

Zoning Permit Application Town of Eagle (Waukesha County), Wisconsin

Town of Eagle
820 E. Main Street
Eagle, WI 53119

OFFICE USE ONLY

Application Number: 2P25-07 Fee Paid: \$ 105 Receipt No: 80665 Date Received: 3/10/25

General instructions: Complete this application and submit to Kassie Slotty, Assistant Town Planner via email (kslotty@waukeshacounty.gov) or to the Town Clerk. Alternatively, you can submit your application online at <https://townofeagle.zoninghub.com>. An application fee is also required. An invoice number will be provided to you after the initial intake review to pay the required application fee.

Please contact the Assistant Town Planner with any questions or if you would like to discuss the application before making a formal submittal. The Assistant Town Planner can also review your application. If you have any questions, do not hesitate to contact the Assistant Town Planner at (262) 548-7812 or via email at kslotty@waukeshacounty.gov.

Parcel Number: 1851-003 Property Address: W399 S10875 Cornell Dr.

	Property Owner	Agent, if any
Name	<u>Daniel J. Scheibe</u>	
Street address	<u>W399 S10875 Cornell Dr.</u>	
City, state, zip code	<u>Eagle, WI 53119</u>	
Daytime telephone	<u>262-442-5141</u>	
Email address	<u>d13011265@gmail.com</u>	

General description of proposed project:

In Ground Swimming Pool and surrounding patio, fence
16'x32' pool

Zoning District(s) (check all that apply)

- ☐ P-1 Public
- ☐ Q-1 Quarry
- ☐ C-1 Conservancy
- ☐ UC Upland Conservancy
- ☐ A-P Agricultural Preservation
- ☒ RR Rural Residential
- ☐ R-1 Residential
- ☐ B-1 Neighborhood Business
- ☐ B-2 Local Business
- ☐ B-4 Mixed Business
- ☐ M-1 Limited Manufacturing
- ☐ M-2 General Manufacturing
- ☐ PUD: _____

Setbacks and Offsets of proposed patio and pool

Front-yard setback: 110 ^{194.8'} feet from building foundation to base setback line (road right-of-way)

Side-yard offset: 173.8 ^{205'} feet from building foundation to North property boundary line

Side-yard offset: 173.8 ^{197.5'} feet from building foundation to South property boundary line

Rear-yard offset: 321.7 ^{262.2'} feet from building foundation to West property boundary line

For assistance in the zoning districts please visit: <https://townofeagle.zoninghub.com/home.aspx>

Floor Area of Buildings (in square feet from exterior wall to exterior wall)

	Existing	Proposed
Principal building (first floor)	<u>3870</u>	
Principal building (second floor)	<u>—</u>	
Attached garage	<u>1100</u>	
Detached building	<u>2400</u>	
Detached building		
Total	<u>6270</u>	

Sanitary Permit No. (Buildings requiring sanitation only): NA

New Building with a Basement

Elevation of top of foundation _____ (This should be shown on the grading plan.)
 Elevation of top of basement floor _____ (This should be shown on the grading plan.)
 Elevation of top of footing _____ (This should be shown on the grading plan.)
 Elevation of seasonal high-water table _____ (This is listed in the Seasonal High Groundwater Determination Report.)

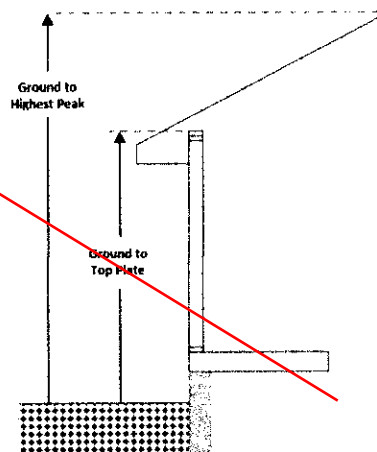
Note: The top of the basement floor must be one foot or more above the seasonal high-water table.

Height of Proposed Building(s)

Building Height Maximums are found in Appendix C. To determine the height of the building, use the following equation:

$$\text{Ground to top plate} + (\text{Ground to highest peak} - \text{Ground to top plate}) / 2 = \text{Height of Bldg}$$

	Building 1			Building 2		
	Ground to Top Plate	Ground to Highest Peak	Height of Building	Ground to Top Plate	Ground to Highest Peak	Height of Building
Front						
Left						
Right						
Rear						



Applicant certification

- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the Zoning Administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.
- I understand that my application may require review by the Town Engineer, Town Attorney or any other Town Professional, which will require that I submit a Professional Reimbursement Form to the Town Clerk.

Property Owner Signature(s)



Date:

3/7/25

Application Number: ZP25:007

Decision: Approved

Zoning Administrator:  Date: 3/17/25

Terms and Conditions of Approval The terms and conditions indicated below apply to this approval.

- ☐ **Expiration** This approval will expire without any further action if the proposed construction project does not commence within 6 months of date of this approval, or the project is not completed within 18 months of date of this approval. The Zoning Administrator may allow a one-time extension of 12 months provided the property owner submits the request in writing before the above-mentioned time periods and the project still complies with all applicable zoning requirements.
- ☐ **Administrative appeal** A person may appeal this approval within 30 days of the decision date (noted above) by filing an administrative appeal with the Zoning Board of Appeals. If the Town receives an appeal within this timeframe, we will notify you. All work should cease if an appeal has been submitted.
- ☐ **Strict compliance** All work performed, improvements constructed, and use of the property shall be according to the submitted application materials, the Town of Eagle municipal code, and all other applicable ordinances, regulations, and permits.
- ☐ **Stormwater drainage** No improvement or use of the property shall adversely affect drainage on surrounding properties.
- ☐ **Grade.** The property owner is solely responsible for establishing the final yard grade and building elevation, including walkout basements and partially exposed basements, and windows/doors near the ground surface.
- ☐ **Private covenants** The property owner is solely responsible to ensure the proposed project complies with any private restrictions (e.g., subdivision covenants) that may apply to the subject property.
- ☐ **Temporary construction driveways** Please be aware that a temporary construction driveway coming off of a town, county, or state road is not allowed unless the entity with jurisdiction has specifically given their approval.
- ☒ **Building permit is required** The Town's building inspector must approve all applicable building plans for the project.
- ☐ **Building permit is not required** A building permit is not required.
- ☐ **Certification of location by surveyor** A surveyor must certify compliance as part of the footing inspection and the foundation inspection. The forms to be completed are attached.
- ☐ **Certification of location by owner** The property owner must provide a sight line for the property boundary line to ensure the building complies with offset requirements or provide a survey by a surveyor.
- ☐ **Culvert permit for Town Road** The property owner must obtain a culvert permit from the Town for the driveway.
- ☐ **Culvert permit for County Highway** The property owner must obtain a culvert permit for the driveway from Waukesha County. Contact Jason Mayer at 262-548-7749, JMayer@WaukeshaCounty.gov
- ☐ **Culvert permit for State Highway** The property owner must obtain a culvert permit for the driveway from Wisconsin Department of Transportation, Southeast Region. Contact Kevin Koehnke, Kevin.Koehnke@dot.wi.gov
- ☐ **Limitation on impervious surfaces** The subject property is located in a subdivision that is subject to limitations on impervious surface. Impervious surface includes any hard surface such as buildings and decks, driveways, patios, sidewalks, patios, and gravel areas. You must contact the Town when you add any additional impervious surface to this property.
- ☐ **Related approval(s)** (if any)
This approval is issued subject to a _____ granted by the Town of Eagle on _____.
This approval is issued subject to a _____ granted by the Town of Eagle on _____.
- ☒ **Other**

The fence must meet the standards in the most current edition of ANSI/IAF-8 as promulgated by the American National Standards Institute and Association of Pool and Spa Professionals that relate to barriers and fencing.

All gates shall be equipped with self-closing and self-latching devices placed at the top of the gate. _____

The inside wall of the pool shall be located at least 10 feet from the vertical plane formed by the electrical wire perpendicular to the ground surface _____

Draining of water. Water that is drained out of a swimming pool shall not flow onto adjoining property, into a wetland, or into a sanitary sewer without the approval of the public works director or equivalent. _____

The swimming pool shall meet the most current standards published by the National Spa and Pool Institute (NSPI) and the American National Standards Institute (ANSI) including those for plumbing, electrical service, sanitation, fencing, security, and safety

Received
Town of Eagle
3/13/25

**APPROVED
SURVEY/SITE
PLAN**

**Bernklau
Surveying, Inc.**

N60 W25864 Walnut Road
Sussex, WI 53089
(262) 538-0708
www.bernklausurveying.com

Plat of Survey



SCALE 1" = 60'

Note: offsets shown to the
existing house foundation.

Existing top of foundation
elevation = 931.0

Surface Area Calculations:

Total Property Area = 217,802 sq. ft.
Existing House, Garage & Porch = 3,870 sq. ft.
Gravel Driveway = 5,781 sq. ft.
Proposed Pole Building = 2,856 sq. ft.
Total Existing & Proposed Impervious Surface = 12,507 sq. ft. (5.7%)
Note: The impervious area shall not exceed 7% of the total lot area.

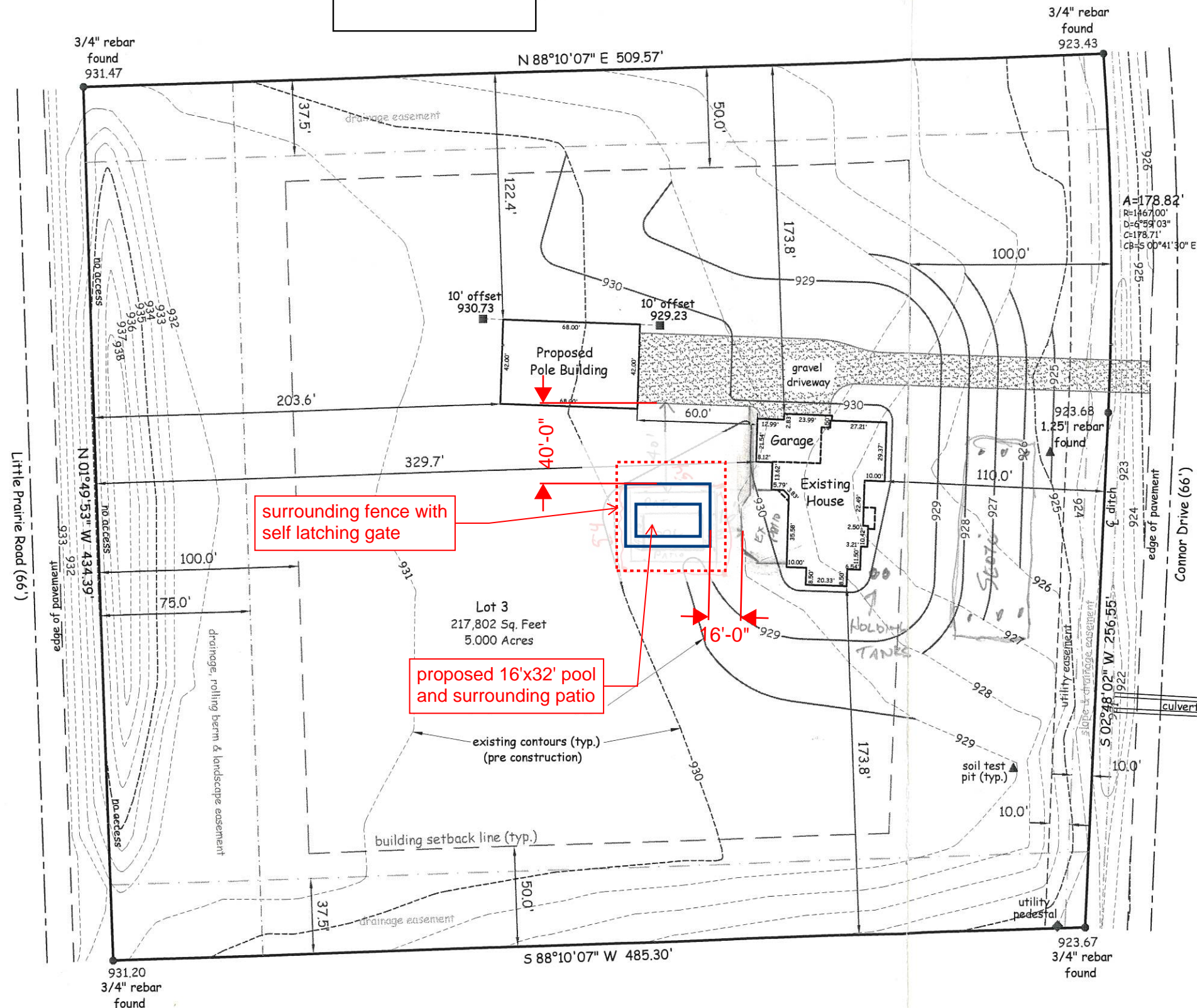
Lot 3, Eagle Meadow Farms, a subdivision located in part of the
SW ¼ of the NW ¼ & the NW ¼ and SW ¼ of the SW ¼ of
Section 31, Township 5 North, Range 17 East, Town of Eagle,
Waukesha County, Wisconsin.

I, Thomas M. Bernklau, Professional Land Surveyor, certify that I
have surveyed the above described property to the official records,
to the best of my knowledge and belief, and that the map shown
hereon is a true representation thereof, and shows the size and
location of the property, its exterior boundaries, the location and
dimensions of all visible structures thereon, boundary fences,
apparent easements, and all visible encroachments, if any.

This survey is made for the exclusive use of the present owners of
the property; also those who purchase, mortgage or guarantee title
thereto, within one year hereof.

Date July 23, 2015
Revised July 24, 2015
Revised July 28, 2015
Revised August 4, 2015
Revised October 27, 2015
Revised December 15, 2015
Revised December 17, 2015
Re-certified April 26, 2016

Thomas M. Bernklau, PLS - 2147



Prepared for:
Dan & Julie Scheibe
1301 Riverton Drive
Mukwonago, WI 53149

5' x 96' Asbury Black Aluminum Fence Material List

Model Number: 1747004 | Menards® SKU: 1747004

Received
Town of Eagle
03/16/2025



APPROXIMATE PRICE

1% Mail-In Rebate* Good Through 3/16/25

**PRICE
AFTER
REBATE***

1

You Save \$217.48 After Mail-In Rebate*

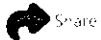


- Black 3-Rail Fence Panel is an easy-to-install and is constructed of quality aluminum
- 2" x 84" Aluminum Post includes a box of six EZ Fence rail attachment brackets and cap
- Designed for 6' on center post installation with simple, elegant lines.

[View More Information >](#)

Height: 5 foot

Length: 96 Foot



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Material List (3) Specifications

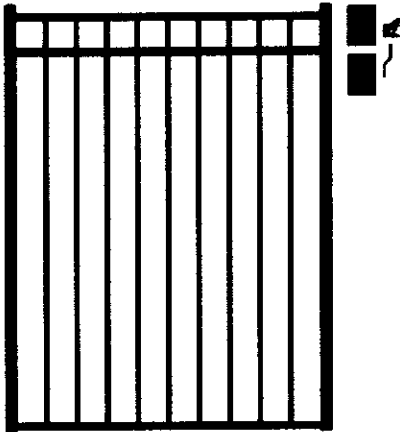
The Asbury Aluminum 3-Rail Fence includes 5' high x 6' wide fence panel that is attached to the post with an easy-to-install external bracketing system. This fence is constructed of quality aluminum and designed with simple, elegant lines.

Features

- Black 3-Rail Fence Panel is an easy-to-install and is constructed of quality aluminum
- 2" x 84" Aluminum Post includes a box of six EZ Fence rail attachment brackets and cap
- Designed for 6' on center post installation with simple, elegant lines.
- Premixed concrete included for each post
- Some cutting and assembly required
- This is not a kit. This is a suggested design and material list only.

Yardworks Asbury 5x4 Black Straight Gate

Model Number: G200HSR-6048-ME | Menards * SKU: 1716635



EVERYDAY LOW PRICE

11% REBATE* Good Through 3/16/25

PRICE
AFTER
REBATE*


You Save \$24.20 After Mail-In Rebate*




- Gate Latch and Hinges Included
- Durable powder-coated acrylic finish

View More Information >

Pick Up At Store

 2 In-Stock at [Evergreen Park](#)
Item located in Aisle 1204 Section C

 Need to order more?
230 Available for Immediate Delivery From Our Fulfillment Center

 Check Another Store for Availability

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