



PLAN COMMISSION REPORT

Proposal: Conditional Use Permit with Conditions and Restrictions

Description: Review a request for a Conditional Use Permit with conditions and restrictions for a drive-through.

Applicant(s): Nathan Schmidt, Harwood Engineering Consultants, Ltd

Address(es): 8767 S. Howell Avenue (6th Aldermanic District)

Suggested Motion: That the Plan Commission recommends that the Common Council approves a Conditional Use Permit for a drive-through on the property at 8767 S. Howell Ave. after a public hearing and subject to Conditions and Restrictions.

Owner: ENDF3DK, LLC.

Tax Key: 859-9046-000

Lot Size: 1.633 acres

Current Zoning District: B-4, General Business

Overlay District: N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Commercial

Background: The applicant is requesting a recommendation for approval of a Conditional Use Permit for a drive-through on the property at 8767 S. Howell Avenue. The property is to be occupied by Buona Beef restaurant and Rainbow Cone ice cream shop. The property is zoned B-4 General Business, which allows drive-throughs as a Conditional Use.

The proposed building, according to the concept plan, will be approximately 4,772 square feet and includes a drive-through. The plan features two (2) drive-through lanes, each with its own menu board. The speakers or intercoms associated with the drive-through will be designed to ensure they are not audible beyond the boundaries of the property. Stacking spaces and lanes for the drive-through stations will not interfere with on- or off-street traffic, nor will they pass through off-street parking areas or drive aisles. These lanes will

not obstruct pedestrian access to public building entrances. Additionally, the drive-through lanes will be separated from off-street parking areas, and each lane will be clearly striped, marked, or otherwise delineated. The drive-through lanes will have a capacity for 18 vehicles in the queue. There will also be four (4) food queuing spaces on the east side of the building for customers awaiting their orders. A bypass lane for the drive-through is proposed south of the drive-through lanes.

The proposed hours of operation are Sunday through Thursday from 10:30 AM to 10:30 PM, and Friday through Saturday from 10:30 AM to 11:00 PM. The estimated number of employees is 40, with a maximum of 20 employees on-site at any given time. The estimated number of customers per hour is 33, totaling 396 customers per day and 2,774 customers per week. The maximum number of customers during a one-hour time frame would be 95, meaning fewer customers would be in the building at any given time. The facility has 84 interior seats, and customers may also be waiting in line. The Applicant estimates that 39% of customers will be ordering via the drive-through.

The proposed restaurant requires three (3) parking spaces for every 250 square feet of gross floor area. Based on this requirement, a total of 57 parking spaces would be needed on-site. The Applicant is proposing 58 parking spaces, including three (3) handicapped accessible spaces.

If the Commission determines the proposed Conditional Use meets the requirements of the Municipal Code, a public hearing may be scheduled as early as May 6, 2025. Staff has also prepared Conditions and Restrictions for review (attached). An approval of the Conditional Use Permit, along with Conditions and Restrictions, does not constitute approval of a site plan and architectural review. A separate site plan and architectural review approval will be required.

Options/Alternatives: The Plan Commission has the discretion to recommend or not recommend Common Council approval of the Conditional Use Permit request. Should the request not be recommended for Council approval, Plan Commissioners must provide the Code Sections upon which the denial is based, and the Applicant may choose to request Council approval without recommendation. In that case, the Council would have the authority to approve the request, and remand the proposal back to the Plan Commission for Conditions and Restrictions.

Respectfully submitted & approved by:



Kristi Laine
Community Development Director

Prepared by:



Todd Roehl
Senior Planner

Attachments:

Draft Conditions and Restrictions (3 pages)

Location Map

Narrative (3 pages)

Site and Building Plans (8 pages)

**City of Oak Creek – Conditional Use Permit (CUP)
Conditions and Restrictions**

**Applicant: Nathan Schmidt, Harwood
Engineering Consultants, Ltd**
Property Address: 8767 S. Howell Avenue
Tax Key Number(s): 859-9046-000
Conditional Use(s): Drive Through

Recommended by Plan Commission: TBD
Approved by Common Council: TBD
(Res. TBD)

1. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

- A. All requirements of the City of Oak Creek Municipal Code, as amended, are in effect.
- B. Any plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission for their review and approval prior to the issuance of any building permits. The approval of the Conditional Use, along with these Conditions and Restrictions, does not constitute approval of a site plan and architectural review. A separate site plan and architectural review approval will be required.
- C. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.
- D. A Development Agreement shall be completed between the owner(s) and the City if deemed necessary by the City Engineer so as to ensure the construction or installation of public or other improvements required, and/or as specified by these Conditions and Restrictions.
- E. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.

A. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. Only the uses approved in accordance with these Conditions and Restrictions is allowed. Other uses permitted by the zoning district, in accordance with other applicable Sections of the City of Oak Creek Municipal Code and these Conditions and Restrictions, are also allowed.
- B. The drive through use shall meet all drive-through accessory use standards and requirements as stated in Section 17.0414(g) (as amended) of the Municipal Code.
- C. Hours of operation must remain within the hours of 10:30 AM and 10:30 PM Sunday through Thursday, and 10:30 AM and 11:00 PM Friday through Saturday.
- D. The maximum number of vehicles allowed in que at the drive through must not exceed 18 at any given time.
- E. Any change to the occupancy of the site or building shall conform to all Building, Fire, and

Municipal Code requirements (as amended).

F. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the landowner(s).

3. BULK AND DIMENSIONAL STANDARDS

Bulk and dimensional standards shall comply with Chapter 17, Article III of City Municipal Code (as amended)

4. PARKING AND ACCESS

A. Parking for this development shall be provided in accordance with Sections 17.0501, 17.0502, and 17.0503 of the Municipal Code (as amended).

B. That the cross access and maintenance agreement dated March 10, 2025 between 8767 S. Howell Avenue and 8725 S. Howell Avenue be recorded by the Milwaukee County Register of Deeds and a copy be provided to the Community Development Department.

5. LIGHTING

Any plans for new or replacement outdoor lighting shall be reviewed and approved by the Plan Commission and Electrical Inspector in accordance with Section 17.0509 of the Municipal Code (as amended).

6. SIGNAGE

A permit shall be required prior to the display, construction, erection, or alteration of any proposed sign(s). All signs must comply with Chapter 17, Article VI of the City Code and applicable sections of the building code as adopted by the City. (as amended)

7. PERFORMANCE STANDARDS

The use must comply with performance standards as stated in Section 17.0510 of Municipal Code (as amended)

8. TIME OF COMPLIANCE

The operator of the Conditional Use shall commence work in accordance with these Conditions and Restrictions within twelve (12) months from the date of adoption of the resolution authorizing this Conditional Use. This Conditional Use approval shall expire within twelve (12) months after the date of adoption of the resolution if building or occupancy permits have not been issued for this use.

9. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

10. VIOLATIONS & PENALTIES

Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances (as amended). If the owner, applicant or operator of the Conditional Use Permit is convicted of two or more violations of these Conditions and Restrictions or any other municipal ordinances within any 12-month period, the City shall have the right to revoke this Conditional Use Permit, subject to the provisions of Paragraph 11 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other City ordinances.

11. REVOCATION

Should an applicant, their heirs, successors or assigns, fail to comply with the Conditions and Restrictions of the approval issued by the Common Council, the Conditional Use Permit approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving Conditional Use Permit as set forth in Section 17.0804 of the Municipal Code (as amended).

12. ACKNOWLEDGEMENT

The approval and execution of these Conditions and Restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these Conditions and Restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns subject to Paragraph 11 above.

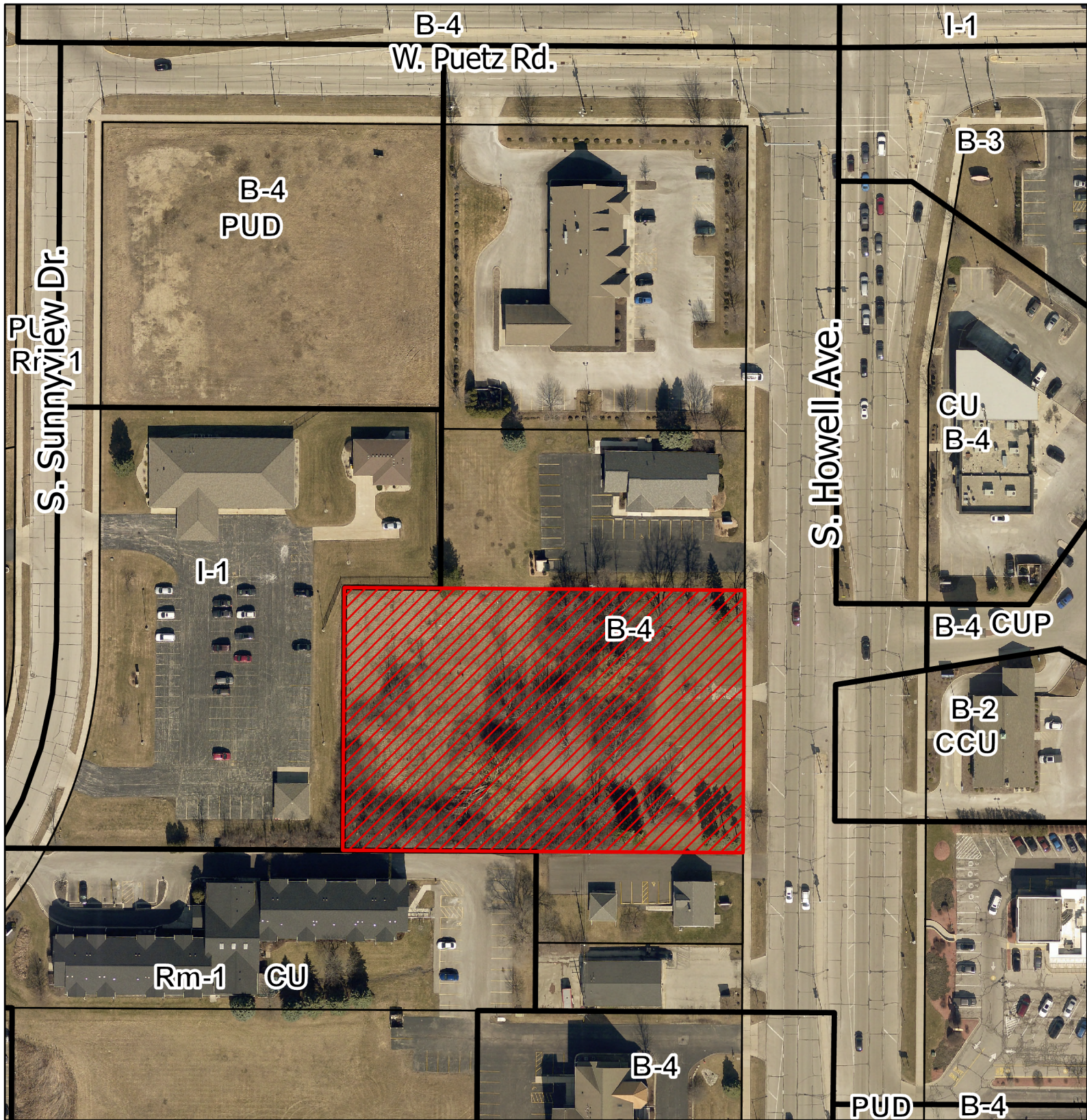
Property Owner / Authorized Representative Signature

Date

(please print name)

Location Map

8767 S. Howell Ave.



This map is not a survey of the actual boundary of the property this map depicts

Legend

-  Zoning
-  FloodFringe2024
-  Official Street Map
-  Floodway2024
-  Parcels
-  8767 S. Howell Ave.



Community Development

0 0.01 0.03 Miles



BUONA



KEYSTONE
PLANNING+DESIGN 
418 Clinton Place
River Forest, IL 60305

City Of Oak Creek

Project: Proposed Buona and Rainbow Cone restaurant with Drive Thru at 8751 S Howell Ave.

Date: 3/6/25

RE: Conditional Use Permit

1. Business description/narrative

The proposed project is located at 8751 S Howell Ave. on 1.64 acres. Stormwater management facilities to serve the development will be provided on the north side of the site. We are requesting a conditional use permit for the drive through. Our use as well as the patio seating is permitted within the B4 zoning district. The proposed 4,772 square foot Buona Beef restaurant and Rainbow Cone Ice Cream shop with a drive-through facility (with two menu boards and capacity for 18 vehicles in the queue) and outdoor dining (see number 9 below for additional information on customer mix). This building is designed to create a family environment dining experience and will provide for new dining options and employment opportunities for the community. The development will also contribute to the growth of the municipal tax base, through increased sales tax and increased real estate taxes. The development is proposed to begin construction in the Summer 2025 as soon as all approvals are received.

The site provides a curbed parking lot with 58 parking spaces (including 3 handicapped accessible parking spaces.) There are an additional 4 food queue spaces on the east side of the building to wait to get your made to order food. Food is brought out the employee only door that is at the southeast corner of the building. The northeast door is the main door to the Buona order point and the door in the middle of the north side of the building leads customers to the order point for Rainbow Cone. Each has their own patio area that matches their brand colors. The doors on the west and southwest are to the mechanical rooms and employee use for taking out the trash and accepting deliveries. The enclosure on the west end of the building screens the freezer / cooler unit as well as the trash bins. This has been located behind the building screening it from view from Howell Avenue. Per WisDOT response we will be providing cross access with neighboring property to the north so we can obtain full access onto Howell Avenue. The driveway access will be coordinated with the neighbor and an operating easement agreement (OEA) will be put in place to cover things like cross access easement, maintenance, etc.

The majority of the building follows the Buona Beef branding that has a meat district feel with the dark brick, corrugated metal (less than 40%) and iron. The trim is either dark bronze or black. The area next to the Rainbow Cone entrance follows the branding colors for Rainbow Cone and has silver trim. There is a medium alamo brick between the two that helps blend the

building together. See material lists on the attached elevations and see attached renderings and pictures for better idea on the color pallet. Attached floor plan helps explain the flow of the building as well as all the articulations. Building has a flat roof with parapets that are high enough to block the view of the HVAC equipment. The parapets are raised at the two public entrances with the highest one on the corner towards the public road. There are canopies at the two public entrances as well as over the Rainbow Cone patio area.

2. Typical hours of operation

Monday	10:30 AM–10:30 PM
Tuesday	10:30 AM–10:30 PM
Wednesday	10:30 AM–10:30 PM
Thursday	10:30 AM–10:30 PM
Friday	10:30 AM–11 PM
Saturday	10:30 AM–11 PM
Sunday	10:30 AM–10:30 PM

3. The estimated number of employees is 40, and max employees on site at any given time is 20.
4. The estimated number of customers per hour 33, per day 396, per week 2,774, and the maximum we had at three example locations during a one hour time frame was 95 so at any given time less than this would be in the building. There are 84 interior seats and people could be waiting in line as well.
5. Parking calculations (required vs proposed) $4,772 \text{ sf} / 1000 \times 12$ (12 spaces per 1,000 sf for restaurant) = 57.264 so 57 spaces required and 58 proposed.
6. See attached traffic study that provides the traffic volume. Also see attached response from WisDOT on our traffic submittal.
7. Please see attached exemption letter from the state and ADJ letter from USACE showing they do not have jurisdiction over the man-made wetlands on the site.
8. Visuals – Please see attached site plan, building layout, elevations, renderings and picture of existing location interior and exterior.
9. Customer Mix:
 - a. Dine In – 20%
 - b. Drive Thru – 39%
 1. Typical stacking is 8 cars
 2. Typical Max number of cars is 10-12 (note within the first couple months of opening this can be more up to the max amount of 18 cars that can fit within the drive through, was able to efficiently layout drive through entrance at rear of property that would allow 6 additional stacking spaces north of the drive through entrance if necessary during busy first couple of months without impacting access to any of the 58 parking spaces, there are usually plenty of empty parking spaces as well with only 20% of the volume being dine in customers)
 - c. Takeout – 20% (either orders place in store and eaten off premises or ordered online and picked up in the restaurant)

- d. Delivery – 14%
- e. Catering – 7% (either picked up in store or delivered)

Sincerely,

A handwritten signature in blue ink, appearing to read "Eric Pedersen".

Eric Pedersen, PE, LEED AP
Keystone Planning + Design

NOTE: ALL DIMENSIONS TO BACK OF CURB



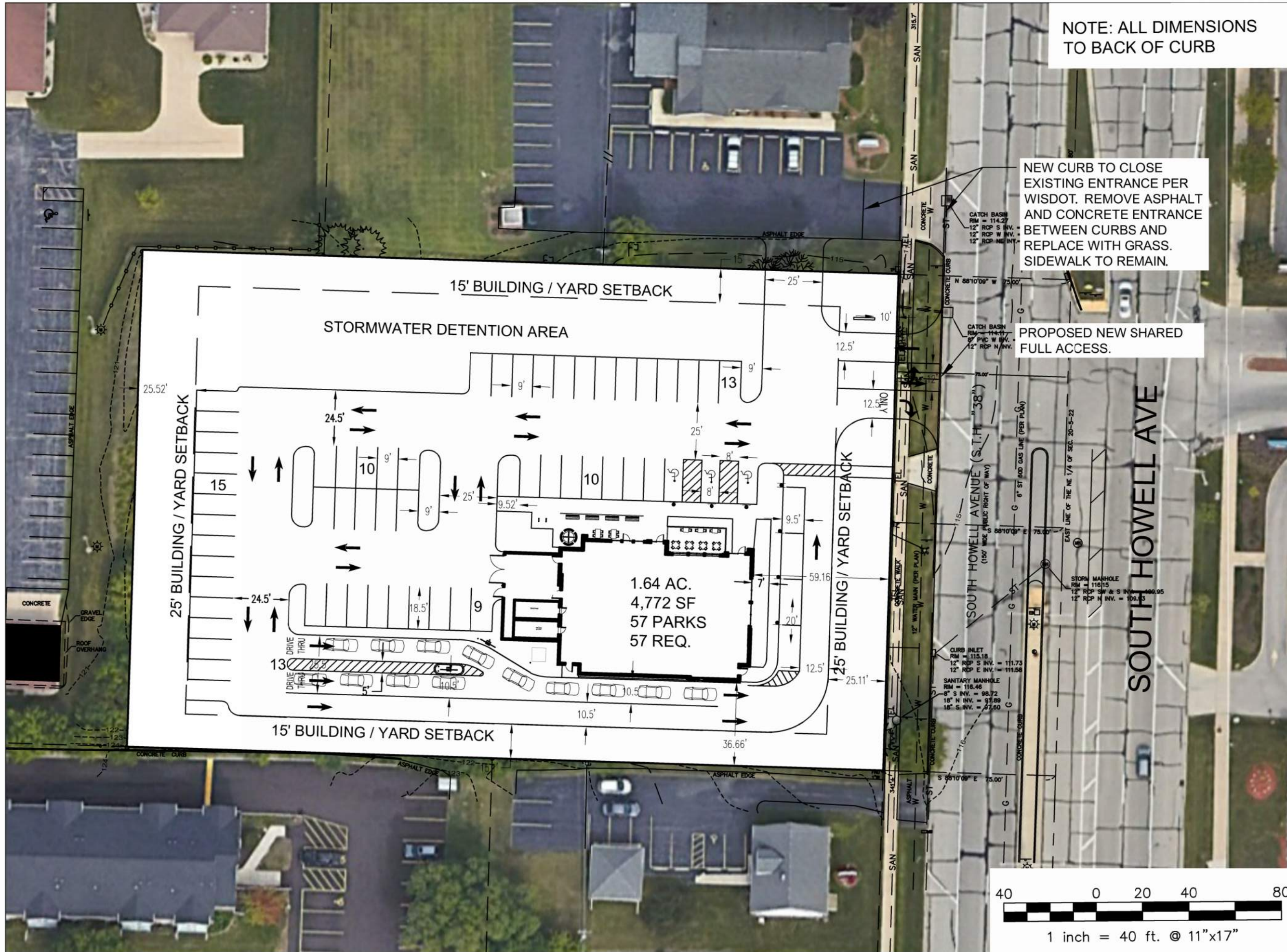
BUONA BEEF / RAINBOW CONE
8751 SOUTH HOWELL AVE
OAK CREEK, WI 53154

No.	Description	Date
1	SITE PLAN	12/16/24
2	SITE PLAN REV	1/13/25
3	SITE PLAN REV	2/19/25
4	SITE PLAN REV	2/21/25
5	SITE PLAN REV	2/26/25
6	SITE PLAN REV	3/12/25

SITE PLAN

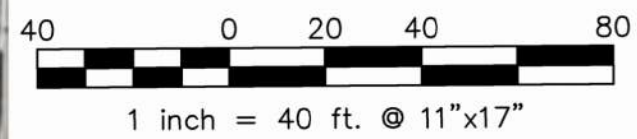
SP100

Scale 1" = 40'-0"



NEW CURB TO CLOSE EXISTING ENTRANCE PER WISDOT. REMOVE ASPHALT AND CONCRETE ENTRANCE BETWEEN CURBS AND REPLACE WITH GRASS. SIDEWALK TO REMAIN.

PROPOSED NEW SHARED FULL ACCESS.





KEYSTONE VENTURES

REAL ESTATE DEVELOPMENT

**BUONA BEEF - RAINBOW
CONE**

PROTOTYPE DRAWINGS

BUONA



ARCHITECT OF RECORD

**KEYSTONE
PLANNING+DESIGN**

KEYSTONECONSTRUCTLLC.COM /DESIGN

ENGINEERS OF RECORD

GENERAL CONTRACTOR

**KEYSTONE
CONSTRUCT, LLC**

418 CLINTON PL. RIVER FOREST 60305

DRAWING INDEX	
NO.	SHEET NAME
G000	COVER SHEET
G001	DRAWING INDEX, GRAPHIC SYMBOLS AND ABBREVIATIONS
G014	CLIENT RESPONSIBILITY MATRIX
G015	RENDERINGS
G016	RENDERINGS
G100	1ST FLOOR EGRESS PLAN AND CODE SUMMARY
G101	1ST FLOOR EGRESS PLAN AND CODE SUMMARY Copy 1
SP100	ARCHITECTURAL SITE PLAN
SP300	TRASH ENCLOSURE
SP301	MENUBOARD
SP304	MONUMENT SIGN AND TYPICAL DETAILS
A100	ARCHITECTURAL FOUNDATION PLAN
A101	ARCHITECTURAL SHELL PLAN
A110	ROOF PLAN
A201	EXTERIOR ELEVATIONS + EXTERIOR MATERIALS
A202	EXTERIOR ELEVATIONS + EXTERIOR MATERIALS
A210	STOREFRONT ELEVATIONS BUONA
A211	3D BUILDING SECTIONS
A220	BUILDING SECTIONS
A222	WALL SECTIONS
A223	WALL SECTIONS ENTRY CANOPY
A230	EXTERIOR SIGN PACKAGE
A231	EXTERIOR SIGN PACKAGE
A501	EXTERIOR SECTION DETAILS
A502	EXTERIOR PLAN DETAILS - FRAMING
A521	TYPICAL MANUFACTURER DETAILS
A531	ROOF DETAILS
A902	COLOR ELEVATIONS (FOR REFERENCE ONLY)
I100	ARCHITECTURAL FLOOR PLAN
I101	INTERIOR DIMENSION PLAN
I102	ARCHITECTURAL CENTERLINE PLAN
I110	REFLECTED CEILING PLAN
I131	FLOOR FINISH PLAN
I132	WALL FINISH PLAN
I251	INTERIOR ELEVATIONS
I253	INTERIOR ELEVATIONS
I254	INTERIOR ELEVATIONS
I451	ENLARGED BATHROOMS
I511	INTERIOR CEILING DETAILS
I555	POS MILLWORK DETAILS
I601	FINISH SCHEDULES
I651	DOOR SPECIFICATIONS
I699	LIGHT FIXTURE SCHEDULE
xA104CA	FIELD FOUNDATION + PL LOCATIONS
S001	GENERAL NOTES
S100	FOUNDATION PLAN
S200	FRAMING PLAN
S300-420	STRUCTURAL ELEVATIONS & SECTIONS
M100-102	MECHANICAL NOTES
M103-105	MECHANICAL DETAILS
M106-111	MECHANICAL SCHEDULES & CAPTIVEAIRE REFERENCE
M201-302	GAS PLANS & DETAILS
E100-104	ELECTRICAL NOTES, SCHEDULES, DETAILS
E300-302	ELECTRICAL POWER PLANS
E401-ES1 01	ELECTRICAL ROOF & SITE POWER PLANS

DRAWING INDEX	
NO.	SHEET NAME
P100-107	PLUMBING NOTES, SCHEDULES, RISERS, DETAILS
A105	Unnamed
A221	WALL SECTIONS
A225	Unnamed
A601	STOREFRONT AND EXTERIOR FINISH SCHEDULE
G002	GENERAL NOTES
G040	TYPICAL ACCESSIBILITY DETAILS
G041	TYPICAL ACCESSIBILITY NOTES AND HEIGHTS
I252	INTERIOR ELEVATIONS
SP302	DRIVE-THRU DETECTOR-LOOP & CLEARANCE-BAR
SP303	RAILINGS

No	Description	Date
.	ISSUE FOR XX	MM/DD/2023

COVER SHEET
G000

PROTOTYPE NOT FOR CONSTRUCTION

PROTOTYPE NOT FOR CONSTRUCTION

PROTOTYPE NOT FOR CONSTRUCTION

STOREFRONT TAGS

EXTERIOR FINISH TAGS

KEYNOTES - EXTERIOR ELEVATIONS

Type Mark	Manufacturer	Model	FRAME FACE WIDTH	FRAME DEPTH	FRAME FINISH	Type Comments
ASF-1	KAWNEER	TRIFAB 451UT FRAMING SYSTEM	2"	4 1/2"	DARK BRONZE ANODIZED ALUMINUM	1" INSULATED GLASS UNIT (ARGON), LOW-E, SOLAR BAN, 0.38 U-VALUE, DOUBLE PANED, 33% SHGC, CHARCOAL OR BLACK SPACERS, TINT ON ALL EXTERIOR WINDOWS.
ASF-2	KAWNEER	TRIFAB 451UT FRAMING SYSTEM	2"	4 1/2"	CLEAR ANODIZED ALUMINUM	1" INSULATED GLASS UNIT (ARGON), LOW-E, SOLAR BAN, 0.38 U-VALUE, DOUBLE PANED, 33% SHGC, CHARCOAL OR BLACK SPACERS, TINT ON ALL EXTERIOR WINDOWS.
ASF-3	KAWNEER	TRIFAB 451UT FRAMING SYSTEM	2"	4 1/2"	DARK BRONZE ANODIZED ALUMINUM	1/4" GLASS UNIT, LOW-E, SINGLE PANED, CHARCOAL OR BLACK SPACERS, INTERIOR STOREFRONT SYSTEM.
ASF-4	KAWNEER	TRIFAB 451UT FRAMING SYSTEM	2"	4 1/2"	DARK BRONZE ANODIZED ALUMINUM	1/4" GLASS UNIT, LOW-E, SINGLE PANED, CHARCOAL OR BLACK SPACERS, INTERIOR STOREFRONT SYSTEM.
ASF-5	KAWNEER	TRIFAB 451UT FRAMING SYSTEM	2"	4 1/2"	DARK BRONZE ANODIZED ALUMINUM	1" INSULATED GLASS UNIT (ARGON), LOW-E, SOLAR BAN, 0.38 U-VALUE, DOUBLE PANED, 33% SHGC, CHARCOAL OR BLACK SPACERS, TINT ON ALL EXTERIOR WINDOWS.

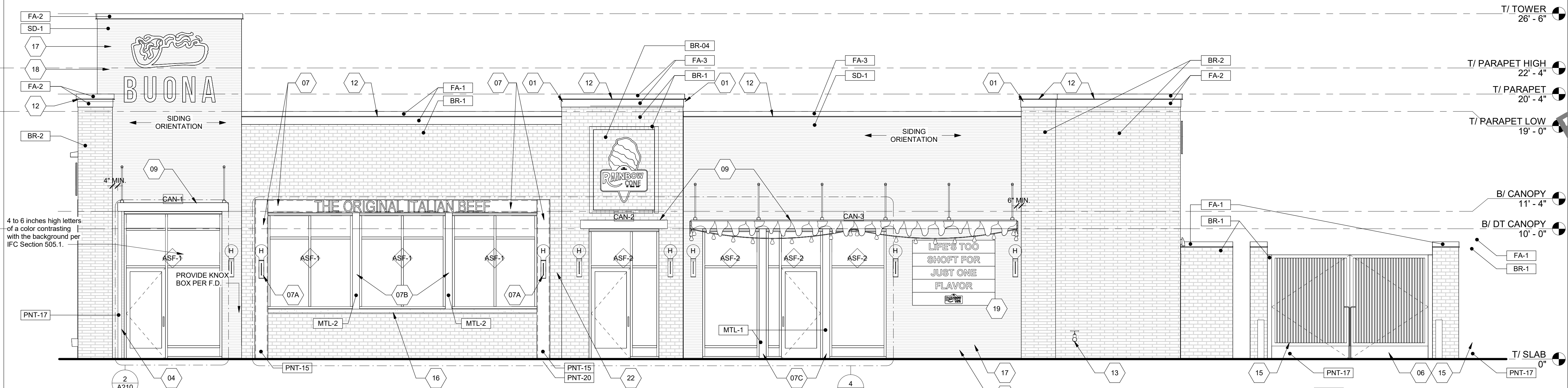
TAG	COLOR	ELEMENT	MNFR.	MODEL #	COMMENTS
BR-1	ALAMO	QUEEN SIZE BRICK VENEER	US BRICK	ALAMO	PROVIDE WITH GREY MORTAR SM100 BY SPEC MIX
BR-2	BLACK	NORMAN SIZE BRICK VENEER	GLEN-GARY	EBONITE SMOOTH	PROVIDE WITH BLACK MORTAR SM800 BY SPEC MIX
BR-3	ORANGE	NORMAN SIZED ACCENT BRICK	BELDEN	PUMPKIN PATCH GLAZE	PROVIDE WITH BLACK MORTAR SM800 BY SPEC MIX. RECESS COARSE SINCE GLAZED BRICK IN ONLY FINISHED ON FRONT
FA-1	WEATHERED ZINC	PARAPET COPING & FASCIA	PAC-CLAD	METAL WRAPPED PLYWOOD, SEE A410	
FA-2	CHARCOAL	PARAPET COPING & FASCIA	PAC-CLAD	METAL WRAPPED PLYWOOD, SEE A410	
FA-3	EXTERIOR RAINBOW CONE PINK	PARAPET COPING & FASCIA	PAC-CLAD	SEE A410	
MTL-1	CLEAR ANODIZED	ALUMINUM STOREFRONT AND BRAKE METAL	KAWNEER		REFER TO STOREFRONT SCHEDULE
MTL-2	DARK BRONZE ANODIZED	ALUMINUM STOREFRONT AND BRAKE METAL	KAWNEER		REFER TO STOREFRONT SCHEDULE
MTL-3	BM OUTRAGEOUS ORANGE	ALUMINUM STOREFRONT AND BRAKE METAL	KAWNEER		REFER TO STOREFRONT SCHEDULE
PNT-09	OLD SILK	PAINT	PPG	PPG0993-6	MATCH BRICK OR ADJACENT CLADDING, DUROCOAT
PNT-15	TRICORN BLACK	DECORATIVE C-CHANNEL; TRASH ENCLOSURE GATE	SHERWIN WILLIAMS OR EQUAL	SATIN/SW6258 TRICORN BLACK/OIL BASED	
PNT-17	OUTRAGEOUS ORANGE	PAINT	BENJAMIN MOORE	2013-10	
PNT-20	TUBEROSE	PAINT	SHERWIN WILLIAMS	SW 6578	
SD-1	WEATHERED ZINC	METAL PANEL	PAC-CLAD	7/8" CORRUGATED	COORDINATE PANEL LENGTHS WITH ELEVATIONS

TAG	COMMENTS
01	FASCIA TO WRAP EXPOSED SIDES OF TALLER WALL.
02	BRICK EXPANSION JOINT FULL HEIGHT OF WALL.
03	FIRE DEPARTMENT CONNECTION, VERIFY WITH FIRE DEPARTMENT.
04	DOWNSPOUT FROM CANOPY ABOVE.
05	NEW ELECTRICAL METER AND CT CABINET. REFER TO ELECTRICAL DRAWINGS.
06	REFUSE: PROVIDE SOLID STEEL REINFORCED GATE WITH CORRUGATED METAL CENTER AND ANGLED DOOR FRAME WITH FLAT FACE OUTWARD. MOUNT ON STEEL POSTS WITH 4 HINGES EACH SIDE. PRIMED AND PAINTED PNT-15. DIAGONAL CROSS BRACING ON EACH GATE HIDDEN FACING INWARD. GATE LATCH AND CANE BOLTS WITH RECESSED STRIKE AT CENTER. PROVIDE CONCRETE BASE WITH SLEEVES.
07	STEEL C-CHANNEL BY STEEL CONTRACTOR. SEE STRUCTURAL DRAWINGS.
07A	CUT HOLE IN STEEL C-CHANNEL TO ACCOMMODATE LIGHTING FIXTURE.
07B	BRAKE METAL BY GLAZING CONTRACTOR. COLOR TO MATCH STOREFRONT; DARK BRONZE ANODIZED.
07C	BRAKE METAL BY GLAZING CONTRACTOR. COLOR TO MATCH STOREFRONT; CLEAR ANODIZED.
08	NEW FABRICATED RAILINGS FOR OUTDOOR SEATING. POWDER-COATED PER DETAILS ON SP303. (BOUNA-BLACK/RAINBOW-WHITE). SEE FINISH PLAN FOR COLOR.
09	PRE-FABRICATED STEEL CANOPY BY MAPES OR EQUAL. PRE-FAB CEILING FACTORY PAINTED TO MATCH. SEE CANOPY SCHEDULE FOR DETAILS REGARDING PAINT FINISH / TIEBACKS / INCLUDED RECESSED CAN LIGHTING. PROVIDE BLOCKING IN WALL FOR TIE-BACKS WHERE REQUIRED.
10	SECONDARY ROOF DRAINAGE; LAMB'S TONGUE DISCHARGE FROM IN-WALL PIPE.
11	NEW DOORBELL AND KNOX BOX AT REAR DOOR.
12	LINEAR LED STRIP LIGHTING UNDER COPING. SEE 1110 REFLECTED CEILING PLAN FOR LOCATIONS.
13	PROVIDE NEW RECESSED HOSE BIBB IN HOUSING.
14	DRIVE-THRU WINDOW SILL TO BE APPROXIMATELY 3'-6" ABOVE EXTERIOR DRIVE-THRU LANE.
15	STEEL PIPE BOLLARD. SEE DETAIL 5 / SP304.
16	SLOPED TOP PRE-CAST CONCRETE MASONRY SILL. DRIP EDGE AND WEEPS UNDERNEATH. FLASHING W/ BACK & END DAMS AT WINDOWS.
17	REFER TO CORRUGATED MNFR DETAILS. ENSURE BASE TRIM PIECE FACILITATES WATER RUN-OFF AWAY FROM BUILDING. NO U-TRIM AT BASE. FLASH TOP OF ALL OPENINGS TO PUSH WATER OUTWARD AWAY FROM BUILDING.
18	APPLY MATERIAL AS SHOWN IN ELEVATION
19	PROVIDE WATERPROOF EXTERIOR OUTLETS
20	SOLDIER COURSE ABOVE DRIVE-THRU WINDOW IN BRICK FINISH TO MATCH ADJACENT WALL.
21	TERMINATE SIDE OF LOWER FASCIA, BACKER ROD AND SEALANT ALL EXPOSED SIDES WITH FASCIA COLOR.
22	PROVIDE KNOX BOX AS REQUIRED BY FIRE DEPARTMENT.

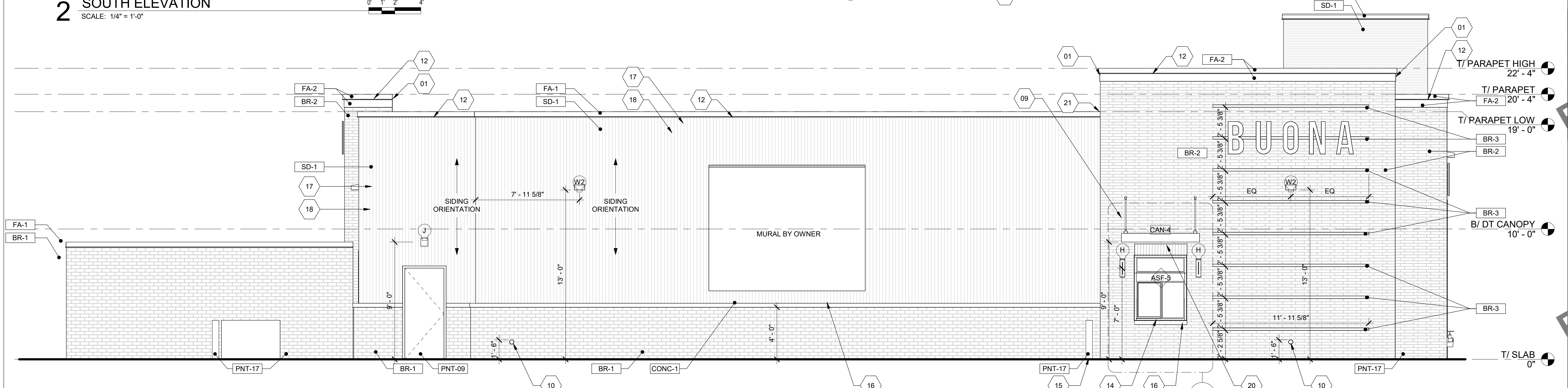
CANOPY SCHEDULE

Product Name	Type Mark	Width	Projection	Finish	Tiebacks	Integral Lighting
SUPER LUMIDECK FLAT SOFFIT	CAN-1	8' - 6"	5' - 0"	Metal - Paint Finish - BM OUTRAGEOUS ORANGE	Y - (2)	Y - (2) CANS
SUPER LUMIDECK FLAT SOFFIT	CAN-2	6' - 8"	1' - 11"	Metal - Paint Finish - SW RAINBOWCONE EXTERIOR PINK	N	N
SUPER LUMIDECK FLAT SOFFIT	CAN-3	25' - 0"	5' - 10"	Metal - Paint Finish - SW RAINBOWCONE EXTERIOR PINK	Y - (6)	Y - (6) CANS
SUPER LUMIDECK FLAT SOFFIT	CAN-4	6' - 0"	3' - 0"	Metal - Paint Finish - BM OUTRAGEOUS ORANGE	Y - (2)	Y - (2) CANS

ELEVATION NOTE: ALL MECHANICAL EQUIPMENT MUST BE LOWER THAN THE PARAPET PER SCREENING REQUIREMENTS.



2 SOUTH ELEVATION SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION SCALE: 1/4" = 1'-0"

PROTOTYPE NOT FOR CONSTRUCTION



418 CLINTON PLACE, RIVER FOREST, IL 60305 KeystonePlanningDesign.com

PROTOTYPE NOT FOR CONSTRUCTION

KEYSTONE VENTURES
REAL ESTATE DEVELOPMENT

BUONA BEEF - RAINBOW CONE

BUONA

PROTOTYPE DRAWINGS ADDRESS TBD

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EXTERIOR ELEVATIONS + EXTERIOR MATERIALS

A201

Scale: 1/4" = 1'-0"

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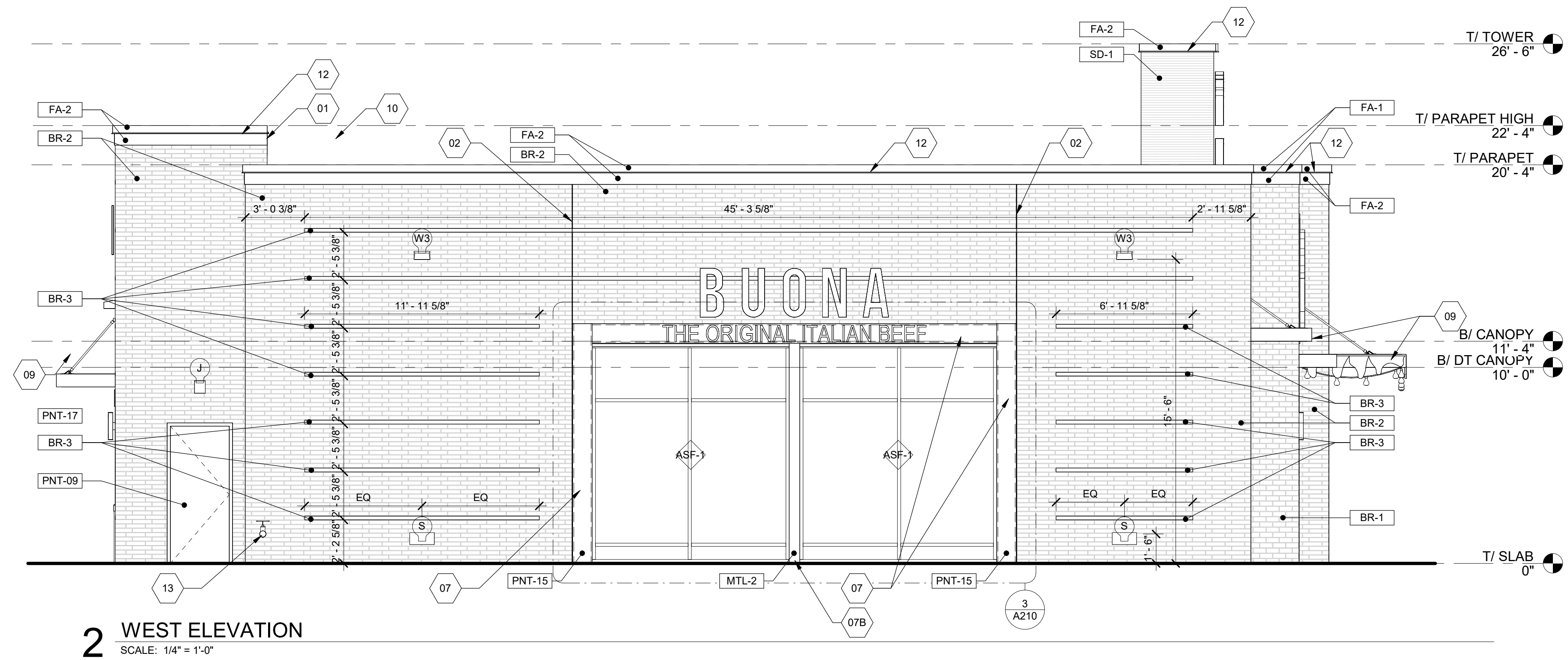
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Type Mark	Manufacturer	Model	FRAME FACE WIDTH	FRAME DEPTH	FRAME FINISH	Type Comments
ASF-1	KAWNEER	TRIFAB 451UT FRAMING SYSTEM	2"	4 1/2"	DARK BRONZE ANODIZED ALUMINUM	1" INSULATED GLASS UNIT (ARGON), LOW-E, SOLAR BAN, 0.38 U-VALUE, DOUBLE PANED, 33% SHGC, CHARCOAL OR BLACK SPACERS, TINT ON ALL EXTERIOR WINDOWS.
ASF-2	KAWNEER	TRIFAB 451UT FRAMING SYSTEM	2"	4 1/2"	CLEAR ANODIZED ALUMINUM	1" INSULATED GLASS UNIT (ARGON), LOW-E, SOLAR BAN, 0.38 U-VALUE, DOUBLE PANED, 33% SHGC, CHARCOAL OR BLACK SPACERS, TINT ON ALL EXTERIOR WINDOWS.
ASF-3	KAWNEER	TRIFAB 451UT FRAMING SYSTEM	2"	4 1/2"	DARK BRONZE ANODIZED ALUMINUM	1/4" GLASS UNIT, LOW-E, SINGLE PANED, CHARCOAL OR BLACK SPACERS, INTERIOR STOREFRONT SYSTEM
ASF-4	KAWNEER	TRIFAB 451UT FRAMING SYSTEM	2"	4 1/2"	DARK BRONZE ANODIZED ALUMINUM	1/4" GLASS UNIT, LOW-E, SINGLE PANED, CHARCOAL OR BLACK SPACERS, INTERIOR STOREFRONT SYSTEM
ASF-5	KAWNEER	TRIFAB 451UT FRAMING SYSTEM	2"	4 1/2"	DARK BRONZE ANODIZED ALUMINUM	1" INSULATED GLASS UNIT (ARGON), LOW-E, SOLAR BAN, 0.38 U-VALUE, DOUBLE PANED, 33% SHGC, CHARCOAL OR BLACK SPACERS, TINT ON ALL EXTERIOR WINDOWS.

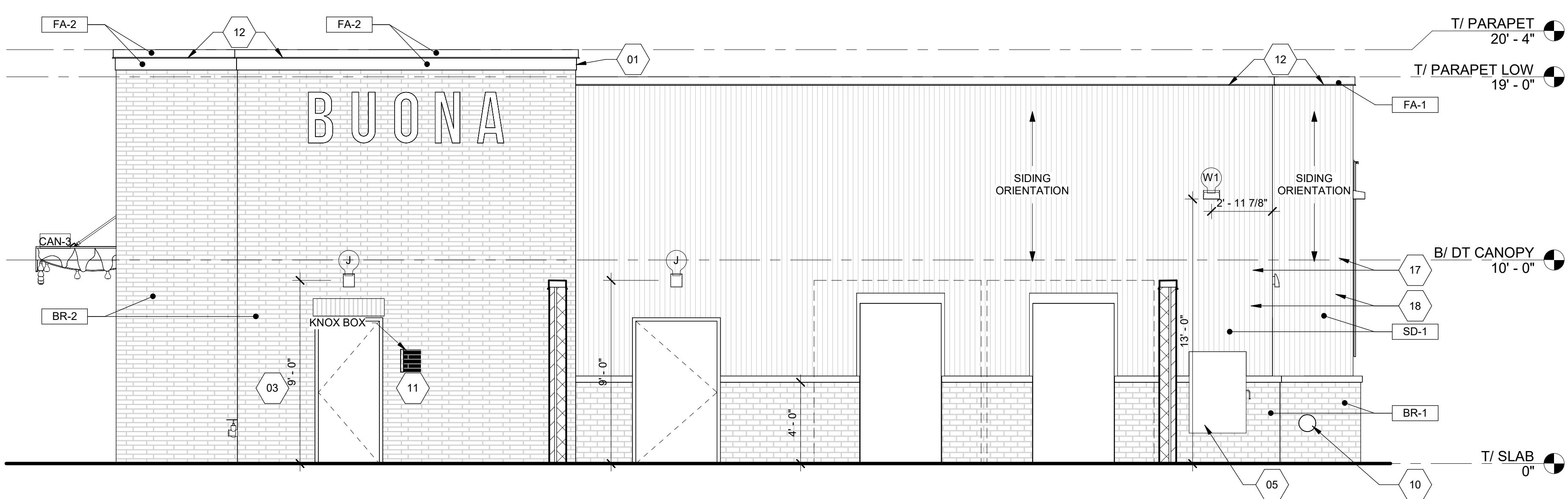
TAG	COLOR	ELEMENT	MNFR.	MODEL #	COMMENTS
BR-1	ALAMO	QUEEN SIZE BRICK VENEER	US BRICK	ALAMO	PROVIDE WITH GREY MORTAR SM100 BY SPEC MIX
BR-2	BLACK	NORMAN SIZE BRICK VENEER	GLEN-GARY	EBONITE SMOOTH	PROVIDE WITH BLACK MORTAR SM800 BY SPEC MIX
BR-3	ORANGE	NORMAN SIZED ACCENT BRICK	BELDEN	PUMPKIN PATCH GLAZE	PROVIDE WITH BLACK MORTAR SM800 BY SPEC MIX. RECESS COARSES SINCE GLAZED BRICK IN ONLY FINISHED ON FRONT
FA-1	WEATHERED ZINC	PARAPET COPING & FASCIA	PAC-CLAD	METAL WRAPPED PLYWOOD, SEE A410	
FA-2	CHARCOAL	PARAPET COPING & FASCIA	PAC-CLAD	METAL WRAPPED PLYWOOD, SEE A410	
FA-3	EXTERIOR RAINBOW CONE PINK	PARAPET COPING & FASCIA	PAC-CLAD	SEE A410	
MTL-1	CLEAR ANODIZED	ALUMINUM STOREFRONT AND BRAKE METAL	KAWNEER		REFER TO STOREFRONT SCHEDULE
MTL-2	DARK BRONZE ANODIZED	ALUMINUM STOREFRONT AND BRAKE METAL	KAWNEER		REFER TO STOREFRONT SCHEDULE
MTL-3	BM OUTRAGEOUS ORANGE	ALUMINUM STOREFRONT AND BRAKE METAL	KAWNEER		REFER TO STOREFRONT SCHEDULE
PNT-09	OLD SILK	PAINT	PPG	PPG0993-6	MATCH BRICK OR ADJACENT CLADDING, DUROCOAT
PNT-15	TRICORN BLACK	DECORATIVE C-CHANNEL; TRASH ENCLOSURE GATE	SHERWIN WILLIAMS OR EQUAL	SATIN/SW6258 TRICORN BLACK/OIL BASED	
PNT-17	OUTRAGEOUS ORANGE	PAINT	BENJAMIN MOORE	2013-10	
PNT-20	TUBEROSE	PAINT	SHERWIN WILLIAMS	SW 6578	
SD-1	WEATHERED ZINC	METAL PANEL	PAC-CLAD	7/8" CORRUGATED	COORDINATE PANEL LENGTHS WITH ELEVATIONS

TAG	COMMENTS
01	FASCIA TO WRAP EXPOSED SIDES OF TALLER WALL.
02	BRICK EXPANSION JOINT FULL HEIGHT OF WALL.
03	FIRE DEPARTMENT CONNECTION. VERIFY WITH FIRE DEPARTMENT.
04	DOWNSPOUT FROM CANOPY ABOVE.
05	NEW ELECTRICAL METER AND CT CABINET. REFER TO ELECTRICAL DRAWINGS.
06	REFUSE: PROVIDE SOLID STEEL REINFORCED GATE WITH CORRUGATED METAL CENTER AND ANGLED DOOR FRAME WITH FLAT FACE OUTWARD. MOUNT ON STEEL POSTS WITH 4 HINGES EACH SIDE. PRIMED AND PAINTED PNT-15. DIAGONAL CROSS BRACING ON EACH GATE HIDDEN FACING INWARD. GATE LATCH AND CANE BOLTS WITH RECESSED STRIKE AT CENTER. PROVIDE CONCRETE BASE WITH SLEEVES.
07	STEEL C-CHANNEL BY STEEL CONTRACTOR. SEE STRUCTURAL DRAWINGS.
07A	CUT HOLE IN STEEL C-CHANNEL TO ACCOMMODATE LIGHTING FIXTURE.
07B	BRAKE METAL BY GLAZING CONTRACTOR. COLOR TO MATCH STOREFRONT; DARK BRONZE ANODIZED.
07C	BRAKE METAL BY GLAZING CONTRACTOR. COLOR TO MATCH STOREFRONT; CLEAR ANODIZED.
08	NEW FABRICATED RAILINGS FOR OUTDOOR SEATING. POWDER-COATED PER DETAILS ON SP303. (BOUNA-BLACK/RAINBOW-WHITE). SEE FINISH PLAN FOR COLOR.
09	PRE-FABRICATED STEEL CANOPY BY MAPES OR EQUAL. PRE-FAB CEILING FACTORY PAINTED TO MATCH. SEE CANOPY SCHEDULE FOR DETAILS REGARDING PAINT FINISH / TIEBACKS / INCLUDED RECESSED CAN LIGHTING. PROVIDE BLOCKING IN WALL FOR TIE-BACKS WHERE REQUIRED.
10	SECONDARY ROOF DRAINAGE; LAMB'S TONGUE DISCHARGE FROM IN-WALL PIPE.
11	NEW DOORBELL AND KNOX BOX AT REAR DOOR.
12	LINEAR LED STRIP LIGHTING UNDER COPING. SEE I110 REFLECTED CEILING PLAN FOR LOCATIONS.
13	PROVIDE NEW RECESSED HOSE BIBB IN HOUSING.
14	DRIVE-THRU WINDOW SILL TO BE APPROXIMATELY 3'-6" ABOVE EXTERIOR DRIVE-THRU LANE.
15	STEEL PIPE BOLLARD. SEE DETAIL 5 / SP304.
16	SLOPED TOP PRE-CAST CONCRETE MASONRY SILL. DRIP EDGE AND WEEPS UNDERNEATH. FLASHING W/ BACK & END DAMS AT WINDOWS.
17	REFER TO CORRUGATED MNFR DETAILS. ENSURE BASE TRIM PIECE FACILITATES WATER RUN-OFF AWAY FROM BUILDING. NO U-TRIM AT BASE. FLASH TOP OF ALL OPENINGS TO PUSH WATER OUTWARD AWAY FROM BUILDING.
18	APPLY MATERIAL AS SHOWN IN ELEVATION
19	PROVIDE WATERPROOF EXTERIOR OUTLETS
20	SOLDIER COURSE ABOVE DRIVE-THRU WINDOW IN BRICK FINISH TO MATCH ADJACENT WALL.
21	TERMINATE SIDE OF LOWER FASCIA, BACKER ROD AND SEALANT ALL EXPOSED SIDES WITH FASCIA COLOR.
22	PROVIDE KNOX BOX AS REQUIRED BY FIRE DEPARTMENT.

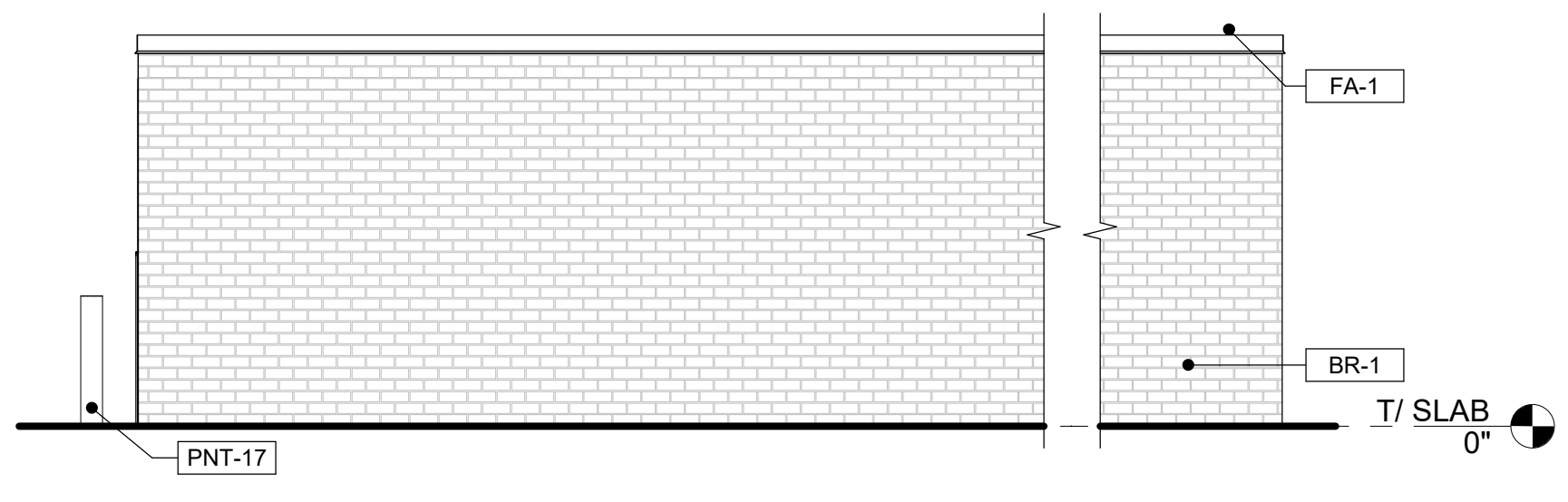
ELEVATION NOTE:
ALL MECHANICAL EQUIPMENT MUST BE LOWER THAT THE PARAPET PER SCREENING REQUIREMENTS.



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 Elevation 2 - a
SCALE: 1/4" = 1'-0"

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418 CLINTON PLACE,
RIVER FOREST, IL 60305
KeystonePlanningDesign.com

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KEYSTONE VENTURES
REAL ESTATE DEVELOPMENT

BUONA BEEF - RAINBOW CONE

BUONA

PROTOTYPE DRAWINGS
ADDRESS TBD

No.	Description	Date
ISSUE FOR XX		MM/DD/2023

PROTOTYPE NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS + EXTERIOR MATERIALS

PROTOTYPE NOT FOR CONSTRUCTION

A202

Scale: 1/4" = 1'-0"

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418 CLINTON PLACE,
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ARCHITECTURAL
FLOOR PLAN

PROTOTYPE
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I100

Scale: 1/4" = 1'-0"

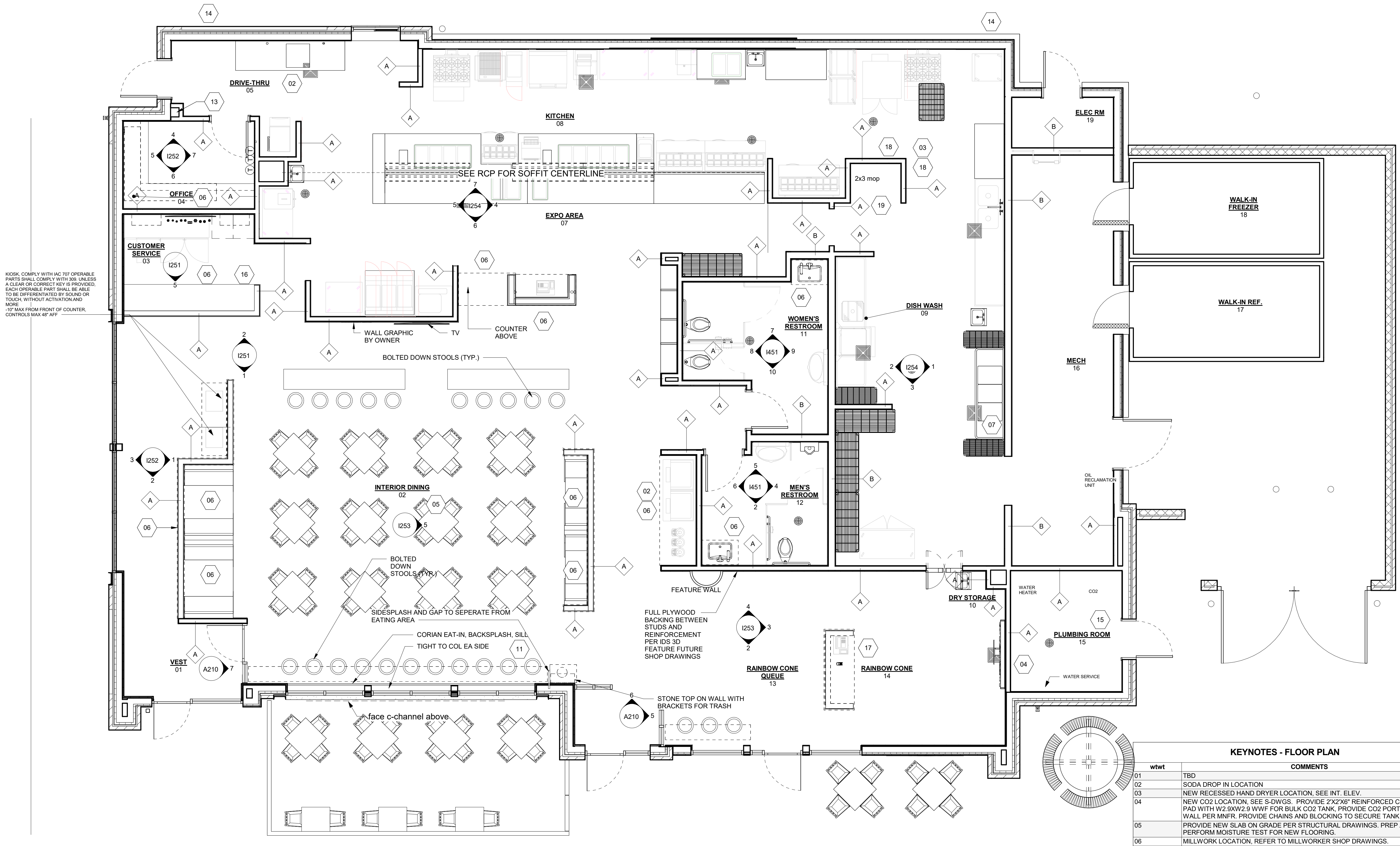
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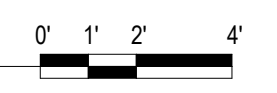
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KIOSK, COMPLY WITH IAC 707 OPERABLE PARTS SHALL COMPLY WITH 308 UNLESS A CLEAR OR CORRECT KEY IS PROVIDED. EACH OPERABLE PART SHALL BE ABLE TO BE DIFFERENTIATED BY SOUND OR TOUCH WITHOUT ACTIVATION AND MORE.
-12" MAX FROM FRONT OF COUNTER, CONTROLS MAX 48" AFF

1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYNOTES - FLOOR PLAN	
wtwt	COMMENTS
01	TBD
02	SODA DROP IN LOCATION
03	NEW RECESSED HAND DRYER LOCATION, SEE INT. ELEV.
04	NEW CO2 LOCATION. SEE S-DWGS. PROVIDE 2'X2'X6" REINFORCED CONCRETE PAD WITH W2.9XW2.9 WWF FOR BULK CO2 TANK, PROVIDE CO2 PORT THROUGH WALL PER MNFR. PROVIDE CHAINS AND BLOCKING TO SECURE TANK TO WALL.
05	PROVIDE NEW SLAB ON GRADE PER STRUCTURAL DRAWINGS. PREP AND PERFORM MOISTURE TEST FOR NEW FLOORING.
06	MILLWORK LOCATION. REFER TO MILLWORKER SHOP DRAWINGS.
07	PROVIDE FLY CONTROL UNIT, AND 1 JUNCTION BOX LOCATION TO BE APPROVED BY OWNER
08	SEE STRUCTURAL FOR PRE-FORMED CURVED FOUNDATION WALL FOR MASONRY ABOVE
11	ALT. MILLWORK: PROVIDE 14" EATING RAIL WITH MOVEABLE STOOLS, PROVIDE POWER ON WALL LIP ABOVE COUNTER 8'-0" O.C PROVIDE CONCEALED IN WALL BRACKET 4'-0" O.C.
12	ALT. MILLWORK: (2) 12' X 2'-6" COMMUNAL TABLES, WITH FIXED IN PLACE SEATING, PROVIDE FLOOR POWER FEED INTO TABLES, TO COUNTERTOP OUTLETS
13	ROOF DRAIN SHAFT WITH WALL CLEANOUT FOR PRIMARY PIPE, SEE PLUMBING. REFER TO CIVIL FOR CONTINUATION.
14	SECONDARY DRAIN TO DISCHARGE VIA WALL LAMB'S TONGUE OUTLET. REFER TO CIVIL FOR SHEET DRAIN FLOW.
15	PROVIDE ACCESS PANEL & 4" FURRING WALL TO IN-WALL FDC AND BALL VALVE. FUR OUT WALL IF NEEDED, OR EMBED BETWEEN 6" STUDS OF EXTERIOR WALL - PER LAKEMOOR FD. LOCATE FDC TO WEST WALL.
16	MILLWORK LOCATION, PROVIDE CONCEALED WALL BRACKETS TO PARTIAL HEIGHT MILLWORK DIE WALL BELOW.
17	MILLWORK COUNTERTOP AND 4" BACKSPASH WITH UNDERMOUNT SINK - SEE P-SHEETS, AND A201 FOR DETAIL
18	SEE E-SHEETS FOR LOCATION OF ELECTRICAL PANELS, 6" WALL STUD OR 8" WALL STUD REQUIRED
19	MOB BASIN- MS-1 24"X48" MUSTEE 65M MOP BASIN



VIEW FROM NORTH WEST



VIEW FROM WEST PARKING LOT



VIEW FROM NORTH EAST



VIEW FROM WEST PARKING LOT

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BUONA
CHICAGO'S ORIGINAL ITALIAN BEEF



KEYSTONE VENTURES
REAL ESTATE DEVELOPMENT

PRESENTS
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No.	Description	Date
IFZ		11/22/22

RENDERINGS

G050

Scale



BUONA

BUONA 
OPENS
NOVEMBER 15th



THE ORIGINAL RAINBOW CONE

21591

CHICAGO'S ORIGINAL ITALIAN BEEF

RESERVED PARKING

\$250 FINE

RESERVED PARKING

\$250 FINE



EXAMPLE INTERIORS



BUONA BEEF