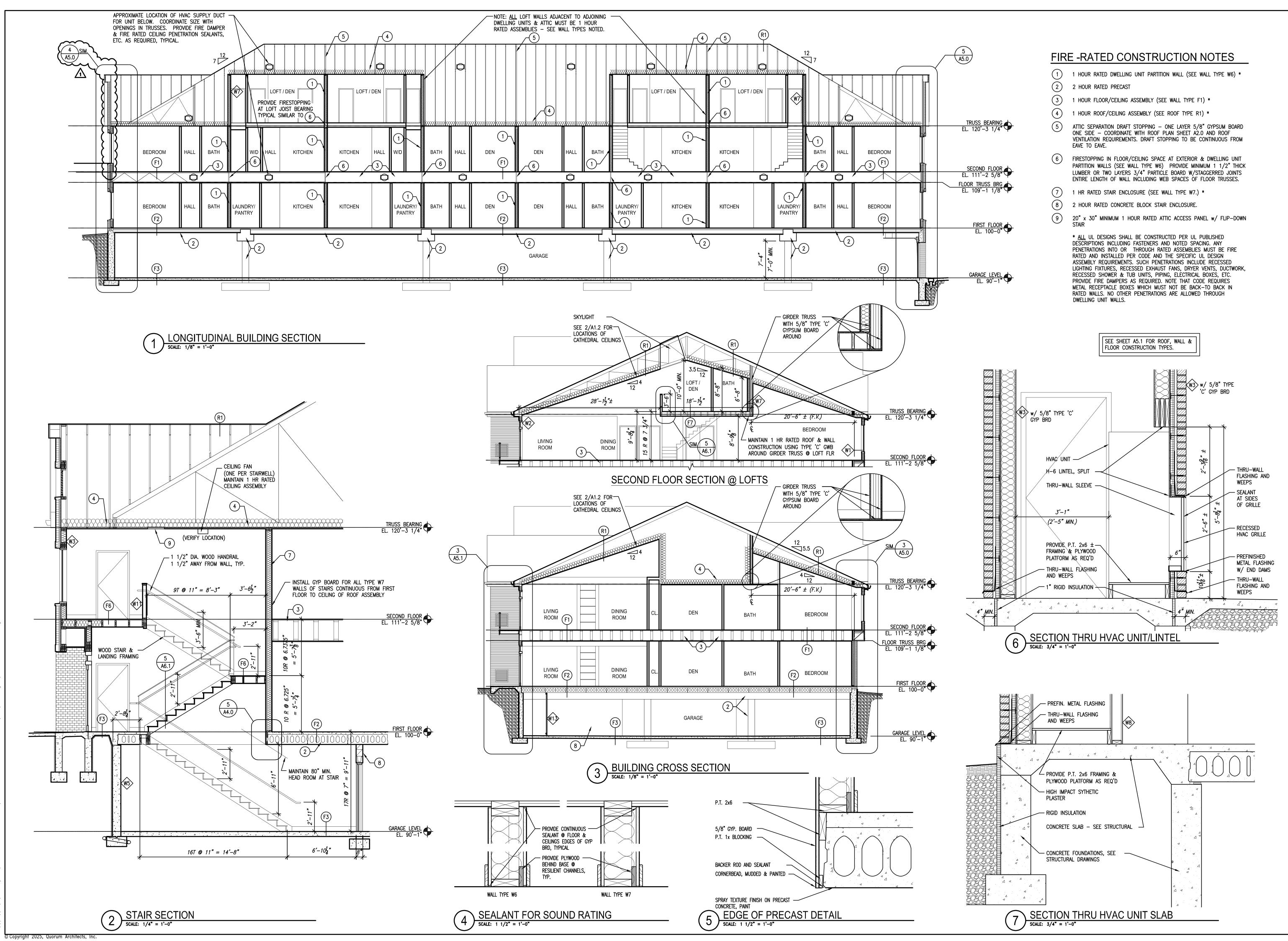
# **CONSTRUCTION NOTES**

- A CONTINUOUS RIDGE VENT.
- B ASPHALT SHINGLES. (GRAY COLORED)
- C FASCIA BOARD 'AZEK' 5/8x8 OR EQUAL.
- DGUTTER & DOWNSPOUT-SEE A2.0 FOR LOCATION.EWINDOW-SEE FLOOR PLANS FOR TYPE.
- (F) BRACKET (FYPON).
- G FIBER CEMENT SIDING & 6" TRIM. (CREAM COLORED) (H) "AZEK" TRIMBOARD-5/8x12 OR EQUAL.
- I"AZEK" TRIMBOARD-5/8x10 OR EQUAL.I"AZEK" TRIMBOARD-5/8x6 (OR AS NOTED) OR EQUAL.
- ( $\kappa$ ) "AZEK" TRIMBOARD-5/8x8 OR EQUAL.
- L "AZEK" 1/2" THICK SHEET OR EQUAL.
- (M) LOUVERS (SEE SHT A2.0 & SPEC.).
- (N) FACE BRICK. (RED COLORED)
- 0 BRICK SOLDIER COURSE w/ 1/2" PROJECTION.
- P 2'-0" x 4'-0" FIXED VELUX SKYLIGHT
- QDOOR/TRANSOM-SEE DOOR SCHEDULE.R"TREX" POST & RAILING SYSTEM OR EQUAL.
- SDRYER VENT.TBRICK w/ 1/2" PROJECTION
- U FLASHING
- V LIGHT FIXTURE ON BLOCKING (TYP.).
- WSHUTTERS (SLATE BLUE COLORED)XCUT STONE BAND.



© Copyright 2025, Quorum Architects, Inc.





Quorum Architects. Inc. 3112 West Highland Boulevard Milwaukee, Wisconsin 53208 Phone: 414.265.9265 Fax: 414.265.9465 www.quorumarchitects.com

PRELIMINARY NOT FOR CONSTRUCTION QUORUM ARCHITECTS, INC.

**UILDING**  $\mathbf{m}$ WOODS ā ial Woods 53154 5 کار کار Colon ^nsin UNIT UNIT UNIT West Wisc <u>ج</u> کھ St ee BUI COI 16 ( C E S 27 Oak

Revisions: ADDENDUM #1 03/07/2025

A

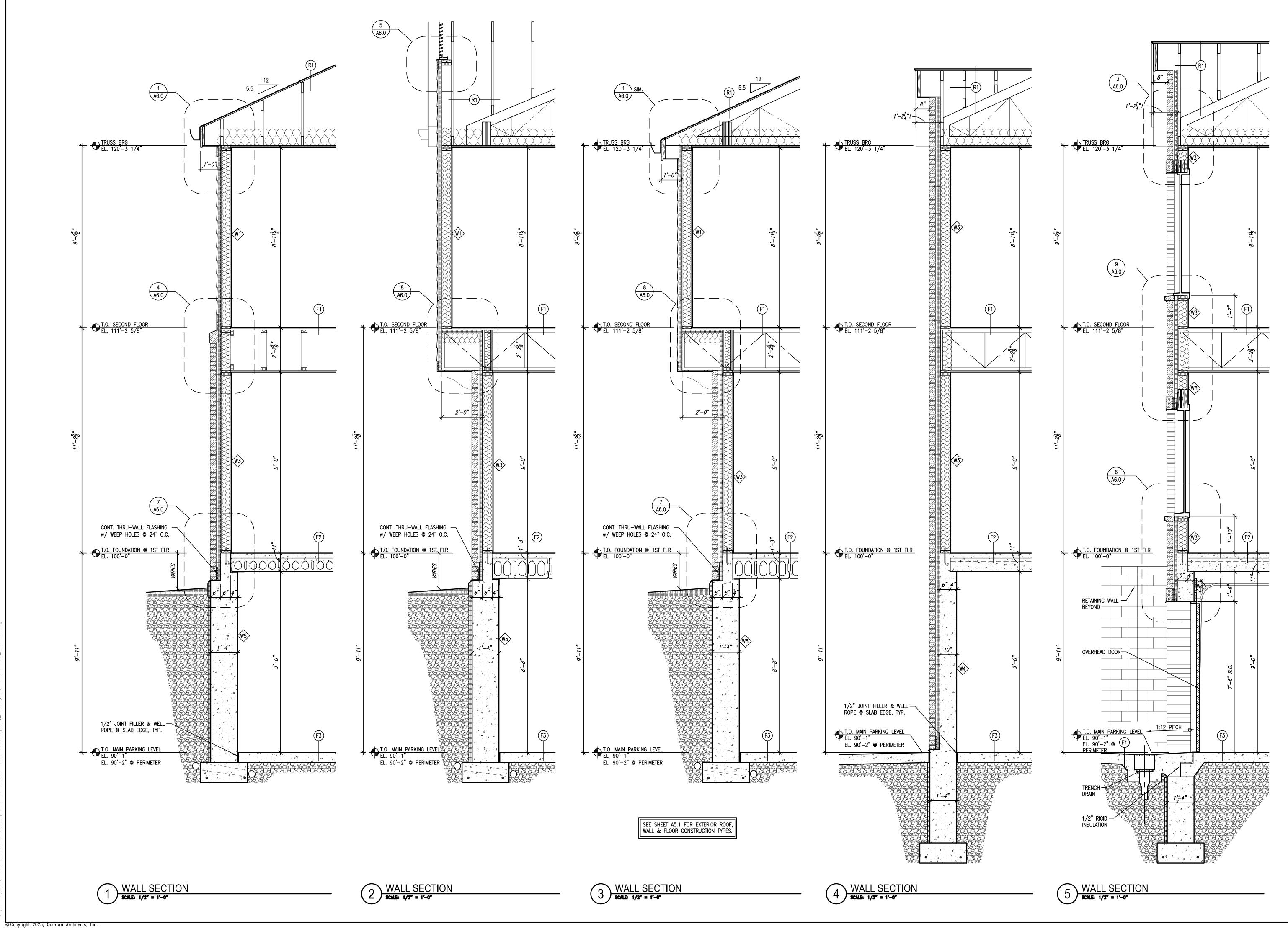
C

**BUILDING SECTIONS** 02/07/2025 Date:

Sheet Name:

Drawn By: CLR/CGH Project No.: 20116.01.02





Feb 11, 2025 — 9:13am Q:\20 Projects\20116—00 Colonial Woods\20116—01 Colonial Woods 16 Unit\CDs\\_Building 5\20116—01—02\_A50—A5



PRELIMINARY NOT FOR CONSTRUCTION QUORUM ARCHITECTS, INC.

BUILDING 5 BUILDING 5 COLONIAL WOODS 16 UNIT APARTMENT BUILDING S 27th St & West Colonial Woods Dr. Oak Creek, Wisconsin 53154

Sheet Name: WALL SECTIONS

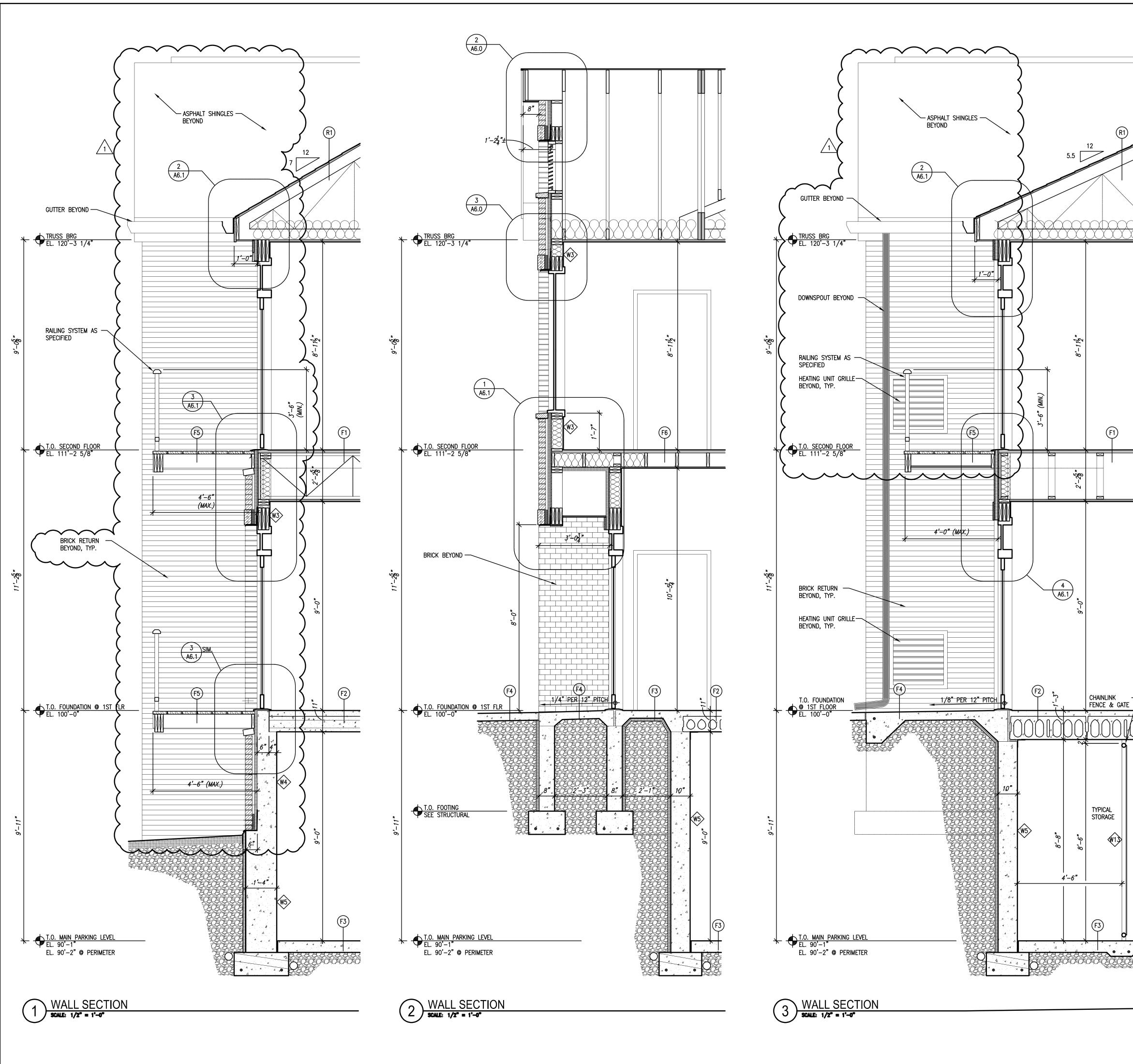
Revisions:

Date: 02/07/2025 Drawn By: CLR/CGH Project No.: 20116.01.02

Sheet No.



© Copyright 2025, Quorum Architects, Inc.



# **ROOF CONSTRUCTION**

- (R1) 1 HOUR FIRE RATED CEILING/ROOF SYSTEM UL DES. NO. P522.
  - ASPHALT SHINGLES.
  - 15# ROOFING FELT. -1/2" EXTERIOR GRADE OSB ROOF
  - Sheathing Clipped
  - ROOF TRUSSES @ 24" O.C. MAX. - 10" (R-38) BATT INSULATION
  - 25 GÀ GALÝ. FURRING CHANNELS 1/2"x 2 3/8" @
  - 12" O.C. (MAX.)

(R1)

- 6 MIL VAPOR BARRIER. - 5/8" TYPE 'C' GYPSUM WALL BOARD (GWB).
- NOTE: USE MOISTURE
- RESISTANT GWB ON ALL BATHROOM CEILINGS. - PROVIDE CONTINUOUS RIDGE VENT.

# EXTERIOR WALL TYPES

- $\swarrow$  Rated Wall Assembly PER U.L. Design No. U356 FIBER CEMENT SIDING WITH FLAME SPREAD VALUE OF 20 OR LESS.
  - "TYVEK" BUILDING PAPER. - 1 1/2" CONTINUOUS RIGID INSULATION (R-7.5 MIN.)
  - 1/2" EXTERIOR STRUCTURAL STEDI-R BOARD SHEATHING (R=1.5)
  - 2x6 WOOD STUDS @ 16" O.C. (MAX.) - 5 1/2" (R-19) FIBERGLASS INSULATION, w/ U.L. CLASSIFICATION - 4 MIL. VAPOR BARRIER.
  - 5/8" GYPSUM WALL BOARD (GWB), TYPE 'C' OR 'X' NOTE: USE MOISTURE RESISTANT GWB ON ALL BATHROOM WALLS. - WALL THICKNESS= 9" NOMINAL.
- $\langle w2 \rangle$  RATED WALL ASSEMBLY PER U.L. DESIGN NO. U356 - 1/2" THICK "AZEK" SHEET (SEE SPEC.) w/ U.L. CLASSIFICATION.
  - "TYVEK" BUILDING PAPER. - 1/2" EXTERIOR STRUCTURAL STEDI-R BOARD SHEATHING (R=1.5)
  - 2x6 WOOD STUDS @ 16" O.C. (MAX.) -51/2" (R-19) FIBERGLASS INSULATION, w/U.L.
  - CLASSIFICATION. - 4 MIL. VAPOR BARRIER.
  - 5/8" GYPSUM WALL BOARD (GWB), TYPE 'C' OR 'X' NOTE: USE MOISTURE RESISTANT GWB ON ALL BATHROOM WALLS.
  - WALL THICKNESS= 7 1/2" NOMINAL
- $\langle w_3 \rangle$  Face Brick per specification. - GALV. BRICK TIES @ 16" HORIZONTALLY AND 16" VERTICALLY.
  - 1" AIR SPACE MIN. – "TYVEK" BUILDING PAPER
  - 1 1/2" CONTINUOUS RIGID INSULATION (R-7.5 MIN.)
  - 1/2" EXTERIOR STRUCTURAL STEDI-R BOARD SHEATHING
  - (R=1.5) - 2x6 WOOD STUDS @ 16" O.C. (MAX.)
  - 5 1/2" (R-19) FIBERGLASS INSULATION, W/ U.L.
  - CLASSIFICATION.
  - 4 MIL VAPOR BARRIER. - 5/8" GYPSUM WALL BOARD (GWB), TYPE 'C' OR 'X' - PROVIDE THRU-WALL FLASHING & WEEP HOLES @ 24" O.C. NOTE: USE MOISTURE RESISTANT GWB ON ALL
  - BATHROOM WALLS. - WALL THICKNESS= 13" NOM., 12 3/4" ACT.
- $\langle W4 \rangle$  Face Brick per specification. - GALV. BRICK TIES @ 16" HORIZONTALLY AND 16" VERTICALLY.
  - 1" AIR SPACE MIN.
  - "TYVEK" BUILDING PAPER
  - -11/2" CONTINUOUS RIGID INSULATION (R-7.5 MIN.) - 10" REINFORCED CONCRETE WALL. (SEE STRUCT. DWGS.) - PROVIDE THRU-WALL FLASHING & WEEP HOLES @ 24" O.C.
  - WALL THICKNESS= 16"
- (W5) REINFORCED CONCRETE FOUNDATION WALL (SEE STRUCT. DWGS FOR EXACT SIZE AND LOCATIONS.) - WATERPROOF ENTIRE FOUNDATION WALL
  - ALTERNATE NO. 1: WATCHDOG BY TREMCO "+ ENERGY" - 1 1/2" MIN. RIGID INSUL. FULL WALL HEIGHT THROUGHOUT
  - (MIN. R=7.5) -2'-0" MIN. GRANULAR FILL OVER 4" DIA. DRAIN TILE. (BACKFILL ONLY AFTER FIRST FLOOR PLANK HAS BEEN SET.)
  - WALL THICKNESS= 10" TO 16"
- ₩15 2 x 6 WOOD STUDS @ 24" O.C. MAX.
- 1/2" EXTERIOR STEDI-R BOARD SHEATHING BOTH SIDES
   1 FIBER CEMENT SIDING BOTH SIDES
   TRIM BOARDS AT FRONT, SIDES, & TOP
- NOMINAL WALL THICKNESS= 7"
- NOTE: SEE SHEET A1.3 FOR INTERIOR WALL TYPES

# FLOOR CONSTRUCTION

- (F1) 1 HOUR FIRE RATED FLOOR UL DES. NO. L528 –
- SYSTEM NO. 4 - 3/4" GYP-CRETE TOPPING.
- 3/4" GRADE 'C-D' PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO TRUSSES). - 24" DEEP PREFAB. TRUSSES @ 24" O.C. MAX. SEE
- STRUCTURAL. NOTE: PROVIDE BRIDGING PER TRUSS MANUFACTURER
- NO. 26 MSG GALV. 1/2" RESILIENT CHANNELS @ 16" O.C. - 5/8" TYPE 'C' GYPSUM WALLBOARD (GWB). NOTE: USE MOISTURE RESISTANT DRYWALL ON ALL
- CEILINGS ABOVE TUBS AND SHOWERS. - MINIMUM STC OF 50.
- (F2) 2 HOUR FIRE-RATED FLOOR SYSTEM: - 3" (MIN.) CONCRETE TOPPING. - 12" (OR 8") THICK PRECAST CONCRETE PLANK. (SEE
- STRUCT.). (F3) - 6" POURED CONC. FLOOR w/ 6x6 #6/#6 W.W.M.
- 6 MIL POLY VAPOR BARRIER. - 6" (MIN.) COMPACTED GRANULAR FILL.
- (F4) 4" MIN. POURED CONC. SLAB w/ 6x6 10/10 W.W.M - 6" (MIN.) COMPACTED GRANULAR FILL.
- (F5) 2x8 P. T. WOOD BOARD WITH 1/2" SPACING BETWEEN BOARDS. - 2x8 (OR 2x10) P. T. WOOD JOISTS @ 16" O.C. (SEE STRUCT. DWGS.)
- (F6) 3/4" GYP-CRETE TOPPING. - 3/4" GRADE 'C-D' PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO JOISTS). - 2x8 WOOD JOIST @ 16" O.C. (SEE STRUCT.)
- 5/8" TYPE 'C' GYPSUM WALLBOARD (GWB).
- F7 FLOOR/CEILING - 3/4" GRADE 'C-D' PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO JOISTS). – 2x10 & LVL FRAMING – SEE STRUCTURAL
  - NO. 26 MSG GALV. 1/2" RESILIENT CHANNELS @ 16" O.C. - 5/8" GYPSUM WALLBOARD (GWB).
- (F8) 3/4" GYP-CRETE TOPPING. - 3/4" GRADE 'C-D' PLYWOOD w/ EXT. GLUE SUBFLOORING. (GLUED AND NAILED TO JOISTS).
  - 2x10 WOOD JOIST @ 16" O.C. (SEE STRUCT.)
  - 5/8" TYPE 'C' GYPSUM WALLBOARD (GWB).



Quorum Architects. Inc. 3112 West Highland Boulevard Milwaukee, Wisconsin 53208 Phone: 414.265.9265 Fax: 414.265.9465 www.quorumarchitects.com

PRELIMINARY NOT FOR

CONSTRUCTION QUORUM ARCHITECTS, INC.

DING

 $\Box$ 

Ω

WOODS ARTMEN<sup>-</sup>

۔ ج ۲

A

NIN

 $\exists \exists \exists \exists$ 

ч С С

C

Wood: 154 al 53 ₩e Ve ୁ ଅନ୍ St E Ū S 27 Oak

 $\Box$ 

Revisions: ADDENDUM #1 03/07/2025

\$ Sheet Name:
WALL SECTIONS AND
CONSTRUCTION TYPES

Date:	02/07/2025
Drawn By:	CLR/CGH
Project No.:	20116.01.02

A5.

Sheet No.



Pr P

© Copyright 2025, Quorum Architects, Inc.

© Copyright 2025, Quorum Architects, Inc.

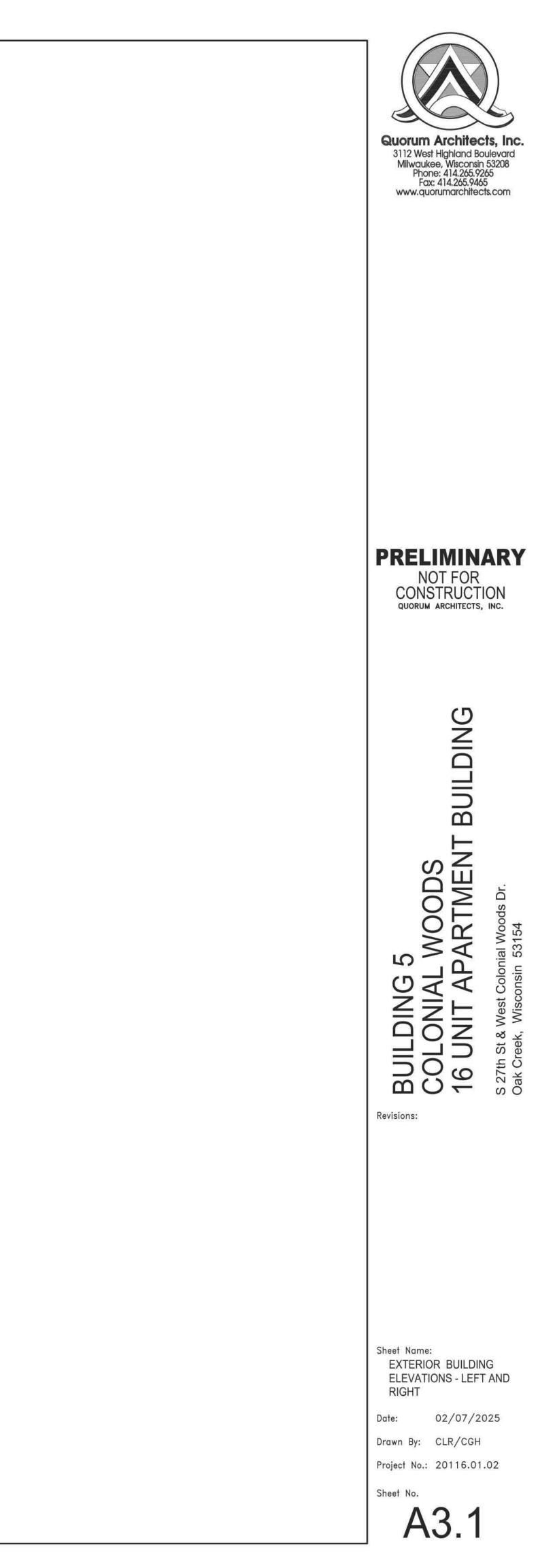








Ē

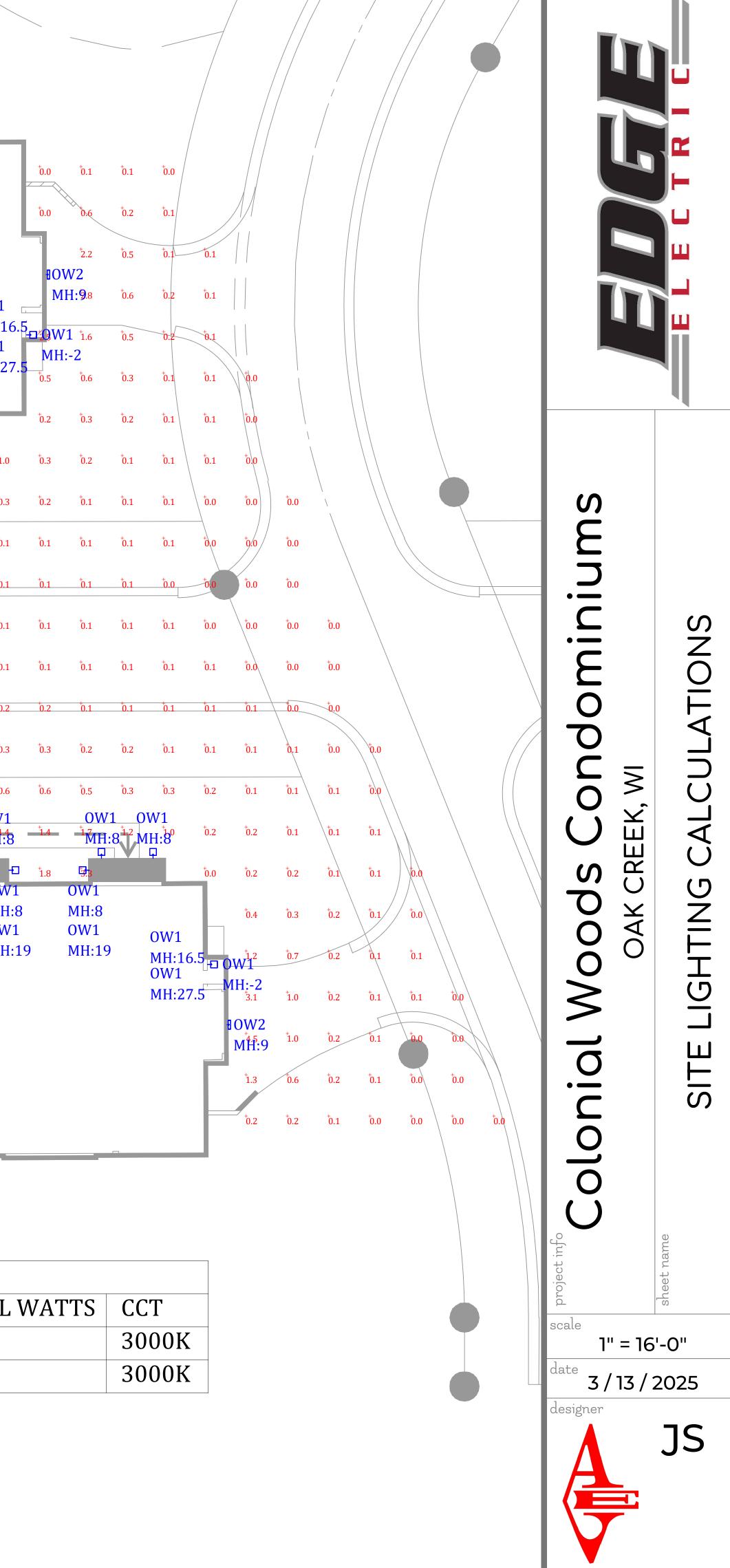




				]						<sup>+</sup> 0.0	<sup>+</sup> 0.0 —	0.0	 <del>0.0</del> <sup>†</sup> 0.0												
				OTINI	4		- \			<sup>+</sup> 0.0 <sup>+</sup> 0.0	<sup>†</sup> 0.0 – <sup>†</sup> 0.1 –	<sup>+</sup> 0.0 <sup>+</sup> 0.1 <sup>+</sup> 0.1	0.0 0.0						(16	5 I IN	VIT)				
					GO	UNIT				<sup>+</sup> 0.0 <sup>+</sup> 0.1 <sup>+</sup> 0.1	<sup>†</sup> 0.1 – <sup>†</sup> 0.1 – <sup>†</sup> 0.1	0.1     0       0.2     0       0.2     0		0W1 MH:27 OW1 MH:16		OW1 MH:1		W1 (  \ IH:19	A RR( ow1 MH:19	OR (	▲( ow1 MH:19	OW1 MH:19		OW1 MH:19	OW1 MH:16.5 OW1 MH:27.5
								]		<sup>+</sup> 0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.0		<sup>+</sup> 0.1 <sup>+</sup> 0.1 <sup>+</sup> 0.1 <sup>+</sup> 0.1 <sup>+</sup> 0.1		M	也」 W⊉₁_0 H:8_№		₩ □ 2.0 <sup>±</sup> 0	W1 IH:8 W1 21 ( IH:8 N <sup>0.6</sup>		1.9 <b>(</b>	OW1 MH:8 3W1 20 MH:8 M	OW1 MH:8 □ ₩1 <sup>3</sup> .2 H:8 <sup>†</sup> 0.9	<sup>‡</sup> .0	OW1 MH:8 CW1 OW1 MH:8 0.8	01₩1 <sup>†</sup> 1.0 1₩1 <sup>†</sup> 1.0 1H:8 0.5 <sup>†</sup> 0.3
										<sup>†</sup> 0.0 <sup>†</sup> 0.0	<sup>†</sup> 0.0 <sup>†</sup> 0.0	0.1 t			<sup>+</sup> 0.2 <sup>+</sup> 0.1	<sup>†</sup> 0.3 <sup>†</sup> 0.2 <sup>†</sup> 0.2	0.3 <sup>†</sup> 0.3 0.2 <sup>†</sup> 0.2	<sup>†</sup> 0.3 <sup>†</sup> 0.2	<sup>†</sup> 0.4 <sup>†</sup> 0.2	<sup>†</sup> 0.4 <sup>†</sup>	<sup>†</sup> 0.4 <sup>†</sup> 0.3 <sup>†</sup> 0.2 <sup>†</sup> 0.2			<sup>†</sup> 0.3 <sup>†</sup> 0 <sup>†</sup> 0.2 <sup>†</sup> 0	0.2 <sup>†</sup> 0.1 0.1 <sup>†</sup> 0.1
<sup>+</sup> 0.0	<sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0	0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.0	<sup>†</sup> 0.0 <sup>†</sup> 0.0	<sup>†</sup> 0.0 <sup>†</sup> 0.0	<sup>+</sup> 0.0 <sup>+</sup> 0	0.0 <sup>+</sup> 0.0 <sup>+</sup> 0	.0 <sup>†</sup> 0.0	<sup>+</sup> 0.0 <sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0 <sup>+</sup> 0	0.1 <sup>†</sup> 0.1	$^{+}0.1$	$^{+}0.1$	<sup>+</sup> 0.1 <sup>+</sup> 0	0.1 <sup>†</sup> 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.2	<sup>+</sup> 0.2 <sup>+</sup> 0.2	<sup>+</sup> 0.2	<sup>+</sup> 0.1	<sup>+</sup> 0.1 <sup>+</sup> C	0.1 <sup>†</sup> 0.1
<sup>+</sup> 0.0	<sup>+</sup> 0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.0 <sup>+</sup> 0	0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0	<sup>+</sup> 0.0 <sup>+</sup> 0.0	<sup>+</sup> 0.1 <sup>+</sup> 0.1	<sup>†</sup> 0.1 <sup>†</sup> 0	0.1 <sup>†</sup> 0.1 <sup>†</sup> 0	0.0 <sup>†</sup> 0.1	<sup>+</sup> 0.1 <sup>+</sup> 0.1	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0 <sup>+</sup> 0	0.1 <sup>†</sup> 0.1	$^{+}0.1$	<sup>+</sup> 0.1	<sup>+</sup> 0.1 <sup>+</sup> 0	0.1 <sup>†</sup> 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.1 <sup>+</sup> 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.1 <sup>+</sup> 0	0.1 <sup>†</sup> 0.1
<sup>†</sup> 0.0 <sup>†</sup> 0.0	to.0     to.0     to.0     to.0       to.0     to.0     to.0     to.0	0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.0 0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.0	0.0         0.1           0.1         0.1	†         †           0.1         0.1           0.2         †0.1	<u>0.1</u> to	0.1 <sup>+</sup> 0.1 <sup>+</sup> 0.1 <sup>+</sup> 0.2 <sup>+</sup> 0.2 <sup>+</sup> 0.2 <sup>+</sup> 0.2 <sup>+</sup> 0.2	0.1 <sup>+</sup> 0.1 0.1 <sup>†</sup> 0.2	<sup>+</sup> 0.1 0.1 <sup>+</sup> 0.2 <sup>+</sup> 0.1	<sup>+</sup> 0.1 <sup>+</sup> 0.1	<sup>+</sup> 0.0 <sup>+</sup> 0.1	<sup>+</sup> 0.1 <sup>+</sup> 0.1	+0.1 +0.1 +0.1 +0.1 +0.1 +0.1 +0.1 +0.1	0.1 <sup>†</sup> 0.1 0.1 <sup>†</sup> 0.1	<sup>+</sup> 0.1	<sup>*</sup> 0.1 <sup>†</sup> 0.1	<sup>+</sup> 0.1 <sup>+</sup> 0.1 <sup>+</sup> 0.1 <sup>+</sup> 0.1	0.1 0.1 0.1 0.1	0.1	0.2 0.2	0.2 0.3	<sup>+</sup> 0.2 0.2 <sup>+</sup> 0.3 <sup>+</sup> 0.3	<sup>+</sup> 0.2	0.2 0.3	0.2 0 0.3 0	0.1 0.2 0.2 <sup>†</sup> 0.3
<sup>+</sup> 0.0	<sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.1 <sup>†</sup> 0	0.1 0.0 0.1	<sup>†</sup> 0.1 <sup>†</sup> 0.3	<sup>†</sup> 0.3 <sup>†</sup> 0.2	<sup>+</sup> 0.2 <sup>+</sup> 0	0.4 <sup>†</sup> 0.3 <sup>†</sup> 0	0.2 <sup>†</sup> 0.3	<sup>+</sup> 0.4 <sup>+</sup> 0.3	<sup>+</sup> 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.1 <sup>+</sup> 0	0.1 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.1 <sup>+</sup> 0	0.1 <sup>†</sup> 0.2	<sup>+</sup> 0.3	<sup>+</sup> 0.4	<sup>+</sup> 0.6	<sup>+</sup> 0.6 <sup>+</sup> 0.4	<sup>+</sup> 0.4	<sup>+</sup> 0.6	<sup>+</sup> 0.6 <sup>+</sup> 0.6	0.4 <sup>+</sup> 0.6
<sup>+</sup> 0.0			QW1 <sub>0.8</sub> MH:8	<sup>0.9</sup> OW <sup>1</sup> MH:8	O₩21 t MH:8	MH:8	0₩1 0.2 0₩1 0.3 0 0.3 0 0.1 0 0.0 00000000		V1 <sub>0.1</sub> OW H:8 MH ₽ ₽	0.1 .8	+0.1							0W1 11 MH:8 早	<b>LęJ</b>	1.6	<sup>1.5</sup> MH:8	0W1 14 14   ₽	1.5		OW1 3 MH:8
<sup>†</sup> 0.0 <sup>†</sup> 0.0		0.1 0.0	OW1 0W1 0W1	0W1 0W1	OW1 0W1	.9 (1) OW1 MH:8 OW1	OW1 MH:8 OW1	0W1 0W1 0W1	}	0.0	0.1 <sup>‡</sup> 0.0	0.2	0.1 <sup>†</sup> 0.1 0.2 <sup>†</sup> 0.1		0.1 <sup>+</sup> 0.1		0.2 0.0			L 8	<sup>5</sup> 2.2 OW1 MH:8 OW1	0W1 MH:8 0W1	3	OW1 MH:8 OW1	OW1 MH:8 OW1
<sup>†</sup> 0.1		0W1 MH:27.5 UP 0W1	OW1 MH:19	OW1 MH:19	0W1 MH:19	2 <sup>MH:19</sup>	MH:19	MH:1			<sup>€0.0</sup> - <b>±O</b> W		0.3 <sup>†</sup> 0.2	<sup>†</sup> 0.1	<sup>+</sup> 0.2			V1 H:16.5	MH:1		MH:19	MH:1		MH:19	MH:19
<sup>+</sup> 0.1 <sup>+</sup> 0.0	to.1     to.3     to.3     to.3     MH       to.1     to.2     to.1     to.2     to.1	.8			(16 l	JNIT)							$\overline{0.3}$ $\overline{0.2}$ $\overline{0.2}$	<sup>+</sup> 0.1 <sup>+</sup> 0.1	<sup>•</sup> 0.2	0.3     0       0.2     0	0.2				(	16	UN	1IT)	
<sup>†</sup> 0.0		.0			rror	R IMAC	È)					<sup>†</sup> 0.0 <sup>†</sup> 0.0	0.0 <sup>†</sup> 0.1	<sup>+</sup> 0.1	<sup>+</sup> 0.1	<u>.</u> 0.0 t	D.0					. •		••••	
0.0	0.0 <sup>†</sup> 0.1 <sup>†</sup> 0.2 <sup>†</sup> 0.2	.0					<u> </u>					<sup>†</sup> 0.0 <sup>†</sup>	ō.0 <sup>†</sup> o.0	<sup>+</sup> 0.0	0.1	<del>`0.0</del> †	D.0								

Luminaire Schedule								
QTY	TYPE	MFR	PART NUMBE					
75	OW1	Progress	P560363-031					
3	OW2	Lithonia	WPX1 LED P1					

0	(00
8	600
11	33



# PROGRESS LIGHTING

P560363-031 COLONIAL WOODS CONDOMINIUMS TYPE OW1

# P560363-031 Bayside Non-Metallic

Bayside Collection One-Light Non-Metallic Black Outdoor Wall Lantern

Category: Outdoor Finish: Black (No Finish) Construction: Polycarbonate Housing



Width: 8 in Extends: 9-3/8 in Height: 10 in H/CTR: 5-1/2 in

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted	6 inches of wire supplied	(1) Medium Base (E26) Socket	cULus Wet Location Listed
Swivel mounting strap for outlet box included	120 VAC	Lamp Type Incandescent: 40-watt MAX per socket	1-year Limited Warranty Dark Sky compliant
Canopy covers a standard 4" recessed outlet box: 5" W., 1.25"		LED: 10-watt MAX per socket	
ht., 5" depth		Dimmable to 10% brightness (See Dimming Notes)	

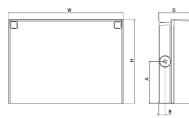
Mad in USA





Side View

### **Specifications**



Front View

**Side Conduit Location** Height (H) Width (W) Luminaire Depth (D) Weight 8.1" (20.6 cm) 11.1" (28.3 cm) WPX1 3.2" (8.1 cm) 4.0" (10.3 cm) 0.6" (1.6 cm) 6.1 lbs (2.8kg) 12.3" (31.1 cm) 4.1" (10.5 cm) WPX2 9.1" (23.1 cm) 4.5" (11.5 cm) 0.7" (1.7 cm) 8.2 lbs (3.7kg) 9.5" (24.1 cm) 13.0" (33.0 cm) 5.5" (13.7 cm) 4.7" (12.0 cm) 0.7" (1.7 cm) 11.0 lbs (5.0kg) WPX3

### **Ordering Information**

WPX1 LED P1	30K	MVOLT		DBLXD
Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1         1,550 Lumens, 11W <sup>1</sup> WPX1 LED P2         2,900 Lumens, 24W           WPX2 LED         6,000 Lumens, 47W           WPX3 LED         9,200 Lumens, 69W	30K         3000K           40K         4000K           50K         5000K	MVOLT         120V - 277V           347         347V <sup>3</sup>	(blank)         None           E4WH         Emergency battery backup, CEC compliant (4W, 0°C min)²           E14WC         Emergency battery backup, CEC compliant (14W, -20°C min)²           PE         Photocell ³	DDBXD     Dark bronze       DWHXD     White       DBLXD     Black       Note : For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

### **FEATURES & SPECIFICATIONS**

### INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

### CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

### ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

### NOTES

 All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD

2. Battery pack options only available on WPX1 and WPX2.

3. Battery pack options not available with 347V or PE options.

### INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

### LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2020-2024 Acuity Brands Lighting, Inc. All rights reserved

WPX1 LED P1 30K MVOLT DBLXD COLONIAL WOODS CONDOMINIUMS TYPE OW2

Introduction

a wide, uniform distribution.

mounted lighting application.

### EXAMPLE: WPX2 LED 40K MVOLT DDBXD

The WPX LED wall packs are energy-efficient, costeffective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an

upgraded appearance. Reliable IP66 construction

long service life. Photocell and emergency egress

and excellent LED lumen maintenance ensure a

battery options make WPX ideal for every wall

### **Performance Data**

### **Electrical Load**

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

### **Projected LED Lumen Maintenance**

Data references the extrapolated performance projections in a  $25^{\circ}$ C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

### HID Replacement Guide

**Photometric Diagrams** 

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

### Lumen Output

Luminaire	Color Temperature	Lumen Output
	3000K	1,537
WPX1 LED P1	4000K	1,568
	5000K	1,602
	3000K	2,748
WPX1 LED P2	4000K	2,912
	5000K	2,954
	3000K	5,719
WPX2	4000K	5,896
	5000K	6,201
	3000K	8,984
WPX3	4000K	9,269
	5000K	9,393

# Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

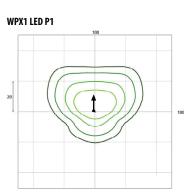
### **Emergency Egress Battery Packs**

The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

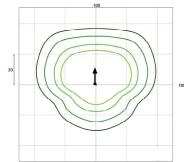
Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT <b>E4WH</b> DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT <b>E14WC</b> DDBXD

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WPX LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

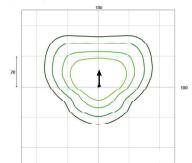




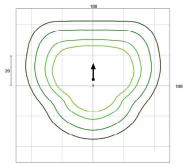
WPX2 LED



### WPX1 LED P2



WPX3 LED



Mounting Height = 12 Feet.

