MILWAUKEE POWERSPORTS

3030 CTH K, VILLAGE OF RAYMOND, RACINE COUNTY, WISCONSIN

PROJECT DATA

APPLICABLE CODES:
2015 IBC - INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS
2015 IBC - INTERNATIONAL EXISTING BUILDING CODE

BUILDING USE AND OCCUPANCY CLASSIFICATION

CONSTRUCTION CLASSIFICATION:

BUILDING AREA: 53,484 SQUARE FEET

GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS.
3. EACH CONTRACTOR SHALL REVIEW AND COMPLETE PLANS FOR RELATED WORK.
4. ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.

ABBREVIATIONS

ALT	ALTERNATE	HM	HOLLOW METAL
A/E	ARCHITECT/ENGINEER	HT	HEIGHT
AFF	ABOVE FINISH FLOOR	HW	HOT WATER
ALUM	ALUMINUM	INT	INTERIOR
BD	BOARD	INSUL	INSULATION
B/O	BOTTOM OF	JT	JOINT
CPT	CARPET	LAV	LAVATORY
	CENTER LINE	MFR	MANUFACTURER
CLG	CEILING	MIN	MINIMUM
CJ	CONTROL JOINT	MO	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	MTL	METAL
CONC	CONCRETE	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	NTS	NOT TO SCALE
CO	CLEAN OUT	OC	ON CENTER
CW	COLD WATER	OFCI	OWNER FURNISHED, CONTRACTOR TO INSTALL
CT	CERAMIC TILE		
DBL	DOUBLE	OPP	OPPOSITE
DF	DRINKING FOUNTAIN	PLYWD	PLYWOOD
DIA	DIAMETER	PL	PLASTIC LAMINATE
DIM	DIMENSION	∠	PLATE
DN	DOWN	PT	PORCELAIN TILE
DR	DOOR	QT	QUARRY TILE
DS	DOWNSPOUT	REQ'D	REQUIRED
DTL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	SHT	SHEET
EA	EACH	SV	SHEET VINYL
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	SIM	SIMILAR
		SS	SOLID SURFACE
EL	ELEVATION	SST	STAINLESS STEEL
EJ	EXPANSION JOINT	STD	STANDARD
EQ	EQUAL	SAT	SUSPENDED ACOUSTIC TILE CEILING
EQUIP	EQUIPMENT		
EXIST	EXISTING	TBD	TO BE DETERMINED
EXT	EXTERIOR	TEMP	TEMPORARY
EWC	ELECTRIC WATER COOLER	T/O	TOP OF
FEC	FIRE EXTINGUISHER CABINET	T&G	TONGUE AND GROOVE
		TYP	TYPICAL
FIN	FINISH	UNO	UNLESS NOTED OTHERWISE
FD	FLOOR DRAIN		
FLR	FLOOR	VCT	VINYL COMPOSITION TILE
FRP	FIBERGLASS REINFORCED PLASTIC	VB	VINYL BASE
		VIF	VERIFY IN FIELD
GA	GAUGE	WD	WOOD
GALV	GALVANIZED	WWF	WELDED WIRE FABRIC
GYP BD	GYPSUM BOARD		

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DS-C.2 ELEVATIONS AND 3D VIEWS
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C-3 DIMENSIONED SITE PLAN
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C-8 TYPICAL SECTIONS & CONSTRUCTION DETAILS
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ELECTRICAL
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E-3 SITE PLAN LIGHTING
E-4 SITE PLAN LIGHTING
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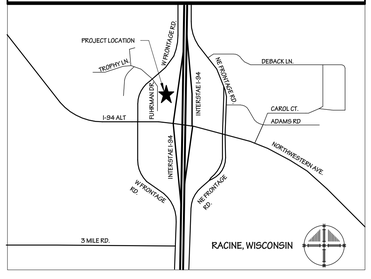
L-2.0 SOUTH AREA LANDSCAPE PLAN
L-3.0 LANDSCAPE SCHEDULES AND DETAILS

LOCATION MAP



CLIENT:
CEDAR CREEK MOTORSPORTS
7518 STATE HIGHWAY 60
CEDARBURG, WISCONSIN 53012
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ATTN: BRETT COTTRELL

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PHONE: 262.652.2800
ATTN: MARK MOLINARO JR, AIA

CIVIL ENGINEER:
NIELSEN MADSEN + BARBER SC
1458 HORIZON BLVD. SUITE 200
RACINE, WISCONSIN 53406
PHONE: 262.634.5588
ATTN: MARK D. EBERLE, PE
JASMINE McDERMIT, PE

ELECTRICAL ENGINEER:
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LANDSCAPE ARCHITECT:
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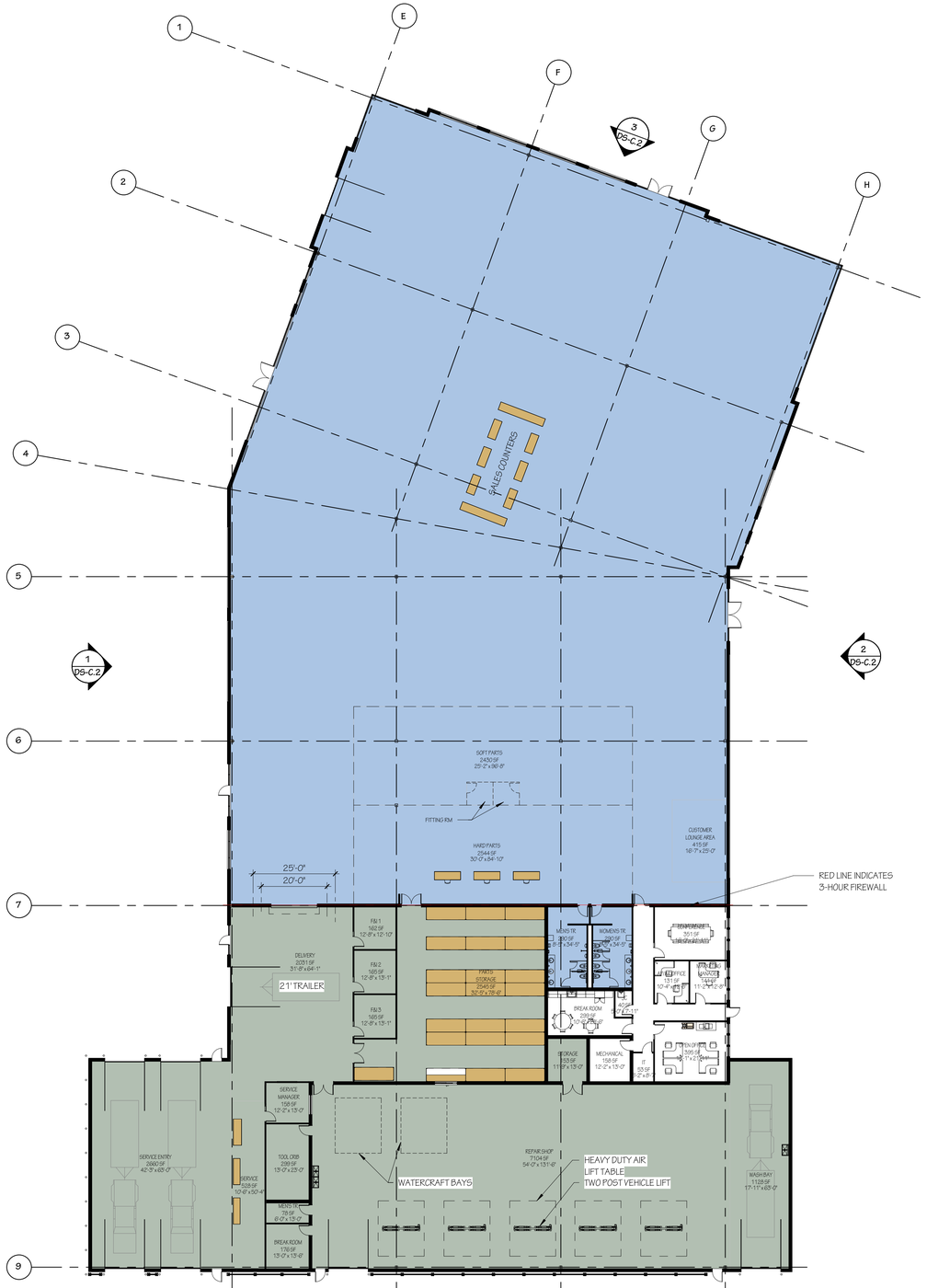
KENOSHA, WISCONSIN 53142
PHONE: 262.496.9191
ATTN: THOMAS NORDLOH

Partners in Design ARCHITECTS

MILWAUKEE POWERSPORT

PROJECT NUMBER: 0000.23.101

PLAN COMMISSION SUBMITTAL
ISSUE DATE: 12.30.2024



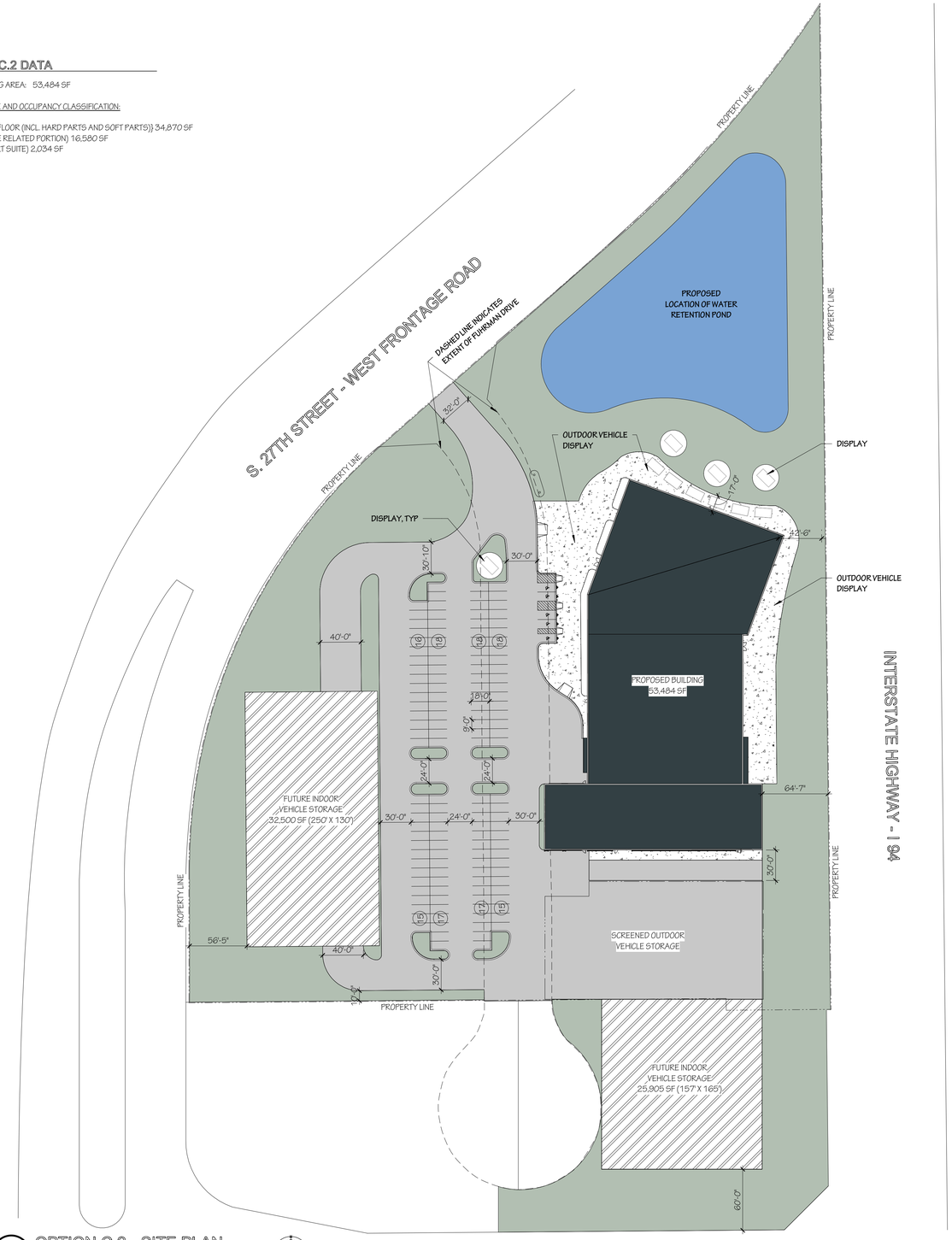
1 OPTION C.2 - FLOOR PLAN
DS-C2.1 1" = 20'-0"

OPTION C.2 DATA

TOTAL BUILDING AREA: 53,484 SF

CHAPER 3: USE AND OCCUPANCY CLASSIFICATION:

- (SALES FLOOR (INCL. HARD PARTS AND SOFT PARTS)) 34,870 SF
- (SERVICE RELATED PORTION) 16,580 SF
- (SUPPORT SUITE) 2,034 SF



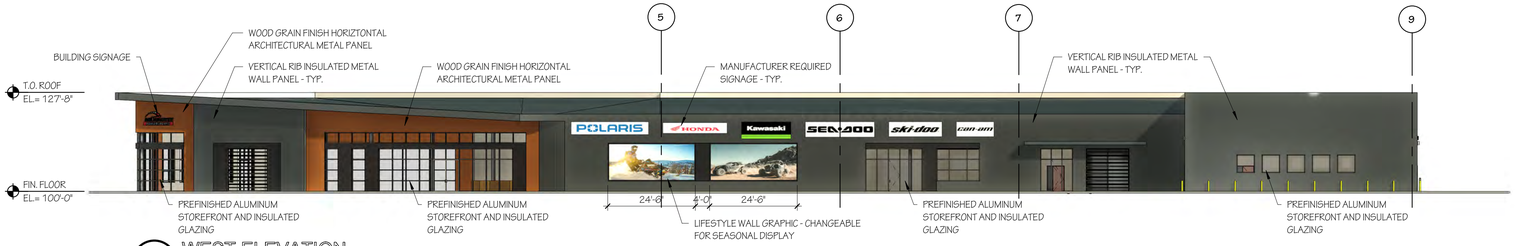
2 OPTION C.2 - SITE PLAN
DS-C2.1 1" = 60'-0"

MILWAUKEE POWERSPORTS

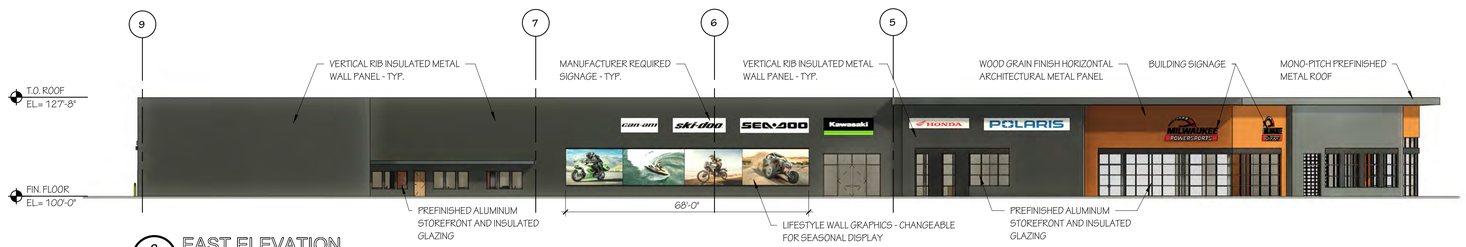
SITE PLAN & FLOOR PLAN

OPTION C.2
RAYMOND, WI
12.30.2024

Partners in Design ARCHITECTS
262.652.2800 Kenosha, WI
847.940.0300 Riverwoods, IL

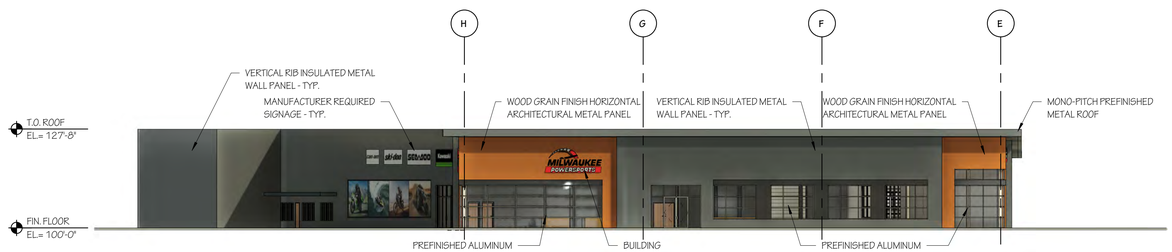


1 DS-C.2 WEST ELEVATION
1" = 20'-0"



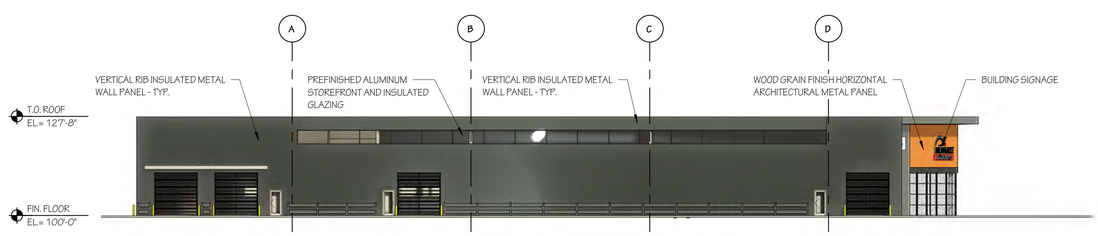
2 DS-C.2 EAST ELEVATION
1" = 20'-0"

5 DS-C.2 NORTH-WEST PERSPECTIVE

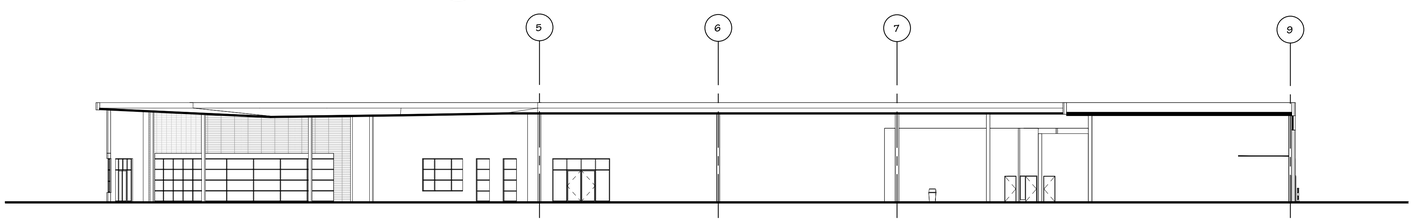


3 DS-C.2 NORTH ELEVATION
1" = 20'-0"

6 DS-C.2 NORTH-EAST PERSPECTIVE



4 DS-C.2 SOUTH ELEVATION
1" = 20'-0"



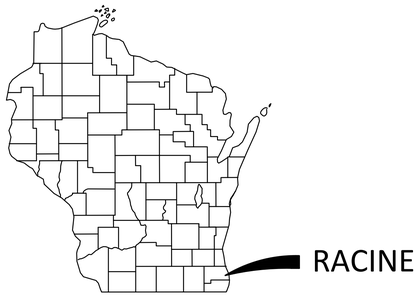
7 DS-C.2 BUILDING SECTION
1" = 20'-0"

MILWAUKEE POWERSPORTS

ELEVATIONS AND 3D VIEWS

OPTION C.2
RAYMOND, WI
12.30.2024

Partners in Design ARCHITECTS
262.652.2800 Kenosha, WI
847.940.0300 Riverwoods, IL



CONSTRUCTION PLANS
for
MILWAUKEE POWERSPORTS
SITE GRADING, DRAINAGE, UTILITY & PAVEMENT IMPROVEMENTS
for
CEDAR CREEK MOTORSPORTS
Village of Raymond, Racine County, Wisconsin

WISCONSIN JASMIN E. McDERMIT E-49075 RACINE, WI PROFESSIONAL ENGINEER
12-20-2024

SHEET INDEX

PLAN SHEET	SHEET NO.
TITLE SHEET	C-1
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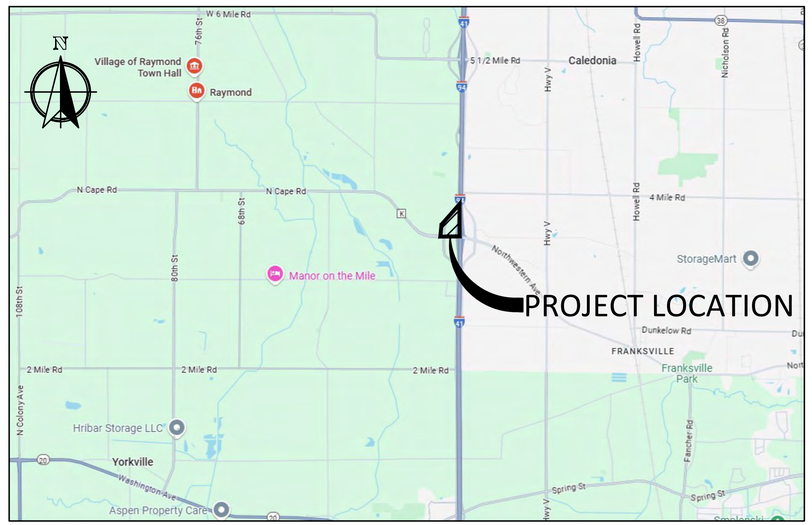
LEGEND

Description	Existing	Description	Existing	Proposed
EDGE OF WOODS		WATER SHUT OFF		
DECIDUOUS TREE	6"	WATER MAIN VALVE		
DECIDUOUS TREE REMOVAL	5"	HYDRANT		
CONIFEROUS TREE	6"	WATER MAIN REDUCER		
CONIFEROUS TREE REMOVAL	5"	SANITARY MANHOLE		
BUSH		SANITARY CLEAN OUT		
SOIL BORING	SB 1	STORM MANHOLE		
TELEPHONE BOX	T	CATCH BASIN		
GUY WIRE		LIGHT POLE		
UTILITY POLE		ENDWALL		
GAS VALVE	GV	STORM SEWER	STM	
GAS METER		SANITARY SEWER	SAN	
SEPTIC VENT		WATERMAIN	W	W
ELECTRIC MANHOLE		CONTOURS	650	650
COMMUNICATION MANHOLE		FIRE PROTECTION		FP
WATER MANHOLE		UTILITY CROSSING		
HVAC UNIT		DITCH OR SWALE		
UNDERGROUND VAULT		CULVERT	12" CMP	12" CMP
SECTION CORNER		RAILROAD TRACKS		
MAIL BOX		FENCE	X	X
GUARD POST		NO VEHICULAR ACCESS		
STREET SIGN		UNDERGROUND ELECTRIC	E	
ELECTRIC PEDESTAL		UNDERGROUND GAS MAIN	G	
ELECTRIC METER		UNDERGROUND COMMUNICATIONS	CM	
PAD MOUNT TRANSFORMER		SILT FENCE	//	
FOUND IRON PIPE		OVERHEAD ELECTRIC	OHE	
SET IRON PIPE		FORCE MAIN	\	



OWNER

CEDAR CREEK MOTORSPORTS
BRETT COTTRELL
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CEDARBURG, WI 53012
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GOVERNMENT AGENCY CONTACTS

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RACINE COUNTY PUBLIC WORKS AND DEVELOPMENT
ROLEY BEHM
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RACINE COUNTY PUBLIC WORKS AND DEVELOPMENT
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HIGHWAYS AND PARKS SUPERINTENDENT
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ABBREVIATIONS

BASE LINE	BL	INVERT ELEVATION	IE
LONG CORD OF CURVE	CHD	LENGTH OF CURVE	ARC
CURB AND GUTTER	C&G	MANHOLE	MH
CATCH BASIN	CB	NORMAL WATER LEVEL	NWL
CENTERLINE	CL	POINT OF CURVATURE	PC
EDGE OF PAVEMENT	EOP	POINT OF TANGENCY	PT
FINISHED FIRST FLOOR	FFF	TANGENCY OF CURVE	TAN
FINISHED GRADE	FG	POINT OF VERTICAL INTERSECTION	PVI
FLOW LINE	FL	RADIUS	R
FLOODPLAIN	FP	RIGHT OF WAY	ROW
ORDINARY HIGH WATER MARK	OHWM	SANITARY SEWER	SAN
TOP OF BANK	TOB	STORM SEWER	STM
TOP OF CURB	TOC	TOP OF FOUNDATION	TOF
TOP OF WALK	TOW	WATER MAIN	WM

UTILITY CONTACTS

SPECTRUM CHARTER COMMUNICATIONS
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CELL: 414-429-4214
EMAIL: bl521d@att.com

TDS TELECOM
SOUTHEAST WISCONSIN
OFFICE: 877-483-7142

WE-ENERGIES
ALLIE KLAWINSKI
KENOSHA SOUTH
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EMAIL: Allie.Klawinski@we-energies.com

NATURAL GAS EMERGENCY: (800) 261-5325
ELECTRICAL EMERGENCY: (800) 662-4797

AMERICAN TRANSMISSION COMPANY
BRIAN MCGEE
OFFICE: 262-506-68955
EMAIL: bmcgee@atcllc.com
EMERGENCY NUMBER: (800) 972-5341

DIGGERS HOTLINE
Call 811 or (800) 242-8511
www.DiggersHotline.com

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.

Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbsc.net

MILWAUKEE POWERSPORTS
CONSTRUCTION PLANS
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

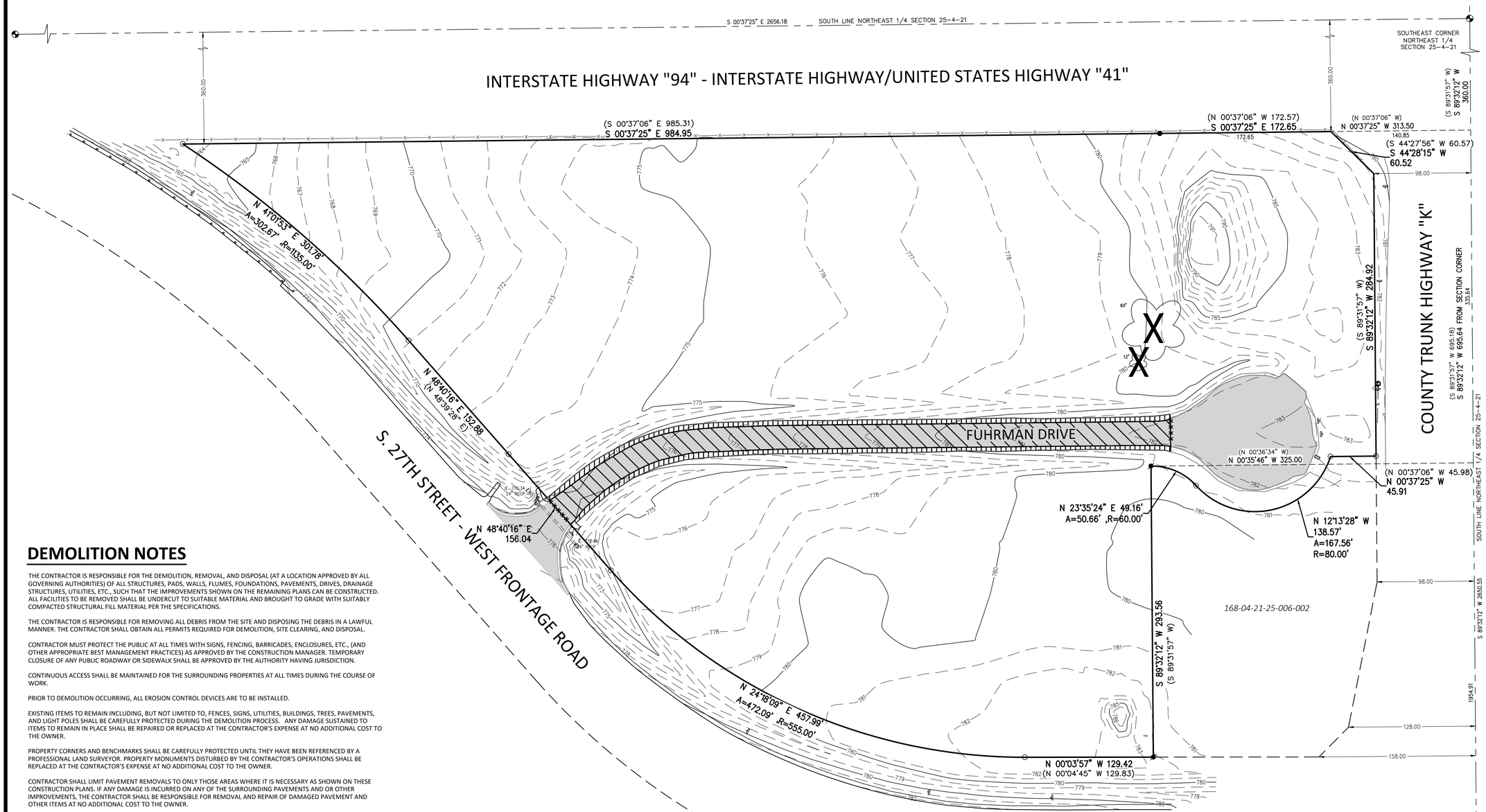
PROJ. MGR:	MDE
DRAFTED:	IPL
DATE:	12-20-2024
CHECKED:	MDE
DATE:	12-20-2024

2023.0160.01

SHEET
C-1

ISSUE FOR REVIEW (12-20-2024)

Friday, December 20, 2024 10:33:16 AM



DEMOLITION NOTES

THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (AT A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED STRUCTURAL FILL MATERIAL PER THE SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.

CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.

CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.

PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS WHERE IT IS NECESSARY AS SHOWN ON THESE CONSTRUCTION PLANS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE OWNER.

IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.

AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

N

100' 50' 0' 50' 100'

SCALE 1" = 50'

LEGEND

- ELECTRIC MANHOLE
- ELECTRIC LINE
- MAILBOX
- SIGN
- DECIDUOUS TREE
- GUARD RAIL
- GUARDRAIL
- FENCE
- 3/4" REBAR W/WISDOT CAP FOUND
- 1" IRON PIPE FOUND
- 1-1/4" IRON PIPE FOUND
- 3/4" REBAR SET

DEMOLITION LEGEND

- CLEAR & GRUB ISOLATED TREES
- SAWCUT PAVEMENT (FULL DEPTH)
- REMOVE ASPHALT PAVEMENT AND BASE
- REMOVE GRAVEL

DIGGERS HOTLINE
Call 811 or (800) 242-8511
www.DiggersHotline.com

UTILITY NOTE

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Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbsc.net

MILWAUKEE POWERSPORTS
EXISTING CONDITIONS & SITE DEMOLITION PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR:	MDE
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2023.0160.01

SHEET
C-2

ISSUE FOR REVIEW (12-20-2024)

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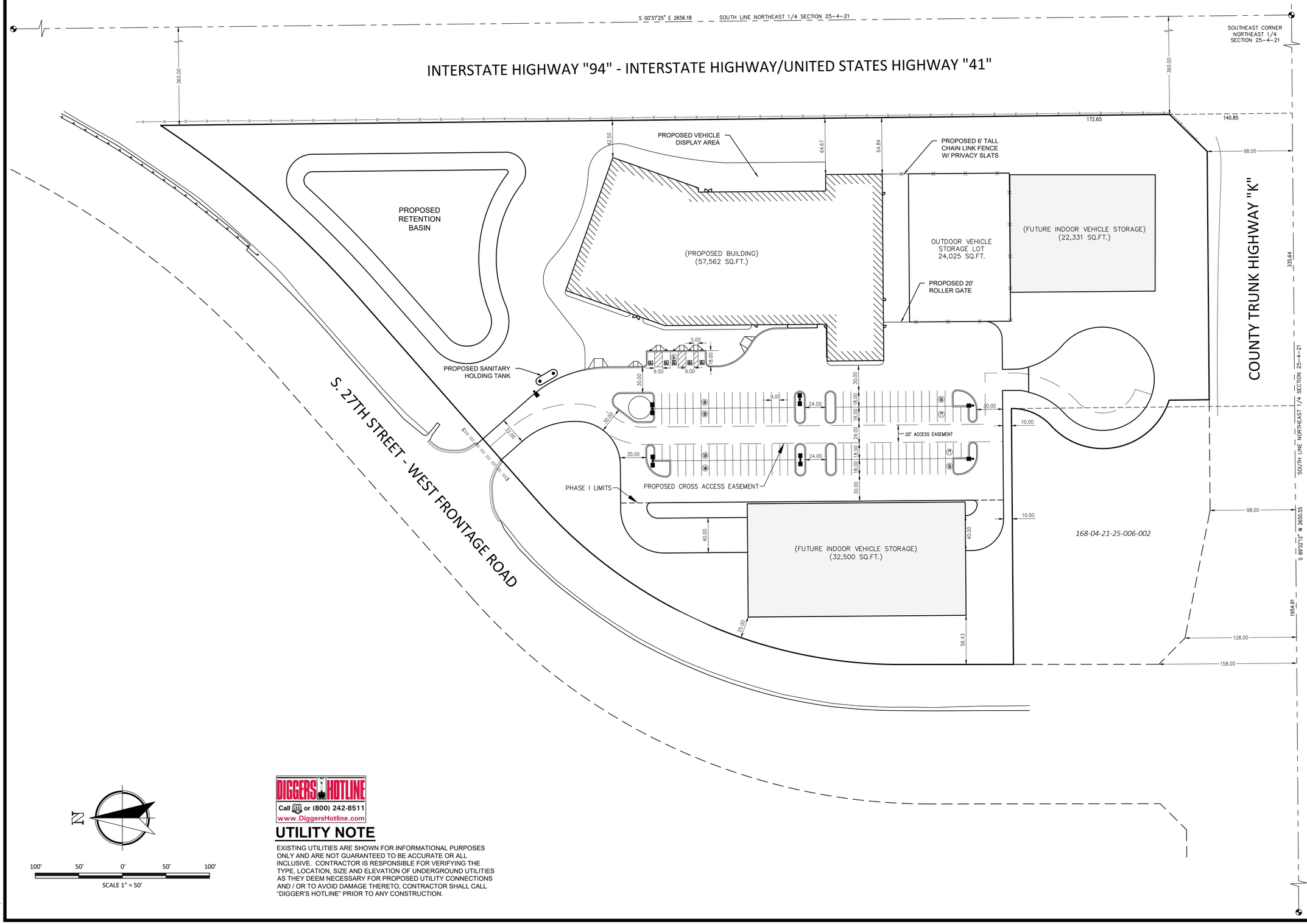

N

100' 50' 0' 50' 100'

SCALE 1" = 50'

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Friday, December 20, 2024 10:06:00 AM

Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
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MILWAUKEE POWERSPORTS
DIMENSIONED SITE PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR:	MDE
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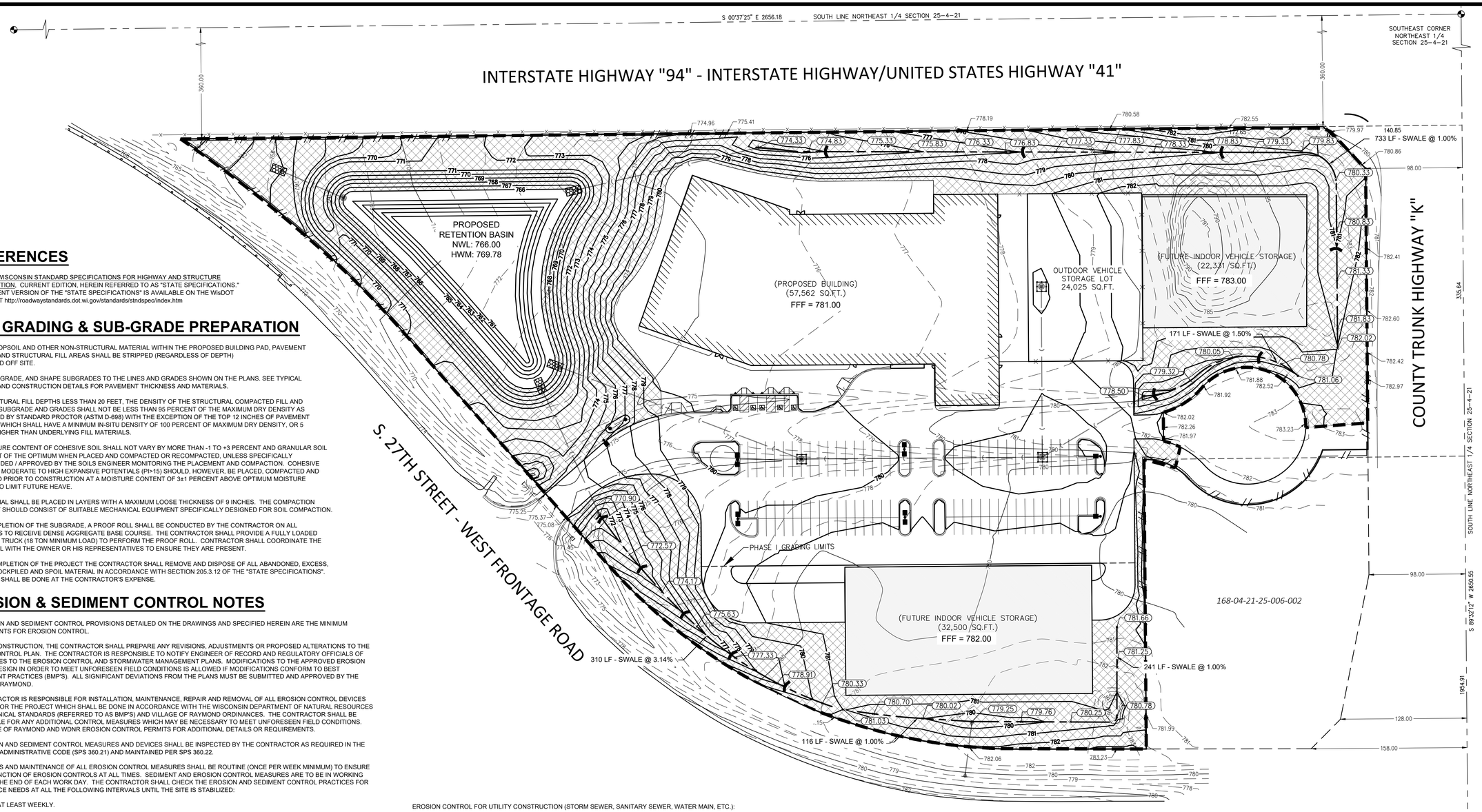
SHEET
C-3

ISSUE FOR REVIEW (12-20-2024)



REFERENCES

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CURRENT EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WisDOT WEBSITE AT http://roadwaystandards.dot.wi.gov/standards/stndspec/index.htm

SITE GRADING & SUB-GRADE PREPARATION

EXISTING TOPSOIL AND OTHER NON-STRUCTURAL MATERIAL WITHIN THE PROPOSED BUILDING PAD, PAVEMENT SECTIONS AND STRUCTURAL FILL AREAS SHALL BE STRIPPED (REGARDLESS OF DEPTH) AND HAULED OFF SITE.

EXCAVATE, GRADE, AND SHAPE SUBGRADES TO THE LINES AND GRADES SHOWN ON THE PLANS. SEE TYPICAL SECTIONS AND CONSTRUCTION DETAILS FOR PAVEMENT THICKNESS AND MATERIALS.

FOR STRUCTURAL FILL DEPTHS LESS THAN 20 FEET, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION OF THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL HAVE A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS.

THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF THE OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY RECOMMENDED / APPROVED BY THE SOILS ENGINEER MONITORING THE PLACEMENT AND COMPACTION. COHESIVE SOILS WITH MODERATE TO HIGH EXPANSIVE POTENTIALS (PI>15) SHOULD, HOWEVER, BE PLACED, COMPACTED AND MAINTAINED PRIOR TO CONSTRUCTION AT A MOISTURE CONTENT OF 3±1 PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO LIMIT FUTURE HEAVE.

FILL MATERIAL SHALL BE PLACED IN LAYERS WITH A MAXIMUM LOOSE THICKNESS OF 9 INCHES. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION.

UPON COMPLETION OF THE SUBGRADE, A PROOF ROLL SHALL BE CONDUCTED BY THE CONTRACTOR ON ALL SUBGRADES TO RECEIVE DENSE AGGREGATE BASE COURSE. THE CONTRACTOR SHALL PROVIDE A FULLY LOADED QUAD-AXLE TRUCK (18 TON MINIMUM LOAD) TO PERFORM THE PROOF ROLL. CONTRACTOR SHALL COORDINATE THE PROOF ROLL WITH THE OWNER OR HIS REPRESENTATIVES TO ENSURE THEY ARE PRESENT.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

EROSION & SEDIMENT CONTROL NOTES

THE EROSION AND SEDIMENT CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE EROSION CONTROL PLAN. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND REGULATORY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE VILLAGE OF RAYMOND.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES REQUIRED FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND VILLAGE OF RAYMOND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE VILLAGE OF RAYMOND AND WDNR EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 360.21) AND MAINTAINED PER SPS 360.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED:

A. AT LEAST WEEKLY.

B. WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

THE CONTRACTOR SHALL MAINTAIN A MONITORING RECORD WHEN THE LAND DISTURBING CONSTRUCTION ACTIVITY INVOLVES ONE OR MORE ACRES. THE MONITORING RECORD SHALL CONTAIN AT LEAST THE FOLLOWING INFORMATION:

A. THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED ABOVE.

B. A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES. EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE VILLAGE OF RAYMOND OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT.

EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, DSPS, VILLAGE OF RAYMOND OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

ALL SEDIMENT AND EROSION CONTROL DEVICES, INCLUDING PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED.

INSTALL SILT FENCE PER SECTION 628 OF THE "STATE SPECIFICATIONS" AND WDNR TECHNICAL STANDARD 1056 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR SILTATION AT THE SITE OF THE PROPOSED SILT FENCE. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

ALL PROPOSED STORM SEWER STRUCTURES AND ADJACENT EXISTING STORM INLETS SHALL HAVE A LAYER OF GEOTEXTILE FABRIC (TYPE "FF") INSTALLED BETWEEN THE FRAME & GRATE TO PREVENT SEDIMENT OR SILT FROM ENTERING THE SYSTEM. THE INLET PROTECTION SHALL BE INSPECTED BY THE CONTRACTOR AND REPLACED EVERY 14 DAYS AND AFTER EACH RAINFALL EVENT. FABRIC TO BE REPLACED AS NEEDED TO MEET FIELD CONDITIONS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE (WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF RECORD).

EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.

B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.

C. ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE DISCHARGED INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 AND BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH. PUMPED WATER CAN BE TREATED IN FILTER BAGS, STONE FILTERS OR SIMILAR DEVICES. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES, OTHER THAN SHOWN ON THE PLANS, MUST HAVE PRIOR APPROVAL BY THE VILLAGE OF RAYMOND.

DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.

ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 7 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND VILLAGE OF RAYMOND ORDINANCE.

EXCESS SOILS ARE TO BE HAULED OFF SITE OR ENCLOSED WITH AN APPROVED SEDIMENT CONTROL DEVICE WITHIN 24 HOURS.

SOIL PILES LEFT UNDISTURBED FOR 7 OR MORE DAYS WILL NEED TO BE STABILIZED BY AN APPROVED METHOD. ALL DISTURBED AREAS NOT COVERED BY PERMANENT STRUCTURES OR PAVEMENT SHALL BE FINISHED GRADED WITH 3"-6" TOPSOIL, SEEDED AND STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADE. IF DISTURBANCE OCCURS AFTER NOVEMBER 15TH AND BEFORE MAY 15TH, TYPE A SOIL STABILIZER SHALL BE USED.

ALL DISTURBED AREAS SHALL BE STABILIZED WITH CLASS I, TYPE A EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AT THE END OF EACH WORK DAY AND AS REQUESTED BY THE VILLAGE OF RAYMOND.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

SITE GRADING & EROSION CONTROL LEGEND

- 692 — EXISTING CONTOURS
- 702 — PROPOSED CONTOURS
- 4/5 C-7 — EROSION MAT - CLASS 1, TYPE B
- 1 C-7 — SILT FENCE
- 2 C-7 — STORM SEWER INLET PROTECTION
- 4 C-8 — MEDIUM RIP RAP (8' X 15')
- 780.00 — PROPOSED YARD GRADE
- DISTURBED AREA (464,890 S.F. = 10.67 AC)
- DRAINAGE SWALE CENTERLINE
- 3 C-7 — EROSION BALE & TEMPORARY DITCH CHECK
- NWL — NORMAL WATER LEVEL
- HWM — HIGH WATER MARK
- FFF — FINISHED FIRST FLOOR

UTILITY NOTE

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100' 50' 0' 50' 100'
SCALE 1" = 50'

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1458 Horizon Blvd. Suite 200, Racine, WI. 53406
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MILWAUKEE POWERSPORTS
SITE GRADING & EROSION CONTROL PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

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ISSUE FOR REVIEW (12-20-2024)

Friday, December 20, 2024 10:06:06 AM

PAVEMENT SPECIFICATIONS

DENSE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 305 OF THE "STATE SPECIFICATIONS". THE COMPLETED BASE SHALL BE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SHALL BE CONSTRUCTED IN FOUR-INCH (4") LIFTS AND COMPACTED ACCORDING TO SUBSECTION 305.3.2.2 OF THE "STATE SPECIFICATIONS".

ASPHALTIC CONCRETE PAVEMENT SHALL BE WISDOT LT 58-28 S MEETING THE REQUIREMENTS OF SECTION 460 OF THE "STATE SPECIFICATIONS". PAVEMENT SHALL BE INSTALLED IN TWO (2) LIFTS IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET. A TACK COAT SHALL BE INSTALLED BETWEEN THE LOWER AND UPPER COURSES IN ACCORDANCE WITH SECTION 455.3.2 OF THE "STATE SPECIFICATIONS".

CONCRETE FOR PAVEMENTS, SIDEWALKS, CURB & GUTTER AND APRONS SHALL BE GRADE A-FA, AIR-ENTRAINED, AS SPECIFIED IN SUBSECTION 501.3.1 OF THE "STATE SPECIFICATIONS". ALL EXTERIOR CONCRETE SHALL BE "READY-MIXED" AND RECEIVE A BROOM FINISH. ALL CONCRETE WORK SHALL BE CURED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 415.2.4 OF THE "STATE SPECIFICATIONS".

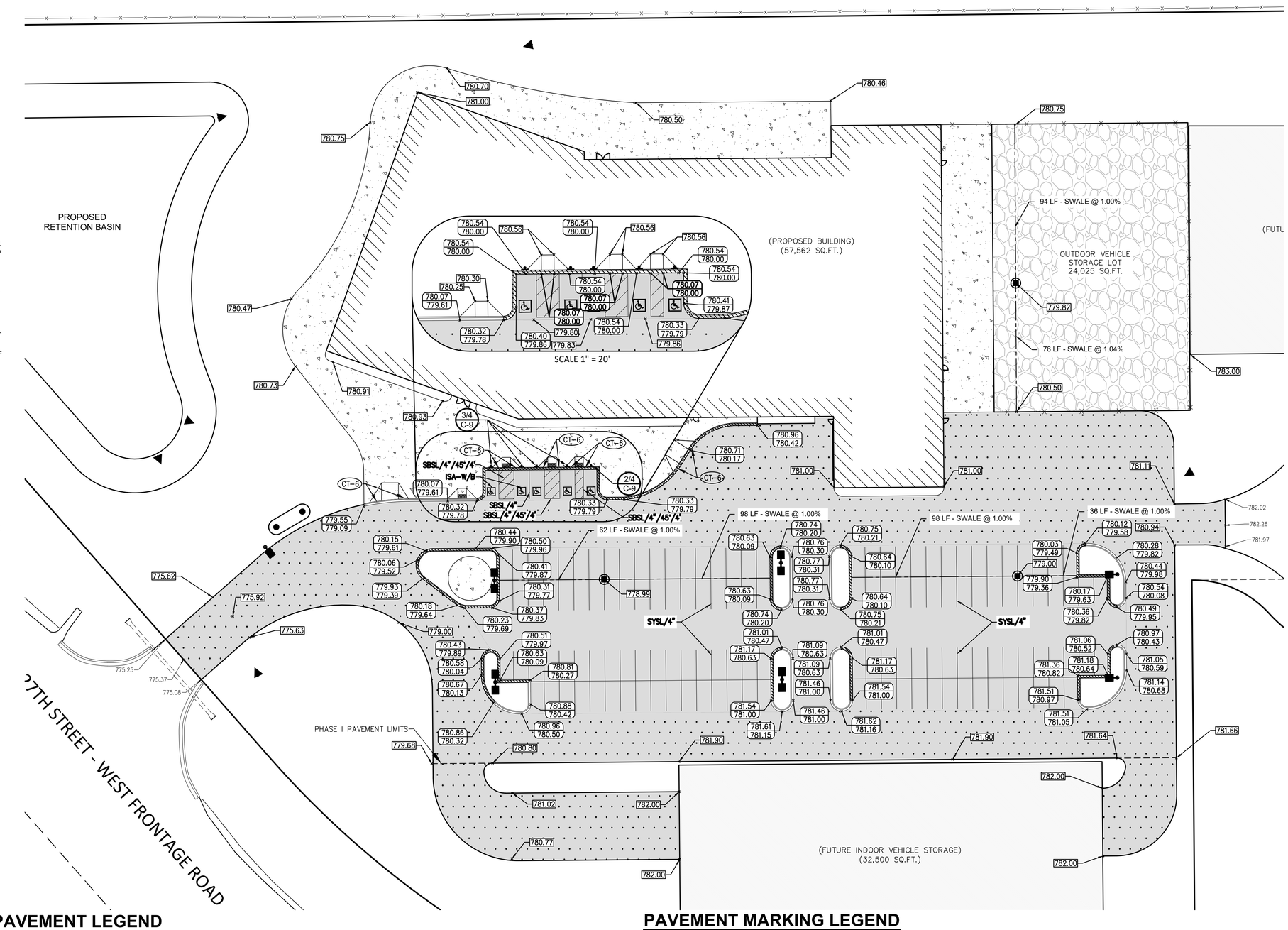
ALL CONCRETE CURB AND GUTTER SHALL BE 18" CONFORMING TO THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SECTION 601 OF THE "STATE SPECIFICATIONS". CURB & GUTTER SHALL BE "REVERSE PAN CURB" OR "STANDARD CURB" AS INDICATED BY THE LEGEND BELOW AND INSTALLED IN A MANNER TO SHED ALL STORM WATER RUNOFF TOWARDS THE DRAINAGE STRUCTURES.

CONTRACTION JOINTS SHALL BE AT TEN-FOOT (10') INTERVALS FOR CURB AND GUTTER AND FIVE-FOOT (5') INTERVALS FOR FIVE-FOOT (5') WIDE SIDEWALK. FINAL JOINTING PLAN FOR CONCRETE PAVEMENT TO BE PREPARED BY THE CONTRACTOR.

EXPANSION JOINTS SHALL BE PLACED AS OUTLINED IN SUBSECTION 601.3.6 OF THE "STATE SPECIFICATIONS". FILLER MATERIAL FOR EXPANSION JOINTS SHALL BE 1/2" FIBER MATERIAL.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLES, VALVE BOXES, ETC.) TO MATCH THE FINISHED GRADES OF THE AREA AFFECTED BY THE CONSTRUCTION.

PARKING LOT STRIPING, STOP BARS AND HANDICAPPED ACCESSIBLE SYMBOLS SHALL BE INSTALLED WITH WISCONSIN DOT APPROVED TRAFFIC PAINT IN ACCORDANCE WITH SECTION 646 OF THE "STATE SPECIFICATIONS". ALL PARKING STALL STRIPING SHALL BE FOUR INCHES (4") IN WIDTH AND SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER. SEE THE TYPICAL SECTIONS AND CONSTRUCTION DETAILS SHEET(S) OF THE PLAN SET FOR ADDITIONAL INFORMATION REGARDING PAVEMENT MARKINGS.



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UTILITY NOTE

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60' 30' 0' 30' 60'
SCALE 1" = 30'

PAVEMENT LEGEND

- 5/C-8 — 18" VERTICAL FACE, ACCEPTING PAN CURB & GUTTER
- 6/C-8 — 18" VERTICAL FACEREVERSE PAN CURB & GUTTER
- 7/C-8 — MEDIUM-DUTY (3 3/4") ASPHALT PAVEMENT
- 8/C-8 — HEAVY-DUTY (4 1/2") ASPHALT PAVEMENT
- 9/C-8 — HEAVY-DUTY (16") AGGREGATE BASE
- 804.85 — EXISTING SPOT GRADES
- 804.85 — FINISHED PAVEMENT GRADES
- 804.85 / 804.35 — FINISHED TOP OF CURB/SIDEWALK GRADES / FINISHED PAVEMENT FLANGE GRADES
- PAVEMENT SWALE CENTELINE
- 10/C-8 — LIGHT DUTY (5") CONCRETE PAVEMENT
- 7/C-9 — CT-6 — CURB HEAD TAPER

PAVEMENT MARKING LEGEND

SYSL/4" – SINGLE YELLOW SOLID LINE / 4" WIDE EACH

SBSL/4" – SINGLE BLUE SOLID LINE / 4" WIDE EACH .

SBSL/4"/45°/4' – SINGLE BLUE SOLID LINE / 4" WIDE EACH, 45°, 4' O.C.

5/C-9 ISA-W/B – INTERNATIONAL SYMBOL FOR ACCESSIBILITY – WHITE ON BLUE BACKGROUND

SIGN / POST LEGEND

2/4/C-9 = SIGN (DETAIL 2) MOUNTED ON POST (DETAIL 4) AS SHOWN ON SHEET C-9

Friday, December 20, 2024 10:06:13 AM

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MILWAUKEE POWERSPORTS
PAVEMENT GRADING, MARKING & SIGNAGE PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

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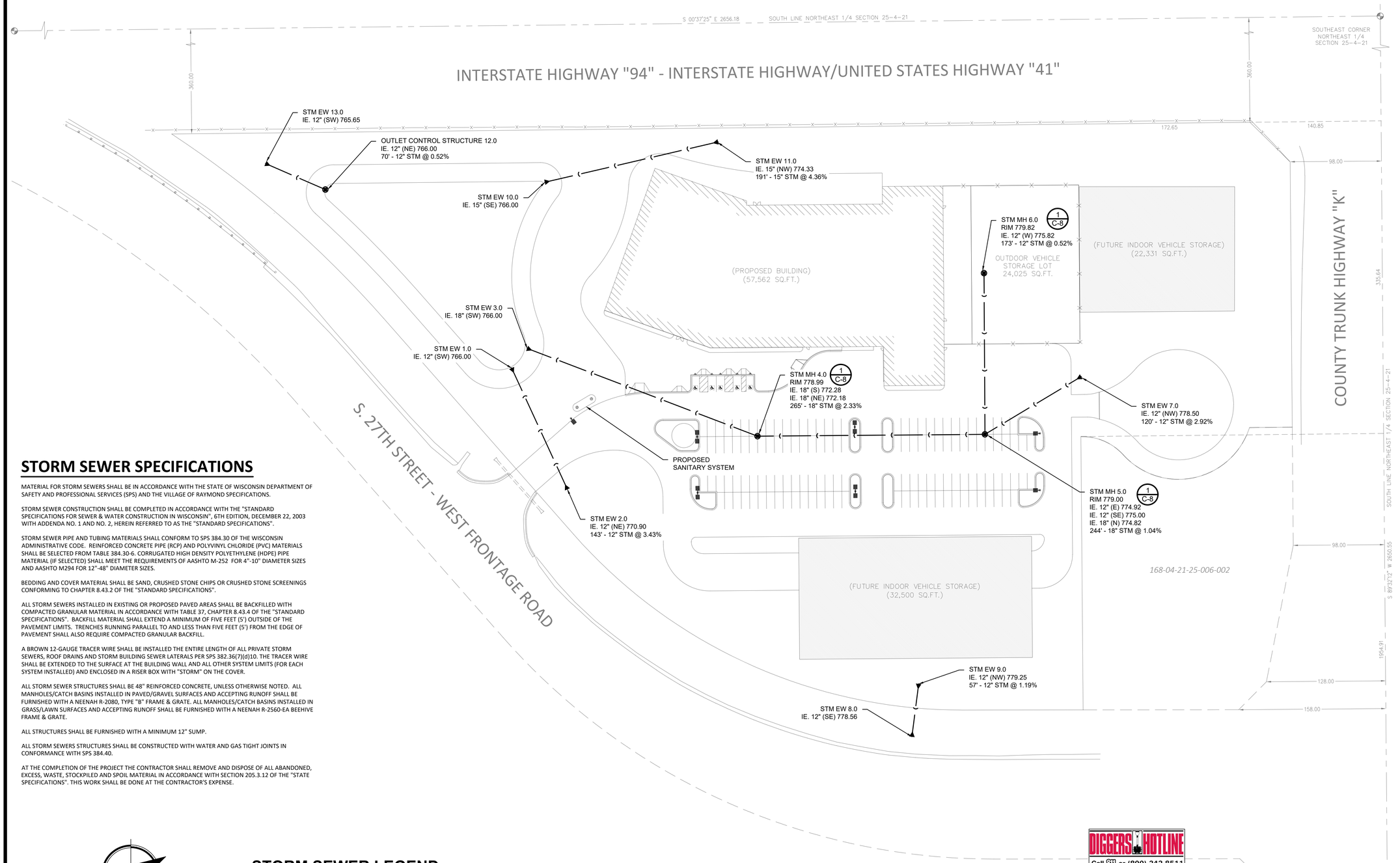
SHEET C-5

ISSUE FOR REVIEW (12-20-2024)



STORM SEWER SPECIFICATIONS

MATERIAL FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (SPS) AND THE VILLAGE OF RAYMOND SPECIFICATIONS.

STORM SEWER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN", 6TH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS THE "STANDARD SPECIFICATIONS".

STORM SEWER PIPE AND TUBING MATERIALS SHALL CONFORM TO SPS 384.30 OF THE WISCONSIN ADMINISTRATIVE CODE. REINFORCED CONCRETE PIPE (RCP) AND POLYVINYL CHLORIDE (PVC) MATERIALS SHALL BE SELECTED FROM TABLE 384.30-6. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE MATERIAL (IF SELECTED) SHALL MEET THE REQUIREMENTS OF AASHTO M-252 FOR 4"-10" DIAMETER SIZES AND AASHTO M294 FOR 12"-48" DIAMETER SIZES.

BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

ALL STORM SEWERS INSTALLED IN EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

A BROWN 12-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE STORM SEWERS, ROOF DRAINS AND STORM BUILDING SEWER LATERALS PER SPS 382.36(7)(d)10. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "STORM" ON THE COVER.

ALL STORM SEWER STRUCTURES SHALL BE 48" REINFORCED CONCRETE, UNLESS OTHERWISE NOTED. ALL MANHOLES/CATCH BASINS INSTALLED IN PAVED/GRAVEL SURFACES AND ACCEPTING RUNOFF SHALL BE FURNISHED WITH A NEENAH R-2080, TYPE "B" FRAME & GRATE. ALL MANHOLES/CATCH BASINS INSTALLED IN GRASS/LAWN SURFACES AND ACCEPTING RUNOFF SHALL BE FURNISHED WITH A NEENAH R-2560-EA BEEHIVE FRAME & GRATE.

ALL STRUCTURES SHALL BE FURNISHED WITH A MINIMUM 12" SUMP.

ALL STORM SEWERS STRUCTURES SHALL BE CONSTRUCTED WITH WATER AND GAS TIGHT JOINTS IN CONFORMANCE WITH SPS 384.40.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

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100' 50' 0' 50' 100'

SCALE 1" = 50'

STORM SEWER LEGEND

—— (—— PROPOSED STORM SEWER

UTILITY CONSTRUCTION NOTES

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION TO HAVE THE ADJACENT UNDERGROUND PUBLIC UTILITIES LOCATED. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

THE EXACT LOCATION OF THE SANITARY SEWER LATERAL, DOMESTIC WATER LINE, FIRE PROTECTION LEAD, NATURAL GAS SERVICE, ELECTRIC, PHONE AND CABLE LINES (AS THEY ENTER THE BUILDING) SHALL BE PER THE ARCHITECTURAL OR MECHANICAL DRAWINGS.

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ISSUE FOR REVIEW (12-20-2024)

Friday, December 20, 2024 11:24:28 AM

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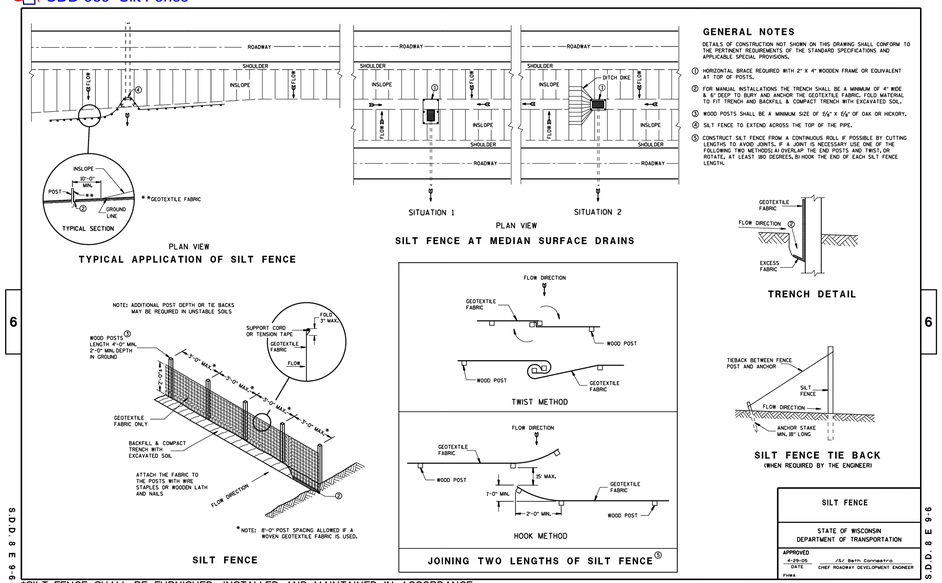


GENERAL NOTES

DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

① HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.

② FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.

③ WOOD POSTS SHALL BE A MINIMUM SIZE OF 1½" X 1½" OF OAK OR HICKORY.

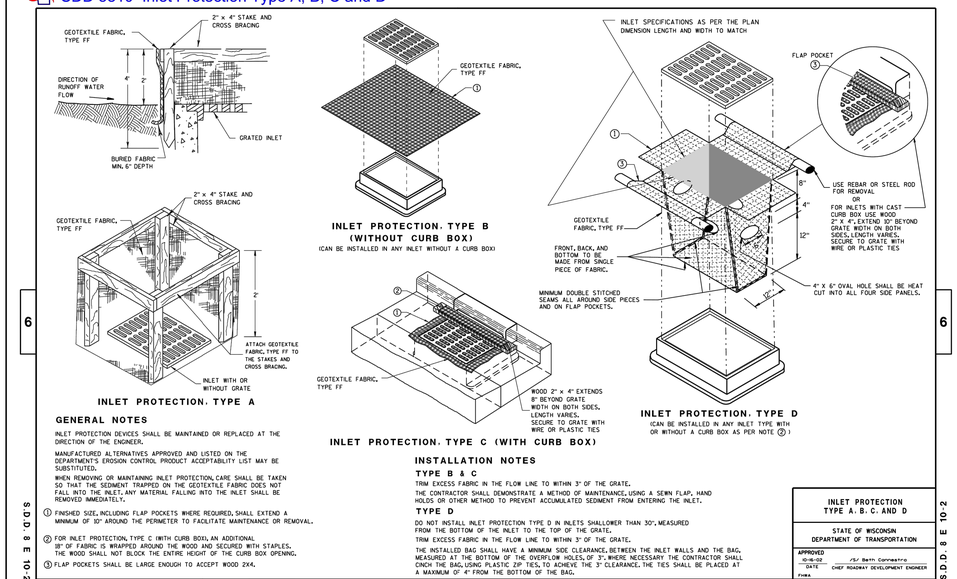
④ SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.

⑤ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

*SILT FENCE SHALL BE FURNISHED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD 1056.

1	SILT FENCE DETAIL	N.T.S.

SDD 8e10 Inlet Protection Type A, B, C and D



GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

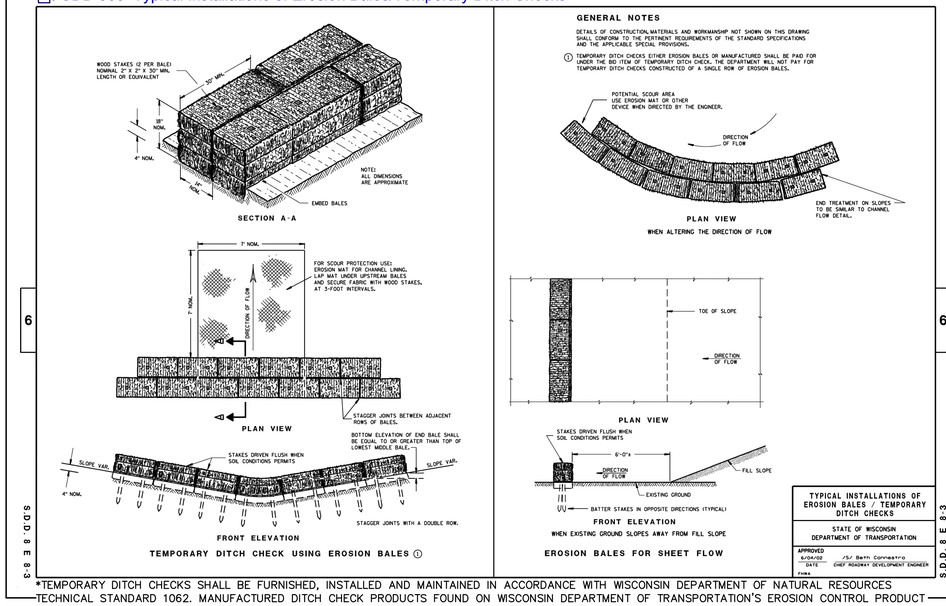
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

*INLET PROTECTION SHALL BE FURNISHED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD 1060.

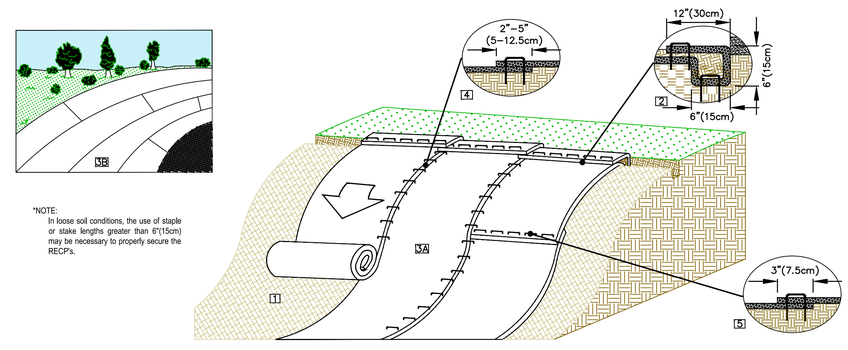
2	INLET PROTECTION DETAIL	N.T.S.

SDD 8e8 Typical Installations of Erosion Bales/Temporary Ditch Checks



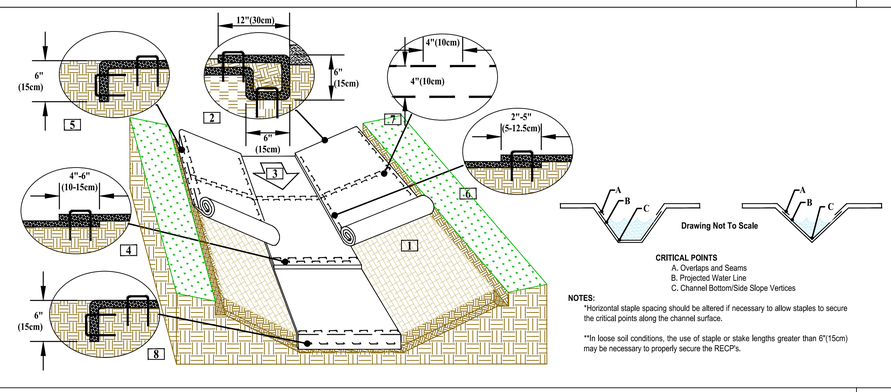
*TEMPORARY DITCH CHECKS SHALL BE FURNISHED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD 1062. MANUFACTURED DITCH CHECK PRODUCTS FOUND ON WISCONSIN DEPARTMENT OF TRANSPORTATION'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) MAY BE USED.

3	EROSION BALE & TEMPORARY DITCH CHECK DETAIL	N.T.S.



*NOTE:
In loose soil conditions, the use of staple or stake lengths greater than 6"(15cm) may be necessary to properly secure the RECP's.

4	SLOPE INSTALLATION OF EROSION MAT DETAIL	N.T.S.



5	SWALE INSTALLATION OF EROSION MAT DETAIL	N.T.S.

Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbsc.net

MILWAUKEE POWERSPORTS
TYPICAL SECTIONS & CONSTRUCTION DETAILS
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR:	MDE
DRAFTED:	IPL
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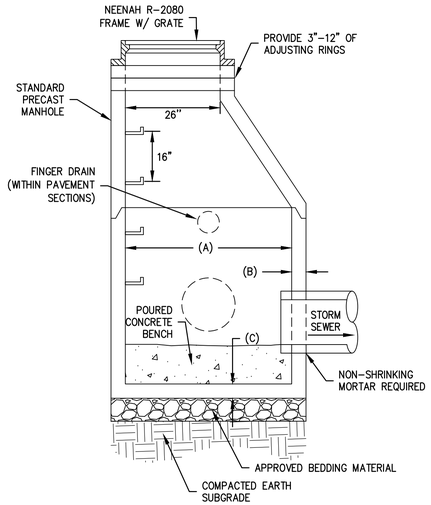
CHECKED:	MDE
DATE:	12-20-2024

2023.0160.01

SHEET
C-7

ISSUE FOR REVIEW (12-20-2024)

Friday, December 20, 2024 10:06:24 AM

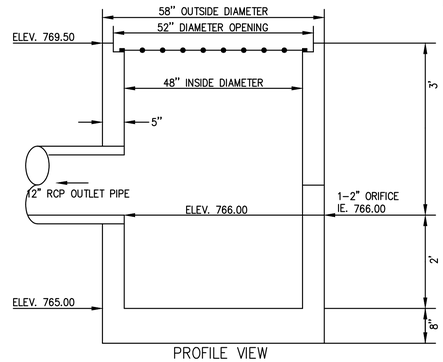


STRUCTURE DIAMETER (A)*	MINIMUM WALL THICKNESS (B)**	MINIMUM BASE AND TOP THICKNESS (C)**
4'	5"	6"
5'	6"	8"
6'	7"	8"
7'	8"	8"
8'≥	9"	8"

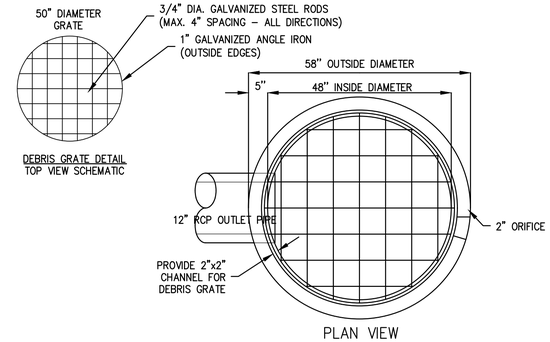
*STRUCTURE DIAMETER SHALL BE STANDARD 48" UNLESS OTHERWISE NOTED ON PLAN

**MINIMUM THICKNESS SHALL NOT BE LESS THAN THAT REQUIRED TO MEET AASHTO H-20 LOADINGS

1 STANDARD STORM SEWER MANHOLE DETAIL N.T.S.



NOTE:
DEBRIS GRATE TO BE SECURED WITH STAINLESS STEEL HARDWARE TO STRUCTURE IN FOUR (4) LOCATIONS

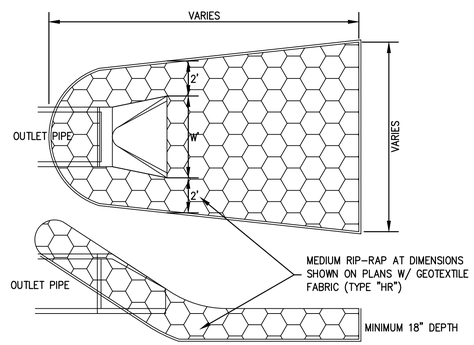


2 OUTLET CONTROL STRUCTURE DETAIL N.T.S.

INSTALLATION NOTES FOR CURB AND GUTTER DETAILS

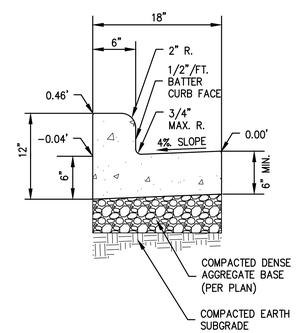
1. CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED DENSE AGGREGATE BASE COURSE EXTENDING A MINIMUM OF 12 INCHES BEHIND THE BACK OF CURB.
2. CURB PAN SHALL BE A MINIMUM OF SIX INCHES (6") THICK, EXPECT AT DRIVEWAY LOCATIONS WHERE IT SHALL BE A MINIMUM OF EIGHT INCHES (8") THICK.
3. INSTALL TWO (2) NO. 4, 18-INCH LONG EPOXY COATED TIE BARS ANCHORED WITH AN EPOXY, EVENLY SPACED, DRIVEN NINE INCHES (9") INTO TO EXISTING OR PREVIOUSLY INSTALLED CURB AND GUTTER.
4. WHEN PLACED ADJACENT TO NEW CONCRETE, INSTALL NO. 4 18-INCH LONG EPOXY COATED TIE BARS, 36" ON CENTER PLACED A MINIMUM OF THREE AND ONE HALF INCHES ($3\frac{1}{2}$") BELOW THE TOP OF THE CURB PAN.
5. LATERAL CONTRACTION JOINTS TO BE PLACED AT AN INTERVAL OF 10 FEET TO A MINIMUM DEPTH OF TWO INCHES (2").
6. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT POINTS OF CURVATURE, ANGLE POINTS, THREE FEET (3') FROM EACH SIDE OF EVERY INLET AND EVERY 300 FEET ALONG TANGENT SECTIONS OR AS DIRECTED BY THE ENGINEER. EXPANSION JOINT FILLER MATERIAL SHALL MEET WISDOT SPECIFICATIONS HAVING THE SAME DIMENSIONS AS THE CURB & GUTTER WITH A 3/4" THICKNESS.
7. APPLY CONCRETE CURING COMPOUND PER WISDOT SPECIFICATIONS.

3 CONCRETE CURB AND GUTTER DETAIL NOTES N.T.S.

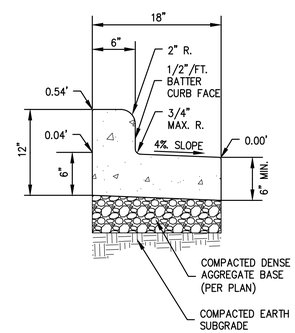


NOTES:
FINAL SIZE AND SHAPE OF RIP RAP TO MATCH DIMENSIONS SHOWN ON THE SHEET C-4

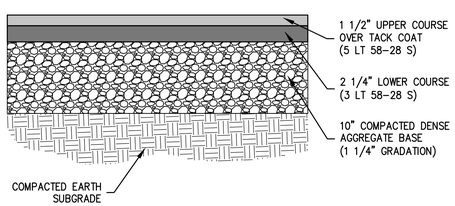
4 RIP RAP DETAIL N.T.S.



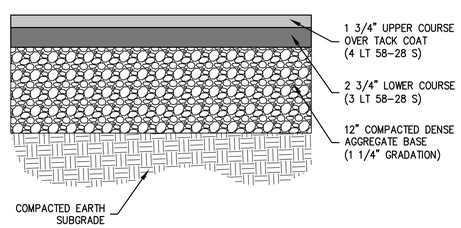
5 18" VERTICAL FACE CONCRETE CURB AND GUTTER DETAIL N.T.S.



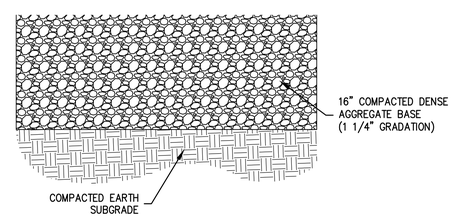
6 18" VERTICAL FACE REVERSE PAN CONCRETE CURB AND GUTTER DETAIL N.T.S.



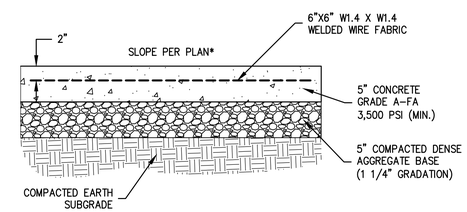
7 MEDIUM-DUTY ASPHALT PAVEMENT (3 3/4") (TYPICAL SECTION) N.T.S.



8 HEAVY-DUTY ASPHALT PAVEMENT (4 1/2") (TYPICAL SECTION) N.T.S.



9 HEAVY-DUTY AGGREGATE BASE (16") (TYPICAL SECTION) N.T.S.



* SIDEWALKS: 1.5% CROSS-SLOPE (TYP.) 2.08% CROSS-SLOPE (MAX.)
PATIOS, PLAZAS, AND LANDINGS: 2.08% SLOPE IN ANY DIRECTION (MAX.)
ALL OTHER PAVEMENTS: SLOPE PER PLAN

10 LIGHT-DUTY CONCRETE PAVEMENT (5") (TYPICAL SECTION) N.T.S.

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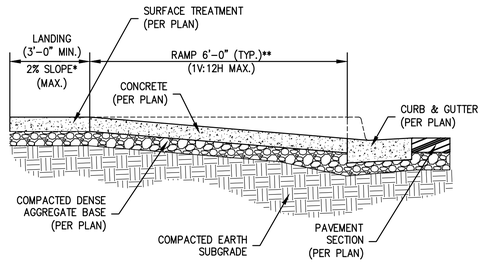
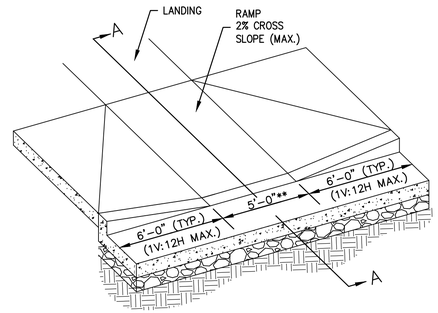
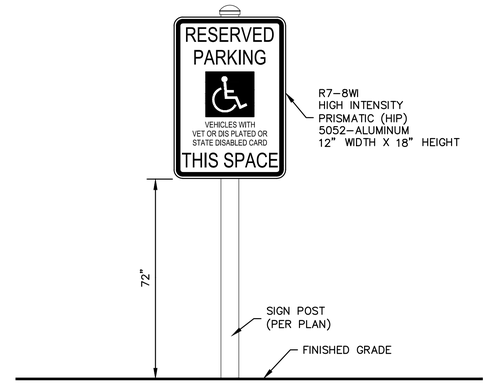


SECTION A–A

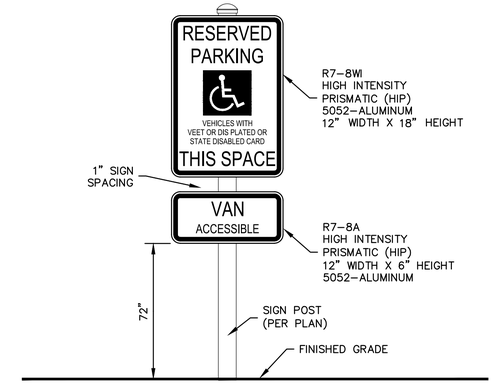
* IN ALL DIRECTIONS
** SEE PLAN FOR EXACT DIMENSIONS



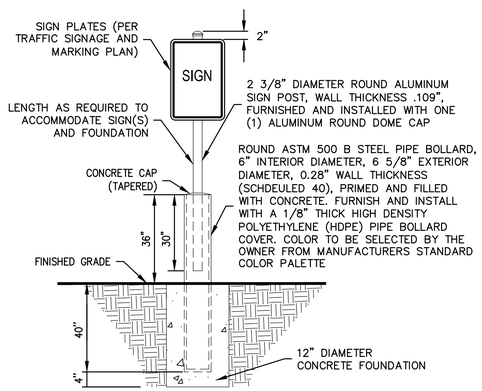
1 CONCRETE CURB AND GUTTER (72" TAPER) ACCESSIBLE RAMP DETAIL — N.T.S.



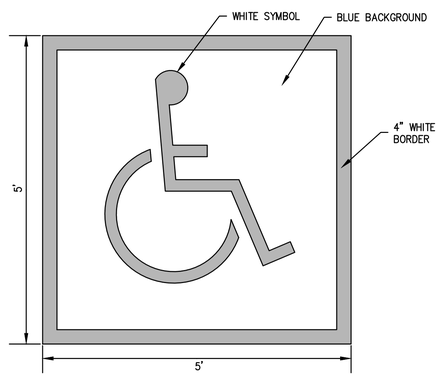
2 ADA "RESERVED PARKING" SIGN DETAIL — N.T.S.



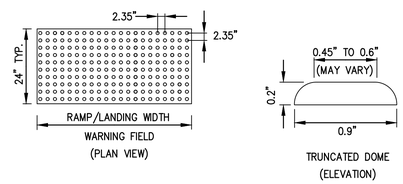
3 ADA "RESERVED PARKING VAN ACCESSIBLE" SIGN DETAIL — N.T.S.



4 ALUMINUM ROUND SIGN POST W/ 6" STEEL PIPE BOLLARD DETAIL — N.T.S.



5 PAINTED INTERNATIONAL SYMBOL FOR ACCESSIBILITY DETAIL — N.T.S.

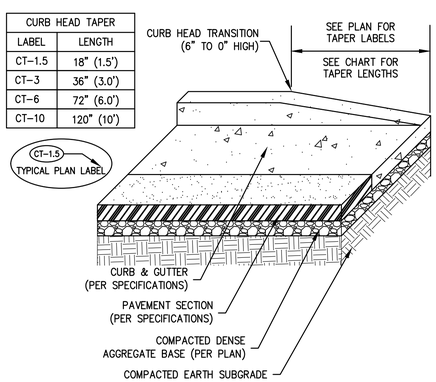


NOTES:

1. THIS WORK WILL CONSIST OF FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR NECESSARY FOR THE PLACEMENT OF DETECTABLE WARNING DEVICES, COMPLETE AND READY FOR SERVICE AT ALL NEW SIDEWALK CURB RAMPS OR WHERE SHOWN ON THE PLAN.
2. DETECTABLE WARNING FIELDS SHALL COMPLY WITH "THE DETECTABLE WARNINGS ON WALKING SURFACES" SECTION OF THE AMERICANS WITH DISABILITIES ACT (TITLE 49 CFR TRANSPORTATION, PART 37.9 STANDARDS FOR ACCESSIBLE TRANSPORTATION FACILITIES, APPENDIX A, SECTION 4.29.2 DETECTABLE WARNINGS ON WALKING SURFACES).
3. DETECTABLE WARNING FIELDS SHALL EXTEND 24 INCHES (610 MM) MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP FLUSH SURFACE.
   A. THE DETECTABLE WARNING FIELD SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB OR EDGE OF PAVEMENT IS 6 INCHES (150 MM) MINIMUM AND 8 INCHES (205 MM) MAXIMUM FROM THE FACE OF THE CURB OR EDGE OF PAVEMENT.
   B. TRUNCATED DOMES SHALL BE ALIGNED ON A SQUARED GRID, ALIGNED IN ROWS PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. DOMES MUST NOT BE SKEWED DIAGONALLY TO THE DIRECT OF TRAVEL.
4. AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED IN THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
   A. CAST IN PLACE REPLACEABLE TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ADA SOLUTIONS, INC., CHELMSFORD, MA OR PRE–APPROVED EQUAL.
   i. COLOR OF THE DETECTABLE WARNING FIELD SHALL BE SELECTED BY THE OWNER.
5. SPECIFICATIONS FOR CONCRETE SEALANT AND OTHER RELATED MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE GUIDELINES SET BY THEIR RESPECTIVE MANUFACTURERS.

6 DETECTABLE WARNING FIELD DETAIL — N.T.S.

CURB HEAD TAPER	
LABEL	LENGTH
CT–1.5	18" (1.5')
CT–3	36" (3.0')
CT–6	72" (6.0')
CT–10	120" (10')



7 CURB HEAD TAPER DETAIL — N.T.S.

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VILLAGE OF RAYMOND, COUNTY OF RACINE, STATE OF WISCONSIN

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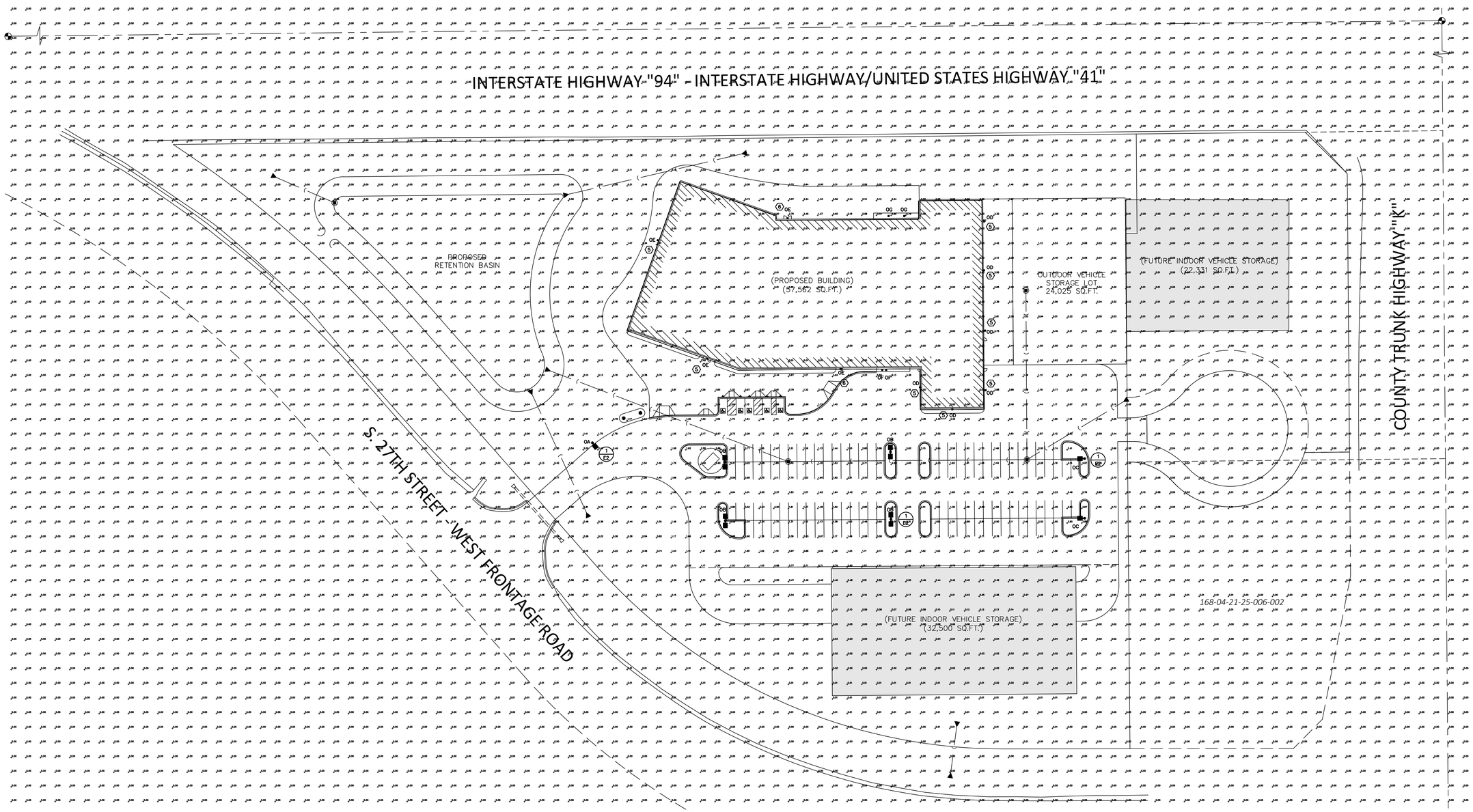


SHEET NOTES

1. GENERAL NOTE: FOOT CANDLES SHOWN WITH 1.00 LIGHT LUMEN DEPRECIATION FACTOR.
2. GENERAL NOTE: LIGHT COLOR TEMPERATURE IS 4000K.
3. GENERAL NOTE: EXTERIOR LIGHTING SHALL BE CONTROLLED BY PHOTOCELL, TIME CLOCK AND CONTACTORS. AN ASTRONOMICAL TIME CLOCK AND LIGHTING CONTACTORS OR A LIGHTING CONTROL PANEL WITH ASTRONOMICAL TIME CLOCK FUNCTION WITH PHOTOCELL INPUT. ANY TIME CLOCKS AND LIGHTING CONTROL PANELS SHALL HAVE TEN HOUR MINIMUM BATTERY BACK UP OR EQUAL. CONTROLS SHALL BE DESIGNED TO MEET STATE AND IECC ENERGY CODES. EXTERIOR LIGHTING TO BE CONTROLLED PER INTERNATIONAL ENERGY CONSERVATION CODE (IEDC) 2015 AND WISCONSIN SPS 363 ENERGY CONSERVATION CODE. PARKING LOT LIGHTING SHALL BE REDUCED BY NOT LESS THAN 30% FROM ONE HOUR AFTER CLOSING TO ONE HOUR BEFORE OPENING. VERIFY LIGHTING CONTROL OPERATION WITH OWNER.
4. GENERAL NOTE: VERIFY BUILDING VOLTAGES FOR LIGHTING CIRCUITS.
5. CENTER LIGHT APPROXIMATELY 18' 9" AFG.
6. CENTER LIGHT APPROXIMATELY 14' 9" AFG.

1 SITE PHOTOMETRICS
1" = 50'
0 50'

N E S W

WISCONSIN DAVID HANSON E-27325 KENOSHA WI 12/20/24 PROFESSIONAL ENGINEER

SHEET INDEX

E1 SITE LIGHTING PLAN
E2 LIGHT FIXTURE SCHEDULE, DETAILS, ENERGY CALCULATIONS
E3 LIGHT FIXTURE CUT SHEETS
E4 LIGHT FIXTURE CUT SHEETS
E5 LIGHT FIXTURE CUT SHEETS

REV	DATE	DESCRIPTION	BY
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

REVISIONS

DAVID L. HANSON AND ASSOCIATES, INC.
3940 – 85 STREET
KENOSHA, WI 53142
(262) 654-2010

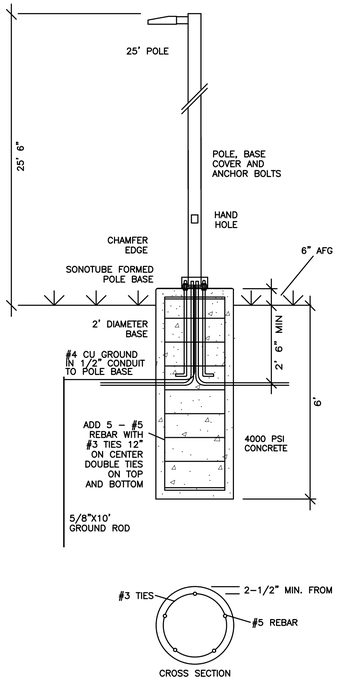
DATE: 12/20/24

BY: DLH

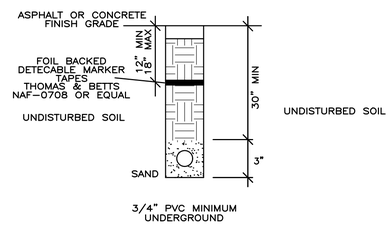
PROJECT

MILWAUKEE POWERSPORTS
SITE LIGHTING PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, RACINE COUNTY, STATE OF WISCONSIN

SHEET E1 OF 5



1 TYPICAL 25' LIGHT POLE BASE



2 TYPICAL TRENCHING DETAIL

COMcheck Software Version 4.1.5.5

Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2015 IECC
Project Title: Milwaukee Powersports
Project Type: New Construction
Exterior Lighting Zone 4 (High activity metropolitan commercial district (LZ4))

Construction Site:
South 27th Street and I-94
Raymond, WI

Owner/Agent:
milwaukee Powersports

Designer/Contractor:
David Hanson
Hanson and Associates, Inc.
3940 - 85 Street
Kenosha, WI 53142

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B X C)
Parking/Drive (Parking area)	78095 ft2	0.13	Yes	10152
South Drive/Storage (Driveway)	12535 ft2	0.13	Yes	1630
Main entry	6 ft of door	30	Yes	180
Other door (not main entry)	27 ft of door	20	Yes	540
			Total Tradable Watts (a) =	12502
			Total Allowed Watts =	12502
			Total Allowed Supplemental Watts (b) =	1300

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.
(b) A supplemental allowance equal to 1300 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Proposed Exterior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Parking/Drive (Parking area 78095 ft2): Tradable Wattage				
LED 1: OA: Other:	1	1	125	125
LED 2: OB: Other:	2	4	250	1000
LED 3: OC: Other:	1	2	167	334
LED 4 copy 1: OD: Other:	1	2	94	188
South Drive/Storage (Driveway 12535 ft2): Tradable Wattage				
LED 4: OD: Other:	1	4	94	376
Main entry (6 ft of door width): Tradable Wattage				
LED 6: OE: Other:	1	1	69	69
Other door (not main entry) (27 ft of door width): Tradable Wattage				
LED 6 copy 1: OE: Other:	1	3	69	207
LED 8: OF: Other:	1	2	19	38
LED 9: OG: Other:	1	2	13	26
			Total Tradable Proposed Watts =	2363

Project Title: Milwaukee Powersports
Data filename: C:\Users\12626\Documents\NMB\MILWAUKEE POWER SPORTS\comcheck\Milwaukee Powersports.cck
Report date: 12/20/24
Page 1 of 6

COMCHECK LIGHTING ENERGY CALCULATIONS

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MFG.	CATALOG NO.	VOLTAGE	NO.	LAMP	BALLAST/DRIVER	TOTAL FIXTURE LBS	POLE (MAX. FIXTURE LBS @ 90 MPH)	TOTAL FIXTURE EPA	MAX POLE EPA (90MPH WIND)	LINE AMPS	WATTS	MOUNT	NOTES
OA	PARKING POLE: SINGLE TYPE T3M OPTIC	LITHONIA	DSX1-LED-P4-40K-70CRI-T3M-MVOLT-SPA-DDBXD	–	1	LED, 4,000K, 16,032 LUMENS, 129 LPW	1250mA LED	34 LBS	50 LBS	.69	2	–	125	25' POLE/6" AFG BASE	1,2,3,5
OB	PARKING POLE: DOUBLE TYPE T3M OPTIC	LITHONIA	(2) DSX1-LED-P4-40K-70CRI-T3M-MVOLT-SPA-DDBXD	–	2	LED, 4,000K, 16,032 LUMENS, 129 LPW	1250MA LED	68 LBS	138 LBS	1.38	5.5	–	250	25' POLE/6" AFG BASE	1,2,4,5
OC	PARKING POLE: SINGLE TYPE TFTM OPTIC	LITHONIA	DSX1-LED-P6-40K-70CRI-TFTM-MVOLT-SPA-DDBXD	–	1	LED, 4,000K, 20,989 LUMENS, 127 LPW	1250mA LED	34 LBS	50 LBS	.69	2	–	167	25' POLE/6" AFG BASE	1,2,3,5
OD	WALL MOUNT AREA TYPE TFTM OPTIC	LITHONIA	DSX0-LED-P4-40K-70CRI-TFTM-MVOLT-WBA-HS-DDBXD	–	1	LED, 4,000K, 11,374 LUMENS, 122 LPW	–	–	–	–	–	–	94	SURFACE	1
OE	WALL MOUNT AREA TYPE T3M OPTIC	LITHONIA	DSX0-LED-P3-40K-70CRI-T3M-MVOLT-WBA-HS-DDBXD	–	1	LED, 4,000K, 8,795 LUMENS, 128 LPW	–	–	–	–	–	–	69	SURFACE	1
OF	8" CANLESS WAFER DOWNLIGHT	JUNO	WF8-SWW5-90CRI-COLOR	120	1	LED, 4,000K, 1,690 LUMENS, 89 LPW	–	–	–	–	–	.17	19	RECESSED	6
OG	6" CANLESS WAFER DOWNLIGHT	JUNO	WF6-SWW5-90CRI-COLOR	120	1	LED, 4,000K, 1,000 LUMENS, 76 LPW	–	–	–	–	–	.11	13	RECESSED	6

1. BRONZE.
2. VERIFY VOLTAGE AT BUILDING PANELS TO PROVIDE CIRCUITS TO LIGHTS (120V-277V).
3. 4" SQUARE, .12" THICK, DARK BRONZE, 25' POLE FOR ONE LIGHT AT 90 DEGREES. LITHONIA SSS-25-4C-DM19AS-DDBXD. INCLUDE TEMPLATE AND ANCHOR BOLTS.
4. 4" SQUARE, .179" THICK, DARK BRONZE, 25' POLE FOR TWO LIGHTS AT 90 DEGREES. LITHONIA SSS-25-4G-DM28AS-DDBXD. INCLUDE TEMPLATE AND ANCHOR BOLTS.
5. EPA WITH 3 SECOND GUST PER AASHTO 2013.
6. TRIM RING COLOR (MATTE WHITE, MATTE BLACK, BRUSHED NICKEL, OIL RUBBED BRONZE) TO BE SELECTED BY OWNER. INCLUDE CONSTRUCTION PAN AND EXTENSION CABLES AS REQUIRED.

SHEET INDEX

E1 SITE LIGHTING PLAN
E2 LIGHT FIXTURE SCHEDULE, DETAILS, ENERGY CALCULATIONS
E3 LIGHT FIXTURE CUT SHEETS
E4 LIGHT FIXTURE CUT SHEETS
E5 LIGHT FIXTURE CUT SHEETS

REV	DATE	DESCRIPTION	BY

REVISIONS

DAVID L. HANSON AND ASSOCIATES, INC.
3940 – 85 STREET
KENOSHA, WI 53142
(262) 654-2010

DATE: 12/20/24

BY: DLH

PROJECT
MILWAUKEE POWERSPORTS
SITE LIGHTING PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, RACINE COUNTY, STATE OF WISCONSIN

SHEET E2 OF 5

D-Series Size 1
LED Area Luminaire

Catalog Number | Notes | Type

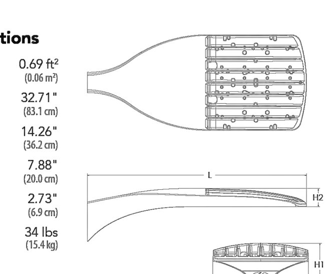
Hit the Tab key or mouse over the page to see all interactive elements.

Introduction
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Specifications

EPA:	0.69 ft² (0.06 m²)
Length:	32.71" (83.1 cm)
Width:	14.26" (36.2 cm)
Height H1:	7.88" (20.0 cm)
Height H2:	2.73" (6.9 cm)
Weight:	34 lbs (15.4 kg)



Design Select options indicated by this color background.

design select — Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

Ordering Information
EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED

Series	LEDs	Color temperature[2]	Color Rendering Index[2]	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1, P2, P3, P4, P5, P6, P7, P8, P9 Rotated optics P10[1], P11[1], P12[1], P13[1]	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI OA, OB 80CRI 80CRI 80CRI 80CRI 80CRI	AFR Automotive front row T1S Type I short T2M Type II medium T3M Type III medium T3LG Type III low glare[3] T4M Type IV medium T4LG Type IV low glare[3] TFTM Forward throw medium OC T5M Type V medium T5LG Type V low glare T5W Type V wide BLC3 Type III backlight control[3] BLC4 Type IV backlight control[3] LCCO Left corner cutoff[3] RCCO Right corner cutoff[3]	MVOLT (120V-277V)[4] HVOLT (347V-480V)[5,6] XVOLT (277V - 480V)[7,8] 120[16,26] 208[16,26] 240[16,26] 277[16,26] 347[16,26] 480[16,26]	Shipped included SPA Square pole mounting (#8 drilling) RPA Round pole mounting (#8 drilling) SPA5 Square pole mounting #5 drilling[9] RPA5 Round pole mounting #5 drilling[9] SPA8N Square narrow pole mounting #8 drilling WBA Wall bracket[10] MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)

Control options		Other options	Finish (required)
Shipped installed NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.[11,12,20,21] PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc[13,20,21] PER NEMA twist-lock receptacle only (controls ordered separately)[14] PER5 Five-pin receptacle only (controls ordered separate)[14,21]	PER7 Seven-pin receptacle only (controls ordered separate)[14,21] FAO Field adjustable output[15,21] BL30 Bi-level switched dimming, 30%[16,21] BL50 Bi-level switched dimming, 50%[16,21] DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)[17] DS Dual switching[18,19,21]	Shipped installed SPD20KV 20KV surge protection HS Houseside shield (black finish standard)[22] L90 Left rotated optics[1] R90 Right rotated optics[1] CCE Coastal Construction[23] HA 50°C ambient operation[24] BAA Buy America(n) Act and/or Build America Buy America Qualified SF Single fuse (120, 277, 347V)[26] DF Double fuse (208, 240, 480V)[26] Shipped separately EGSR External Glare Shield (reversible, field install required, matches housing finish) BSDB Bird Spikes (field install required)	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

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TYPE OA, OB AND OC LIGHTS

Ordering Information

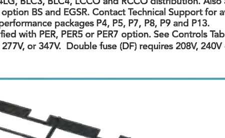
Accessories
Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V)[25]
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V)[25]
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V)[25]
DSHORT SBK	Shorting cap[25]
DSX1HS P#	House-side shield (enter package number 1-13 in place of #)
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXSPA5 (FINISH)	Square pole adapter #5 drilling (specify finish)
DSXRPA5 (FINISH)	Round pole adapter #5 drilling (specify finish)
DSX1EGSR (FINISH)	External glare shield (specify finish)
DSX1BSDB (FINISH)	Bird spike deterrent bracket (specify finish)

NOTES
1. Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
2. 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
3. T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
4. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
5. HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
6. HVOLT not available with package P1 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
7. XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
8. XVOLT not available in packages P1 or P10. XVOLT not available with fusing (SF or DF).
9. SPA5 and RPA5 for use with #5 drilling only (Not for use with #8 drilling).
10. WBA cannot be combined with Type 5 distributions plus photocell (PER).
11. NLTAIR2 and PIRHN must be ordered together. For more information on nLight AIR2 visit this link
12. NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50, DMG and DS. NLTAIR2 PIRHN not available with P1 and P10 using HVOLT. NLTAIR2 PIRHN not available with P1 and P10 using XVOLT.
13. PIR not available with NLTAIR2 PIRHN, PER, PER5, PER7, FAO BL30, BL50, DMG and DS. PIR not available with P1 and P10 using HVOLT. PIR not available with P1 and P10 using XVOLT.
14. PER/PER5/PER7 not available with NLTAIR2 PIRHN, PIR, BL30, BL50, FAO, DMG and DS. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
15. FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, DMG and DS.
16. BL30 and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO, DMG and DS. BL30 or BL50 must specify 120 or 277V.
17. DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50, FAO and DS.
18. DS not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50, FAO and DMG.
19. DS requires (2) separately switched circuits. DS provides 50/50 fixture operation via (2) different sets of leads using (2) drivers. DS only available with packages P8, P9, P10, P11, P12 and P13.
20. Reference Motion Sensor Default Settings table on page 4 to see functionality.
21. Reference Controls Options table on page 4.
22. HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
23. CCE option not available with option BS and EGSR. Contact Technical Support for availability.
24. Option HA not available with performance packages P4, P5, P7, P8, P9 and P13.
25. Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
26. Single fuse (SF) requires 120V, 277V, or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).

Shield Accessories

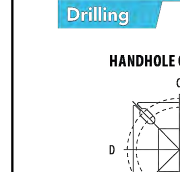
External Glare Shield (EGSR)

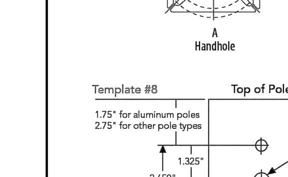


House Side Shield (HS)

Drilling

HANDHOLE ORIENTATION





Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPA5	#5	3"	3"	3"	3"		3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

DSX1 Area Luminaire - EPA
*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX1 with SPA	0.69	1.38	1.23	1.54	---	1.58
DSX1 with SPA5, SPA8N	0.70	1.40	1.30	1.66	---	1.68
DSX1 with RPA, RPA5	0.70	1.40	1.30	1.66	1.60	1.68
DSX1 with MA	0.83	1.66	1.50	2.09	2.09	2.09

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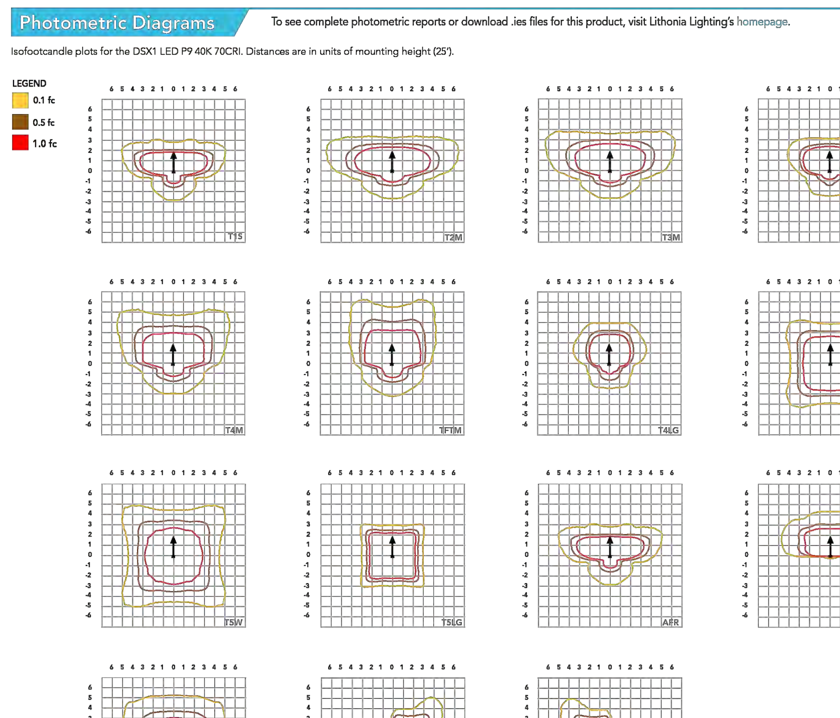
TYPE OA, OB AND OC LIGHTS

Photometric Diagrams
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's homepage.

Isofootcandle plots for the DSX1 LED P9 40K 70CRI. Distances are in units of mounting height (25').



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TYPE OA, OB AND OC LIGHTS

Performance Data

Lumen Ambient Temperature (LAT) Multipliers
Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	50°F	1.02
20°C	68°F	1.01
25°C	**77°C**	**1.00**
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance
Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.95
50,000	0.90
100,000	0.81

FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use maximum published values by package listed on specification sheet (input watts and lumens by optic type).

Electrical Load

	Performance Package	LED Count	Drive Current (mA)	Wattage	120V	208V	240V	277V	347V	480V
					Current (A)					
Forward Optics (Non-Rotated)	P1	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
	P2	30	700	68	0.56	0.33	0.28	0.24	0.20	0.14
	P3	30	1050	104	0.85	0.49	0.43	0.37	0.29	0.21
	P4	30	1250	125	1.03	0.60	0.52	0.45	0.36	0.26
	P5	30	1400	142	1.15	0.66	0.58	0.50	0.40	0.29
	P6	40	1250	167	1.38	0.79	0.69	0.60	0.48	0.34
	P7	40	1400	188	1.54	0.89	0.77	0.67	0.53	0.38
	P8	60	1100	216	1.80	1.04	0.90	0.78	0.62	0.45
	P9	60	1400	279	2.31	1.33	1.15	1.00	0.80	0.58
Rotated Optics (Requires L90 or R90)	P10	60	530	101	0.84	0.49	0.42	0.37	0.29	0.21
	P11	60	700	135	1.12	0.65	0.56	0.49	0.39	0.28
	P12	60	1050	206	1.72	0.99	0.86	0.74	0.59	0.43
	P13	60	1400	279	2.30	1.33	1.15	1.00	0.79	0.57

LED Color Temperature / Color Rendering Multipliers

	70 CRI		80CRI		90CRI	
	Lumen Multiplier	Availability	Lumen Multiplier	Availability	Lumen Multiplier	Availability
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

Motion Sensor Default Settings

Option	Unoccupied Dimmed Level	High Level (when occupied)	Photocell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PER5 or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclypse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V

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TYPE OA, OB AND OC LIGHTS

Performance Data

Lumen Output
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics

Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K (3000K, 70 CRI) Lumens	B	U	G	LPW	40K (4000K, 70 CRI) Lumens	B	U	G	LPW	50K (5000K, 70 CRI) Lumens	B	U	G	LPW
P4 (TYPE OA AND OB)	124W	30	1250	T1S	16,416	2	0	3	132	17,109	2	0	3	138	17,442	2	0	3	141
				T2M	15,207	3	0	4	123	15,849	3	0	4	128	16,158	3	0	4	130
				T3M	15,383	2	0	4	124	16,032	2	0	4	129	16,345	2	0	4	132
				T3LG	13,742	2	0	2	111	14,321	2	0	2	116	14,600	2	0	2	118
				T4M	15,613	2	0	4	126	16,272	2	0	4	131	16,589	2	0	4	134
				T4LG	14,200	2	0	2	115	14,799	2	0	2	119	15,087	2	0	2	122
				TFTM	15,721	2	0	4	127	16,384	2	0	4	132	16,703	2	0	4	135
				T5M	16,063	4	0	2	130	16,741	4	0	2	135	17,067	4	0	2	138
				T5W	16,324	5	0	3	132	17,013	5	0	3	137	17,344	5	0	3	140
				T5LG	16,110	3	0	2	130	16,790	4	0	2	135	17,117	4	0	2	138
				BLC3	11,190	0	0	3	90	11,662	0	0	3	94	11,889	0	0	3	96
				BLC4	11,557	0	0	3	93	12,044	0	0	3	97	12,279	0	0	4	99
				RCCO	11,291	1	0	3	91	11,767	1	0	3	95	11,996	1	0	3	97
				LCCO	11,291	1	0	3	91	11,767	1	0	3	95	11,996	1	0	3	97
				AFR	16,416	2	0	3	132	17,109	2	0	3	138	17,442	2	0	3	141
P5	138W	30	1400	T1S	18,052	2	0	3	131	18,814	2	0	3	136	19,180	2	0	3	139
				T2M	16,723	3	0	4	121	17,428	3	0	4	126	17,768	3	0	4	129
				T3M	16,917	3	0	4	122	17,630	3	0	4	128	17,974	3	0	4	130
				T3LG	15,111	2	0	2	109	15,749	2	0	2	114	16,055	2	0	2	116
				T4M	17,169	3	0	5	124	17,893	3	0	5	130	18,242	3	0	5	132
				T4LG	15,615	2	0	2	113	16,274	2	0	2	118	16,591	2	0	2	120
				TFTM	17,288	2	0	4	125	18,017	2	0	5	130	18,368	3	0	5	133
				T5M	17,664	5	0	3	128	18,410	5	0	3	133	18,768	5	0	3	136
				T5W	17,951	5	0	3	130	18,708	5	0	3	135	19,073	5	0	3	138
				T5LG	17,716	4	0	2	128	18,463	4	0	2	134	18,823	4	0	2	136
				BLC3	12,305	0	0	3	89	12,824	0	0	3	93	13,074	0	0	3	95
				BLC4	12,709	0	0	4	92	13,245	0	0	4	96	13,503	0	0	4	98
				RCCO	12,416	1	0	3	90	12,940	1	0	3	94	13,192	1	0	3	95
				LCCO	12,416	1	0	3	90	12,940	1	0	3	94	13,192	1	0	3	95
				AFR	18,052	2	0	3	131	18,814	2	0	3	136	19,180	2	0	3	139
P6 (TYPE OC)	165W	40	1250	T1S	21,031	2	0	3	127	21,918	2	0	3	133	22,345	2	0	3	135
				T2M	19,482	3	0	4	118	20,303	3	0	4	123	20,699	3	0	4	125
				T3M	19,708	3	0	5	119	20,539	3	0	5	124	20,939	3	0	5	127
				T3LG	17,604	2	0	2	107	18,347	2	0	2	111	18,704	2	0	2	113
				T4M	20,001	3	0	5	121	20,845	3	0	5	126	21,251	3	0	5	129
				T4LG	18,191	2	0	2	110	18,959	2	0	2	115	19,328	2	0	2	117
				TFTM	20,140	3	0	5	122	20,989	3	0	5	127	21,398	3	0	5	129
				T5M	20,579	5	0	3	125	21,447	5	0	3	130	21,865	5	0	3	132
				T5W	20,912	5	0	3	127	21,795	5	0	3	132	22,219	5	0	3	134
				T5LG	20,638	4	0	2	125	21,509	4	0	2	130	21,928	4	0	2	133
				BLC3	14,335	0	0	3	87	14,940	0	0	3	90	15,231	0	0	3	92
				BLC4	14,805	0	0	4	90	15,430	0	0	4	93	15,731	0	0	4	95
				RCCO	14,464	1	0	3	88	15,074	1	0	3	91	15,368	1	0	3	93
				LCCO	14,464	1	0	3	88	15,074	1	0	3	91	15,368	1	0	3	93
				AFR	21,031	2	0	3	127	21,918	2	0	3	133	22,345	2	0	3	135

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TYPE OA, OB AND OC LIGHTS

LITHONIA LIGHTING®

Catalog Number | Notes | Type

Anchor Base Poles

SSS
SQUARE STRAIGHT STEEL

BAA BABA

FEATURES & SPECIFICATIONS
INTENDED USE — These specifications are for USA standards only. Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

CONSTRUCTION —

Pole Shaft: The pole shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, 0.120"), or 50 KSI (7-gauge, 0.179"). Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6".

Pole Top: Options include 4" tenon top, drilled for side mount fixture, tenon with drilling (includes extra handhole) and open top. Side drilled and open top poles include a removable top cap.

Handhole: A reinforced handhole with grounding provision is provided at 18" from the base on side A. Positioning the handhole lower may not be possible and requires engineering review; consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole has a nominal dimension of 2.5" x 5".

Base Cover: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request.

Anchor Base/Bolts: Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153.

HARDWARE — All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

FINISH — Extra durable painted finish is coated with TGIC (Triglycidyl Isocyanurate) Polyester powder that meets 5A and 5B classifications of ASTM D3359. Powder-coat finishes include Dark Bronze, White, Black, and Natural Aluminum colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes.

GOVERNEMENT PROCUREMENT —
BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.
BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act.
Please refer to www.acuitybrands.com/buy-american for additional information.

INSTALLATION — Do not erect poles without having fixtures installed. Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use Lithonia Lighting factory templates. If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage. Lithonia Lighting is not responsible for the foundation design.

WARRANTY — 1-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

TYPE OA, OB AND OC POLES

SSS Square Straight Steel Poles

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative. **Example:** SSS 20 5C DM19 DDBXD

SSS

Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness[1]	Mounting[2]	Options	Finish
SSS	10'-39' (for 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.) (See technical information table for complete ordering information.)	4C 4" 11g (0.120") 4G 4" 7g (0.179") 5C 5" 11g (0.120") 5G 5" 7g (0.179") 6G 6" 7g (0.179") (See technical information table for complete ordering information.)	Tenon mounting PT Open top (includes top cap) T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) T35 4" O.D. (3-1/2" NPS) KAC/KAD/KSE/KSF/KVR/KVF Drill mounting[3] DM19 1 at 90° DM28 2 at 180° DM28 PL 2 at 180° with one side plugged DM29 2 at 90° DM39 3 at 90° DM49 4 at 90° CSX/DSX/RSX/AERIS™/OMERO™/KAX Drill mounting[3] DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM39AS 3 at 90° DM49AS 4 at 90° RAD drill mounting[3] DM19RAD 1 at 90° DM28RAD 2 at 180° DM29RAD 2 at 90° DM39RAD 3 at 90° DM49RAD 4 at 90° ESX Drill mounting[3] DM19ESX 1 at 90° DM28ESX 2 at 180° DM29ESX 2 at 90° DM39ESX 3 at 90° DM49ESX 4 at 90°	Shipped installed VD Vibration damper[4] HAxy Horizontal arm bracket (1 fixture)[5,6] FDLxy Festoon outlet less electrical[5,7] CPL12/xy 1/2" coupling[5] CPL34/xy 3/4" coupling[5] CPL1/xy 1" coupling[5] NPL12/xy 1/2" threaded nipple[5] NPL34/xy 3/4" threaded nipple[5] NPL1/xy 1" threaded nipple[5] EHHxy Extra handhole[5,8] STLHHC Steel handhole cover (standard is plastic, finish is smooth)[9] FBCSTL2PC 2 Piece steel base cover (standard is plastic)[9] IC Interior coating[10] L/AB Less anchor bolts (Include when anchor bolts are not needed) TP Tamper resistant handhole cover fasteners NEC NEC 410.30 compliant gasketed handhole (Not UL Labeled) UL UL listed with label (Includes NEC compliant cover) BAA Buy America(n) Act Compliant[11] VM/original order# Match pole to prior order or project[12]	Super durable paint colors DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DGCXD Charcoal gray DTGXD Tennis green DBRXD Bright red DSBXD Steel blue DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white Other finishes GALV Galvanized finish Architectural colors and special finishes[13] [PAINT] GALV Paint over galvanizing VP30 3 year warranty extension VP53 5 year warranty extension RAL#### Use designated Lithonia Lighting nomenclature in brochure Custom color Nomenclature assigned through Customer Care "Custom Color Process"

NOTES:
1. Wall thickness will be signified with a "C" (11 Gauge) or a "G" (7-Gauge) in nomenclature. "C" - 0.120" \| "G" - 0.179".
2. PT open top poles include top cap. When ordering tenon mounting and drill mounting for the same pole, specify as drilling option/tenon option. The combination includes a required extra handhole. *Example: DM28/T20.*
3. Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility.
4. On 4" and 5" poles, VD cannot be installed if provisions (EHH, FDL, NPL, CPL) are located higher than 2/3 of the pole's total height. *Example: Pole height is 25ft, A provision cannot be placed above 16ft.*
5. Specify location and orientation when ordering option.
For "x": Specify the height above the base of pole in feet or feet and inches; separate feet and inches with a "-". *Example: 5ft = 5 and 20ft 3in = 20-3*
For "y": Specify orientation from handhole (A,B,C,D) Refer to the Handhole Orientation diagram below. *Example: 1/2" coupling at 5'8", orientation C = CPL12/5-8C*
6. Horizontal arm is 18" x 2-3/8" O.D. tenon standard, with radius curve providing 12" rise and 2-3/8" O.D. If ordering two horizontal arm at the same height, specify with HAxyy. *Example: HA20BD.*
7. FDL does not come with GFCI outlet or handhole cover. These must be supplied by contractor or electrician.
8. Combination of tenon-top and drill mount includes extra handhole. EHH includes cover.
9. Plastic hand hole cover and base covers come standard with all poles. Items ship separately. Additional parts can be ordered as replacements.
10. Provides enhanced corrosion resistance. N/A with GALV.
11. Use when mill certifications are required.
12. Must add original order number. Not for replacement parts or post sales issues, contact tech support or post sales teams. VM is used to ensure poles match in appearance exactly from order to order, on a single project site. A common use case would be a multi-phase project with multiple orders. *Example: VM/010-36784*
13. Must be quoted through AQD. Finishes do not require RFA. RAL colors available are shown in "Architectural Colors brochure". Lead times may be extended up to 2 weeks due to paint procurement.

Accessories: *Order as separate catalog number.*

PL DT20	Plugs for ESX drillings
PL DT8	Plugs for DMxxAS drillings
FVD xxFT	Field installed vibration damper (snake style)

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TYPE OA, OB AND OC POLES

SSS Square Straight Steel Poles

TECHNICAL INFORMATION — EPA (ft²) with 1.3 gust

Catalog Number	Nominal Shaft Length (ft.)*	Pole Shaft Size (Base in. x Top in. x ft.)	Wall thick (in)	Gauge	80 MPH	Max. weight	90 MPH	Max. weight	100 MPH	Max. weight	Approximate ship weight (lbs.)
SSS 10 4C	10	4.0 x 10.0	0.120"	11	30.6	765	23.8	595	18.9	473	75
SSS 12 4C	12	4.0 x 12.0	0.120"	11	24.4	610	18.8	470	14.8	370	90
SSS 14 4C	14	4.0 x 14.0	0.120"	11	19.9	498	15.1	378	11.7	293	100
SSS 16 4C	16	4.0 x 16.0	0.120"	11	15.9	398	11.8	295	8.9	223	115
SSS 18 4C	18	4.0 x 18.0	0.120"	11	12.6	315	9.2	230	6.7	168	125
SSS 20 4C	20	4.0 x 20.0	0.120"	11	9.6	240	6.7	167	4.5	150	140
SSS 20 4G	20	4.0 x 20.0	0.179"	7	14	350	11	275	8	200	198
SSS 20 5C	20	5.0 x 20.0	0.120"	11	17.7	443	12.7	343	9.4	235	185
SSS 20 5G	20	5.0 x 20.0	0.179"	7	28.1	703	21.4	535	16.2	405	265
SSS 25 4C	25	4.0 x 25.0	0.120"	11	4.8	150	2.6	100	1	50	170
SSS 25 4G	25	4.0 x 25.0	0.179"	7	10.8	270	7.7	188	5.4	135	245
SSS 25 5C	25	5.0 x 25.0	0.120"	11	9.8	245	6.3	157	3.7	150	225
SSS 25 5G	25	5.0 x 25.0	0.179"	7	18.5	463	13.3	333	9.5	238	360
SSS 30 4G	30	4.0 x 30.0	0.179"	7	6.7	168	4.4	110	2.6	65	295
SSS 30 5C	30	5.0 x 30.0	0.120"	11	4.7	150	2	50	--	--	265
SSS 30 5G	30	5.0 x 30.0	0.179"	7	10.7	267	6.7	167	3.9	100	380
SSS 30 6G	30	6.0 x 30.0	0.179"	7	19	475	13.2	330	9	225	520
SSS 35 5G	35	5.0 x 35.0	0.179"	7	5.9	150	2.5	100	--	--	440
SSS 35 6G	35	6.0 x 35.0	0.179"	7	12.4	310	7.6	190	4.2	105	540
SSS 39 6G	39	6.0 x 39.0	0.179"	7	7.2	180	3	75	--	--	605

NOTE: EPA values are based ASCE 7-93 wind map.
* For 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.

TECHNICAL INFORMATION — EPA (ft²) WITH 3-SECOND GUST PER AASHTO 2013

Series	Mounting Height (ft)*	Shaft Base Size	90 MPH	Max. weight	100 MPH	Max. weight	110 MPH	Max. weight	120 MPH	Max. weight	130 MPH	Max. weight	140 MPH	Max. weight	150 MPH	Max. weight	Approximate ship weight (lbs.)
SSS	10	4C	20	500	16	400	13	325	10.5	263	8.5	213	7	175	6	150	75
SSS	12	4C	16	400	13	325	10	250	8	200	6.5	163	5	125	4	100	90
SSS	14	4C	13.5	338	10	250	7.5	188	6	150	4.5	113	3.5	88	2.5	63	100
SSS	16	4C	10.5	263	7.5	188	5.5	138	4	100	3	75	1.5	38	1	25	115
SSS	18	4C	8	200	5.5	138	4	100	2.5	63	1.5	38	0.5	13	-	-	125
SSS	18	4G	13	325	9.5	238	7	175	5	125	3.5	88	2.5	63	1.5	38	185
SSS	18	5C	13	325	9.5	238	6.5	163	4.5	113	3	75	1.5	38	.5	13	170
SSS	20	4C	6	150	4	100	2.5	63	1	25	-	-	-	-	-	-	140
SSS	20	4G	10.5	263	7.5	188	5.5	138	3.5	88	2	50	1	25	-	-	205
SSS	20	5C	10	250	7	175	4.5	113	2.5	63	1	25	-	-	-	-	185
SSS	20	5G	20	500	15	375	11.5	288	8.5	213	6	150	4.5	113	3	75	265
SSS	25	4C	2	50	0.5	13	-	-	-	-	-	-	-	-	-	-	170
SSS	25	4G	5.5	138	3	75	1.5	38	-	-	-	-	-	-	-	-	245
SSS	25	5C	4.5	113	2	50	-	-	-	-	-	-	-	-	-	-	225
SSS	25	5G	12	300	8.5	213	5.5	138	3	75	1.5	38	-	-	-	-	360
SSS	25	6G	19	475	13.5	338	9	225	5.5	138	3	75	1	25	-	-	445
SSS	30	4G	1.5	38	-	-	-	-	-	-	-	-	-	-	-	-	291
SSS	30	5C	-	-	-	-	-	-	-	-	-	-	-	-	-	-	265
SSS	30	5G	6.5	163	3.5	88	1	25	-	-	-	-	-	-	-	-	380
SSS	30	6G	11	275	6	150	2.5	63	-	-	-	-	-	-	-	-	520
SSS	35	5G	2	50	-	-	-	-	-	-	-	-	-	-	-	-	440
SSS	35	6G	4	100	-	-	-	-	-	-	-	-	-	-	-	-	540
SSS	39	6G	-	-	-	-	-	-	-	-	-	-	-	-	-	-	605

NOTE: AASHTO 2013 criteria is the most conservative existing EPA calculation. For poles not showing EPA values under AASHTO 2013, EPA values may exist under commercial criteria (see table above).
*For 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.

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TYPE OA, OB AND OC POLES

SHEET INDEX

E1 SITE LIGHTING PLAN
E2 LIGHT FIXTURE SCHEDULE, DETAILS, ENERGY CALCULATIONS
E3 LIGHT FIXTURE CUT SHEETS
E4 LIGHT FIXTURE CUT SHEETS
E5 LIGHT FIXTURE CUT SHEETS

REV	DATE	DESCRIPTION	BY
1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-

REVISIONS

DAVID L. HANSON AND ASSOCIATES, INC.
3940 – 85 STREET
KENOSHA, WI 53142
(262) 654–2010

DATE: 12/20/24

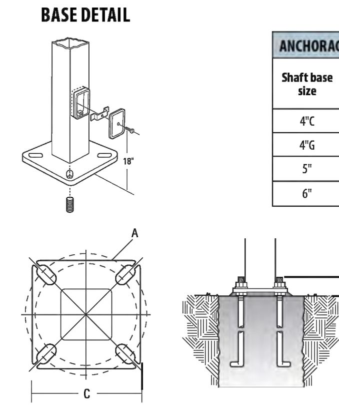
BY: DLH

PROJECT: MILWAUKEE POWERSPORTS SITE LIGHTING PLAN FOR CEDAR CREEK MOTORSPORTS VILLAGE OF RAYMOND, RACINE COUNTY, STATE OF WISCONSIN

SHEET E3 OF 5

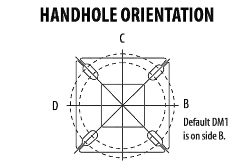
SSS Square Straight Steel Poles

BASE DETAIL



ANCHORAGE AND TEMPLATE INFORMATION								
Shaft base size	Bolt circle A	Bolt projection B	Base square C	Base plate thickness	Template description	Anchor bolt description	Bolt size (in. x in. x in.)	Anchor bolt and template description
4"C	8" – 9"	3.25"- 3.75"	8"- 8.25"	0.75"	ABTEMPLATE PJ50004	AB18-0	3/4 x 18 x 3	ABSSS-4C
4"G	8" – 9"	3.38"- 3.75"	8"- 8.25"	0.875"	ABTEMPLATE PJ50004	AB30-0	3/4 x 30 x 3	ABSSS-4G
5"	10" – 12"	3.5"- 4"	11"	1"	ABTEMPLATE PJ50010	AB36-0	1 x 36 x 4	ABSSS-5
6"	11" – 13"	4"- 4.50"	12.5"	1"	ABTEMPLATE PJ50011	AB36-0	1 x 36 x 4	N/A

HANDHOLE ORIENTATION



IMPORTANT INSTALLATION NOTES:

- **Do not** erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use Lithonia Lighting factory templates.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.
- Bolt circles have +/- 1/2" tolerance.

CAUTION: These specifications are intended for general purposes only. Lithonia Lighting reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products.

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TYPE OA, OB AND OC POLES

D-Series Size 0
LED Area Luminaire

Catalog Number

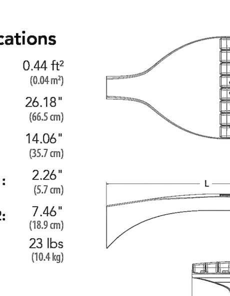
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA:	0.44 ft² (0.04 m²)
Length:	26.18" (66.5 cm)
Width:	14.06" (35.7 cm)
Height H1:	2.26" (5.7 cm)
Height H2:	7.46" (18.9 cm)
Weight:	23 lbs (10.4 kg)



Design Select options indicated by this color background.

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

design select — Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED

Series: DSX0 LED

LEDs: Forward optics: P1, P2, P3, P4, P5, P6, P7. Rotated optics: P10[1], P11[1], P12[1], P13[1]

Color temperature[2]: (this section 70CRI only) 30K 3000K, 40K 4000K, 50K 5000K; (this section 80CRI only, extended lead times apply) 27K 2700K, 30K 3000K, 35K 3500K, 40K 4000K, 50K 5000K

Color Rendering Index[2]: 70CRI, 70CRI, 70CRI; 80CRI, 80CRI, 80CRI, 80CRI, 80CRI

Distribution: AFR Automotive front row; T1S Type I short; T2M Type II medium; T3M Type III medium; T3LG Type III low glare[3]; T4M Type IV medium; T4LG Type IV low glare[3]; TFTM Forward throw medium; T5M Type V medium; T5LG Type V low glare; T5W Type V wide; BLC3 Type III backlight control[3]; BLC4 Type IV backlight control[3]; LCCO Left corner cutoff[3]; RCCO Right corner cutoff[3]

Voltage: MVOLT (120V-277V)[4]; HVOLT (347V-480V)[5,6]; XVOLT (277V-480V)[7,8]; 120[16,24]; 208[16,24]; 240[16,24]; 277[16,24]; 347[16,24]; 480[16,24]

Mounting: Shipped included: SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole); RPA Round pole mounting (#8 drilling, 3" min. RND pole); SPA5 Square pole mounting (#5 drilling, 3" min. SQ pole)[9]; RPA5 Round pole mounting (#5 drilling, 3" min. RND pole)[9]; SPA8N Square narrow pole mounting (#8 drilling, 3" min. SQ pole); WBA Wall bracket[10]; MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)

Control options: Shipped installed: NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.[11,12,18,19]; PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc[13,18,19]; PER NEMA twist-lock receptacle only (controls ordered separate)[14]; PER5 Five-pin receptacle only (controls ordered separate)[14,19]; PER7 Seven-pin receptacle only (controls ordered separate)[14,19]; FAO Field adjustable output[15,19]; BL30 Bi-level switched dimming, 30%[16,19]; BL50 Bi-level switched dimming, 50%[16,19]; DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)[17]

Other options: Shipped installed: HS Houseside shield (black finish standard)[20]; L90 Left rotated optics[1]; R90 Right rotated optics[1]; CCE Coastal Construction[21]; HA 50°C ambient operation[22]; BAA Buy America(n) Act and/or Build America Buy America Qualified; SF Single fuse (120, 277, 347V)[24]; DF Double fuse (208, 240, 480V)[24]. Shipped separately: EGSR External Glare Shield (reversible, field install required, matches housing finish); BSDB Bird Spikes (field install required)

Finish (required): DDBXD Dark Bronze; DBLXD Black; DNAXD Natural Aluminum; DWHXD White; DDBTXD Textured dark bronze; DBLBXD Textured black; DNATXD Textured natural aluminum; DWHGXD Textured white

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TYPE OD, OE

Ordering Information

Accessories — Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V)[23]
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V)[23]
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V)[23]
DSHORT SBK	Shorting cap[23]
DSX0HS P#	House-side shield (enter package number P1-7, P10-13 in place of #)
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXRPA5 (FINISH)	Round pole adapter #5 drilling (specify finish)
DSXSPA5 (FINISH)	Square pole adapter #5 drilling (specify finish)
DSX0EGSR (FINISH)	External glare shield (specify finish)
DSX0BSDB (FINISH)	Bird spike deterrent bracket (specify finish)

NOTES

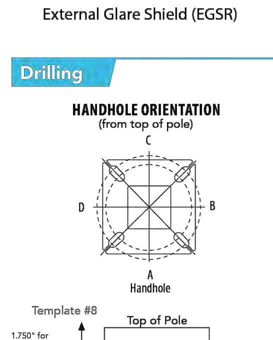
1. Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
2. 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
3. T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
4. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
5. HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
6. HVOLT not available with package P1, P2 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
7. XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
8. XVOLT not available in packages P1, P2 or P10. XVOLT not available with fusing (SF or DF).
9. SPA5 and RPA5 for use with #5 drilling only (Not for use with #8 drilling).
10. WBA cannot be combined with Type 5 distributions plus photocell (PER).
11. NLTAIR2 and PIRHN must be ordered together. For more information on nLight Air 2.
12. NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50 and DMG. NLTAIR2 PIRHN not available with P1, P2 and P10 using HVOLT. NLTAIR2 PIRHN not available with P1, P2 and P10 using XVOLT. NLTAIR2 PIRHN not available with P1 using MVOLT.
13. PIR not available with NLTAIR2, PER, PER5, PER7, FAO BL30, BL50 and DMG. PIR not available with P1, P2 and P10 using HVOLT. PIR not available with P1, P2 and P10 using XVOLT. PIR not available with P1 using MVOLT.
14. PER/PER5/PER7 not available with NLTAIR2, PIR, BL30, BL50. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
15. FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, or DMG.
16. BL30 and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO and DMG. BL30 or BL50 must specify 120 or 277V.
17. DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50 and FAO.
18. Reference Motion Sensor Default Settings table on page 4 to see functionality.
19. Reference Controls Options table on page 4.
20. Option HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
21. CCE option not available with option BS and EGSR. Contact Technical Support for availability.
22. Option HA not available with performance packages P6, P7, P12 and P13.
23. Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
24. Single fuse (SF) requires 120V, 277V, or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).

Shield Accessories

External Glare Shield (EGSR) House Side Shield (HS)

Drilling

HANDHOLE ORIENTATION (from top of pole)



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPA5	#5	3"	3"	3"	3"		3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 with SPA	0.44	0.88	0.96	1.18	---	1.16
DSX0 with SPA5, SPA8N	0.51	1.02	1.06	1.26	---	1.29
DSX0 with RPA, RPA5	0.51	1.02	1.06	1.26	1.24	1.29
DSX0 with MA	0.64	1.28	1.24	1.67	1.70	1.93

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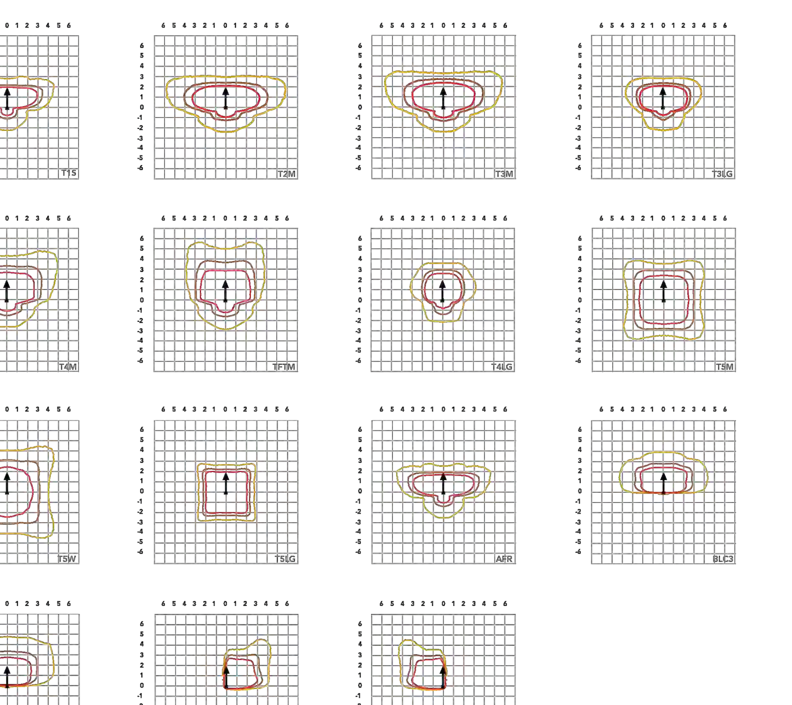
TYPE OD, OE

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's homepage.

Isofootcandle plots for the DSX0 LED P7 40K 70CRI. Distances are in units of mounting height (20').



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TYPE OD, OE

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	50°F	1.02
20°C	68°F	1.01
25°C	**77°F**	**1.00**
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.94
50,000	0.89
100,000	0.80

FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use published values for each package based on input watts and lumens by optic type.

Electrical Load

	Performance Package	LED Count	Drive Current (mA)	Wattage	Current (A) 120V	208V	240V	277V	347V	480V
Forward Optics (Non-Rotated)	P1	20	530	34	0.28	0.16	0.14	0.12	0.10	0.07
	P2	20	700	45	0.38	0.22	0.19	0.16	0.13	0.09
	P3	20	1050	69	0.57	0.33	0.29	0.25	0.20	0.14
	P4	20	1400	94	0.78	0.45	0.39	0.34	0.27	0.19
	P5	40	700	89	0.75	0.43	0.38	0.33	0.26	0.19
	P6	40	1050	136	1.14	0.66	0.57	0.49	0.39	0.29
	P7	40	1300	170	1.42	0.82	0.71	0.62	0.49	0.36
Rotated Optics (Requires L90 or R90)	P10	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
	P11	30	700	67	0.57	0.33	0.28	0.25	0.20	0.14
	P12	30	1050	103	0.86	0.50	0.43	0.37	0.30	0.22
	P13	30	1300	129	1.07	0.62	0.54	0.46	0.37	0.27

LED Color Temperature / Color Rendering Multipliers

	70 CRI Lumen Multiplier	Availability	80CRI Lumen Multiplier	Availability	90CRI Lumen Multiplier	Availability
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

Motion Sensor Default Settings

Option	Unoccupied Dimmed Level	High Level (when occupied)	Photocell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PER5 or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclypse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V

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TYPE OD, OE

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics

Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K (3000K, 70 CRI) Lumens	B	U	G	LPW	40K (4000K, 70 CRI) Lumens	B	U	G	LPW	50K (5000K, 70 CRI) Lumens	B	U	G	LPW
P1	33W	20	530	T1S	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157
				T2M	4,545	1	0	2	137	4,736	1	0	2	143	4,829	1	0	2	145
				T3M	4,597	1	0	2	138	4,791	1	0	2	144	4,885	1	0	2	147
				T3LG	4,107	1	0	1	124	4,280	1	0	1	129	4,363	1	0	1	131
				T4M	4,666	1	0	2	141	4,863	1	0	2	146	4,957	1	0	2	149
				T4LG	4,244	1	0	1	128	4,423	1	0	1	133	4,509	1	0	1	136
				TFTM	4,698	1	0	2	141	4,896	1	0	2	147	4,992	1	0	2	150
				T5M	4,801	3	0	1	145	5,003	3	0	1	151	5,101	3	0	1	154
				T5W	4,878	3	0	1	147	5,084	3	0	2	153	5,183	3	0	2	156
				T5LG	4,814	2	0	1	145	5,018	2	0	1	151	5,115	2	0	1	154
				BLC3	3,344	0	0	1	101	3,485	0	0	1	105	3,553	0	0	1	107
				BLC4	3,454	0	0	2	104	3,599	0	0	2	108	3,670	0	0	2	111
				RCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108
				LCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108
				AFR	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157
P2	45W	20	700	T1S	6,328	1	0	1	140	6,595	1	0	1	146	6,724	1	0	1	149
				T2M	5,862	1	0	2	130	6,109	1	0	2	135	6,228	1	0	2	138
				T3M	5,930	1	0	3	131	6,180	1	0	3	137	6,301	1	0	3	140
				T3LG	5,297	1	0	1	117	5,521	1	0	1	122	5,628	1	0	1	125
				T4M	6,018	1	0	3	133	6,272	1	0	3	139	6,395	1	0	3	142
				T4LG	5,474	1	0	1	121	5,705	1	0	1	126	5,816	1	0	1	129
				TFTM	6,060	1	0	3	134	6,316	1	0	3	140	6,439	1	0	3	143
				T5M	6,192	3	0	1	137	6,453	3	0	2	143	6,579	3	0	2	146
				T5W	6,293	3	0	2	139	6,558	3	0	2	145	6,686	3	0	2	148
				T5LG	6,210	2	0	1	138	6,472	3	0	1	143	6,598	3	0	1	146
				BLC3	4,313	0	0	2	96	4,495	0	0	2	100	4,583	0	0	2	102
				BLC4	4,455	0	0	2	99	4,643	0	0	2	103	4,733	0	0	2	105
				RCCO	4,352	0	0	2	96	4,536	0	0	2	100	4,624	0	0	2	102
				LCCO	4,352	0	0	2	96	4,536	0	0	2	100	4,624	0	0	2	102
				AFR	6,328	1	0	1	140	6,595	1	0	1	146	6,724	1	0	1	149
P3	69W	20	1050	T1S	9,006	1	0	2	131	9,386	1	0	2	136	9,569	1	0	2	139
				T2M	8,343	2	0	3	121	8,694	2	0	3	126	8,864	2	0	3	129
				T3M	8,439	2	0	3	122	8,795	2	0	3	128	8,967	2	0	3	130
				T3LG	7,539	1	0	2	109	7,857	1	0	2	114	8,010	1	0	2	116
				T4M	8,565	2	0	3	124	8,926	2	0	3	129	9,100	2	0	3	132
				T4LG	7,790	1	0	2	113	8,119	1	0	2	118	8,277	1	0	2	120
				TFTM	8,624	1	0	3	125	8,988	1	0	3	130	9,163	2	0	3	133
				T5M	8,812	3	0	2	128	9,184	4	0	2	133	9,363	4	0	2	136
				T5W	8,955	4	0	2	130	9,333	4	0	2	135	9,515	4	0	2	138
				T5LG	8,838	3	0	1	128	9,211	3	0	1	134	9,390	3	0	1	136
				BLC3	6,139	0	0	2	89	6,398	0	0	2	93	6,522	0	0	2	95
				BLC4	6,340	0	0	3	92	6,607	0	0	3	96	6,736	0	0	3	98
				RCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95
				LCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95
				AFR	9,006	1	0	2	131	9,386	1	0	2	136	9,569	1	0	2	139
P4	93W	20	1400	T1S	11,396	1	0	2	122	11,877	1	0	2	128	12,109	2	0	2	130
				T2M	10,557	2	0	3	113	11,003	2	0	3	118	11,217	2	0	3	121
				T3M	10,680	2	0	3	115	11,130	2	0	3	120	11,347	2	0	3	122
				T3LG	9,540	1	0	2	103	9,942	1	0	2	107	10,136	1	0	2	109
				T4M	10,839	2	0	3	117	11,296	2	0	3	121	11,516	2	0	4	124
				T4LG	9,858	1	0	2	106	10,274	1	0	2	110	10,474	1	0	2	113
				TFTM	10,914	2	0	3	117	11,374	2	0	3	122	11,596	2	0	3	125
				T5M	11,152	4	0	2	120	11,622	4	0	2	125	11,849	4	0	2	127
				T5W	11,332	4	0	3	122	11,811	4	0	3	127	12,041	4	0	3	129
				T5LG	11,184	3	0	1	120	11,656	3	0	2	125	11,883	3	0	2	128
				BLC3	7,768	0	0	2	83	8,096	0	0	2	87	8,254	0	0	2	89
				BLC4	8,023	0	0	3	86	8,362	0	0	3	90	8,524	0	0	3	92
				RCCO	7,838	1	0	2	84	8,169	1	0	2	88	8,328	1	0	2	90
				LCCO	7,838	1	0	2	84	8,169	1	0	2	88	8,328	1	0	2	90
				AFR	11,396	1	0	2	122	11,877	1	0	2	128	12,109	2	0	2	130

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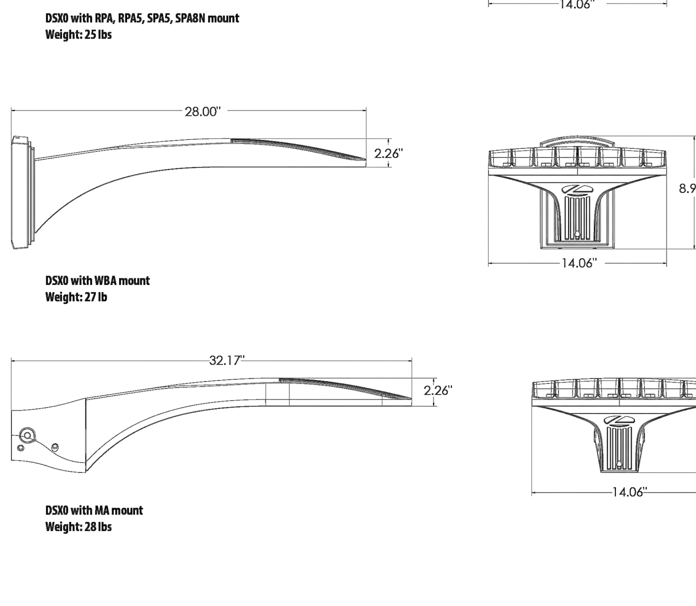
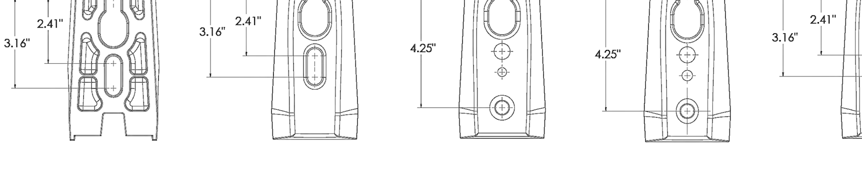
TYPE OD, OE

Dimensions





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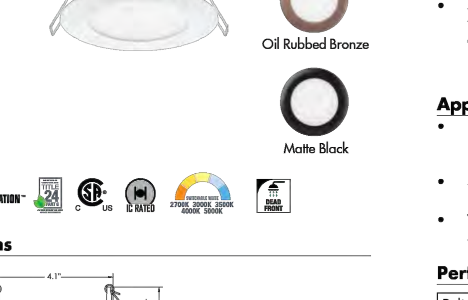
TYPE OD, OE

WF4/WF6/WF8 SWW5

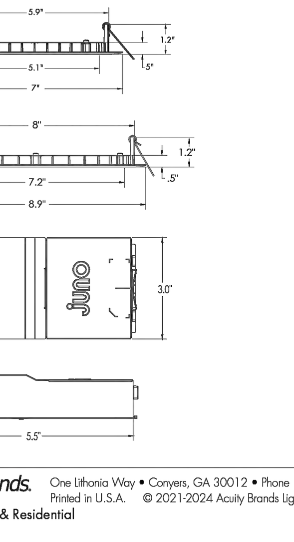
Juno Wafer™ LED Downlight Series
4", 6" & 8" LED Ultra-Thin Wafer Switchable Downlight
5CCT Switchable White Downlight

Project:
Fixture Type:
Location:
Contact/Phone:

WF4/WF6/WF8 SWW5 Series



Dimensions



Product Features

The 4",6"& 8" round smooth with 5CCT Switchable White technology provide high-quality light output and efficiency featuring a switch for easy color temperature adjustment to choose between 2700K, 3000K, 3500K, 4000K, or 5000K - while eliminating the need for recessed housings.

- Round smooth lens trim designed to distribute precise even illumination for general purpose areas
- Canless - no can required; equals easy to install and less labor
- 5 selectable color temperatures to choose with a switch ranging from warm (2700K) to daylight (5000K) allowing customization for endless applications

Applications

- Residential and light commercial applications including multi-family, hospitality, assisted living, dormitories and other multi-level construction
- Shallow slim profile allows for easy remodel or new construction insulated and drop ceiling installations
- Wet rated and airtight: perfect for showers, bathrooms, and outdoor soffits

Performance

Delivered Lumens	670L (WF4), 970L (WF6) and 1640L (WF8) Nominal at 3000K
LED Color Temperature	Switchable White (27K, 30K, 35K, 40K, 50K) Default set at 3000K
CRI	90+
Voltage	Dedicated 120V
Dimming	Dimmable to 10% with triac (120v)

For a list of compatible dimmers see JUNO-WAFERS-DIM

Specifications

	WF4	WF6	WF8
Aperture:	3.3"	5.1"	7.2"
Ceiling Opening:	4.25"	6.25"	8.25"
Overlap Trim:	5"	7"	8.9"
Height:	1.2"	1.2"	1.2"

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TYPE OF, OG

REVISIONS

REV	DATE	DESCRIPTION	BY
1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-

DAVID L. HANSON AND ASSOCIATES, INC.
3940 – 85 STREET
KENOSHA, WI 53142
(262) 654–2010

DATE: 12/20/24

BY: DLH

PROJECT

MILWAUKEE POWERSPORTS
SITE LIGHTING PLAN
FOR
CEDAR CREEK MOTORSPORTS
VILLAGE OF RAYMOND, RACINE COUNTY, STATE OF WISCONSIN

SHEET INDEX

E1 SITE LIGHTING PLAN
E2 LIGHT FIXTURE SCHEDULE, DETAILS, ENERGY CALCULATIONS
E3 LIGHT FIXTURE CUT SHEETS
E4 LIGHT FIXTURE CUT SHEETS
E5 LIGHT FIXTURE CUT SHEETS

SHEET E4 OF 5

WF4/WF6/WF8 SWW5

JUNO

Juno Wafer™ LED Downlight Series

4", 6" & 8" LED Ultra-Thin Wafer Switchable Downlight
5CCT Switchable White Downlight

ORDERING INFORMATION

Downlight

Example: WF4 SWW5 90CRI WW dim

Series		Trim Style		Color Temperature		Rendering Index		Finish	
WF4	4" Wafer-Thin LED Downlight	**(BLANK)**	Round	**SWW5**	Switchable White (2700K, 3000K, 3500K, 4000K, 5000K)	**90CRI**	90+ CRI	**MBW**	Matte White
WF6	6" Wafer-Thin LED Downlight							**MBK**	Matte Black
WF8[1]	8" Wafer-Thin LED Downlight							**BN**	Brushed Nickel
								ORB	Oil Rubbed Bronze

1. WF8 only offered in a Matte White finish.

Accessories: Order as separate catalog number.

Series	
WF8643 PAN	Universal New Construction Pan
WF4 PAN R12	4" New construction pan, small pack of 12
WF4GR MW 12	4" Wafer Grill Ring 4.7" ID x 6.7" OD
WF6 PAN R12	6" New construction pan, small pack of 12
WF6GR MW 12	6" Wafer Grill Ring 6" ID x 8" OD
WF8GR MW 12	8" Wafer Grill Ring 8.1" ID x 10.1 OD
WFJB U	Remodel Joist Bar
WFEXCA SWSPIN FT4	3Pin JB Cable
WFEXC10 SWSPIN FT4	3Pin 10ft Cable
WFEXC20 SWSPIN FT4	3Pin 20ft Cable

*Roof tings are made of 22 gauge steel and painted white.

PERFORMANCE DATA

	WF4 SWW5	WF6 SWW5	WF8 SWW5
Input Voltage	120V	120V	120V
Input Power Typical	9W (+/-5%)	13W (+/-5%)	19W (+/-5%)
Frequency	60 Hz	60Hz	60Hz
EMI/RFI	FCC Title 47, Part 15 Class B (consumer)	FCC Title 47, Part 15 Class B (consumer)	FCC Title 47, Part 15 Class B (consumer)
Minimum Starting Temp	-40°F (-40°C)	-40°F (-40°C)	-40°F (-40°C)

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C.

LIGHTING PERFORMANCE DATA SOUMISSIONS DU RENDEMENT DE L'ÉCLAIRAGE

Light Appearance (CCT) / Aspect de la lumière (CCT)	Lumens / Watts
2700K warm white / blanc chaud	660 lumens / 74 lumens per watt
3000K warm white / blanc chaud	670 lumens / 74 lumens per watt
3500K neutral white / blanc neutre	680 lumens / 76 lumens per watt
4000K cool white / blanc froid	690 lumens / 76 lumens per watt
5000K cool white / blanc froid	690 lumens / 76 lumens per watt
Warm	9
Color Accuracy (CRI) / Précision des couleurs (CRI)	90

LIGHTING PERFORMANCE DATA SOUMISSIONS DU RENDEMENT DE L'ÉCLAIRAGE

Light Appearance (CCT) / Aspect de la lumière (CCT)	Lumens / Watts
2700K warm white / blanc chaud	950 lumens / 73 lumens per watt
3000K warm white / blanc chaud	970 lumens / 74 lumens per watt
3500K neutral white / blanc neutre	990 lumens / 76 lumens per watt
4000K cool white / blanc froid	1000 lumens / 76 lumens per watt
5000K cool white / blanc froid	1000 lumens / 76 lumens per watt
Warm	13
Color Accuracy (CRI) / Précision des couleurs (CRI)	90

LIGHTING PERFORMANCE DATA SOUMISSIONS DU RENDEMENT DE L'ÉCLAIRAGE

Light Appearance (CCT) / Aspect de la lumière (CCT)	Lumens / Watts
2700K warm white / blanc chaud	1670 lumens / 88 lumens per watt
3000K warm white / blanc chaud	1660 lumens / 88 lumens per watt
3500K neutral white / blanc neutre	1690 lumens / 89 lumens per watt
4000K cool white / blanc froid	1670 lumens / 88 lumens per watt
5000K cool white / blanc froid	1660 lumens / 87 lumens per watt
Warm	19
Color Accuracy (CRI) / Précision des couleurs (CRI)	90

TYPE OF, OG

WF4/WF6/WF8 SWW5

JUNO

Juno Wafer™ LED Downlight Series

4", 6" & 8" LED Ultra-Thin Wafer Switchable Downlight
5CCT Switchable White Downlight

Specifications

Housing
Polycarbonate injection molded outer frame, with steel back plate. Non-conductive dead-front trim design suitable for a wide range of applications and codes requiring a non-conductive lens • FT4.3-pin plenum rated cable connector to connect from module to remote driver box • Steel spring clip for easy installation. 4", 6" or 8" cut out template is provided to ensure a correct sized hole is cut into ceiling for proper installation of the trim. Size of hole should not exceed 4-1/4" for the WF4, 6-1/4" for the WF6 and 8-1/4" for the WF8 • Can be installed from 3/8" to 1 ½" ceiling thickness • Can be removed from below the ceiling for service or replacement.

LED Light Engine
Switchable white color temperature from 2700K, 3000K, 3500K, 4000K, 5000K • 90 CRI minimum • Color accuracy within 4 step McAdams Ellipse at the end CCT (2700K and 5000K), within 6 step McAdams Ellipse in the middle CCT (3000K, 3500K, and 4000K) • Dimming 100% to 10% with most standard incandescent dimers (see list of approved dimmers).

Driver
Connect directly to 120V Class-2 (CAN ICES-005 (B) / NMB-005 (B)) LED driver • 120V 60 Hz constant current driver provides noise free operation • IC rated driver with convenience of a switch to choose between 5 selectable color temperature options ranging from 2700K (warm white), 3000K, 3500K, 4000K, or 5000K (daylight) • The isolated driver integrated inside steel remote box with four 7/8" knockouts with slots for pryout. Suitable for pulling wires with the 12 cubic-inch wiring compartment to accommodate up to (6) 14 gauge insulated conductor or (4) 12 gauge insulated conductors, making the Wafer LED Downlights much easier to wire in 2in/2out (plus ground) daisy-chain applications and contractor friendly • 2" plenum space required for the installation of the WF6 and WF8 driver boxes; 3" plenum space required for the installation of the WF4 driver box • Suitable for installation in hgrid and drop ceiling applications with universal new construction pan.

Optical System
Edge-lit LED technology uses light guided plate to distribute light • Polycarbonate lens provides even illumination throughout the space • Efficient system that can produce over 670 lumens while using 9W (WF4), 970 lumens while using 13W (WF6) and 1640 lumens while using 19W (WF8) • Replaces 65W incandescent (WF4), 75W incandescent (WF6) and 100W incandescent (WF8).

Life
Rated for 50,000 hours at 70% lumen maintenance.

Labels
CSA certified to US and Canadian safety standards • ENERGY STAR® certified product • Suitable for wet location, covered ceiling • Air-Loc certified in accordance with ASTM E283-2004 • NOM Certified • Can be used to comply with California Title 24 Part 6 High Efficacy LED light Source Requirements • U.S. Patent No. 10,681,784.

Testing
All reports are based on published industry procedures; field performance may differ from laboratory performance.

Warranty
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note. Actual performance may differ as a result of end-user environment and application.
All values are design or typical values, measured under laboratory conditions at 25 °C.
Specifications subject to change without notice.

TYPE OF, OG

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E3 LIGHT FIXTURE CUT SHEETS
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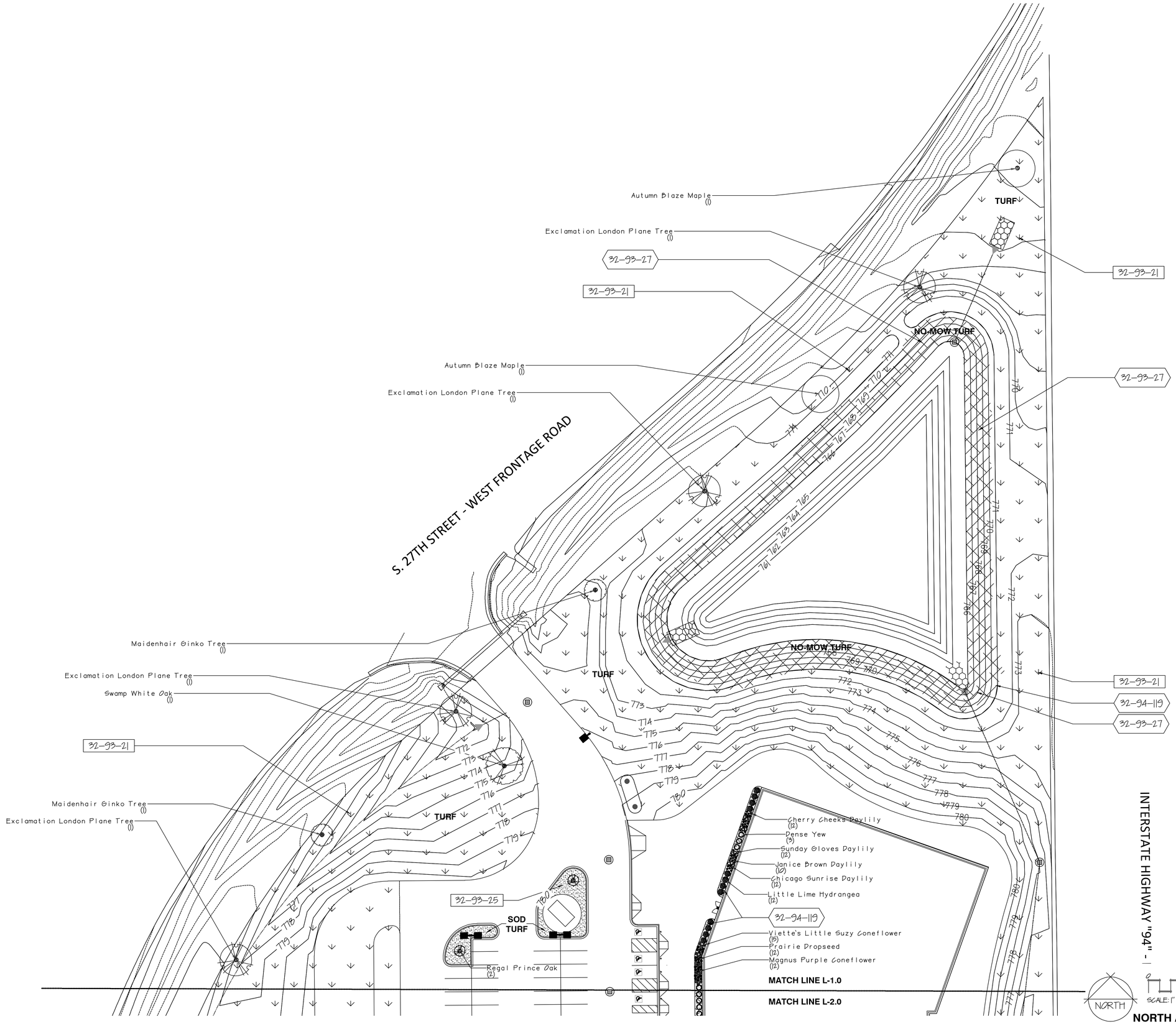
SHEET E5 OF 5



NORTH AREA LANDSCAPE PLAN

DIGGERS HOTLINE
Call 811 or (800) 242-8511
www.DiggersHotline.com

THOMAS NORDLOH ASSOCIATES
Landscape Architecture & Project Management
4111 Taft Rd, Kenosha Wi 53142

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TNA Landscape Architecture & Project Management

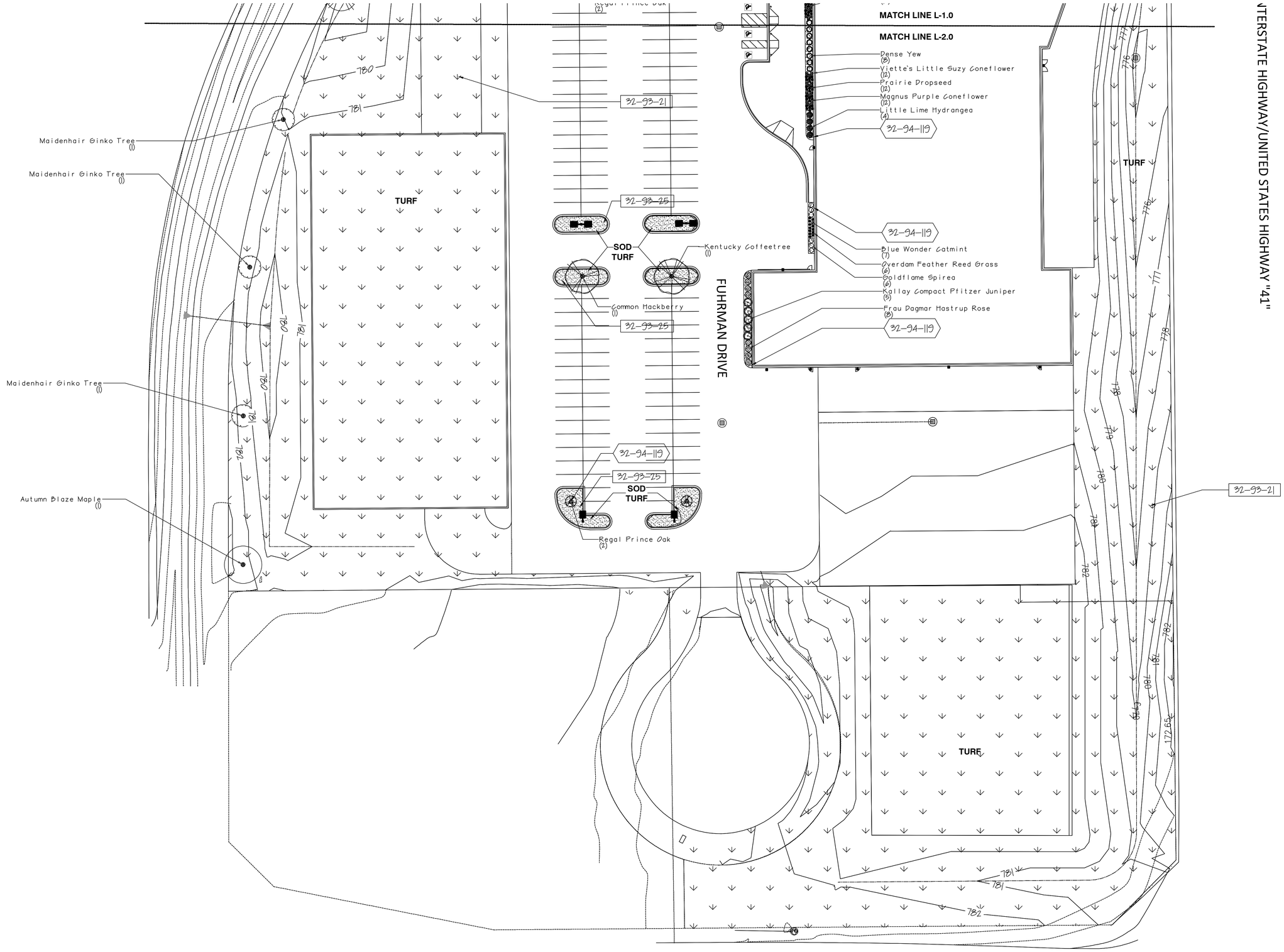
No.	Revision/Issue	Date
1		
2		
3		
4		

LANDSCAPE PLAN
MILWAUKEE POWERSPORTS
RAYMOND, WISCONSIN

Thomas H. Nordloh
Landscape Architect
Reg. # 057-000629

Project 20241212
Date 12-26-24_1
Scale

Sheet
L-1.0



SOUTH AREA LANDSCAPE PLAN

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LANDSCAPE PLAN
MILWAUKEE POWERSPORTS
RAYMOND, WISCONSIN

Thomas H. Nordloh
Landscape Architect
Reg. # 057-000629

Project: 20241212
Date: 12-26-24_1
Scale:

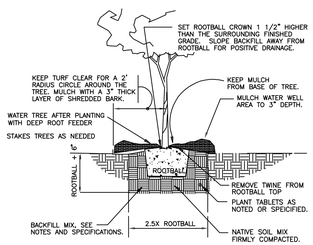
Sheet
L-2.0

REFERENCE NOTES SCHEDULE OVERALL LANDSCAPE

CODE	DESCRIPTION	QTY
Planting		
32-93-21	SHORT TERM DOUBLE NET STRAW EROSION CONTROL BLANKET OVER MULCH BEFORE INSTALLING PLANTS, INSTALL WITH METAL STAKES FULLY INSTALLED IN SOIL. DO NOT USE LONG TERM EROSION BLANKET.	233,512 sf
32-93-25	BLUEGRASS SOD, MINERAL BASED ONLY, PEAT SOD IS NOT PERMITTED	3,408 sf
32-93-27	NO-MOW FESCUE AND DN SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. LONG TERM AND GREEN NETTED BLANKET AND PENT OVER STAPLES WILL NOT BE ACCEPTED	19,331 sf
Planting Accessories		
32-94-119	SHREDDED BARK MULCH, 3-4" DEPTH	1,466 sf
32-94-136	3' DIAMETER MULCH TREE RING	19

PLANT SCHEDULE OVERALL LANDSCAPE

COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER	QTY
TREES				
Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" Cal.	B&B	3
Common Hackberry	Celtis occidentalis	2" Cal.	B&B	1
Maidenhair Ginko Tree	Ginkgo biloba 'Autumn Gold' TM	2" Cal.	B&B	5
Kentucky Coffeetree	Gymnocladus dioica 'Espresso'	2" Cal.	B&B	1
Exclamation London Plane Tree	Platanus x acerifolia 'Exclamation' TM	2" Cal.	B&B	4
Swamp White Oak	Quercus bicolor	2" Cal.	B&B	1
Regal Prince Oak	Quercus x warei 'Regal Prince'	2" Cal.	B&B	4
SUBTOTAL:				19
SHRUBS				
Little Lime Hydrangea	Hydrangea paniculata 'Little Lime'	3 gal		16
Frau Dagmar Hastrup Rose	Rosa rugosa 'Frau Dagmar Hastrup'	3 gal		8
Goldflame Spirea	Spiraea x bumalda 'Goldflame'	3 gal.		6
SUBTOTAL:				30
GRASSES				
Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1 gal		6
Prairie Dropseed	Sporobolus heterolepis 'Tara'	1 gal		24
SUBTOTAL:				30
ANNUALS/PERENNIALS				
Magnus Purple Coneflower	Echinacea purpurea 'Magnus'	1 gal.		24
Cherry Cheeks Daylily	Hemerocallis x 'Cherry Cheeks'	1 gal		12
Chicago Sunrise Daylily	Hemerocallis x 'Chicago Sunrise'	1 gal		12
Janice Brown Daylily	Hemerocallis x 'Janice Brown' TM	1 gal		10
Sunday Gloves Daylily	Hemerocallis x 'Sunday Gloves'	1 gal		12
Blue Wonder Catmint	Nepeta x faassenii 'Blue Wonder'	1 gal		7
Viette's Little Suzy Coneflower	Rudbeckia fulgida speciosa 'Viette's Little Suzy'	1 gal		27
SUBTOTAL:				104
SHRUB EVERGREENS				
Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	5 gal		5
Dense Yew	Taxus x media 'Densiformis'	24"		11
SUBTOTAL:				16



101 TREE PLANTING DETAIL
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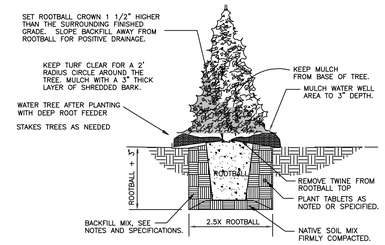

102 EVERGREEN PLANTING DETAIL
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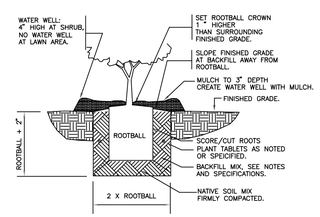

103 SHRUB PLANTING
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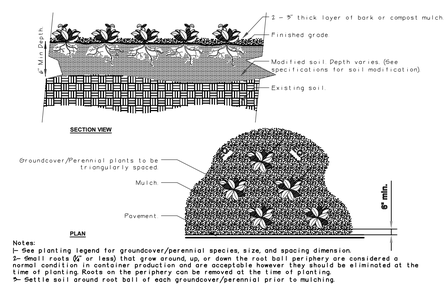

104 GROUNDCOVER AND PERENNIAL DETAIL
3/4" = 1-0"

GENERAL LANDSCAPE NOTES;

1. Topsoil return to depth of 6" minimum is by excavating contractor. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
2. Always contact Diggers Hotline (800-242-8511) or JULIE 811 (or 1-800-892-0123) before proceeding with any work.
3. Landscape contractor is required to visit the site and review all civil plans related to the project. The civil plans take precedence over the landscape plans.
4. Plant material to be of the highest quality available and should not include # 2 grade trees, evergreens or shrubs. Landscape contractor is to verify plant quantities Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by city forester.
5. Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3' diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 1-2" layer of shredded bark mulch.
6. Spade cut plant beds and tree rings with a 4" deep shovel cut.
7. Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
8. Seeded lawn areas to have high quality Bluegrass seed blend for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on fertilizer application rates.
9. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade. Peat sod is not acceptable.
10. Erosion blanket shall be installed using 90 day single net, double net or Turf Reinforcement Mats shall be installed per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.
11. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.
12. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment
13. Warranty of plants, trees, evergreens, shrubs shall be for a period of 18 months from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.

LANDSCAPE SCHEDULES AND DETAILS

DIGGERS HOTLINE
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LANDSCAPE PLAN
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RAYMOND, WISCONSIN

Thomas H. Nordloh
Landscape Architect
Reg. # 051-000624

Project: 20241212
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