



Conditional Use

Village of East Troy, Wisconsin

Version: January 1, 2022

Village of East Troy
2015 Energy Drive
East Troy, WI 53120

Overview: The Village's zoning code identifies land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Plan Commission conducts a public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Plan Commission serves in an advisory capacity to the Village Board, which makes the final decision. The recommendation of the Plan Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

Governing regulations: The procedures and standards governing the review of this application are found in Section § 510-157 of the Village's zoning code.

General instructions: Complete this application and submit one copy to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (920) 728-2814 or via email at tim.schwecke@civitekconsulting.com. You may download this form at <https://villageofeasttroy.zoninghub.com/highlights/procedures/procedure.aspx>.

Application fee: \$250.00, plus charges for professional services

Application submittal deadline: Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

1. Applicant information

Applicant name _____
Street address _____
City, state, zip code _____
Daytime telephone number _____
Email _____

2. Agent contact information.

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	_____	_____
Company	_____	_____
Street address	_____	_____
City, state, zip code	_____	_____
Daytime telephone number	_____	_____
Email	_____	_____

3. Type of application (select one)

- ☐ New conditional use
- ☐ Yes ☐ No Are there any other current conditional use approvals for the property?
- If yes, provide the year of issuance and a short description.

- ☐ An amendment of a previously approved conditional use
- If an amendment, attach a copy of the current approval document.

4. Subject property information

Physical address _____

Tax key number(s) _____

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

5. Zoning information (refer to the Village's current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|---|---|---|
| <input type="checkbox"/> RH-35 Rural Holding | <input type="checkbox"/> TR-8 Two-Family Residential | <input type="checkbox"/> NB Neighborhood Business |
| <input type="checkbox"/> SR-3 Estate Residential | <input type="checkbox"/> AR-9 Attached Residential | <input type="checkbox"/> HB Highway Business |
| <input type="checkbox"/> SR-4 Suburban Residential | <input type="checkbox"/> MR-10 Multi-Family Residential | <input type="checkbox"/> CB Central Business |
| <input type="checkbox"/> SR-5 Neighborhood Residential | <input type="checkbox"/> MHR-6 Mobile Home Residential | <input type="checkbox"/> BP Business Park |
| <input type="checkbox"/> SR-6 Traditional-Front Residential | | <input type="checkbox"/> LI Light Industrial |
| <input type="checkbox"/> SR-7 Traditional-Rear Residential | | <input type="checkbox"/> GI General Industrial |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|---|---|---|
| <input type="checkbox"/> PD Planned Development | <input type="checkbox"/> GP Groundwater Protection | <input type="checkbox"/> FP 100-Year Floodplain |
| <input type="checkbox"/> DD Downtown Design | <input type="checkbox"/> NFC Natural Features Conservancy | <input type="checkbox"/> FP 500-Year Floodplain |
| | | <input type="checkbox"/> SW Shoreland-Wetland |

6. Adjoining land uses and zoning

	Zoning district(s)	Current uses
North		
South		
East		
West		

7. Current use. Describe the current use of the subject property.

8. Proposed use. Describe the proposed conditional use or the proposed amendment.

9. Evaluation criteria. The factors listed below will be used in evaluating this application. Your responses are important.

- Whether the proposed conditional use (**the use in general, independent of its location**) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

2. Whether the proposed conditional use (**in its specific location**) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

3. Whether the proposed conditional use, in its proposed location and as depicted on the required site plan results in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the zoning code, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development.

4. Whether the proposed conditional use would maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. Whether the proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

6. Whether the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

10. Large development requirements.

☐ Yes ☐ No

Does the proposed project include indoor sales or service, outdoor display, indoor commercial entertainment, outdoor commercial entertainment, in-vehicle sales or service, commercial indoor lodging, with a total area exceeding 20,000 square feet where one or both the following conditions exist:

1. The parking area is or will be served by an integrated system of off-street parking benefiting all or substantially all improvements within such area.
 2. The area is or will be subject to reciprocal access rights benefiting all or substantially all improvements within such area.
- (See § 510-109 of the zoning code.)

If yes, include each of the following as described in § 510-109 (D) of the zoning code:

1. Large development questionnaire

2. Economic and fiscal analysis
3. Traffic impact analysis
4. Detailed neighborhood plan

11. Supplemental materials. Attach the following.

1. Site plan application and related materials
2. A copy of the existing conditional use if this application is intended to amend that approval.

12. Attachments. List any attachments included with your application.

13. Other information. You may provide any other information you feel is relevant to the review of your application.

14. Applicant certification

- ◆ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- ◆ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with § 510-149 (D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property.
- ◆ I understand that submission of this application authorizes Village officials and employees, Plan Commission members, Village Board members, and other designated agents, including those retained by the Village, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- ◆ I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- ◆ I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Name – print

Name – Signature

Date

Name – print

Name – Signature

Date

Applicant (if different than Property Owner):

Name – print

Name – Signature

Date

Name – print

Name – Signature

Date

PROPOSED ADDITION FOR:

MP SYSTEMS / PIEPER POWER

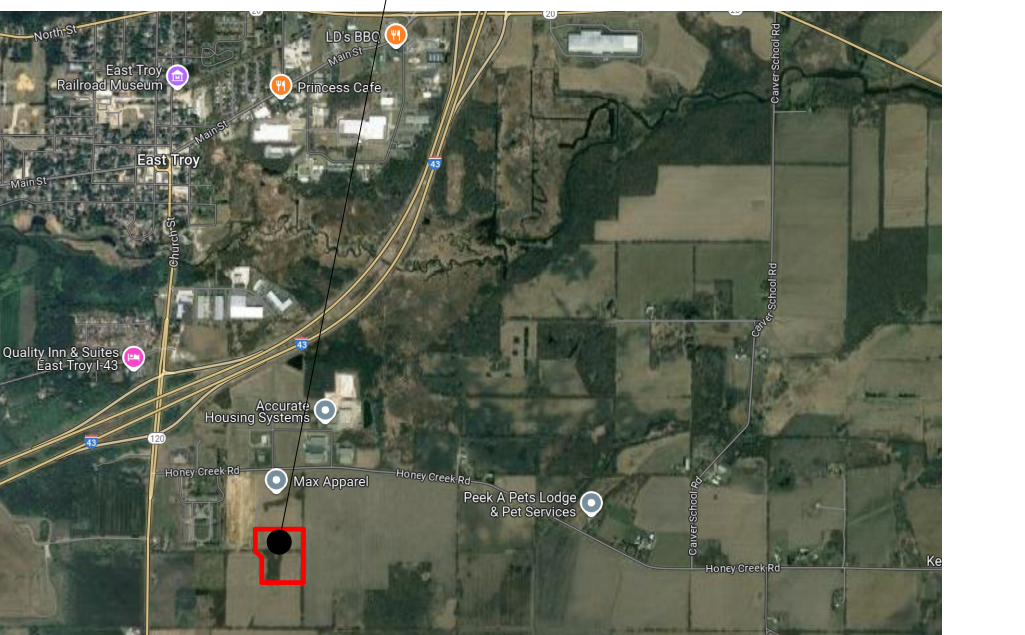
S. EXECUTIVE DRIVE
EAST TROY, WISCONSIN 53120

NORTH ELEVATION



SHEET INDEX	
0-GENERAL	
T1.0	TITLE SHEET
1-CIVIL	
EC.0	EXISTING CONDITIONS SURVEY
C1.0	SITE DIMENSION AND PAVEMENT ID PLAN
C2.0	SITE GRADING PLAN AND EROSION CONTROL PLAN
C3.0	SITE UTILITY
C4.0	SITE NOTES AND DETAILS
C4.1	SITE NOTES AND DETAILS
C4.2	SITE NOTES AND DETAILS
2-LANDSCAPING	
L1.0	LANDSCAPE PLAN
L2.0	PLANTING NOTES, DETAILS & SCHEDULE
4-ARCHITECTURAL	
A1.0	OVERALL FLOOR PLANS
A1.1	CLERESTORY PLAN
A1.2	ENLARGED OFFICE FLOOR PLAN
A4.1	ROOF PLAN
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR PERSPECTIVE VIEWS
A5.3	EXTERIOR PERSPECTIVES
7-ELECTRICAL	
E1.0	PHOTOMETRIC PLAN

PLAN COMMISSION SUBMITTAL SET FEBRUARY 10, 2025

OWNER :	TENANT :	GENERAL CONTRACTOR :	ARCHITECT :	STRUCTURAL ENGINEER:	PROJECT LOCATION:	PROJECT INFORMATION:						
BRIOHN LAND DEVELOPMENT, LLC NELSON WILLIAMS 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WI 53045 (414) 769-0500 PHONE	MP SYSTEMS, INC KEN PHELPS 2611 S. EXECUTIVE DRIVE EAST TROY, WI 53120 (262) 246-0280 PHONE	BRIOHN BUILDING CORPORATION KYLE ROADT 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX mmksich@briohn.com	BRIOHN DESIGN GROUP LLC CHRISTOPHER WENZLER, AIA 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX cwenzler@briohn.com	BRIOHN DESIGN GROUP LLC KEVIN JANKOWSKI, PE 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX kjankowski@briohn.com		BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362 2015 INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 366 ACCESSIBILITY CODE: 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ENERGY CODE: 2015 IECC INTERNATIONAL ENERGY CONSERVATION CODE WITH WISCONSIN AMENDMENTS SPS 363 MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE WITH WISCONSIN AMENDMENTS SPS 364 PLUMBING CODE: 2014 WISCONSIN PLUMBING CODE SPS 381-387 ELECTRICAL CODE: 2017 NFPA 70 NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS SPS316 FIRE CODE: SPS 314 FIRE PREVENTION						
CIVIL ENGINEER:	LANDSCAPING:											
BRIOHN DESIGN GROUP LLC RIZAL ISKANDARS JACH, P.E. 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX riz@briohn.com	BRIOHN DESIGN GROUP LLC HEATHER GROGAN 5032 W FOREST HOME AVE. #5 MILWAUKEE, WISCONSIN 53219 (414) 622-0103 PHONE (262) 790-0505 FAX heather@landco2.com											
OCCUPANCY: <table><tr><td>PRIMARY</td><td>B</td><td>OFFICE/BUSINESS</td></tr><tr><td>SECONDARY</td><td>S-1</td><td>(MODERATE HAZARD STORAGE)</td></tr></table>							PRIMARY	B	OFFICE/BUSINESS	SECONDARY	S-1	(MODERATE HAZARD STORAGE)
PRIMARY	B	OFFICE/BUSINESS										
SECONDARY	S-1	(MODERATE HAZARD STORAGE)										
CLASS OF CONSTRUCTION: TYPE 2B												
SPRINKLER SYSTEM: FULL - NFPA 13 (ESFR)												
FLOOR LEVELS: 1												
NUMBER OF STORIES: 1						NOTE: ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SPRINKLER ENGINEERING BY DESIGN-BUILD CONTRACTORS						
BUILDING FOOTPRINT: 130,000 SF												
BUILDING AREA: 128,725 SF												

ZONING:	LI	LIGHT INDUSTRIAL
SETBACKS:	STREET: 25' SIDE: 25' (ACCESSORY BLDG MIN. 5') REAR: 25' (ACCESSORY BLDG MIN. 5')	
PARKING:	118 5 123	STANDARD STALLS HANDICAPPED STALLS TOTAL STALLS

PROGRESS SET
NOT FOR CONSTRUCTION

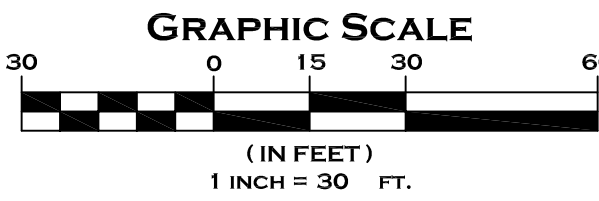
JOB: 240085
DRAWN: CJR
CHECKED: CW
DATE: 02/10/2025

SHEET:

T1.0



LEGEND	
— SAN —	SANITARY SEWER
— ST —	STORM SEWER
— W —	WATER MAIN
— G —	BURIED GAS LINE
— TEL —	BURIED TELEPHONE LINE
— E —	BURIED ELECTRIC LINE
— FO —	BURIED FIBER OPTIC LINE
— O —	OVERHEAD UTILITY LINES
— CATV —	BURIED CABLE TELEVISION LINES
— COMB —	COMBINATION SEWER
— WOOD FENCE —	WOOD FENCE
— METAL FENCE —	METAL FENCE
— EDGE OF TREES AND BRUSH —	EDGE OF TREES AND BRUSH
— DOOR SILL ELEVATION —	DOOR SILL ELEVATION
— FIRE DEPARTMENT CONNECTION —	FIRE DEPARTMENT CONNECTION
— ELECTRIC TRANSFORMER —	ELECTRIC TRANSFORMER
— ELECTRIC METER —	ELECTRIC METER
— ELECTRIC BOX AT GRADE —	ELECTRIC BOX AT GRADE
— TELEPHONE BOX AT GRADE —	TELEPHONE BOX AT GRADE
— TV PEDESTAL —	TV PEDESTAL
— GAS METER —	GAS METER
— AIR CONDITIONER —	AIR CONDITIONER
— UTILITY POLE —	UTILITY POLE
— WOOD SIGN —	WOOD SIGN
— METAL SIGN —	METAL SIGN
— FLAG POLE —	FLAG POLE
— BOLLARD —	BOLLARD
— BOLLARD LIGHT —	BOLLARD LIGHT
— YARD LIGHT —	YARD LIGHT
— HYDRANT —	HYDRANT
— WATER VALVE —	WATER VALVE
— GAS VALVE —	GAS VALVE
— MANHOLE —	MANHOLE
— STORM MANHOLE —	STORM MANHOLE
— CATCH BASIN —	CATCH BASIN
— CURB INLET —	CURB INLET
— METAL LIGHT POLE —	METAL LIGHT POLE
— CONCRETE LIGHT POLE —	CONCRETE LIGHT POLE
— WOOD LIGHT POLE —	WOOD LIGHT POLE
— MAIL BOX —	MAIL BOX
— FIBER OPTIC MARKER —	FIBER OPTIC MARKER
— GUY WIRE —	GUY WIRE



LEGAL DESCRIPTION

LOT 2 OF CERTIFIED SURVEY MAD NO. 5122, BEING PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 4 NORTH, RANGE 18 EAST, IN THE VILLAGE OF EAST TROY, WALNORTH COUNTY, WISCONSIN.

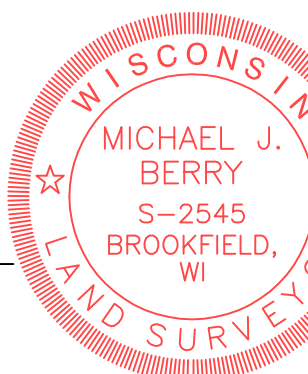
NOTES

- SUBJECT PROPERTY ZONED: LI - LIGHT INDUSTRIAL
OVERLAY DISTRICTS: MIXED BUSINESS/LIGHT INDUSTRIAL DESIGN
SHORELAND-WETLAND
AIRPORT HEIGHT RESTRICTION OVERLAY
- SETBACKS BASED ON VILLAGE OF EAST TROY ZONING CODE FOR LI DISTRICT
AND ARE AS FOLLOWS:
STREET SETBACK - 25'
SIDE SETBACK - 25'
REAR SETBACK - 25'
MAX BUILDING HEIGHT - 45'
- LEGAL DESCRIPTION FROM DOCUMENTS.
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, BIGGEST, HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55127C0094E, WITH A DATE OF IDENTIFICATION OF APRIL 6, 2022, IN COMMUNITY NO. 550464, VILLAGE OF EAST TROY, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
- PROJECT BENCHMARK - TOP OF CONCRETE MONUMENT WITH BRASS CAP MARKING THE CENTER OF SECTION 32, ELEVATION = 879.96 - NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
- SITE BENCHMARK - AS SHOWN HEREON.
- ALL BEARINGS REFER TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, WALNORTH COUNTY
- PER NOTE ON C.S.M. 5122, THE OWNERS OF EACH LOT WILL HAVE A FRACTIONAL INTEREST IN OUTLOT 1, C.S.M. 4987 VIA MEMBERSHIP IN AN ASSOCIATION AND WILL BE RESPONSIBLE FOR THE LONG-TERM MAINTENANCE OF THE STORMWATER BASIN.

I, MICHAEL J. BERRY, P.L.S. 2545, CERTIFY THAT THIS PROPERTY SURVEY COMPLIES WITH CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

FEBRUARY 6, 2025
DATE

Michael J. Berry
MICHAEL J. BERRY, P.L.S.
REGISTERED LAND SURVEYOR S-2545



EXISTING CONDITIONS SURVEY

FOR
MP SYSTEMS EAST
S. EXECUTIVE DR.
EAST TROY, WI

DRAWN BY:	DHS	DATE:	FEB. 6, 2025
CHECKED BY:	MJB	DRAWING NO.	EC - 0
CSE JOB NO.:	25-006	SHEET	1 OF 1

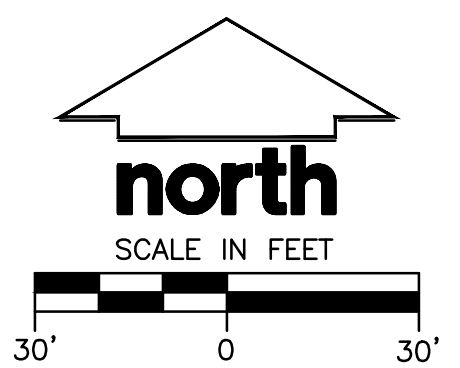


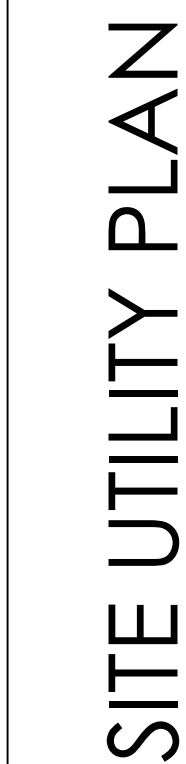
MP SYSTEMS/PIEPER ELECTRIC
S. EXECUTIVE DR.
VILLAGE OF EAST TROY, WISCONSIN

[illegible]

OB:	240085
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CHECKED:	RWI
DATE:	2025-02-10
HEET:	

C2.0





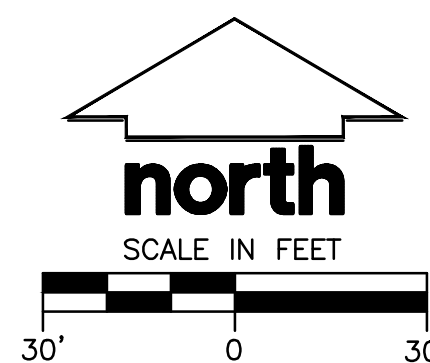
SHEET TITLE

PROPOSED BUILDING FOR:
MP SYSTEMS/PIEPER ELECTRIC
S. EXECUTIVE DR.
VILLAGE OF EAST TROY, WISCONSIN

[illegible]

JOB:	240085
DRAWN:	RW
CHECKED:	RW
DATE:	2025-02-10
SHEET:	

C3.0



1. THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.

- ## PAVING NOTES

- ### PAVEMENT STRIPING NOTES

1. CONTRACTOR SHALL CONSULT STRIPPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL STRIPING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL AFFECT QUALITY OF WORK. DEFECTS CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
4. DO NOT PLACE MARKING AROUND UNBOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
5. LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PREPARED AND MADE TO INDUSTRY STANDARDS. "THREE HAND" PATTERNING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
6. PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
7. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES. (OR TO MFG. SPECIFICATIONS)
8. BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
9. ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO BROWN DESIGN GROUP (BDG) PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. ALL EXISTING CONDITIONS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHALL BE BASED ON THE EXISTING GRADES UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPLETION(S) OF ALL GRADING WORKS. WHILE PROVIDING A PROFESSIONAL ENGINEERING APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMERCIAL ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR BAILED ELEVATION.
 - THE CONTRACTOR MAY SOUGHT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM EXISTING GRADES TO AVOID EXCESSIVE CUTS OR FILLS.
4. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXISTING OR PROPOSED DRAINAGE SYSTEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
5. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS AS RECOMMENDED BY THE PROJECT'S DESIGNER. CONTRACTOR SHALL REFER TO THE 2023 FOR SITE COMPACTION REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S DESIGNER SHALL BE RESPONSIBLE FOR PROVIDING THE PROPER COMPACTION REQUIREMENTS. UNLESS OTHERWISE NOTED, THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
6. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
7. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK ANY AREAS WHERE MATERIAL IS SPREAD TO DRY. SUCH AREAS SHALL BE TO BE CONSIDERED ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL FIELD EXCEED THE MORE RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO DRY THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
8. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
9. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
10. THE SITE SHALL BE COMPLETED TO WITHIN 1.0-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO CONSIDER STRUCTURAL STABILIZATION OF EXISTING OR PROPOSED SLOPES. CONTRACTOR SHALL ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
11. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES DURING ANY GRADING OR DRAINAGE CONSTRUCTION.
12. CONTRACTOR SHALL PROTECT ROOTS AND ADJACENT PROPERTIES FROM SPLIT FENCING OR APPROVED EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY MAINTAINING ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
14. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL TO THE PROJECT AND SHALL INCLUDE ALL NECESSARY GRADING AND LANDSCAPING TO RESTORE RIGHT-OF-WAY IN KIND INCLUDING LANDSCAPING.
15. CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.

1. INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS.
4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
5. COMPLETE FINAL GRADING, GRADATIONS OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS WALKS, ETC.
6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION ACT (NPDES) PERMIT, THE NPDES PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL MANUAL FOR EROSION AND SEDIMENT CONTROL. THESE PROCEDURES AND REQUIREMENTS ARE THE MINIMUM STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE BEGINNING OF CONSTRUCTION.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY BGG PROFESSIONAL SERVICES, INC. (BGG) OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
3. MODIFICATIONS TO THE APPROVED EROSION CONTROL PLAN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO THE BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY BGG/MUNICIPALITY PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING ILT PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM EROSION AND SEDIMENTATION.
5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES SHALL BE INSTALLED WHERE THE PLANS MUST BE PRIOR APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE AGENCIES.
7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. ILT PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER, ALL INLETS, STRUCTURES, PIPES, MANHOLES, AND CATCH BASINS.
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - a. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - b. STABILIZE EXPOSED SOILS WITH EROSION CONTROL MATS.
 - c. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE BMP'S.
9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
10. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
11. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE OR SEDIMENT BARRIERS TO PREVENT SEDIMENTS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS. TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
12. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
13. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STARTUP. ANY REMAINS OF EROSION CONTROL DEVICES AFTER REMOVAL ARE NEEDED, DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
14. PUMPS MAY BE USED BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE OF THE PROJECT LIMITS.
15. GRADING EFFORTS SHALL BE CONDUCTED IN A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENTATION SHALL BE MONITORED THROUGHOUT THE ENTIRE YEAR. THE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF SEVEN (7) DAYS SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OF THE END OF THE WORK PERIOD. EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.

- ALL DISTURBED SLOPES EXCEEDING 4:1 VET LESS THAN 3:1, SHALL BE STABILIZED WITH NORTH AMERICAN GRASS SEEDS AND MULCH OR COVERED WITH A MINIMUM OF TWO INCHES OF TOP SOIL. THE CONTRACTOR SHALL NOT ALLOW ANY EROSION TO OCCUR ON ANY OF THESE AREAS.
11. ALL DITCHES SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUIV) OR APPLICATION OF AN APPROVED POLYMER/SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED BY THE OWNER. AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
17. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SLOES WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
18. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION MUST BE PROTECTED FROM FURTHER EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
19. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROL MEASURES ARE NEEDED. THIS CHECK SHOULD BE MADE BY THE QUALIFIED PERSONNEL AT AN INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT, REPORTING SHALL BE IN ACCORDANCE WITH PART IV D.4. (-G-1), OF THE NPDES PERMIT. IF THE CONTRACTOR DOES NOT IMMEDIATELY ARRANGE FOR THE NON-CONFORMING ITEMS DETECTED DURING INSPECTIONS REPAIRED/REPLACED.
20. THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES BUILT INTO THIS PROJECT. WHENEVER THE CONTRACTOR OBSERVES DAMAGE TO ANY OF THE MEASURES OR ADDRESSED IMMEDIATELY, THE MAINTENANCE PRACTICES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, BELOW:
- A. ACCUMULATED SEDIMENT - REMOVE OR REPLACE ANY DAMAGED FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF INCH ABOVE GROUND HEIGHT OF THE ENTIRE CONSTRUCTION ENTRANCE. - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE
- B. DITCH CHECK (STRAW BALES) - RE-Secure STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED EROSION CONTROL MATTING
- C. REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACH OR MATTING HAS BEEN REMOVED
- D. REPAIR OR REPLACE ANY DAMAGED FABRIC AND/OR STAKES
- E. DIVERSION BERM/SWALE - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.
- F. INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL OF SEDIMENT THROUGH CLOSURE BAGS IS LOST
- G. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HALF FULL OF SEDIMENT.
21. ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
- A. CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE INCLUDING BUT NOT LIMITED TO: SINGLE TRACKING DEVICES, TRAILERS, COMMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING LOADS OF MATERIAL FROM THE CONSTRUCTION SITE SHALL BE PROPERLY LOADED AND UNLOADING DEBRIS MUST BE CONTROLLED SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
1. PROVIDE A CURB OR BOX OF CURBS TO HOLD MATERIALS FROM SPILLING OFF THE TRAILER
2. B. ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
3. C. FREQUENT WATERING OF EXCAVATION AREAS.
4. D. PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
5. E. SPEED LIMITING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENT.

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY THE TYPE, LOCATION, SIZE AND DEPTH OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER MAINS, INCLUDING EDITIONS, IN WISCONSIN LATEST EDITION (ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AGENCIES.
3. UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF EAST TROY SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES DSPS 382.
4. TRACER WIRES SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.0715(2R) OF THE STATE STATUTES AND VILLAGE OF EAST TROY REQUIREMENTS.
5. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
6. CONTRACTOR SHALL ADJUST AND/OR REINSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
7. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
8. STORM SEWER SPECIFICATIONS -

PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS IV (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443; HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) - CLASS PS46 MEETING AASHTO M278, AS NOTED.

INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-1580 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL.

BACKFILL AND BEDDING STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL .

FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

9. WATER MAIN SPECIFICATIONS -

PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.2.7.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

10-GAUGE TRACER WIRE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF ALL PRIVATE WATER MAINS, HYDRANT LEADS, FIRE DEPARTMENT CONNECTION LEADS AND LATERALS. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS AND ENCLOSED IN RISER BOX WITH "WATER" ON THE COVER.

HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF EAST TROY AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS." THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES. HYDRANTS SHALL BE DOMESTICALLY MANUFACTURED AND PAINTED MEDIUM GREEN COLOR.

VALVES AND FITTINGS - VALVES AND FITTINGS INSTALLED WITHIN THE ROADWAY RIGHT OF WAY SHALL CONFORM TO THE VILLAGE SPECIFICATIONS FOR TYPE AND MANUFACTURER. VALVES SHALL BE DOMESTICALLY MANUFACTURED.

BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". SLURRY BACKFILL REQUIRED FOR AREAS UNDER THE PUBLIC PAVEMENT AND CURB. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.

BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."

BACKFILL -- BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS."

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1580 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL. MANHOLE CASTING SHALL HAVE A CHIMNEY SEAL.

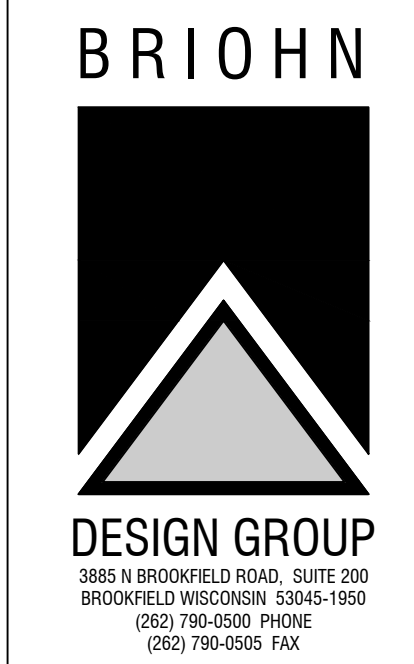
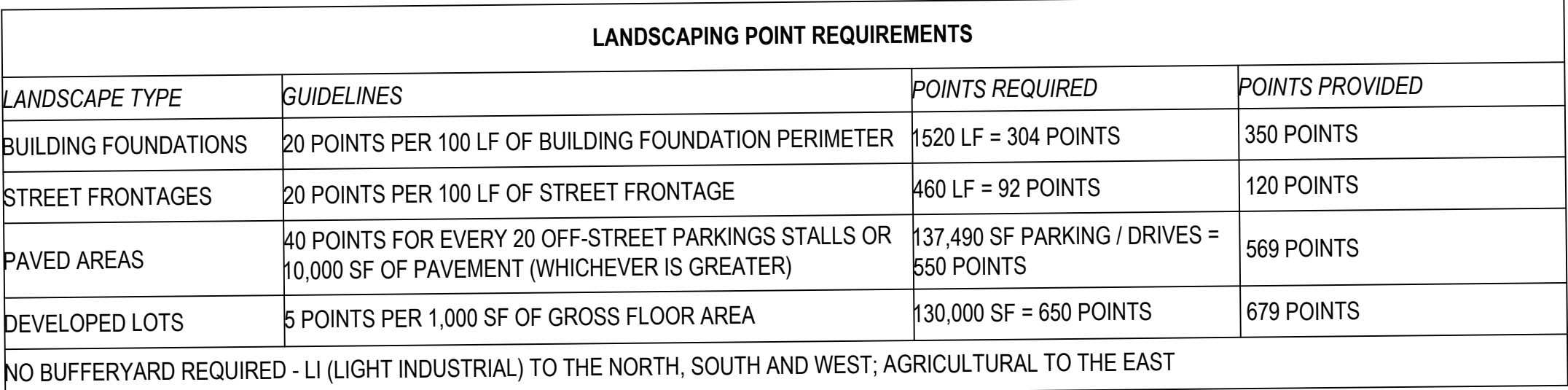
11. WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

12. TRACER WIRE SHALL BE INSTALLED ALONG THE SANITARY SEWER SERVICE. THE TRACER WIRE SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.

13. ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

14. THE CONTRACTOR SHALL CONTACT THE VILLAGE OF EAST TROY ENGINEERING DEPARTMENT (414-768-6541) 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE CITY-OWNED SYSTEM TO SCHEDULE INSPECTIONS.

[illegible]



LANDSCAPE PLAN

SHEET TITLE

PROPOSED BUILDING FOR:
MP SYSTEMS/PIEPER ELECTRIC
S. EXECUTIVE DR.
VILLAGE OF EAST TROY, WISCONSIN

[illegible]

JOB:	24008
DRAWN:	H
CHECKED:	KS/J
DATE:	2025-02-1
SHEET:	

L1.0

GENERAL

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- TOP OF MULCH SHALL BE ½" MINIMUM BELOW THE TOP OF WALKS AND CURBS
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- THE LANDSCAPE SHALL BE MAINTAINED IN A MANNER COMMON TO THE PRACTICE, INCLUDING MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, TRASH REMOVAL, AND OTHER SUCH ACTIVITIES.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING FOR 60 DAYS, OR UNTIL FINAL ACCEPTANCE BY THE OWNER. AN ON-SITE INSPECTION BY THE OWNER'S AGENT WILL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- DURING WORK, PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS THE WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSING THEM AT THE END OF EACH WORK DAY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER FINAL ACCEPTANCE BY THE OWNER'S AGENT. PLANTS SHALL BE IN HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ALL PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE AT NO COST TO OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT.
- THE OWNER SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AS NECESSARY FOLLOWING THE 60 DAY CONTRACTOR MAINTENANCE PERIOD.

QUALITY ASSURANCE

- LANDSCAPE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- SELECTION OF PLANT MATERIAL: MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.
- SUBSTITUTIONS: DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WRITTEN VERIFICATION WILL BE REQUIRED DOCUMENTING MATERIAL SELECTION, SOURCE AND DELIVERY SCHEDULE TO SITE.
- MEASUREMENTS: TAKE CALIPER MEASUREMENTS OF TREES SIX INCHES ABOVE GROUND. MEASURE MAIN BODY OF ALL PLANT MATERIAL FOR HEIGHT AND SPREAD DIMENSIONS, NOT FROM TIP-TO-TIP.
- LANDSCAPE ARCHITECT OR OWNER, SHALL INSPECT ALL PLANT MATERIAL WITH RESPECT TO GENUS, SPECIES, CULTIVAR/VARIETY, SIZE AND QUALITY, INCLUDING SIZE AND CONDITION OF ROOT SYSTEMS, LIMBS, BRANCHING HABIT, INSECTS, INJURIES, OR OTHER LATENT DEFECTS UPON ARRIVAL TO SITE OR DURING INSTALLATION.
- LANDSCAPE ARCHITECT OR OWNER MAY REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING THE WORK PROCESS. REMOVE REJECTED MATERIALS FROM SITE AND REPLACE WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER. PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

PRODUCT DELIVERY, STORAGE AND HANDLING

- DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON THE JOB SITE.
- PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS OR DESICCATION OF LEAVES. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT. PROTECT ROOT BALLS BY HEELING IN WITH SAND/DUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NO PLANTED WITHIN 24 HOURS OF DELIVERY.
- TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.
- DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS.

MATERIALS

PLANTS

- ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1, MOST RECENT EDITION.
- PLANTS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN, AND SHALL BE HEALTHY, SYMMETRICAL, WELL-SHAPED, FULL BRANCHED AND FREE OF DISEASE AND INSECTS.
- ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH, OR ARE IN ANY UNHEALTHY, BADLY SHAPED OR UNDERSIZED CONDITION WILL BE REJECTED BY THE LANDSCAPE ARCHITECT EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE PLANT AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS SHALL NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS.
- PLANTS SHALL BE FRESHLY DUG FROM DURING THE MOST RECENT APPROPRIATE HARVEST SEASON.
- PRUNING SHALL BE LIMITED TO DEAD BRANCHES, LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS ANSI A300.

SOILS

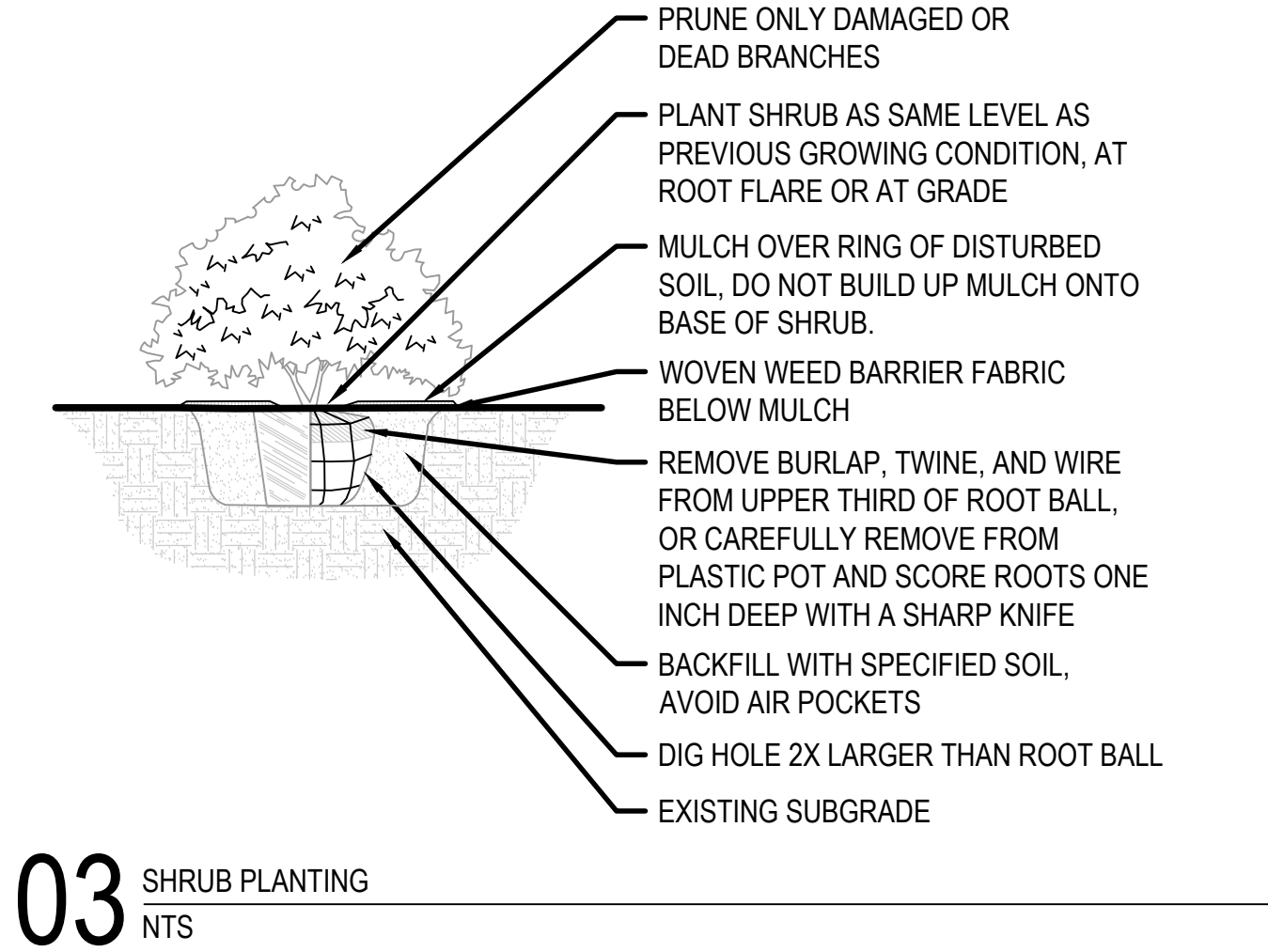
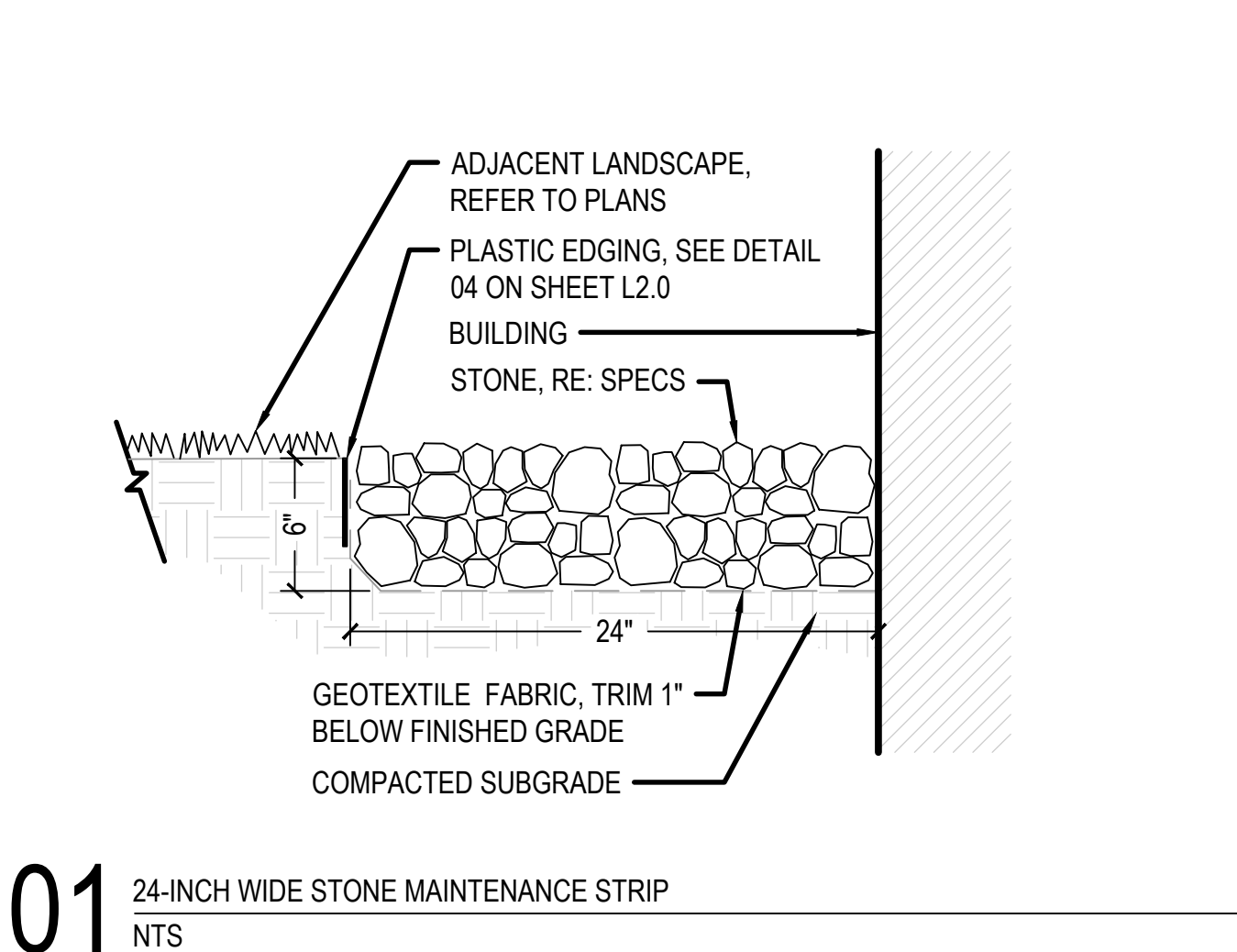
- PLANTING SOIL AND TOPSOIL TO BE A CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER ¾" IN DIAMETER, AND FREE FROM TOXINS AND WEEDS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 5.5 AND 7. ORGANIC MATERIAL SHALL BE 2.0-5.0% OF TOTAL DRY WEIGHT. SOLUBLE SALT LEVELS SHALL BE LESS THAN 2 mmho/cm. PLANTING SOIL AND TOPSOIL SHALL BE TESTED AND AMENDED TO MEET THESE SPECIFICATIONS.
- COMPOST SHALL BE COMMERCIALY PREPARED, PEAT-FREE COMPOST AND MEET US COMPOST COUNCIL STATMECC CRITERIA AND SHALL CONSIST OF PLANT-BASED MATERIALS, COMPOSTED FOR A MINIMUM OF 9 MONTHS AT TEMPERATURES SUFFICIENT TO BREAK DOWN ALL WOODY FIBERS, SEEDS, AND LEAF STRUCTURES.
- ALL PLANTING AREAS WITHIN THE DRIP LINE OF EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD THREE (3") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF THE TOPSOIL. ALL PLANTING AREAS WITHOUT EXISTING TREES SHALL BE PREPARED BY TILLING EXISTING SOIL TO A DEPTH OF EIGHTEEN (18") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF EIGHTEEN (18") INCHES OF THE TOPSOIL.
- BACKFILL FOR TREE PITS SHALL CONSIST OF EXISTING TOPSOIL ON SITE (OR IMPORTED AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, SUBSOILS, ETC., PLACED IN NINE (9") LAYERS AND WATERED IN THOROUGHLY.

OTHER MATERIALS

- SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED-FREE SHREDDED HARDWOOD BARK MULCH SPREAD TO A DEPTH OF FOUR (4") INCHES OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH, SIZE AND COLOR TO BE APPROVED BY OWNER'S AGENT PRIOR TO INSTALLATION.
- EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING, TO BE APPROVED BY OWNER'S AGENT.
- SOD: ALL AREAS SPECIFIED ON PLAN AS SOD (IF APPLICABLE) SHALL BE A PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. TURFGRASS SOD SHALL BE REASONABLY FREE OF DISEASES, NEMATODES, INSECTS, GRASSY AND BROAD-LEAF WEEDS.
- LAWN SEED: DISTURBED LAWN AREAS LABELED AS SUCH ON PLAN, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH 'MADISON PARKS' OR EQUIVALENT SEED MIX AS APPROVED BY OWNER'S AGENT, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS WITH SLOPES EXCEEDING 3:1 AT A RATE OF 1 ½ POUNDS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- STONE MAINTENANCE STRIP: "MISSISSIPPI" DECORATIVE STONE CHIPS BY HALQUIST STONE OR APPROVED EQUAL TO BE INSTALLED IN THE LOCATIONS INDICATED ON THE PLAN FOLLOWING THE MANUFACTURER'S INSTRUCTIONS. THE GEOTEXTILE FABRIC SHALL BE PERMEABLE NONWOVEN MIRAFI M5CSAPE E OR APPROVED EQUAL.

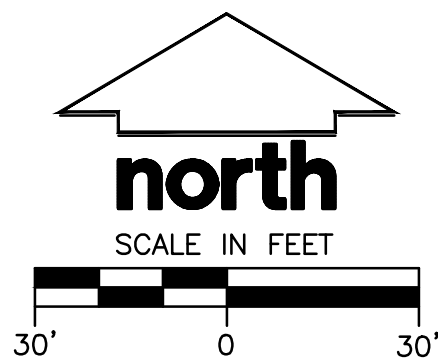
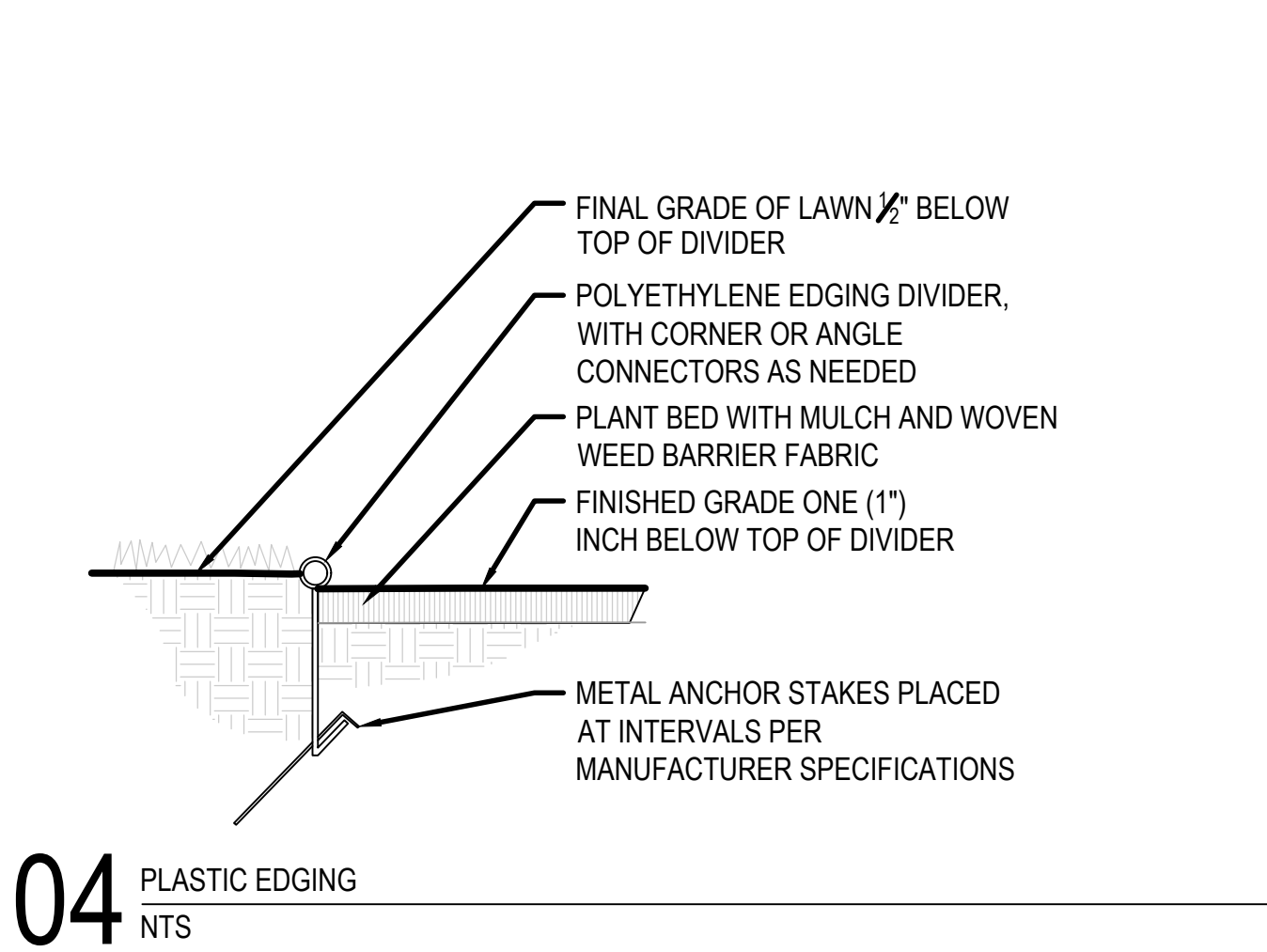
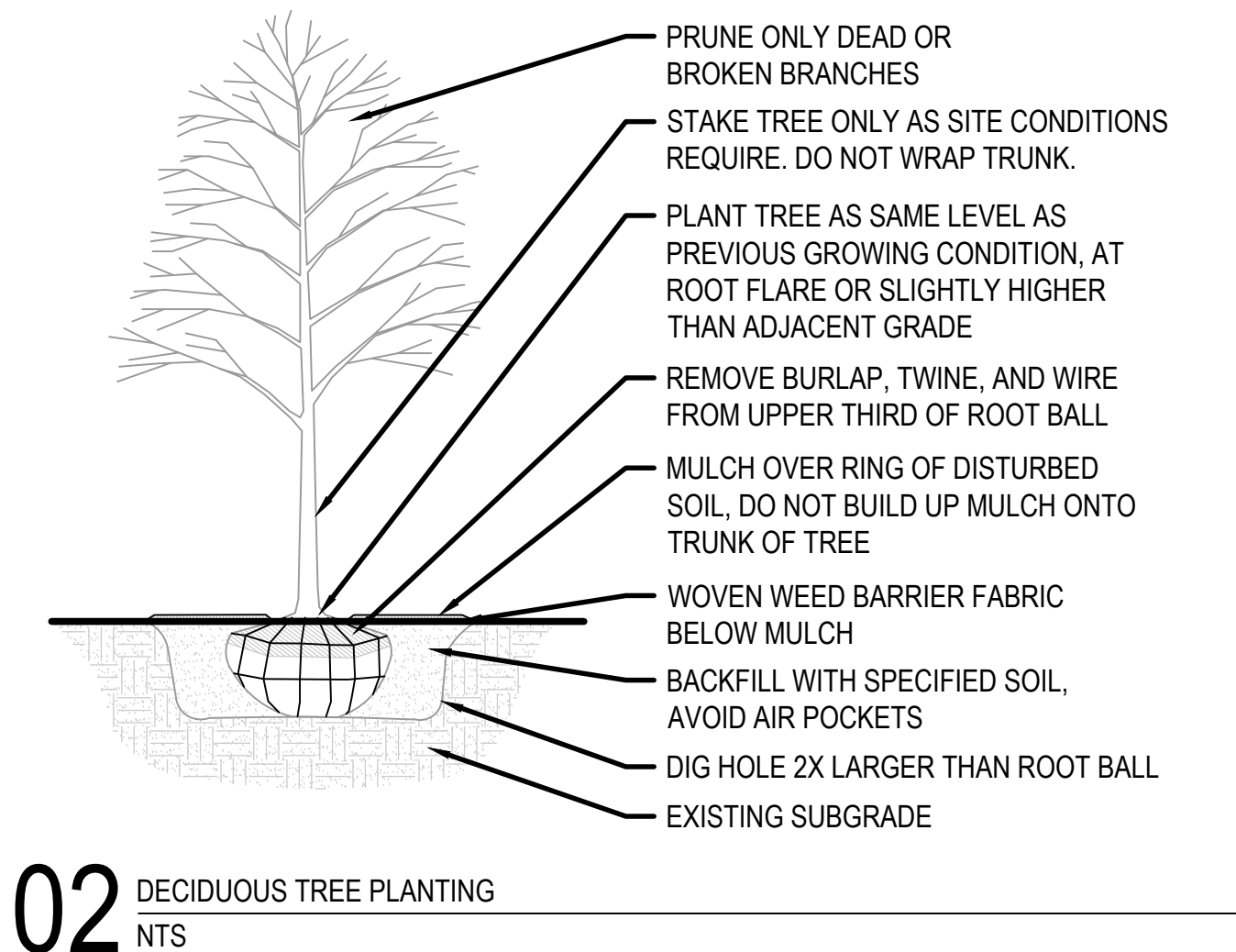
INSTALLATION

- PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING.
- EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO THE ROOT BALLS, AND SHALL BE PLACED AT THE SAME DEPTH RELATIVE TO FINISH GRADE AS IT DID TO THE SOIL SURFACE IN THE ORIGINAL PLACE OF GROWTH.
- SHRUB AND TREE PITS SHALL BE NO LESS THAN TWO TIMES WIDER THAN THE LATERAL DIMENSIONS OF THE EARTH BALL AND NO DEEPER THAN ITS VERTICAL DIMENSION. THE SIDES OF THE HOLE SHALL BE ROUGH AND JAGGED, NEVER SLICK AND GLAZED, ROUGH UP WITH SHOVEL IF NEEDED.
- BACKFILL HOLE WITH 5 PARTS EXISTING SOIL AND 1 PART PLANT BED PREPARATION SOIL. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP, NYLON, STRING, AND WIRE FROM THE TOP ½ OF THE BALL. MULCH THE TOP OF THE BALL WITH A MINIMUM OF TWO (2") INCHES OF SPECIFIED MULCH OVER THE PLANTING PIT.
- DO NOT WRAP TREES. STAKE TREES AND LARGE SHRUBS ONLY AS SITE CONDITIONS REQUIRE.
- TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 24 HOURS. ENSURE EDGES OF SOD ARE STAGGERED AND TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO THE SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY OWNER. THE SOD SUPPLIER MAY MAKE RECOMMENDATIONS REGARDING THE WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER THE SOD IS INSTALLED.



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	PLANTING SIZE	MATURE HT	MATURE SP	QTY
TREES							
	ACE JEF	Acer x freemianii 'Jeffersred' / Autumn Blaze Maple	B & B	2.5" Min. Cal.	50'	40'	6
	AME GRA	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	B & B	6 FT. Tall Min.	30'	25'	5
	CRA WIN	Crataegus viridis 'Winter King' / 'Winter King' Hawthorn	B & B	1.5" Min. Cal.	25'	30'	2
	GLE INE	Gleditsia triacanthos inermis / Thornless Common Honeylocust	B & B	2.5" Min. Cal.	60'	50'	3
	JUN BUR	Juniperus virginiana 'Burkii' / Burk Red Cedar	B & B	6 FT. Tall Min.	25'	8'	12
	JUN CAN	Juniperus virginiana 'Canaertii' / Canaerti Juniper	B & B	6 FT. Tall Min.	25'	15'	4
	OST VIR	Ostrya virginiana / American Hophornbeam	B & B	1.5" Min. Cal.	25'	15'	2
	PIC DEN	Picea glauca 'Densata' / Black Hills Spruce	B & B	6 FT. Tall Min.	30'	25'	2
	PIN BIB	Pinus cembra 'Big Blue' / Big Blue Swiss Stone Pine	B & B	6 FT. Tall Min.	35'	15'	3
	QUE RUB	Quercus rubra / Red Oak	B & B	2.5" Min. Cal.	75'	75'	5
	QUE SCH	Quercus x schuettii / Swamp Bur Oak	B & B	2.5" Min. Cal.	75'	70'	3
	ULM MOR	Ulmus x 'Morton Accolade' / Accolade Elm	B & B	2.5" Min. Cal.	70'	70'	1
SHRUBS							
	ARO IRO	Aronia melanocarpa 'Iroquois Beauty' / Black Chokeberry	3 gal	Container	3'	4'	43
	DIE LON	Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal	Container	4'	5'	54
	HYP JOH	Hypericum kalmianum / Kalm's St. Johnswort	3 gal	Container	3'	3'	39
	JUN SEA	Juniperus chinensis 'Sea Green' / Sea Green Juniper	3 gal	Container	6'	6'	24
	JUN OWL	Juniperus virginiana 'Grey Owl' / Eastern Redcedar	3 gal	Container	3'	6'	22
	SYR BLD	Syringa x 'SMSJBP7' / Bloomerang® Dark Purple Lilac	3 gal	Container	6'	5'	9
	VIB SUN	Viburnum dentatum 'Synnvested' / Chicago Lustre Arrowwood Viburnum	3 gal	Container	12'	10'	3



BRIORN

DESIGN GROUP

5805 N BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53005-1950
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PLANTING NOTES,
DETAILS & SCHEDULE

SHEET TITLE

PROPOSED BUILDING FOR:
MP SYSTEMS/PIEPER ELECTRIC
S, EXECUTIVE DR.
VILLAGE OF EAST TROY, WISCONSIN

Revision

Date

JOB: 2400085
DRAWN: HG
CHECKED: KS/JIS
DATE: 2025-02-10
SHEET:
L2.0


















VALUE	FLOOR PLAN CODED NOTES
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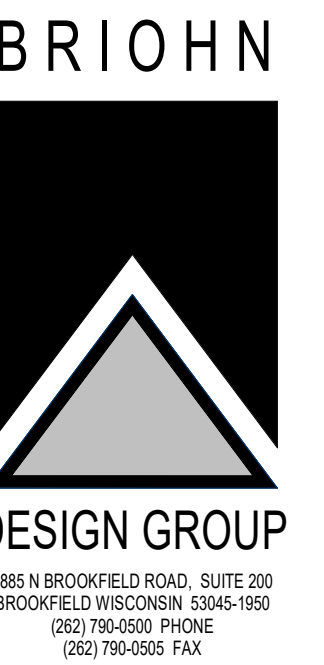
VALUE	FLOOR PLAN CODED NOTES
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1 VERIFY ALL CONDITIONS, DIMENSIONS AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO BRIOHN'S

- | | |
|---|--|
| 1 | VERIFY ALL CONDITIONS, DIMENSIONS AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO BROHN'S ATTENTION PRIOR TO FABRICATION/CONSTRUCTION BEGINS. |
| 2 | VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS. |
| 3 | SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS. |
| 4 | DURING CONSTRUCTION, AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS. |

FLOOR PLAN LEGEND

	ROOM NAME		PARTITION TO BE DEMOLISHED
	DOOR NUMBER		DOOR AND FRAME TO BE REMOVED
	PARTITION TYPE		EXISTING PARTITION TO REMAIN
	KEYNOTES		EXISTING DOOR TO REMAIN
	SURFACE MOUNTED FIRE EXTINGUISHER		NEW CONSTRUCTION
	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER		NEW DOOR & FRAME
	EXIT LIGHT		BORROWED LIGHT TAG
	EXIT LIGHT (DIRECTIONAL TAG)		TOILET ACCESSORY TAG
	TOILET ACCESSORY TAG		



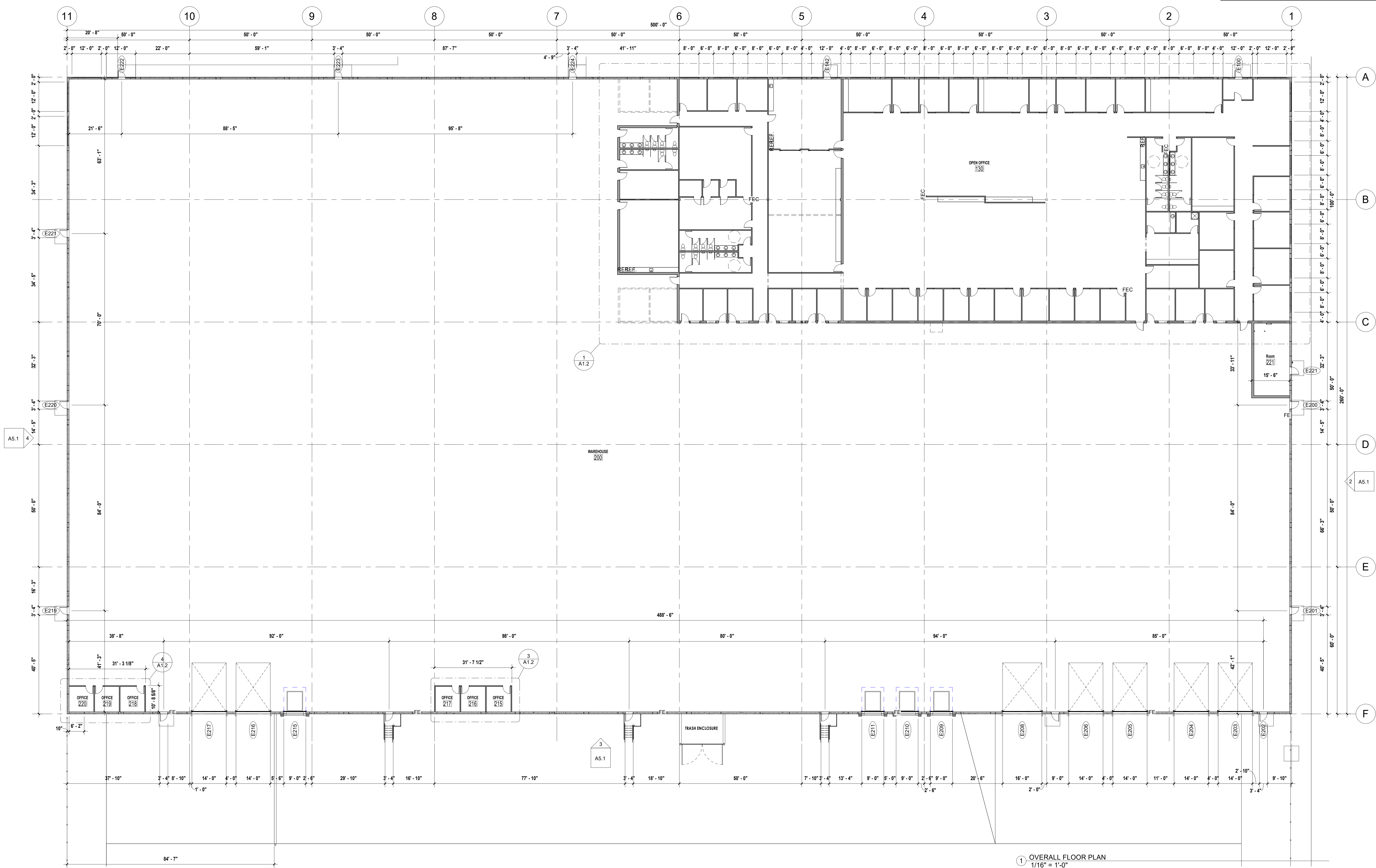
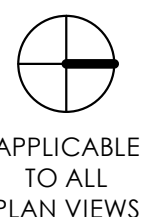
OVERALL FLOOR PLANS

PROJECT LOCATION

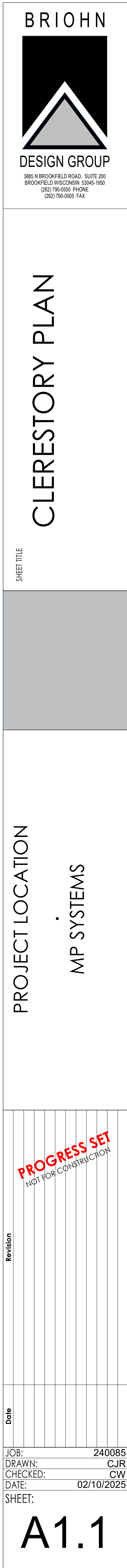
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IB:	240085
AWN:	CJR
CHECKED:	CW
DATE:	02/10/2025
MEET:	

A1.0



① OVERALL FLOOR PLAN
1/16" = 1'-0"



CLERESTORY PLAN

SHEET TITLE

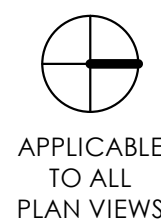
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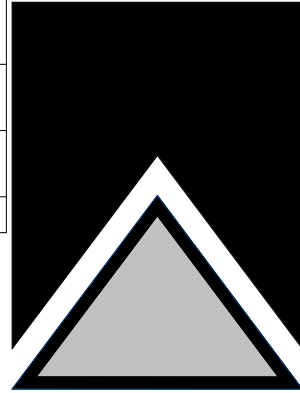
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JOB:	240085
DRAWN:	CJR
CHECKED:	CW
DATE:	02/10/2025
SHEET:	

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GENERAL NOTES - NEW FLOOR PLAN

1. VERIFY ALL CONDITIONS, DIMENSIONS AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO BRIORN'S ATTENTION PRIOR TO FABRICATION/CONSTRUCTION BEGINS.
2. VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
3. SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.
4. DURING CONSTRUCTION, AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS.

KEYNOTE LEGEND

VALUE FLOOR PLAN CODED NOTES

PARTITION TYPES

TAG	STUD TYPE	STUD HEIGHT	INSULATION	VAPOR BARRIER	NOTED SIDE SURFACE MATERIAL	NOTED SIDE SURFACE HEIGHT	OPPOSITE SIDE SURFACE MATERIAL	OPPOSITE SIDE SURFACE HEIGHT	REMARKS
3A	3 5/8" STEEL STUDS	VARIES	----	----	5/8" TYPE "X" GYPSUM WALLBOARD	VARIES	5/8" TYPE "X" GYPSUM WALLBOARD	VARIES	LOW HEIGHT WALL - SEE PLANS/DETAILS FOR HEIGHT
3B	3 5/8" STEEL STUDS	10'-0" A.F.F.*	3 1/2" SOUND BATT	----	5/8" TYPE "X" GYPSUM WALLBOARD	6" ABOVE ADJACENT CEILING*	5/8" TYPE "X" GYPSUM WALLBOARD	6" ABOVE ADJACENT CEILING*	PROVIDE KICKERS AT STUDS TO STRUCTURE OR ALTERNATE EVERY THIRD STUD TO EXTEND TO UNDERSIDE OF DECK
3D	3 5/8" STEEL STUDS	TO UNDERSIDE OF STRUCTURE (14'-0" +/-)	3 1/2" SOUND BATT	----	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (14'-0" +/-)	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (14'-0" +/-)	
3F	3 5/8" STEEL FURRING	10'-0" A.F.F. (UNLESS DETAILED OTHERWISE)	----	----	5/8" TYPE "X" GYPSUM WALLBOARD	10'-0" A.F.F. (UNLESS DETAILED OTHERWISE)	----	----	HOLD STEEL STUDS 1" OFF INTERIOR FACE OF EXTERIOR PRECAST WALL U.N.O.
3G	3 5/8" STEEL FURRING	TO UNDERSIDE OF STRUCTURE (14'-0" +/-)	----	----	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (14'-0" +/-)	----	----	HOLD STEEL STUDS 1" OFF INTERIOR FACE OF EXTERIOR PRECAST WALL U.N.O.
6B	6" STEEL STUDS	12'-0" A.F.F.	6" SOUND BATT	----	5/8" TYPE "X" GYPSUM WALLBOARD	12'-0" A.F.F.	5/8" TYPE "X" GYPSUM WALLBOARD	12'-0" A.F.F.	----
6D	6" STEEL STUDS	TO UNDERSIDE OF STRUCTURE (14'-0" +/-)	6" SOUND BATT	----	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (14'-0" +/-)	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (14'-0" +/-)	----
6F	6" STEEL FURRING	+/-12'-0" A.F.F. (U.N.O. IN DETAILS)	----	----	5/8" TYPE "X" GYPSUM WALLBOARD	+/-12'-0" A.F.F. (U.N.O. IN DETAILS)	----	----	----
6R	6" STEEL STUDS	TO UNDERSIDE OF STRUCTURE (31'-9" +/-)	6" SOUND BATT	----	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (31'-9" +/-)	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (31'-6" +/-)	1 HOUR RATED, UL#419, RATED CAULKING AND SAFING AS REQUIRED AT DECK.
8D	8" STEEL STUDS	TO UNDERSIDE OF STRUCTURE (31'-9" +/-)	8" SOUND BATT	----	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (31'-9" +/-)	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (31'-6" +/-)	----
PC10	10" SOLID PRECAST	SEE SECTIONS & DETAILS	---	----	----	----	----	----	1 HOUR RATED

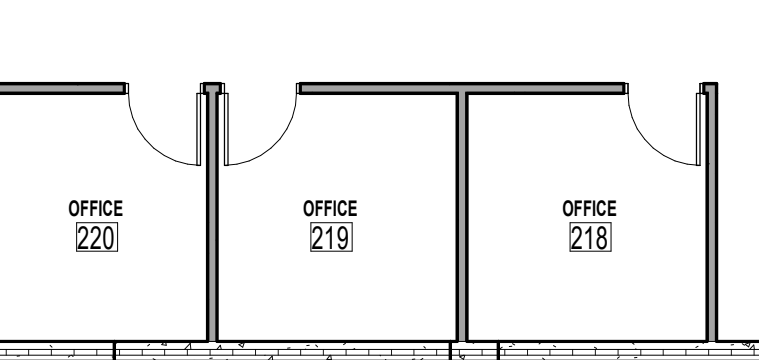
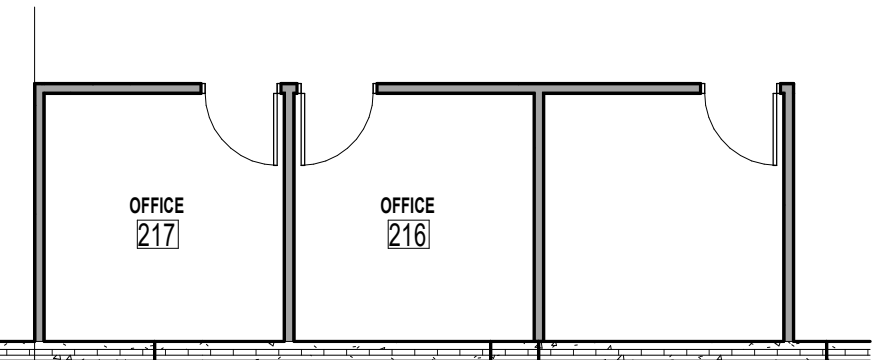
1. ALL STEEL STUDS SHALL BE 25 GAUGE STUDS @ 24" O.C.. (UNLESS NOTED OTHERWISE)
2. ALL EXPOSED GYPSUM WALL BOARD SHALL BE TAPED & COATED SMOOTH, READY FOR PAINT.
3. USE 6" METAL STUDS AND INSTALL MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL "WET WALL" LOCATIONS.
4. AT EXTERIOR WALLS, RETURN GYPSUM WALL BOARD INTO WINDOW JAMBS AND HEAD.
5. STUDS EXTENDED TO DECK SHALL HAVE A SLIP CONNECTION TO ALLOW FOR DEFLECTION

FLOOR PLAN LEGEND

ROOM	ROOM NAME	ROOM NUMBER	PARTITION TO BE DEMOLISHED
100	DOOR NUMBER		
A	PARTITION TYPE		
K	KEYNOTES		
S	SURFACE MOUNTED FIRE EXTINGUISHER		
F.E.C.	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER		
+	EXIT LIGHT		
BL	EXIT LIGHT (DIRECTIONAL)		
TP-1	BORROWED LIGHT TAG		
	TOILET ACCESSORY TAG		

11

8

ENLARGED WAREHOUSE OFFICE
PLANS (SOUTH)
1/8" = 1'-0"ENLARGED WAREHOUSE OFFICE
PLANS (CENTRAL)
1/8" = 1'-0"

6

5

4

3

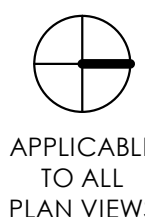
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1

A

B

C

1 ENLARGED OFFICE PLAN
1/8" = 1'-0"APPLICABLE
TO ALL
PLAN VIEWS

KEYNOTE LEGEND	
VALUE	FLOOR PLAN CODED NOTES
07-5	CONCRETE BALLAST PAVERS-2' X 2' 2" W/ PROTECTION SHEET
07-17	2' X 2' 2" CONCRETE BALLAST ROOF PAVERS AT BUILDING CORNERS FOR ROOF MEMBRANE HOLD DOWN.
08-3	ROOF HATCH: PROVIDE CODE-COMPLIANT HATCH SIZE, FOR USE WITH OSHA-APPROVED STEEL LADDER ACCESS FROM FLOOR BELOW. PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQUIRED. SEE DETAIL X/AX.X. PROVIDE PAVERS AROUND PERIMETER OF HATCH.
23-1	ROOF TOP UNIT (SEE MECHANICAL) PROVIDE TAPERED INSULATION CRICKETS AT HIGH SIDE OF ROOF AT UNIT TO ALLOW FOR DRAINAGE AROUND THE UNIT.

GENERAL NOTES - ROOF PLAN	
1	SEE STRUCTURAL DWGS FOR FURTHER STRUCTURAL INFORMATION.
2	COORDINATE ROOF SCREEN SIZE WITH MECHANICAL UNITS. SEE STUCTURAL DRAWINGS FOR FURTHER INFORMATION.
3	SEE SHEET A4.2 FOR OTHER CANOPY AND TUBE SUN SHADES PLANS
4	PROVIDE ROOF PAVERS AT ROOF HATCH AND AT ALL ROOF TOP UNITS. REFER TO HVAC PLAN BY OTHERS FOR LOCATIONS.



ROOF PLAN

SHEET TITLE

PROJECT LOCATION
MP SYSTEMS

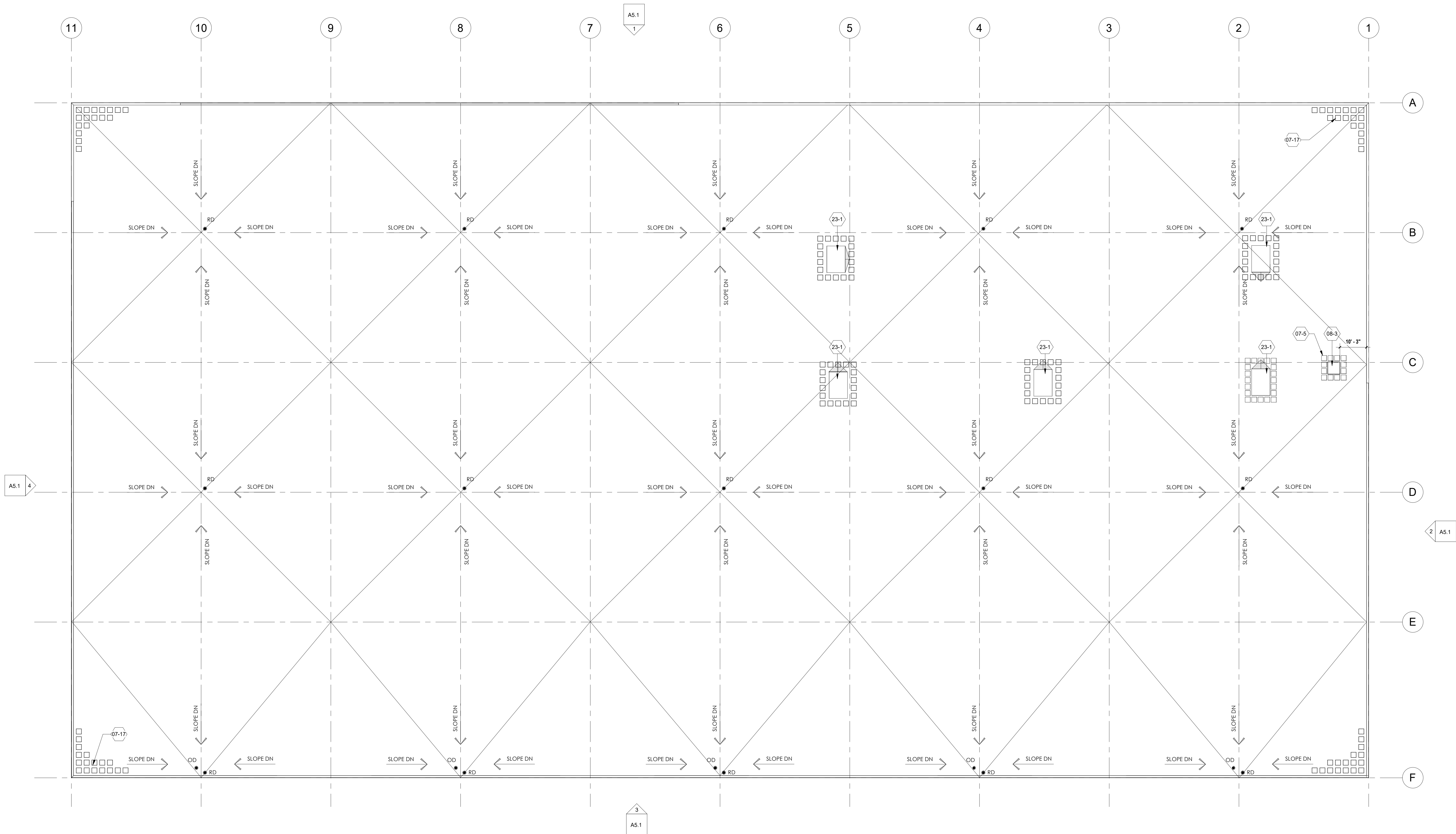
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NOT FOR CONSTRUCTION

Revision

Date

JOB: 240085
DRAWN: CJR
CHECKED: CW/
DATE: 02/10/2025
SHEET:

A4.1



1 ROOF
1/16" = 1'-0"

Key Name	Comments
1	

VALUE	FLOOR PLAN CODED NOTES
03-1	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH -

	WHITE [COLOR 1] - SEE EXTERIOR MATERIALS LEGEND
03-2	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - LIGHT GRAY [COLOR 2] - SEE EXTERIOR MATERIALS LEGEND
03-3	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - MEDIUM GRAY [COLOR 3] - SEE EXTERIOR MATERIALS LEGEND
03-4	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - DARK GRAY [COLOR 4] - SEE EXTERIOR MATERIALS LEGEND
03-5	SOLID PRECAST WALL @ TRASH ENCLOSURE, WITH PAINTED FINISH - LIGHT GRAY [COLOR 2] - SEE EXTERIOR MATERIALS LEGEND
03-7	CONCRETE RETAINING WALL [SEE STRUCTURAL DWGS.]
03-10	2' X 1/2" DEEP REVEAL [HORIZONTAL], COLOR 3
03-11	8' X 1/2" DEEP REVEAL [HORIZONTAL], COLOR 1
03-12	8' X 1/2" DEEP REVEAL [HORIZONTAL], COLOR 2
03-13	8' X 1/2" DEEP REVEAL [HORIZONTAL], COLOR 3
03-14	8' X 1/2" DEEP REVEAL [HORIZONTAL], COLOR 4
05-6	EXTERIOR STEEL STAIRS WITH GALVANIZED STEEL BAR GRATE TREADS AND LANDING, PROVIDE STEEL CLOSED RISERS WITH PLY GUARDRAIL RAILING DESIGN AND FABRICATION TO BE COORDINATE WITH ARCHITECT
07-2	PRE-FINISHED METAL (24 GA) TRIM FINISHED CANOPY ON STEEL FRAMING [SEE DETAILS], METAL TRIM COLOR TO BE:
07-3	PRE-FINISHED METAL 24 GA. GRAVEL STOP COLOR SHALL BE:
07-8	PRE-FINISHED METAL 24 GA. COPING COLOR SHALL BE:
08-1	ALUMINUM STOREFRONT ENTRY SYSTEM
08-2	ALUMINUM STOREFRONT
08-4	PAINTED HOLLOW METAL SERVICE DOOR AND FRAME WITH EMERGENCY EGRESS CODE REQUIRED LIGHTING [COLOR TO MATCH WALL PANELS]
08-16	TREATED WOOD GATES (PAIR OR EQUAL PAIR) OF 1X6 VERTICAL SLATS MOUNTED TO STEEL FRAME, HINGE POSTS TO BE STEEL WITH CONCRETE CROWNED TOP PAINTED, HEIGHT TO MATCH DOOR HEIGHT PLUS 6"
21-7	FIRE DEPARTMENT CONNECTION AND ALARM AS REQUIRED BY LOCAL GOVERNING AGENCIES - REFER TO SPEC
22-3	STAINLESS STEEL FURNISH OVERFLOW SPOUT WITH HINGED COVER. CENTER ON PANEL WHERE POSSIBLE. UNDER NO CIRCUMSTANCES ARE THESE TO BE LOCATED ABOVE ANY DOOR OR WINDOW OPENINGS. SEE ROOF PLAN FOR ADDITIONAL NOTES. COORDINATE WALL COORDINATION WITH PRECAST CONCRETE
26-1	EXTERIOR LIGHT FIXTURE - CUT OFF LED WALLPACK - SEE LIGHTING PLAN FOR FIXTURE TYPE AND MOUNTING HEIGHT
26-11	BUILDING SIGNAGE BY OWNER
32-4	6" DIAMETER X 4'-0" TALL CONCRETE FINISHED STEEL PIPE BOLLARDS), PAINTED SAFETY YELLOW COORDINATE WITH CIVIL ANS. COORDINATE PLACEMENT WITH GROUND-MOUNTED MECHANICAL EQUIPMENT.

ROOFS - PROPOSED ROOF INSULATION ENTIRELY ABOVE DECK R-20ci REQUIRED AND R-25ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM

SLAB-ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW REQUIRED AND R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

PER 2015 IECC:

C402.5.1 AIR BARRIER PER C402.5.1.2.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE.
PROPOSED BUILDING COMPLIES.

SECTION C.402.S.1.
PROPOSED BUILDING COMPLIES.

C.402.5.4 DOORS AND ACCESS OPENINGS TO SHAFTS, CHUTES, STAIRWAYS AND ELEVATOR LOBBIES.
NOT APPLICABLE TO PROPOSED BUILDING.

C402.5.6 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS.

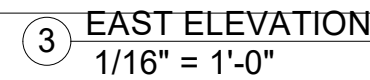
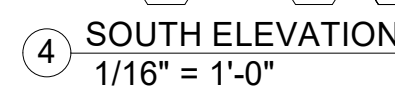
C402.3.7 VESTIBULES EXCEPT FROM DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, ON INTENDED SOLELY FOR EMPLOYEE USE, EXCEPTION 4 DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA, EXCEPTION 6 DOORS USED PRIMARILY TO FACILITATE


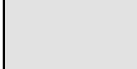


C402.5.8 RECESSED LIGHTING.
NOT APPLICABLE TO PROPOSED BUILDING.

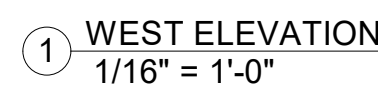
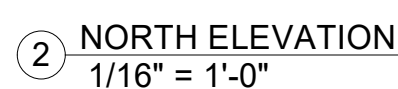
ROOF ASSEMBLY 1: BALLASTED ROOF MEMBRANE ON 5.7

ROOF ASSEMBLY 2: FULLY ADHERED ROOF MEMBRANE C
TAPERED DIRECT TO DECK APPROVED EPS INSULATION (M

INSULATED PRECAST WALL PANEL SYSTEM: 10" INSULATED PRECAST CONCRETE WALL PANEL (R-14)



	PRE-FINISHED EXPOSED AGGREGATE PRECAST PANEL 'WHITE' [COLOR 1: 'STANDISH WHITE' OR SIMILAR]
	PAINTED SMOOTH FACED PRECAST PANEL 'LIGHT GRAY' [COLOR 2: 'xxxxxx' OR SIMILAR]
	PAINTED SMOOTH FACED PRECAST PANEL 'MEDIUM GRAY' [COLOR 3: 'xxxxx' OR SIMILAR]
	PAINTED SMOOTH FACED PRECAST PANEL 'DARK GRAY' [COLOR 4: 'XXXXXX' OR SIMILAR]





PERSPECTIVE VIEW LOOKING SOUTHEAST



BIRDSEYE PERSPECTIVE VIEW LOOKING SOUTHEAST



PERSPECTIVE VIEW LOOKING SOUTHWEST



Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number	Quantity	Unit	Notes	File
OA	OA		1	OSRAM	OSRAM LED 10 W 100 K	OSRAM LED 10 W 100 K 100 K	1	100	W	100 W	100 W
WA	WA		1	OSRAM	OSRAM LED 10 W 100 K	OSRAM LED 10 W 100 K 100 K	1	100	W	100 W	100 W
OB	OB		1	OSRAM	OSRAM LED 10 W 100 K	OSRAM LED 10 W 100 K 100 K	1	100	W	100 W	100 W

Luminaire Locations										
Location							Aim			
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	OA	-2372.60	-65.36	25.00	25.00	0.00	0.00			
2	OA	-2210.46	-64.01	25.00	25.00	0.00	0.00			
3	OA	-2048.33	-62.79	25.00	25.00	0.00	0.00			
3	WA	-2446.93	-152.02	20.00	20.00	0.00	0.00	-2446.93	-152.02	0.00
4	WA	-2432.61	-413.33	20.00	20.00	180.00	0.00	-2432.61	-413.33	0.00
5	WA	-2330.71	-412.45	20.00	20.00	180.00	0.00	-2330.71	-412.45	0.00
6	WA	-2229.19	-411.15	20.00	20.00	180.00	0.00	-2229.19	-411.15	0.00
7	WA	-2127.48	-410.23	20.00	20.00	180.00	0.00	-2127.48	-410.23	0.00
8	WA	-2025.77	-409.54	20.00	20.00	180.00	0.00	-2025.77	-409.54	0.00
10	WA	-1995.17	-281.93	20.00	20.00	90.00	0.00	-1995.17	-281.93	0.00
11	WA	-1994.62	-400.62	20.00	20.00	90.00	0.00	-1994.62	-400.62	0.00
1	OB	-1961.04	72.88	20.00	20.00	270.00	0.00	-1962.54	72.88	0.00
12	WA	-2498.59	-166.11	20.00	20.00	270.00	0.00	-2498.59	-166.11	0.00
13	WA	-2497.48	-288.34	20.00	20.00	270.00	0.00	-2497.48	-288.34	0.00
14	WA	-2496.62	-401.62	20.00	20.00	270.00	0.00	-2496.62	-401.62	0.00
16	WA	-2370.14	-150.97	20.00	20.00	0.00	0.00	-2370.14	-150.97	0.00
17	WA	-2293.35	-150.98	20.00	20.00	0.00	0.00	-2293.35	-150.98	0.00
18	WA	-2216.56	-149.91	20.00	20.00	0.00	0.00	-2216.56	-149.91	0.00
19	WA	-2139.78	-149.21	20.00	20.00	0.00	0.00	-2139.78	-149.21	0.00
20	WA	-2062.99	-148.15	20.00	20.00	0.00	0.00	-2062.99	-148.15	0.00

NP SYSTEMS - EAST TROY

Designer

Date

02/05/2025

Scale

Not to Scale

Drawing No.

E1.0



Project Name: MP Systems East Troy

Export Date: 03-03-2025

Prepared by:



Enterprise Lighting and Control - Eastern Wisconsin

2007 Pewaukee Rd
Waukesha, WI 53188



This project was built on **The Lighting Exchange®**



Fixture Type: OA

Product	Qty	Part Number	Specsheet
 ESX1 LED Area Luminaire Lithonia Lighting Approval Status: Pending	3	ESX1 LED P2 40K R3	

Fixture Type: OB

Product	Qty	Part Number	Specsheet
 ESX1 LED Area Luminaire Lithonia Lighting Approval Status: Pending	1	ESX1 LED P2 40K R3	

Fixture Type: WA

Product	Qty	Part Number	Specsheet
 ESX1 LED Area Luminaire Lithonia Lighting Approval Status: Pending	16	ESX1 LED P2 40K R3	