

EXISTING UTILITY DATA

ALL UTILITY DATA SHOULD BE USED AS REFERENCE ONLY. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

STM 1 RIM 719.57 IE. 12° E/W 708.62	STM 5 RIM 718.67 IE. 8° SW 711.47 IE. 8° E 713.07 IE. 8° NE 713.67	CB 1 RIM 718.74 IE. 15° W 708.94 IE. 8° NE 709.34	CB 6 RIM 715.49 IE. 8° S 711.04 IE. 8° NE 709.34	CB 10 RIM 712.71 IE. 18° E 709.46 IE. 24° N 709.46	CB 15 RIM 718.67 IE. 8° W 712.77	CB 21 RIM 713.25 IE. 2° S 708.75 IE. 2° W 708.90 (BACK PITCH)	CB 26 RIM 718.63 IE. 10° S 714.13 IE. 6° NE 714.03 (BACK PITCH)	SAN 1 RIM 719.36 IE. 8° S 706.86 IE. 15° SW/NE 694.69 IE. 10° NW 694.69	SAN 6 RIM 719.94 IE. 8° S 694.69 IE. 15° SW/NE 694.69 IE. 8° NW 706.39 IE. 10° NW 694.69
STM 2 RIM 718.77 IE. 8° S 713.67 IE. 21° W 705.62 IE. 27° N 705.17 IE. 24° SE 706.37	STM 6 RIM 719.67 IE. 12° W 707.57 IE. 15° E 707.47	CB 2 RIM 717.78 IE. 15° W 708.53 IE. 12° N 709.95	CB 7 RIM 713.70 IE. 12° N 709.95 IE. 4° SW 710.65 IE. 4° SE 710.55 IE. 4° E 710.70	CB 11 RIM 713.14 IE. 24° E 708.39 IE. 27° N 708.34	CB 16 RIM 716.04 IE. 8° E 713.24	CB 22 RIM 713.83 IE. 12° SW 709.73 IE. 15° W 709.58 IE. 15° E 709.63	CB 27 RIM 718.85 IE. 6° SW 714.45 IE. 6° NW 714.45	SAN 2 RIM 719.39 IE. 8° N 705.94 IE. 8° SW 705.84	OCS 1 RIM 712.13 IE. 18° (NE) 708.60 IE. 12° (SW) 709.39 IE. 12° (SE) 709.46
STM 3 RIM 716.24 IE. 15° E 709.14 IE. 12° S 709.24 IE. 10° SW 709.24	STM 7 RIM 720.04 IE. 15° W 713.54 IE. 15° NE 713.54 (FLOWS NE)	CB 3 RIM 718.77 IE. 4° E 710.55 IE. 4° E 711.96	CB 8 RIM 714.34 IE. 12° NW 709.69 IE. 4° SW 711.59 IE. 4° SE 711.69	CB 12 RIM 715.81 IE. 8° NE 709.51 IE. 6° N 711.81	CB 18 RIM 718.89 IE. 8° W 714.64	CB 23 RIM 713.81 IE. 15° W 709.81	CB 28 RIM 718.97 IE. 4° SE 714.97	SAN 3 RIM 717.37 IE. 8° S 705.22 IE. 8° NW 705.82 IE. 8° NE 705.52	SAN 5 RIM 716.63 IE. 15° SW/NE 693.33
STM 4 RIM 716.64 IE. 15° E 709.14 IE. 12° S 709.24 IE. 8° SW 709.64	STM 8 RIM 719.96 IE. 15° W 715.36 IE. 15° E 714.16	CB 4 RIM 718.16 IE. 15° S 707.21 IE. 12° W 707.21 IE. 24° N 707.21	CB 9 RIM 713.01 IE. 12° SE 709.61 IE. 18° E 709.41 IE. 18° W 709.61	CB 13 RIM 716.33 IE. 6° N 712.03 IE. 8° NE 710.03	CB 19 RIM 718.77 IE. 8° N 712.77 IE. 8° SW 712.77 (FLOWS N)	CB 24 RIM 715.47 IE. 24° W 709.72 IE. 24° NE 709.72	CB 29 RIM 718.66 IE. 4° SW 713.66 IE. 6° N 713.46	SAN 4 RIM 715.44 IE. 15° SW/NE 692.04 IE. 8° NNE 694.24 IE. 18° (NE) 708.60 IE. 12° (SW) 709.39	SAN 5 RIM 716.63 IE. 15° SW/NE 693.33
	CB 5 RIM 716.28 IE. 24° S 706.18 IE. 24° NW 706.08	CB 14 RIM 717.40 IE. 8° E 713.35	CB 14 RIM 717.40 IE. 8° E 713.35	CB 14 RIM 717.40 IE. 8° E 713.35	CB 20 RIM 717.27 IE. 8° NE 712.37	CB 25 RIM 715.45 IE. 27° S 704.25 IE. 27° N 704.20	CB 30 RIM 719.17 IE. 714.02		

NOTES
BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1983 / 2011.
ALL ELEVATIONS REFER TO NAVD 1988 (12).

LEGEND

⊕ STORM MANHOLE	⊕ SANITARY MANHOLE	⊕ LIGHT POLE	⊕ POWER POLE	⊕ DECIDUOUS TREE	⊕ 2" IRON PIPE FOUND
⊕ CATCH BASIN	— SAN — SANITARY SEWER	⊕ YARD LIGHT	— GUY WIRE —	⊕ CONIFEROUS TREE	⊕ RACKBAR FOUND
— STM — STORM SEWER	⊕ CLEAN OUT	⊕ GENERATOR	⊕ PAD MOUNT TRANSFORMER	⊕ FLAG POLE	⊕ 1-1/4" IRON PIPE FOUND
⊕ DOWNSPOUT	⊕ WATER MANHOLE	⊕ ELECTRIC PEDESTAL	⊕ COMMUNICATION MANHOLE	⊕ BASKETBALL HOOP	⊕ CHISEL "X"
⊕ GAS MAIN	⊕ HYDRANT	⊕ ELECTRIC METER	⊕ COMMUNICATION BOX	⊕ WATER CONTROL VALVE	⊕ 3/4" NAIL
⊕ GAS METER	⊕ WATER VALVE	⊕ ELECTRIC LINE	⊕ COMMUNICATION LINE	⊕ FENCE	⊕ 1" IRON PIPE FOUND
⊕ SIGN	— W — WATER MAIN	⊕ ELECTRIC MANHOLE	⊕ GUARD POST	⊕ OVERHEAD WIRES	⊕ FUNNEL BALL

UTILITY NOTE
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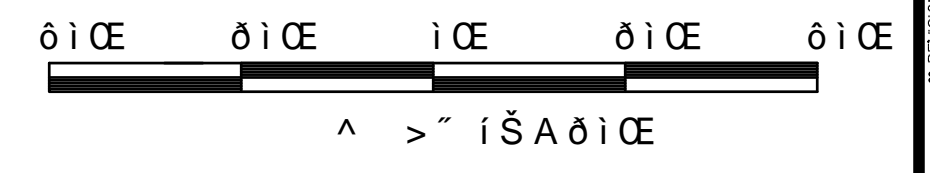
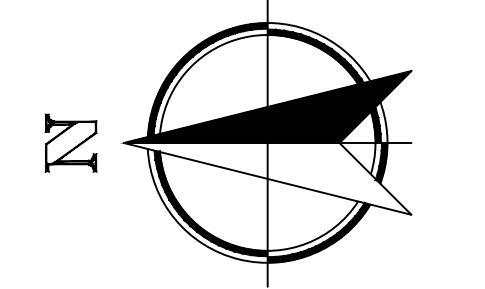
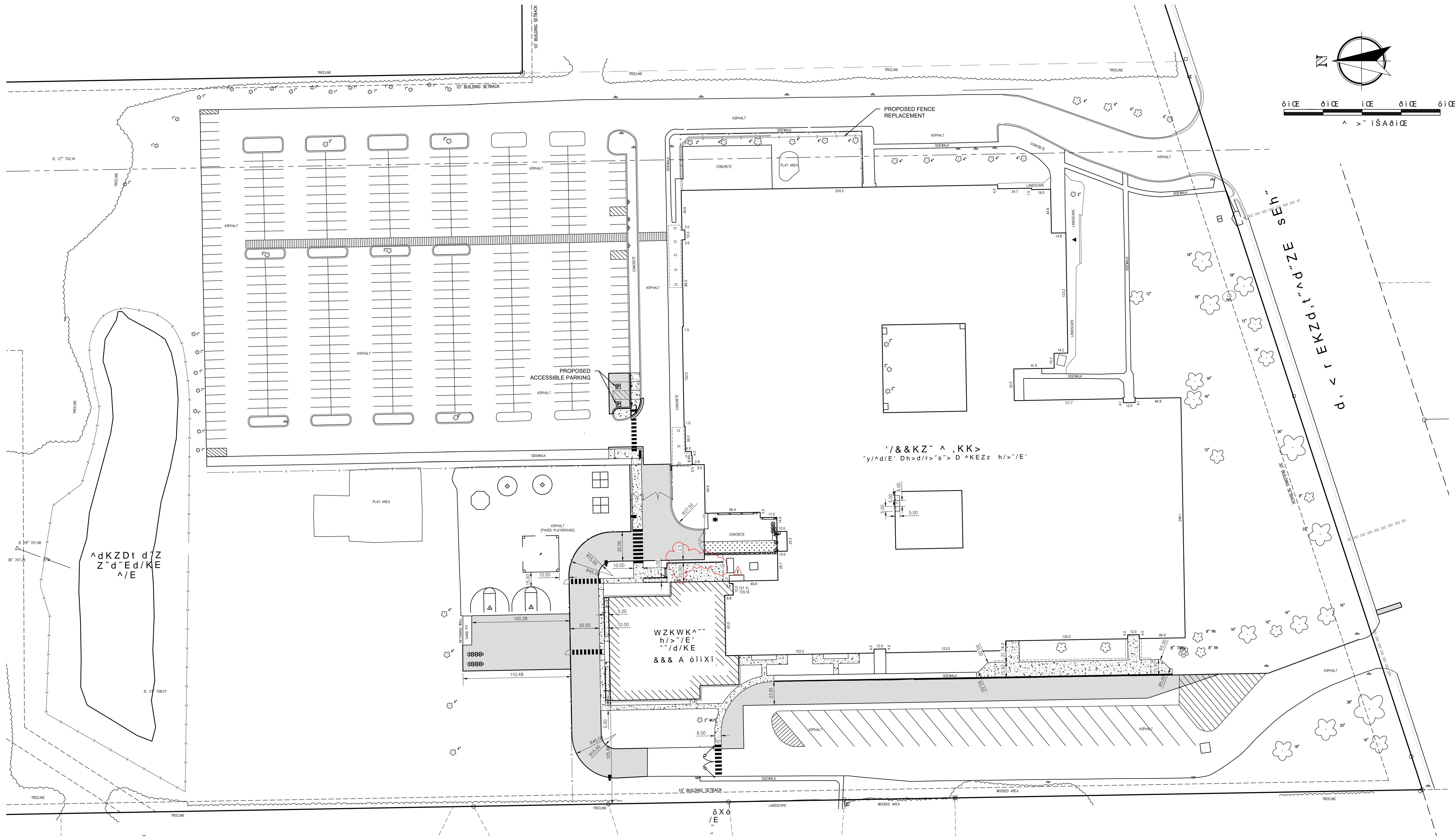
DIGGERS HOTLINE
Call 800 or (800) 242-8511
www.DiggersHotline.com

GIFFORD SCHOOL - ADDITION AND REMODEL
RACINE UNIFIED SCHOOL DISTRICT, 8332 NORTHWESTERN AVE, FACINE, WI 53406



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd, Suite 200, Racine, WI 53406
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PROJECT NO: 2015-0016-10
DATE: 01/23/2015
SHEET NO: C100



PROJECT NO.	2015.0216.10
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CHECKED BY	JUC
SCALE	AS SHOWN
TITLE	ADDITION AND REMODEL
DATE	03/23/2015

GIFFORD SCHOOL - ADDITION AND REMODEL
RACINE UNIFIED SCHOOL DISTRICT, 8332 NORTHWESTERN AVE, RACINE, WI 53406
DIMENSIONED SITE PLAN



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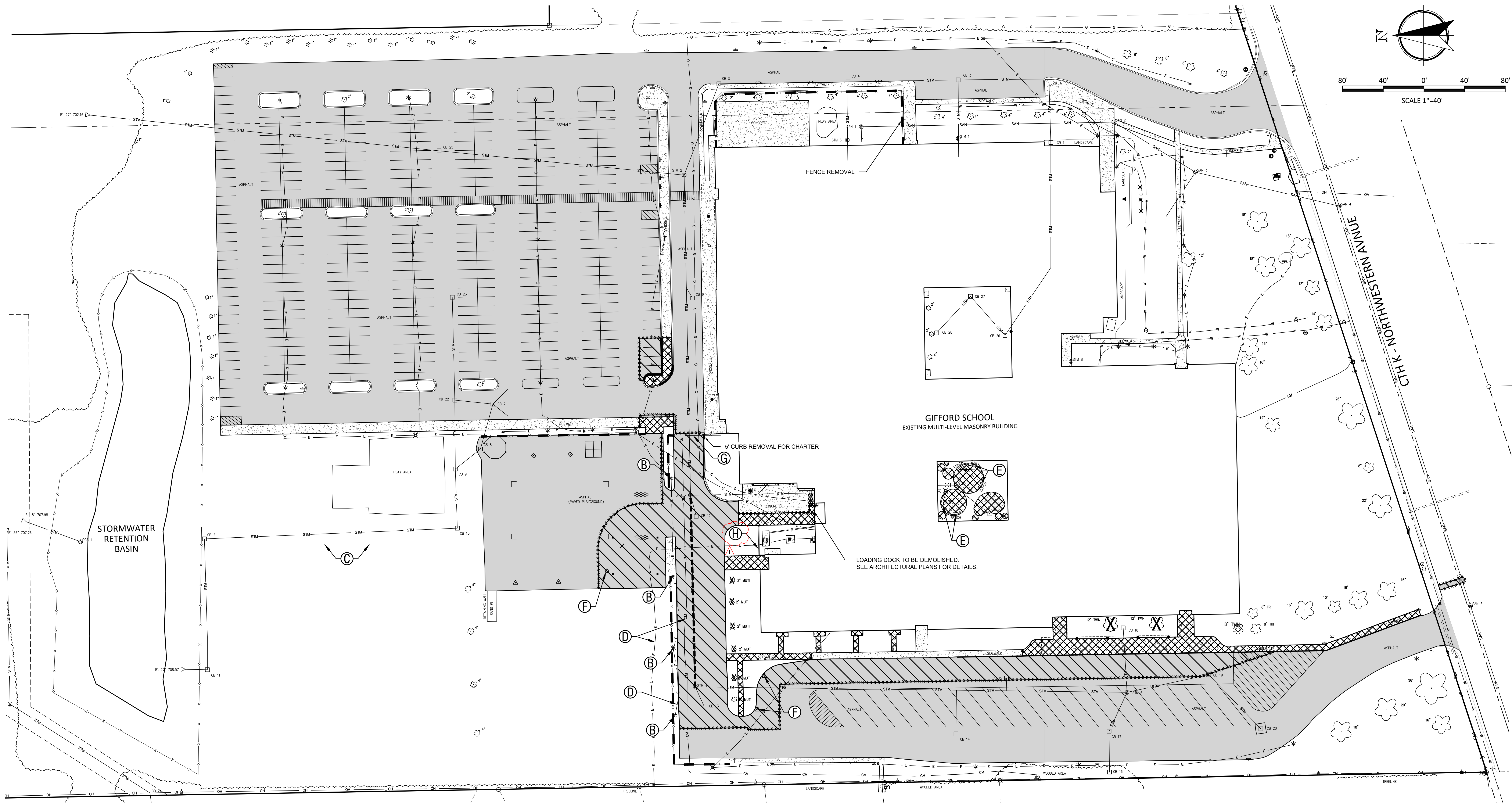
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C101



SITE DEMOLITION LEGEND

- ***** SAW CUT PAVEMENT (FULL DEPTH)
- REMOVE CONCRETE CURB
- REMOVE STORM SEWER
- x--- REMOVE FENCE, POSTS & FOUNDATIONS
- ▨ REMOVE ASPHALT PAVEMENT & BASE
- ▩ REMOVE CONCRETE PAVEMENT & BASE
- X CLEAR AND GRUB ISOLATED TREES
- (A) REMOVE STORM STRUCTURE
- (B) REMOVE LIGHT POLE
- (C) REMOVE EXPOSED CONCRETE / RUBBLE AND RESTORE AREA TO LAWN
- (D) EXISTING PUBLIC UTILITY TO BE RELOCATED (CONTRACTOR TO COORDINATED WITH INDIVIDUAL UTILITY)
- (E) SALVAGE BENCH TO OWNER
- (F) REMOVE AND SALVAGE BASKETBALL HOOP/FUNNEL BALL AND POLE TO OWNER. DISPOSE OF FOUNDATION.
- (G) REMOVE GATE
- (H) REMOVE RETAINING WALL AND FOUNDATIONS.

DEMOLITION NOTES

THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL AT A LOCATION APPROVED (BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.

THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LAND SURVEYOR AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDING PRIOR TO DEMOLITION OF THE BUILDING.

ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CALL DIGGERS HOTLINE AT 1-800-242-8511 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES TO LOCATE AND MARK ALL UNDERGROUND UTILITIES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE AND MARK ALL UNDERGROUND PRIVATE UTILITIES.

CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.

CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.

PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS AS SHOWN ON THESE CONSTRUCTION PLANS OR AS NECESSARY TO COMPLETE THE WORK. CONCRETE SIDEWALK AND CURB & GUTTER IS TO BE REMOVED TO NEAREST JOINT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE OWNER.

ABANDONMENT OF UTILITIES SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE "STANDARD SPECIFICATIONS".

IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.

AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

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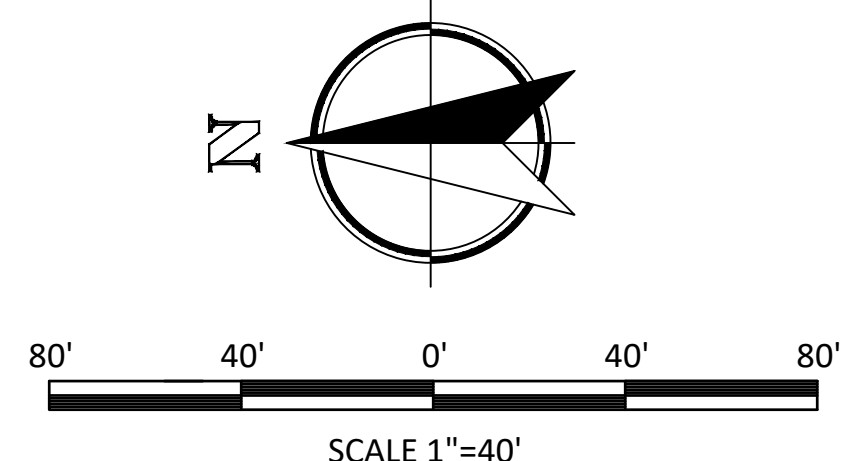
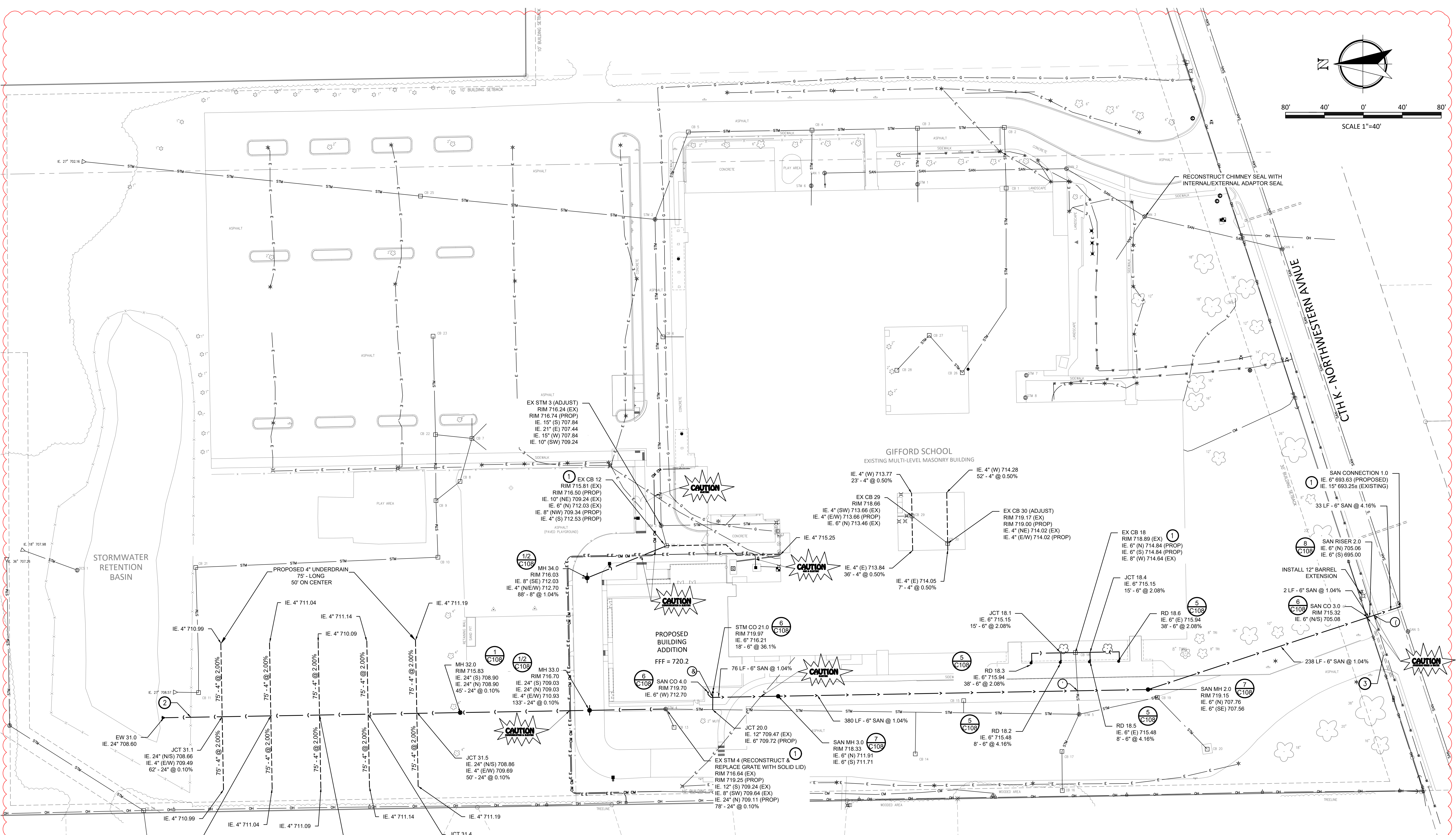
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CHECKED BY:	JC
DATE:	01/23/2015
SHEET NO.:	C102

GIFFORD SCHOOL - ADDITION AND REMODEL
 RACINE UNIFIED SCHOOL DISTRICT, 8332 NORTHWESTERN AVE, RACINE, WI 53406
 SITE DEMOLITION PLAN



Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd, Suite 200, Racine, WI 53406
 Tel: (262)634-5588 Website: www.nmbc.net

C102



LEGEND

- PROPOSED STORM SEWER
- PROPOSED UNDERDRAIN
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING ELECTRIC
- APPROXIMATE ELECTRICAL RELOCATION (BY OTHERS)
- EXISTING COMMUNICATION
- APPROXIMATE COMMUNICATION RELOCATION (BY OTHERS)

UTILITY NOTES

- 1 CONTRACTOR TO VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 2 CONTRACTOR TO REMOVE AND INSTALL FENCING DURING STORM INSTALLATION.
- 3 CONTRACTOR TO FILL EXISTING CULVERT WITH SLURRY AND ABANDON IN PLACE.

STORM SEWER CLEANING

EXISTING STORM PIPES FROM CB 30 TO STM 3 SHALL BE CLEANED.

UTILITY CONFLICT RESOLUTION TABLE

LOCATION	UTILITY	BOTTOM OF PIPE	TOP OF PIPE	CLEARANCE
③	8 & 3	-	-	-
	8 & 2	-	-	-
	8 & 2	-	-	-
	8 & 3	-	-	-
①	< 9"	-	-	-
	8 & 3	-	-	-

349' 1" 59' 4" = .89.3 < 89' 72.3 ' 88") 43 " 89.3 + 472.8 43 & 8.18 11" (4397.8 1947.94 7. + 57.47 94 (438997.9 43 & 3) 58.7 5745.7 8 58.745.43 5.7 (4)

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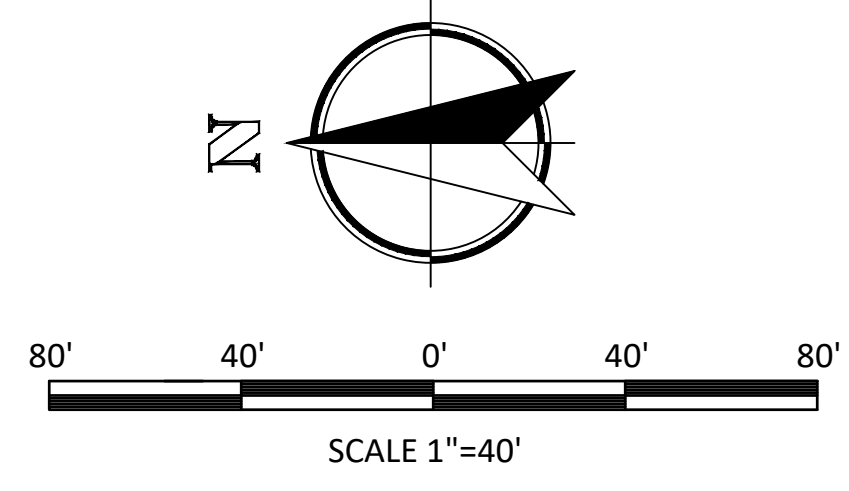
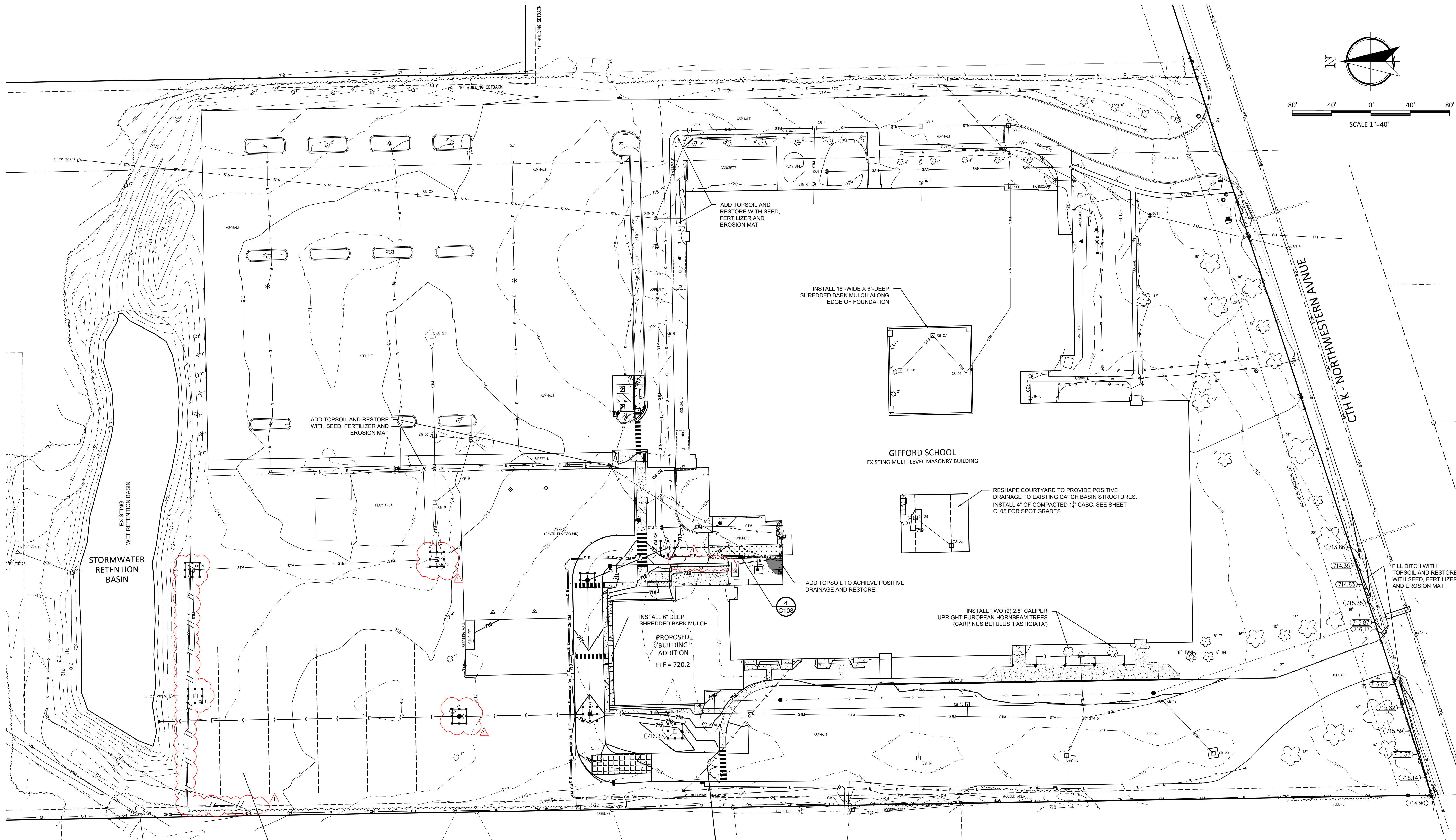
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 SITE UTILITY PLAN



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C103



DISTURBED AREAS SHALL BE RESTORED PER PLAN.
ENTIRE LAWN PLAY AREA SHALL BE SLIT-SEEDED WITH
REINDERS DELUXE 60.

SITE GRADING & EROSION CONTROL LEGEND

- 700 — EXISTING CONTOURS
- 700 — PROPOSED CONTOURS
- - - DRAINAGE SWALE CENTERLINE
- ① C106 SILT FENCE
- ② C106 STONE TRACKING PAD
- ③ C106 STORM INLET PROTECTION
- 719.00 — FINISHED YARD GRADE

RESTORATION

ALL DISTURBED AREAS SHALL RECEIVE 6" OF IMPORTED TOPSOIL AND RESTORED WITH REINDERS DELUXE 60 SEED, FERTILIZER TYPE B, AND MULCH UNLESS NOTED OTHERWISE. CONTRACTOR SHALL INSTALL IMPORTED TOPSOIL ADJACENT TO ALL NEWLY PAVED AREAS AND GRADE TO A MINIMUM 6H:1V SLOPE AND RESTORE.

FOUNDATION LANDSCAPING

CONTRACTOR SHALL INSTALL 18" WIDE X 6" DEEP SHREDDED BARK MULCH ALONG THE ENTIRE FOUNDATION OF THE BUILDING ADDITION.

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GIFFORD SCHOOL - ADDITION AND REMODEL
RACINE UNIFIED SCHOOL DISTRICT, 8332 NORTHWESTERN AVE, RACINE, WI 53406
SITE GRADING & EROSION CONTROL PLAN



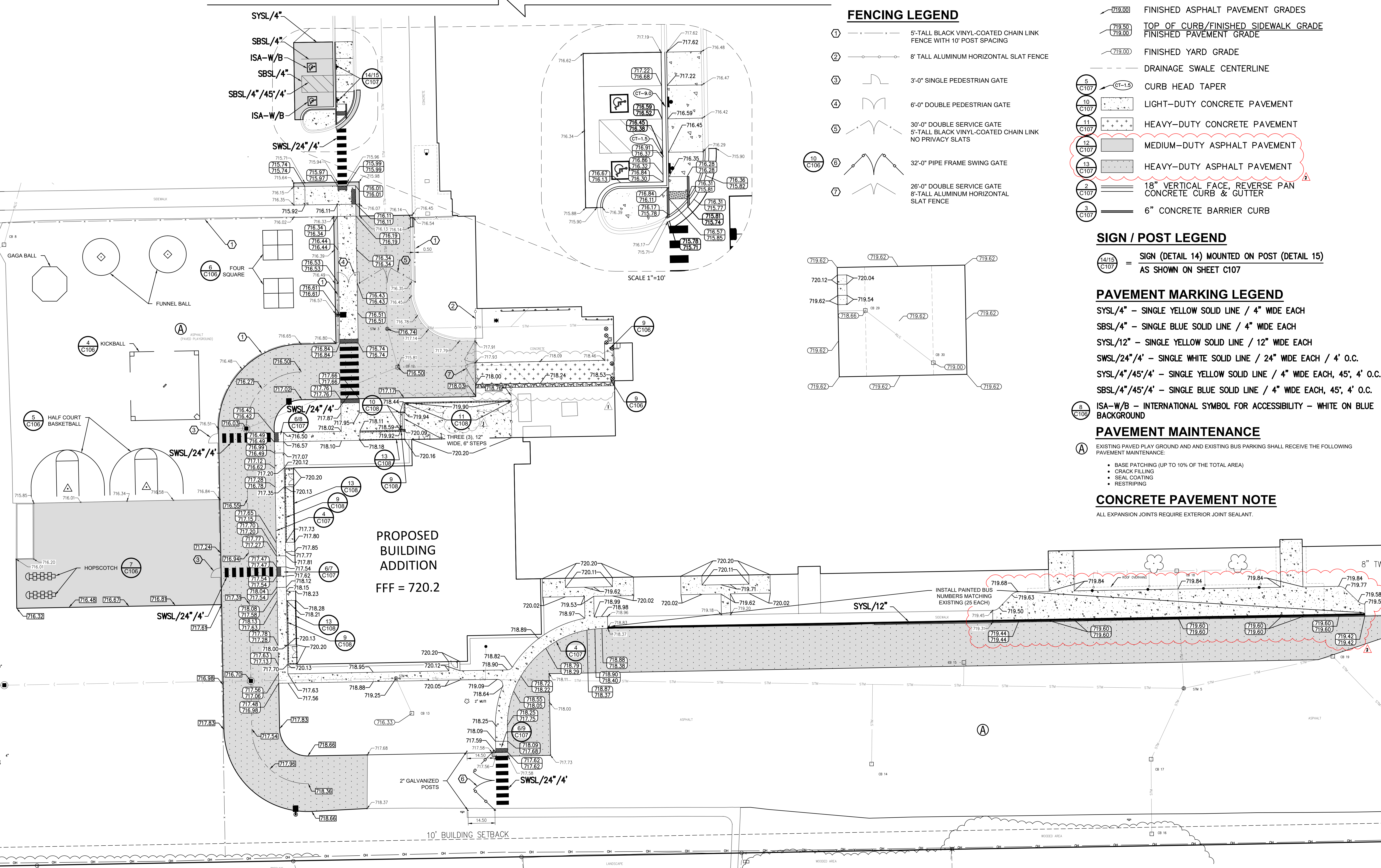
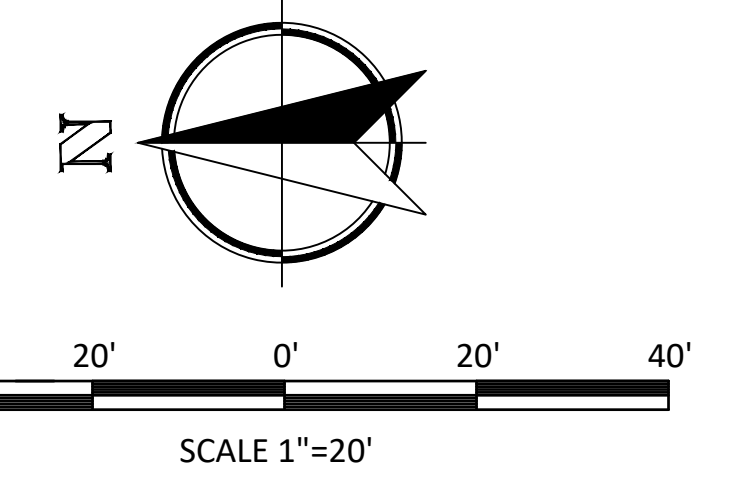
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C104



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PAVEMENT GRADING LEGEND

- 719.00 EXISTING SPOT GRADES
- 719.00 FINISHED CONCRETE PAVEMENT GRADES
- 719.00 FINISHED ASPHALT PAVEMENT GRADES
- 719.50 TOP OF CURB/FINISHED SIDEWALK GRADE
- 719.00 FINISHED PAVEMENT GRADE
- 719.00 FINISHED YARD GRADE
- DRAINAGE SWALE CENTERLINE
- 5 C107 CURB HEAD TAPER
- 10 C107 LIGHT-DUTY CONCRETE PAVEMENT
- 11 C107 HEAVY-DUTY CONCRETE PAVEMENT
- 12 C107 MEDIUM-DUTY ASPHALT PAVEMENT
- 13 C107 HEAVY-DUTY ASPHALT PAVEMENT
- 2 C107 18" VERTICAL FACE, REVERSE PAN CONCRETE CURB & GUTTER
- 3 C107 6" CONCRETE BARRIER CURB

FENCING LEGEND

- ① 5'-TALL BLACK VINYL-COATED CHAIN LINK FENCE WITH 10' POST SPACING
- ② 8' TALL ALUMINUM HORIZONTAL SLAT FENCE
- ③ 3'-0" SINGLE PEDESTRIAN GATE
- ④ 6'-0" DOUBLE PEDESTRIAN GATE
- ⑤ 30'-0" DOUBLE SERVICE GATE 5'-TALL BLACK VINYL-COATED CHAIN LINK NO PRIVACY SLATS
- ⑥ 32'-0" PIPE FRAME SWING GATE
- ⑦ 26'-0" DOUBLE SERVICE GATE 8'-TALL ALUMINUM HORIZONTAL SLAT FENCE

SIGN / POST LEGEND

- 14/15 C107 = SIGN (DETAIL 14) MOUNTED ON POST (DETAIL 15) AS SHOWN ON SHEET C107

PAVEMENT MARKING LEGEND

- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- SBSL/4" - SINGLE BLUE SOLID LINE / 4" WIDE EACH
- SYSL/12" - SINGLE YELLOW SOLID LINE / 12" WIDE EACH
- SWSL/24"/4" - SINGLE WHITE SOLID LINE / 24" WIDE EACH / 4' O.C.
- SYSL/4"/45"/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH, 45', 4' O.C.
- SBSL/4"/45"/4" - SINGLE BLUE SOLID LINE / 4" WIDE EACH, 45', 4' O.C.
- ISA-W/B - INTERNATIONAL SYMBOL FOR ACCESSIBILITY - WHITE ON BLUE BACKGROUND

PAVEMENT MAINTENANCE

- Ⓐ EXISTING PAVED PLAY GROUND AND EXISTING BUS PARKING SHALL RECEIVE THE FOLLOWING PAVEMENT MAINTENANCE:
 - BASE PATCHING (UP TO 10% OF THE TOTAL AREA)
 - CRACK FILLING
 - SEAL COATING
 - RESTRIPIPING

CONCRETE PAVEMENT NOTE

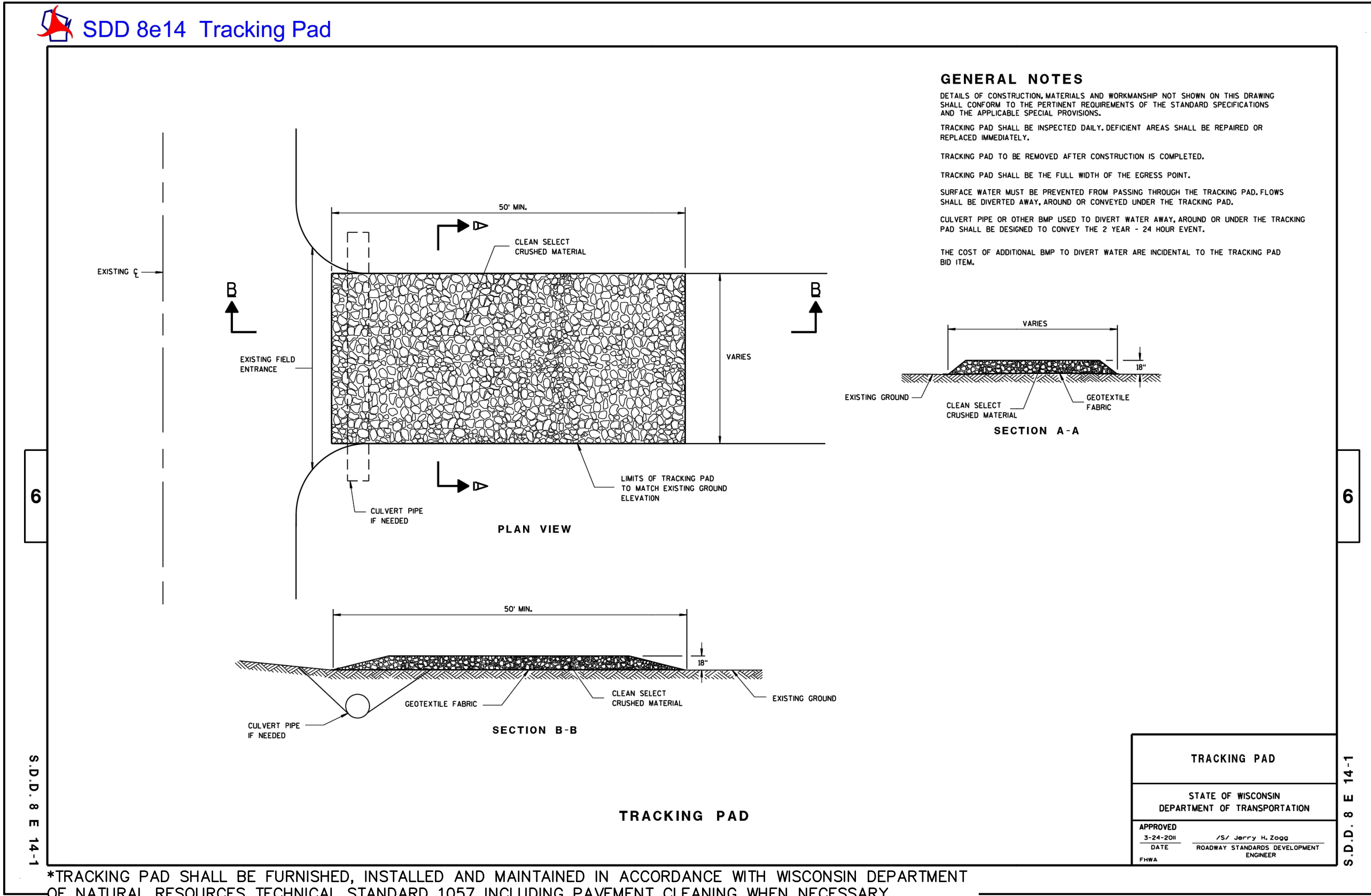
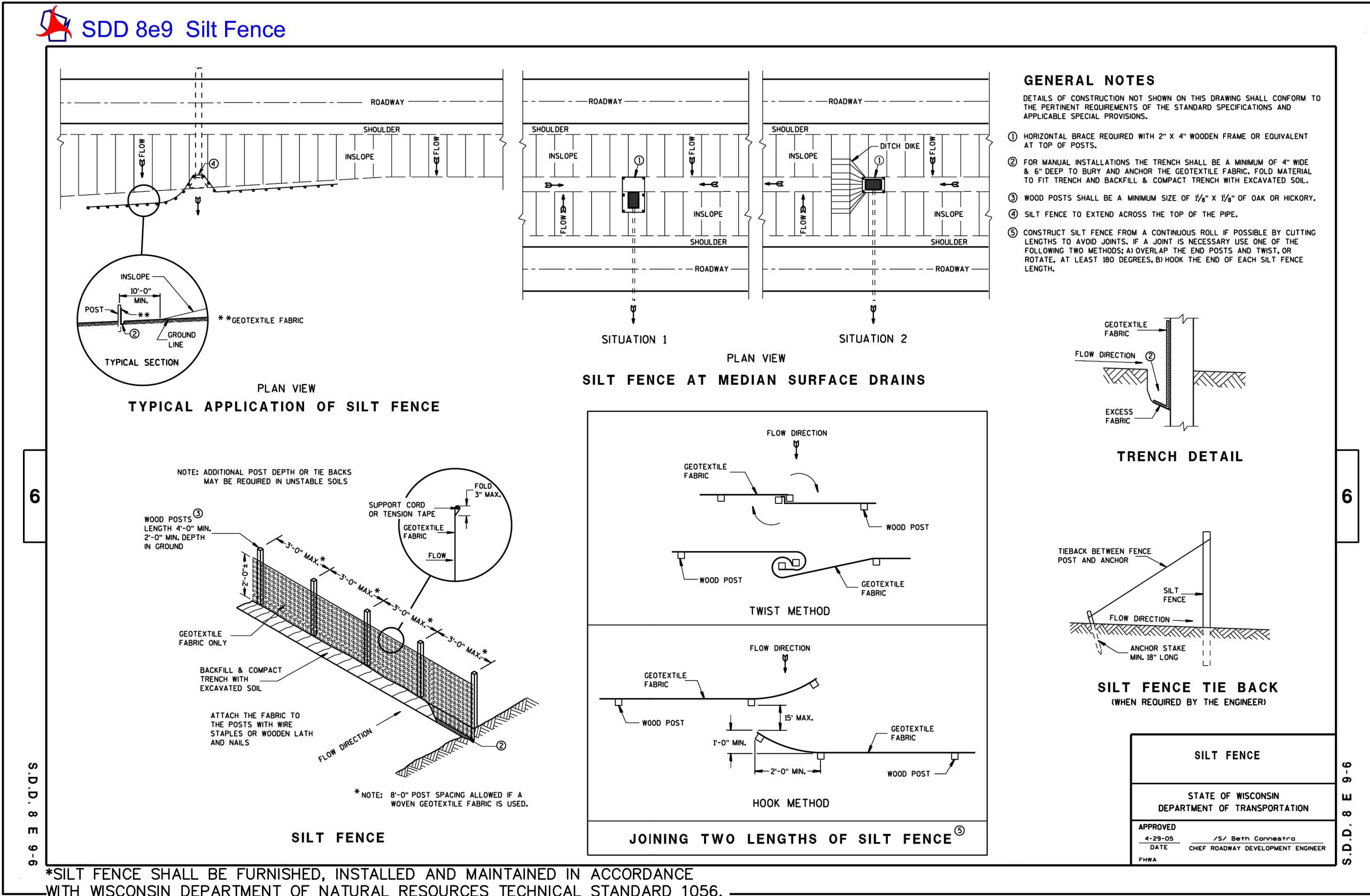
ALL EXPANSION JOINTS REQUIRE EXTERIOR JOINT SEALANT.

PROPOSED BUILDING ADDITION
FFF = 720.2

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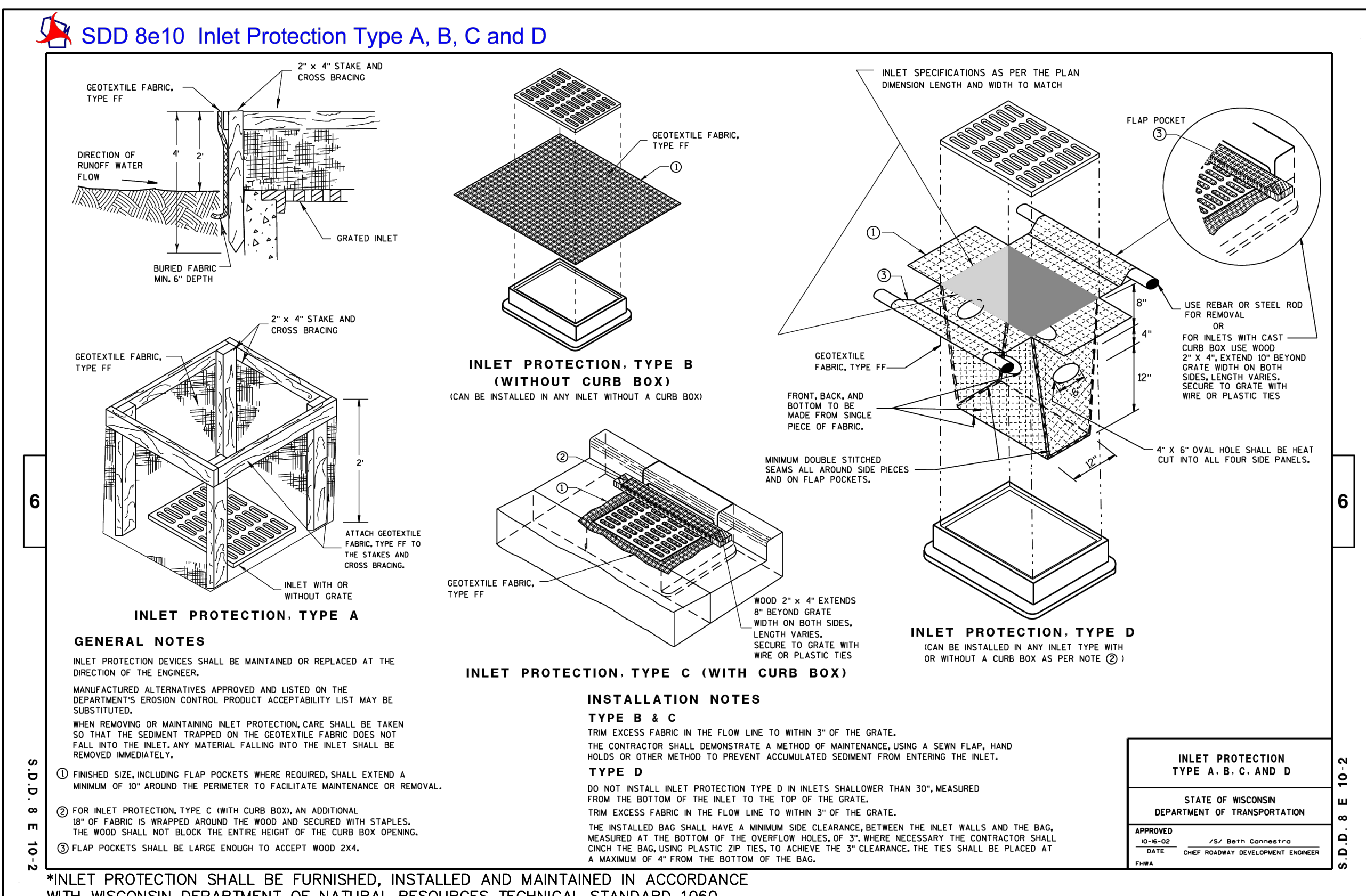
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 1458 Horizon Blvd, Suite 200, Racine, WI 53406
 Tel: (262)634-5588 Website: www.nmbc.net

GIFFORD SCHOOL - ADDITION AND REMODEL
 RACINE UNIFIED SCHOOL DISTRICT, 8332 NORTHWESTERN AVE, RACINE, WI 53406
 PAVEMENT GRADING, MARKING & SIGNAGE PLAN

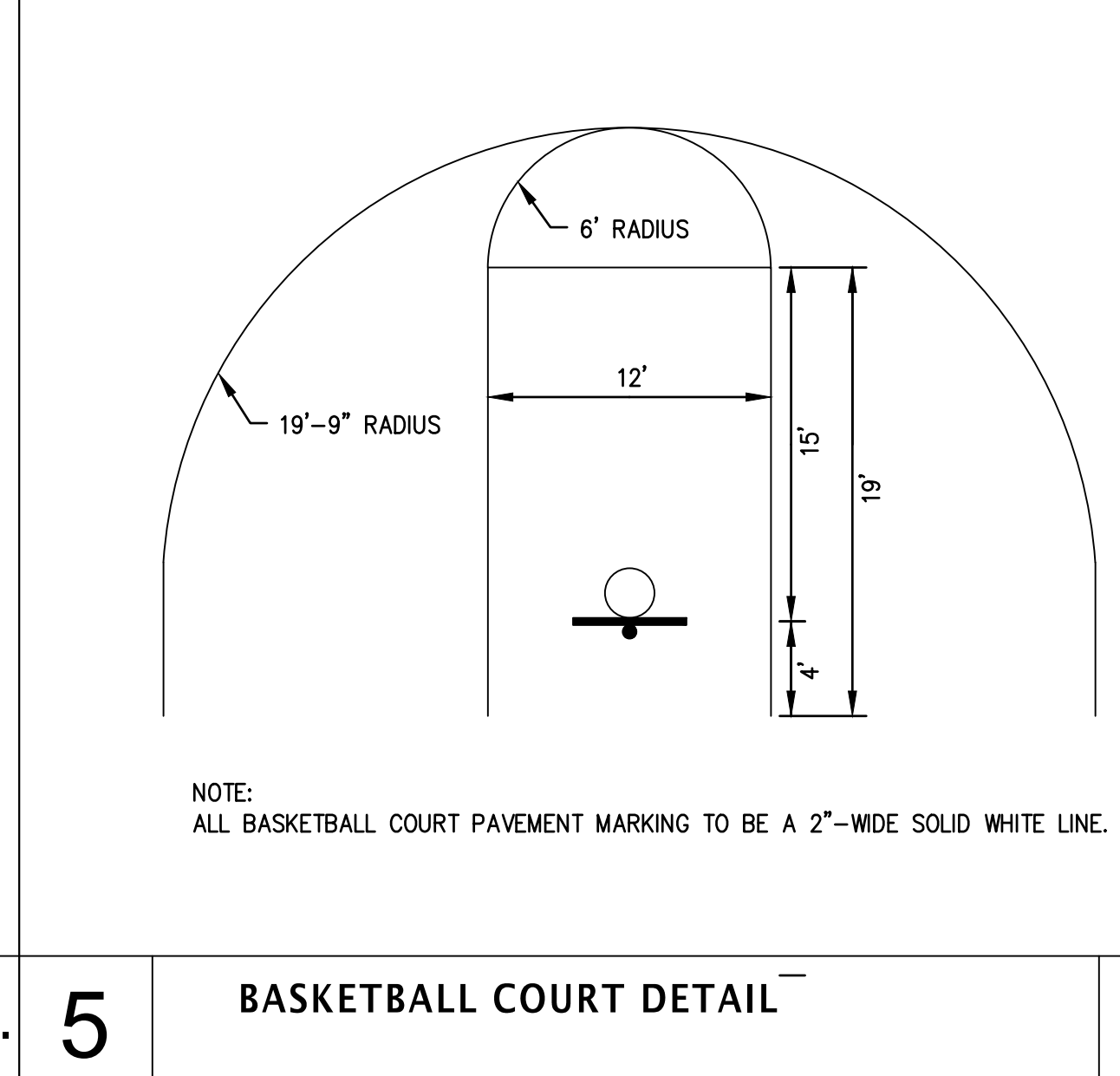
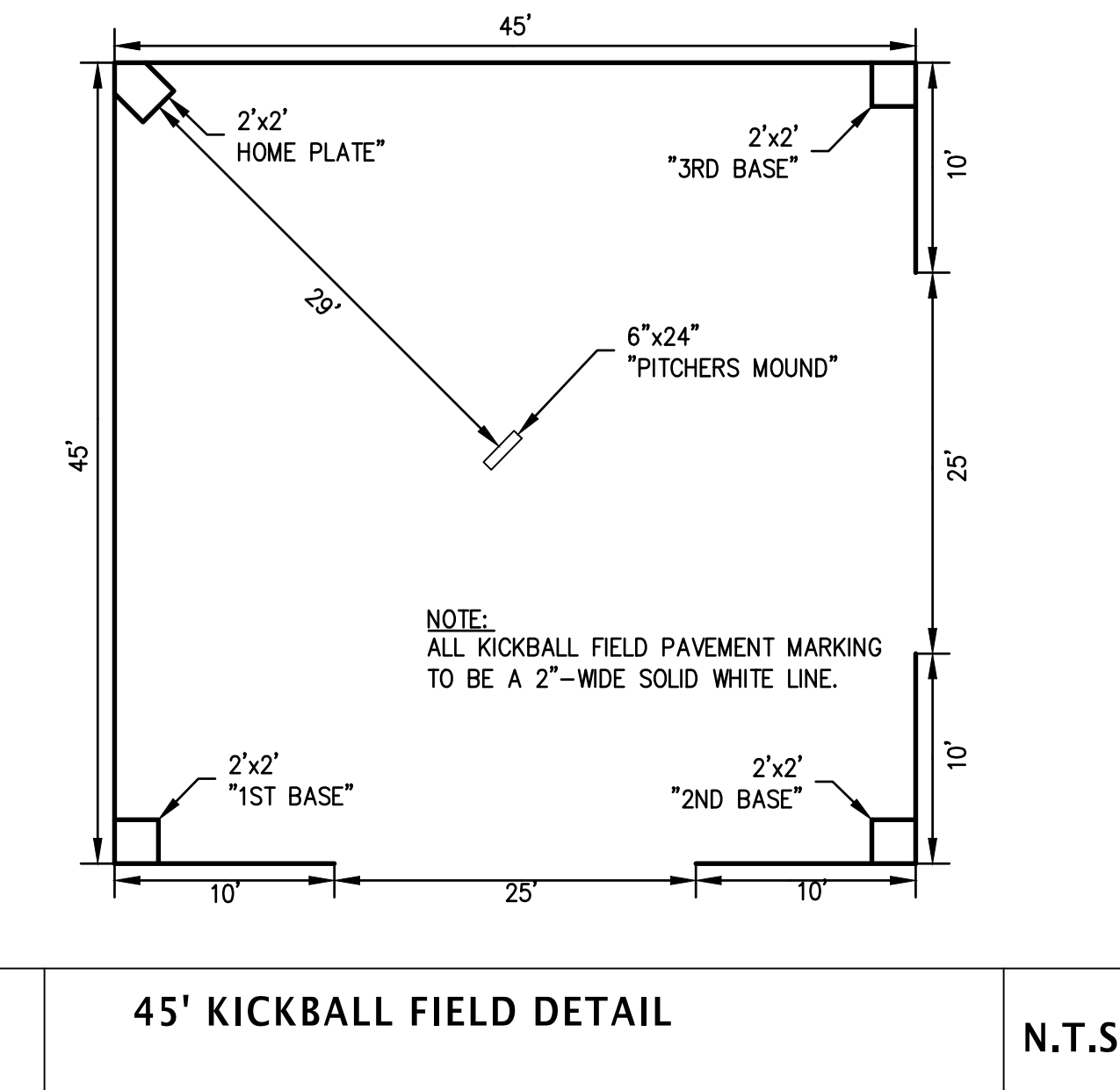


1 SILT FENCE DETAIL N.T.S.

2 TRACKING PAD DETAIL N.T.S.

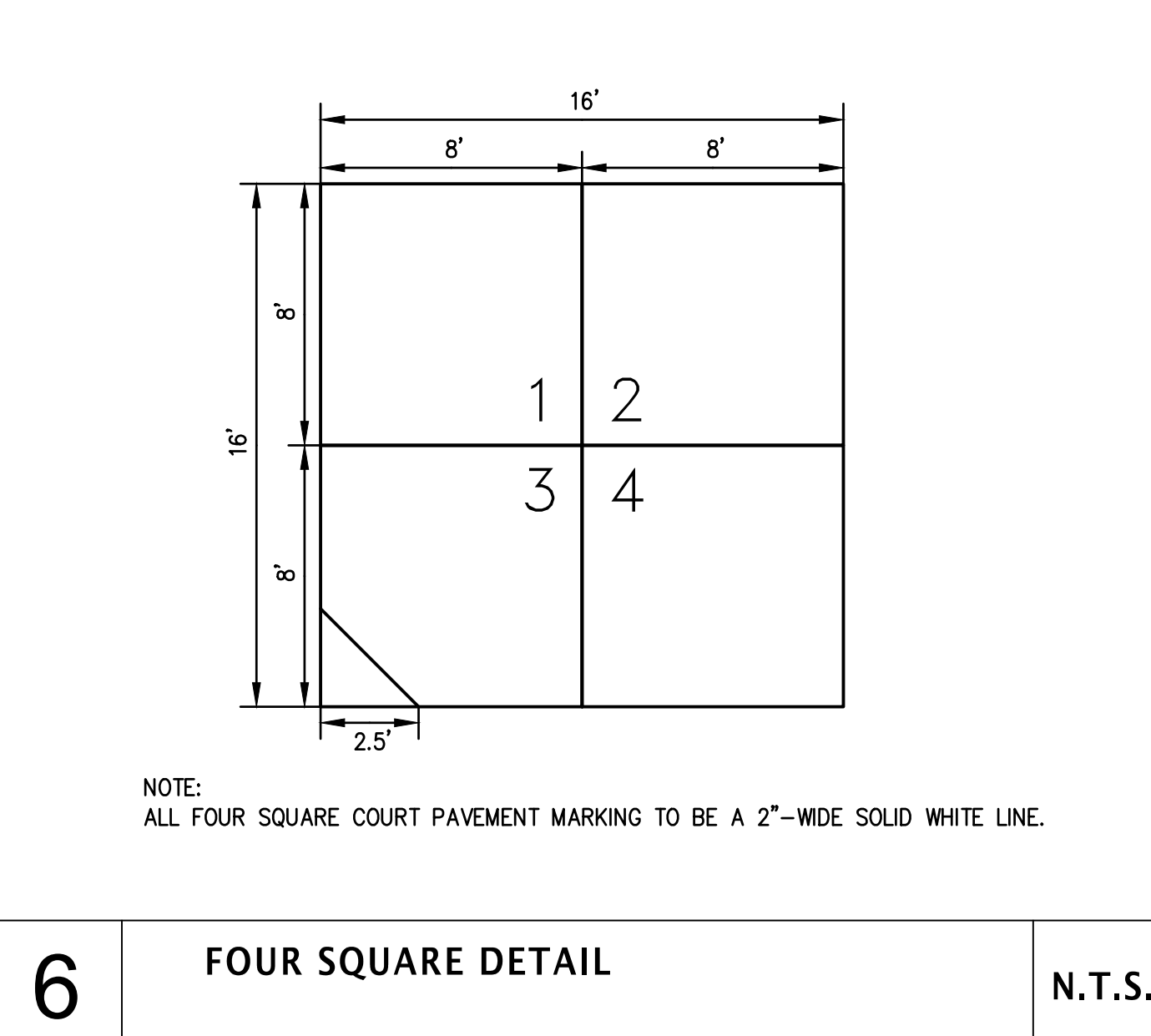


3 INLET PROTECTION DETAIL N.T.S.

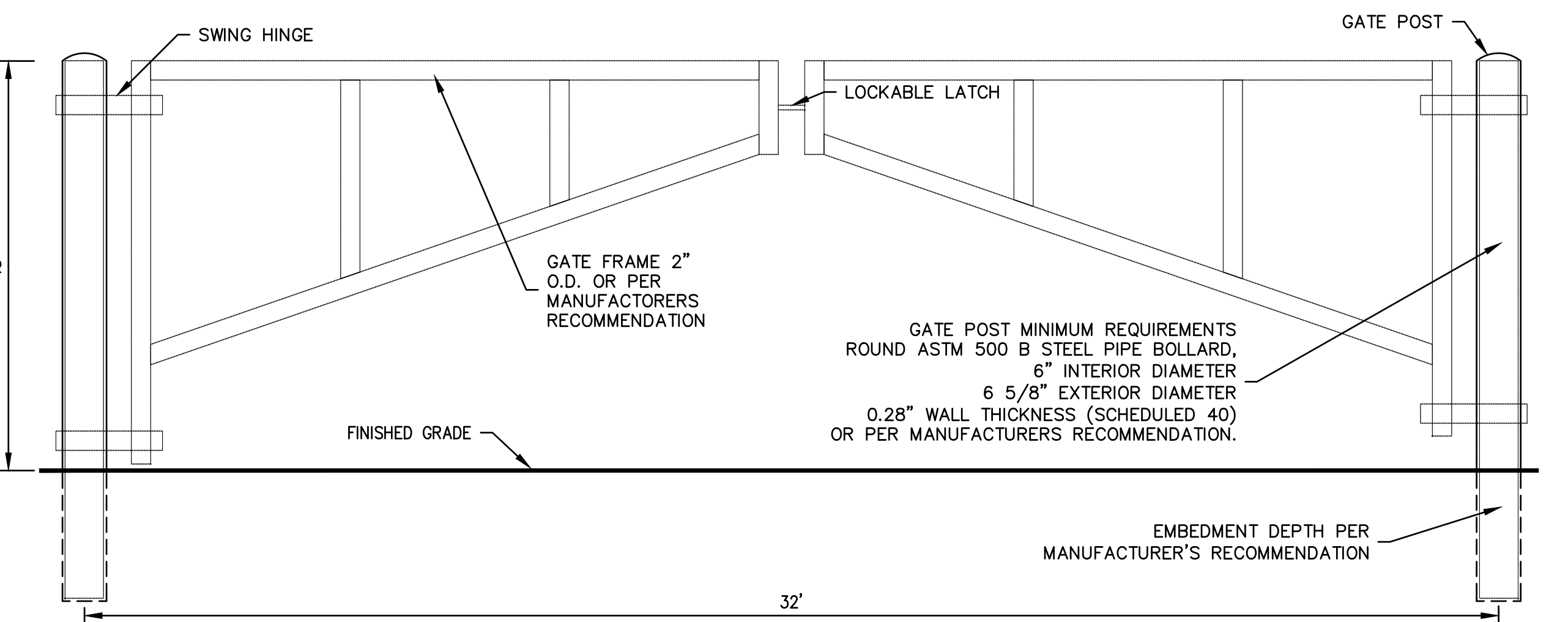


4 45' KICKBALL FIELD DETAIL N.T.S.

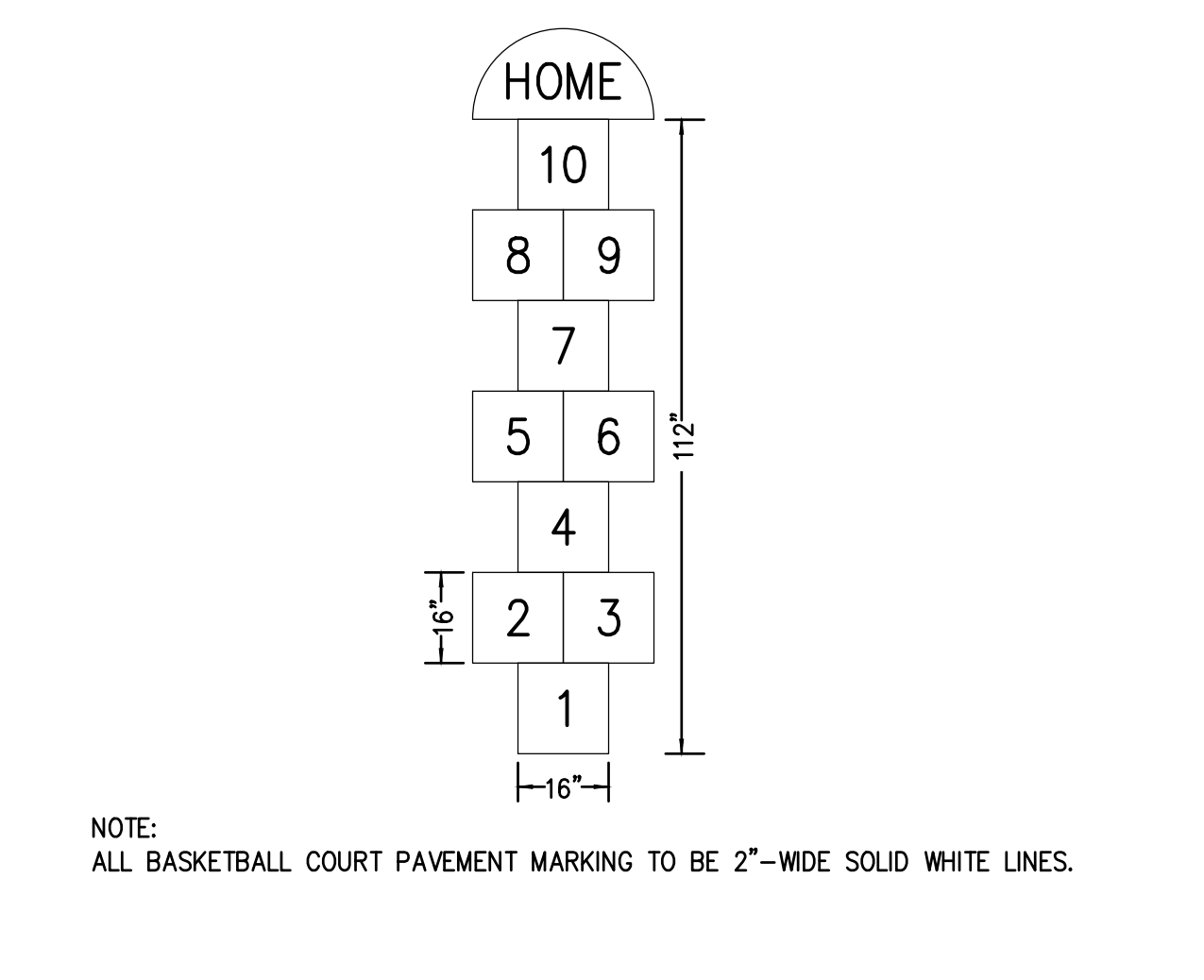
5 BASKETBALL COURT DETAIL N.T.S.



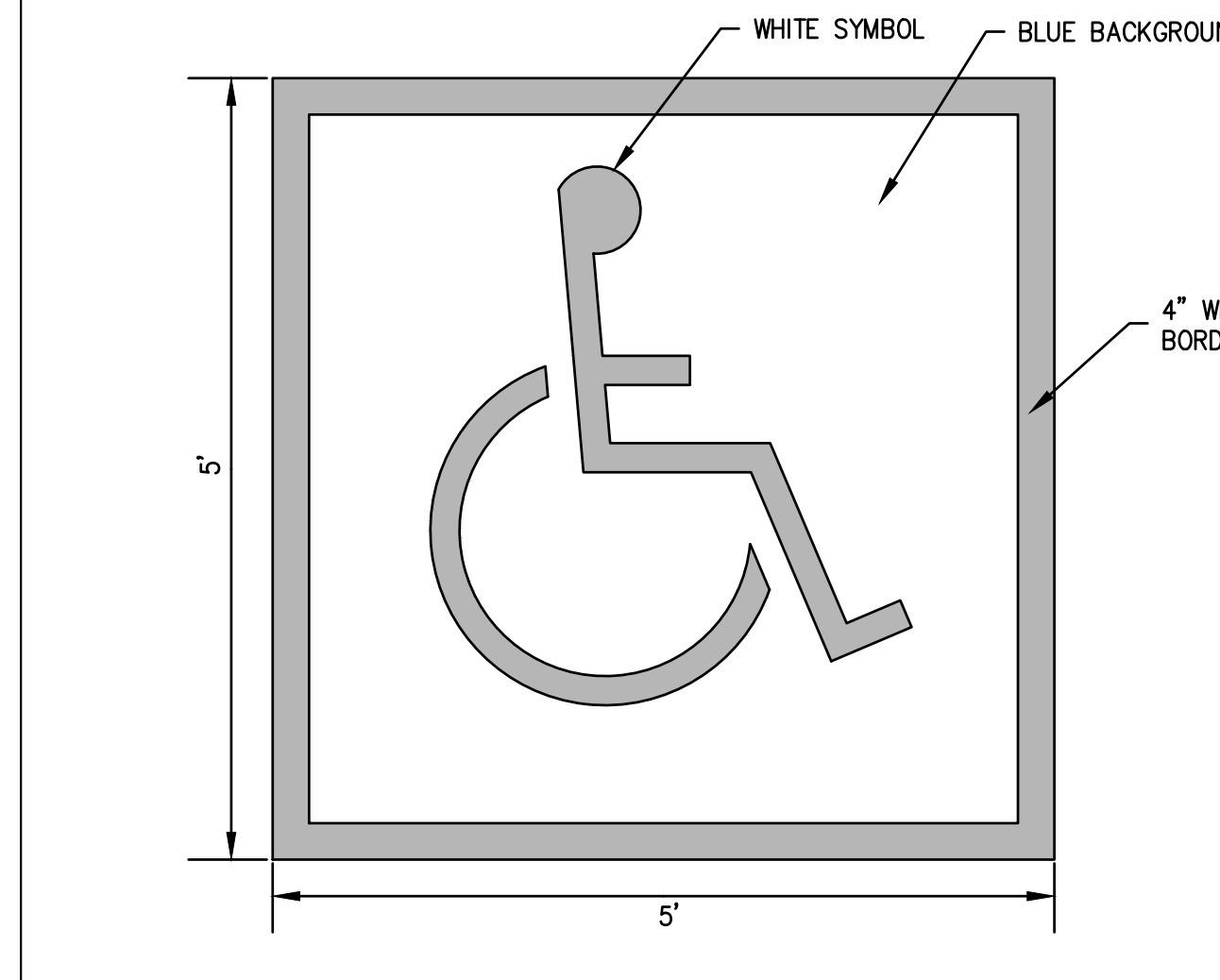
6 FOUR SQUARE DETAIL N.T.S.



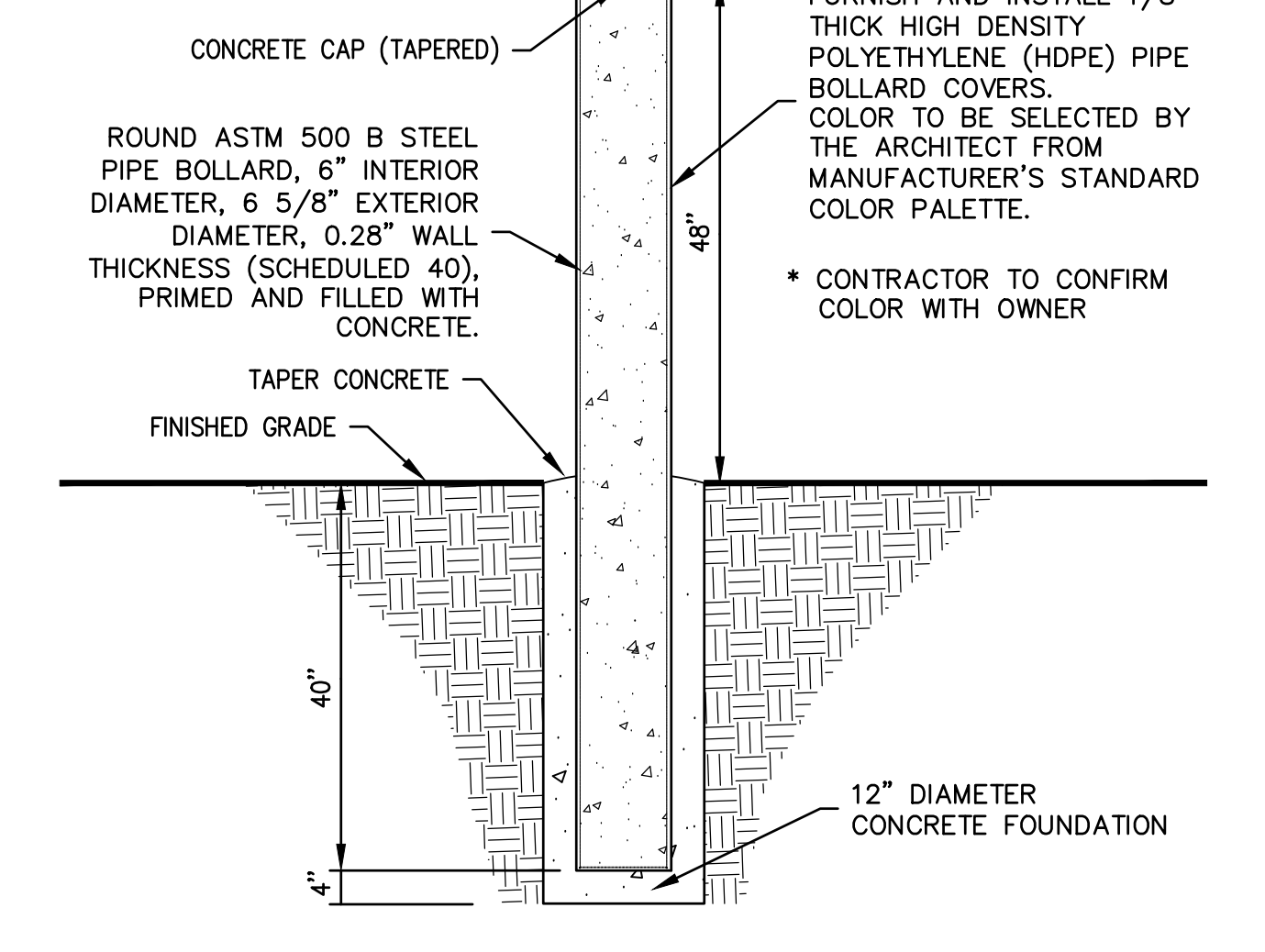
10 PIPE FRAME SWING GATE DETAIL N.T.S.



7 HOPSCOTCH COURT DETAIL N.T.S.



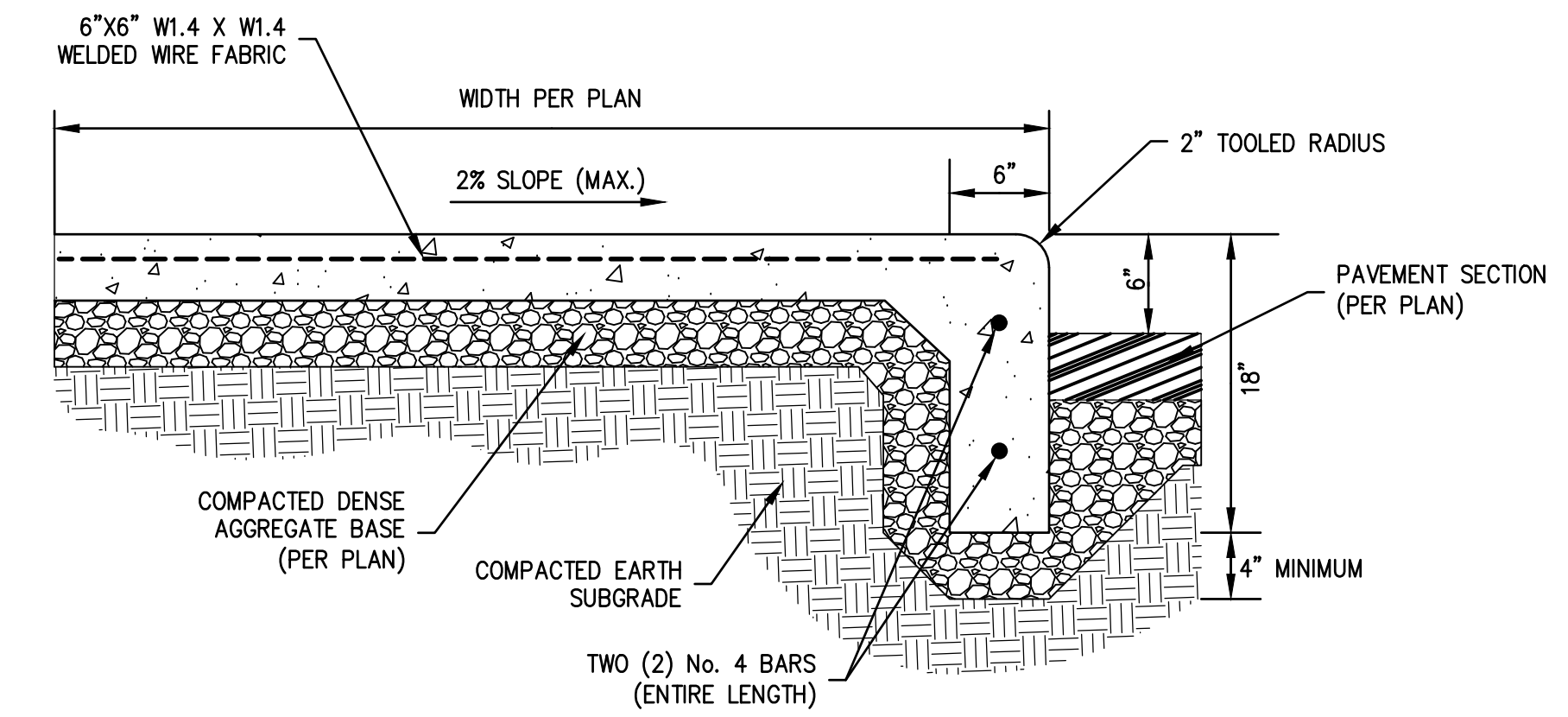
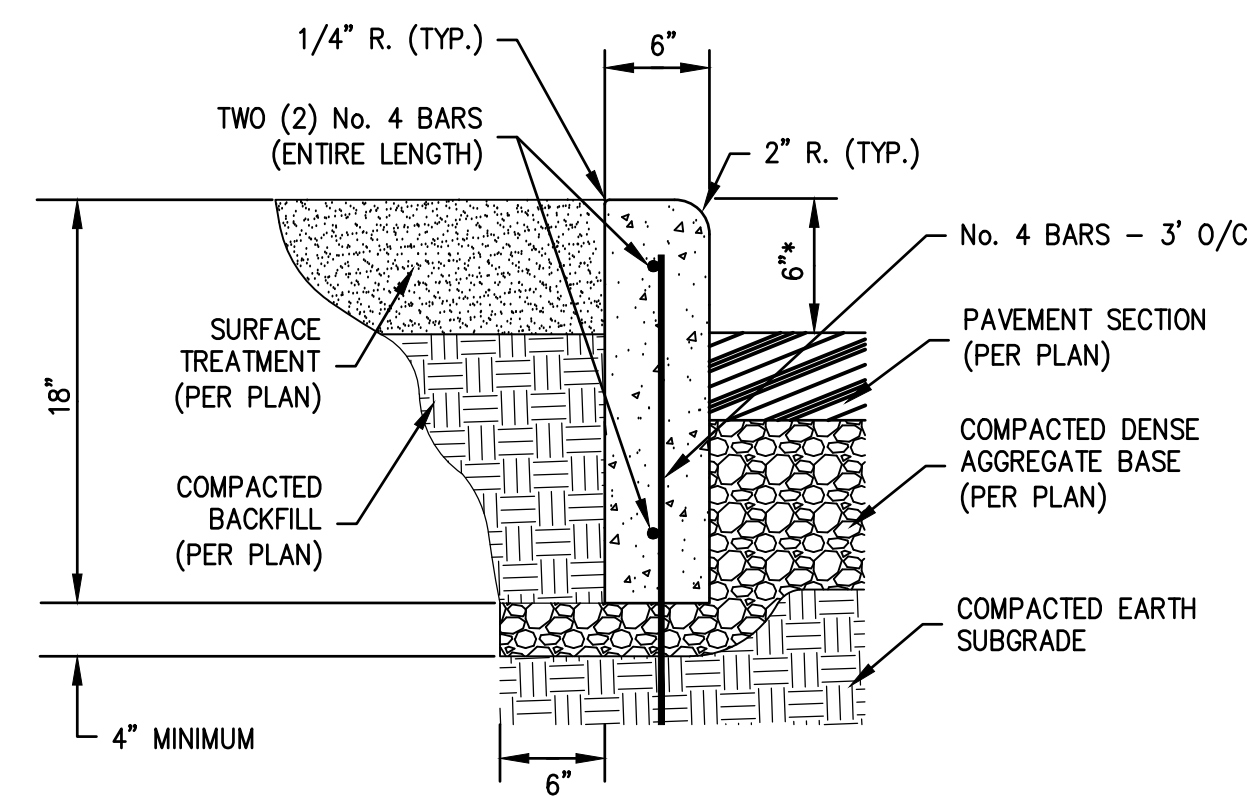
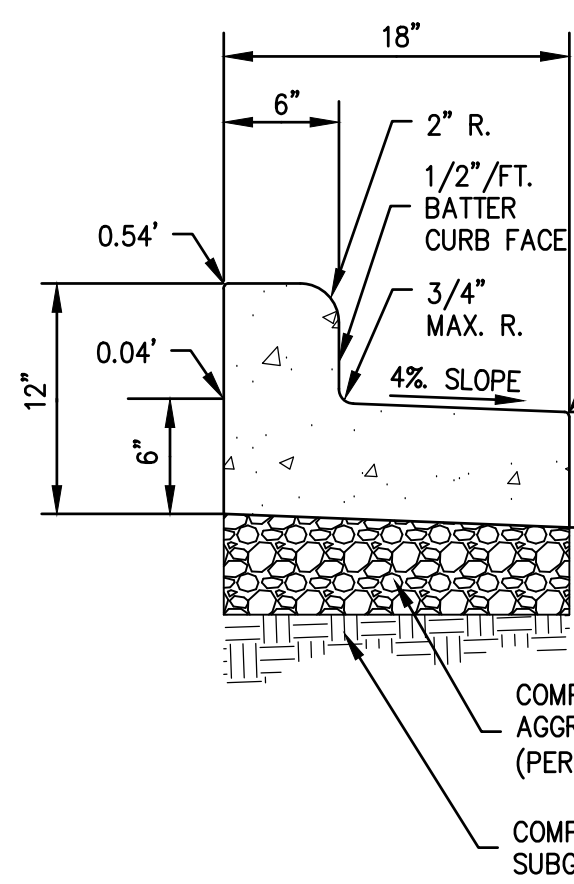
8 PAINTED INTERNATIONAL SYMBOL FOR ACCESSIBILITY DETAIL N.T.S.



9 6" STEEL PIPE BOLLARD DETAIL N.T.S.

INSTALLATION NOTES FOR CURB AND GUTTER DETAILS

- CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED DENSE AGGREGATE BASE COURSE EXTENDING A MINIMUM OF 12 INCHES BEHIND THE BACK OF CURB.
- CURB PAN SHALL BE A MINIMUM OF SIX INCHES (6") THICK. EXPECT AT DRIVEWAY LOCATIONS WHERE IT SHALL BE A MINIMUM OF EIGHT INCHES (8") THICK.
- INSTALL TWO (2) NO. 4, 18-INCH LONG EPOXY COATED BARS ANCHORED WITH AN EPOXY, EVENLY SPACED, DRIVEN NINE INCHES (9") INTO TO EXISTING OR PREVIOUSLY INSTALLED CURB AND GUTTER.
- WHEN PLACED ADJACENT TO NEW CONCRETE, INSTALL NO. 4 18-INCH LONG EPOXY COATED BARS, 36" ON CENTER PLACED A MINIMUM OF THREE AND ONE HALF INCHES (3 1/2") BELOW THE TOP OF THE CURB PAN.
- LATERAL CONTRACTION JOINTS TO BE PLACED AT AN INTERVAL OF 10 FEET TO A MINIMUM DEPTH OF TWO INCHES (2").
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT POINTS OF CURVATURE, ANGLE POINTS, THREE FEET (3') FROM EACH SIDE OF EVERY INLET AND EVERY 300 FEET ALONG TANGENT SECTIONS OR AS DIRECTED BY THE ENGINEER. EXPANSION JOINT FILLER MATERIAL SHALL MEET MSDOT SPECIFICATIONS HAVING THE SAME DIMENSIONS AS THE CURB & GUTTER WITH A 3/4" THICKNESS.
- APPLY CONCRETE CURING COMPOUND PER MSDOT SPECIFICATIONS.



1 CONCRETE CURB AND GUTTER DETAIL NOTES

N.T.S.

2 18" VERTICAL FACE REVERSE PAN CONCRETE CURB AND GUTTER DETAIL

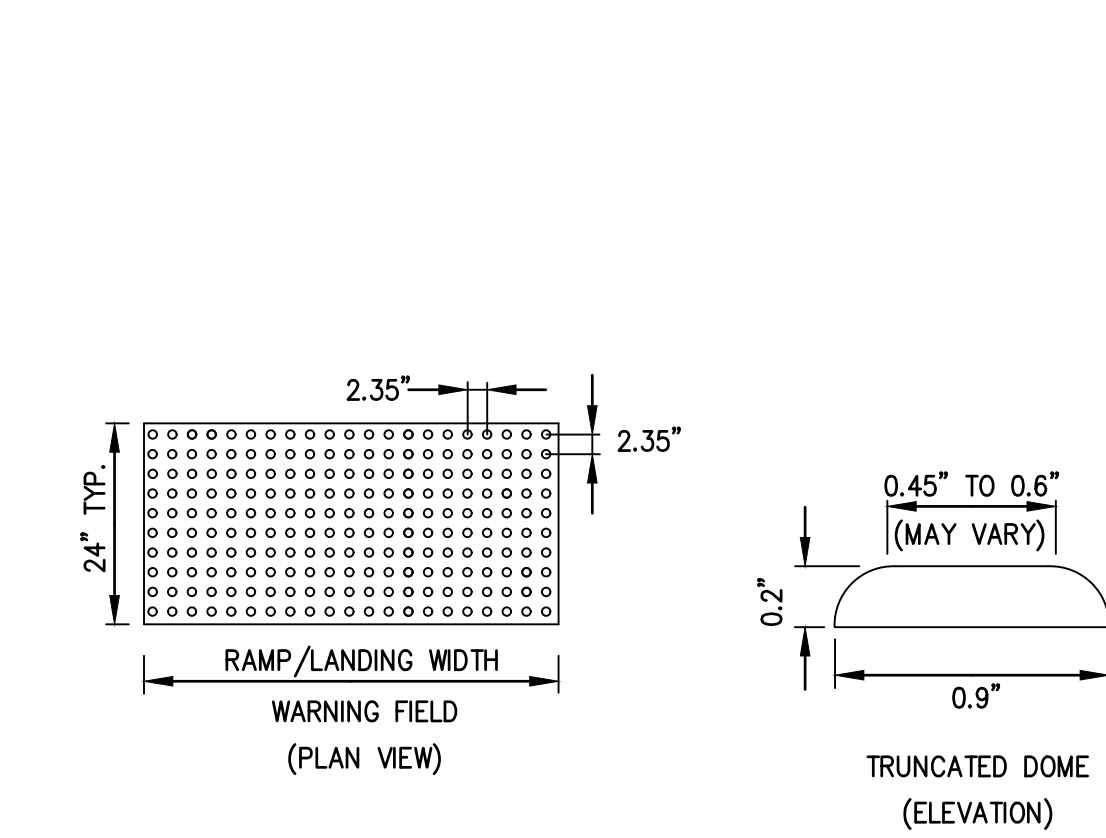
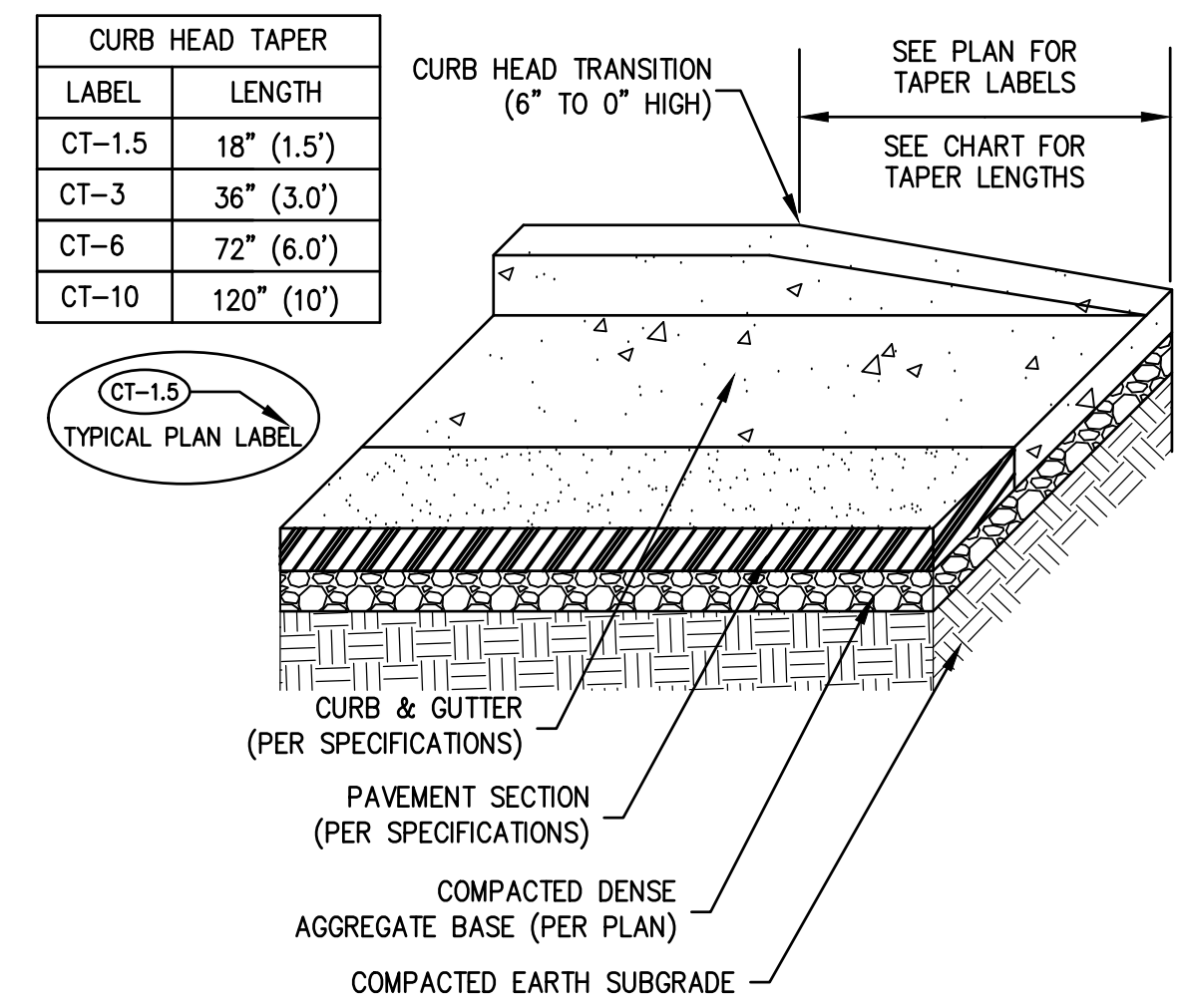
N.T.S.

3 6" CONCRETE BARRIER CURB DETAIL

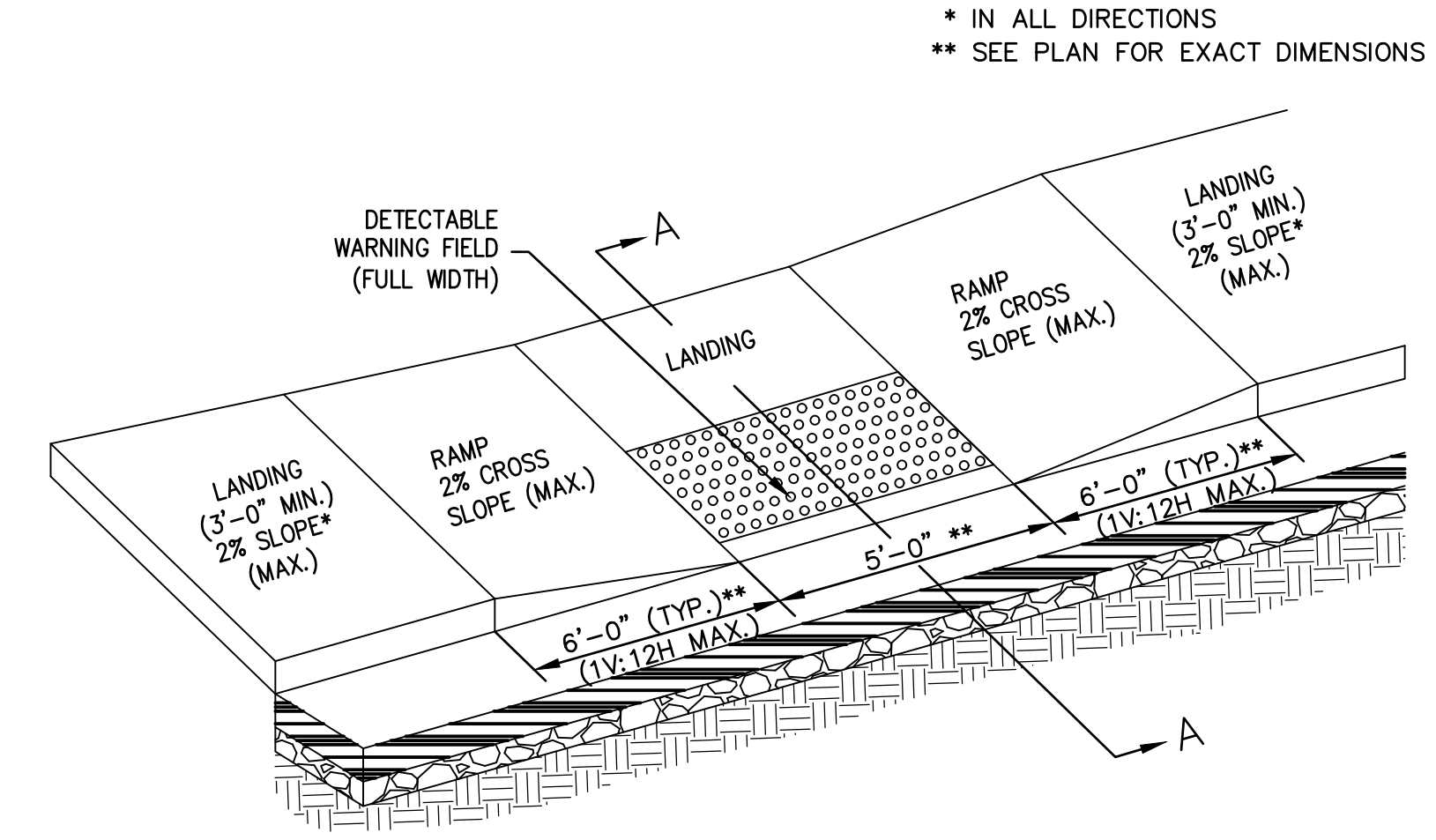
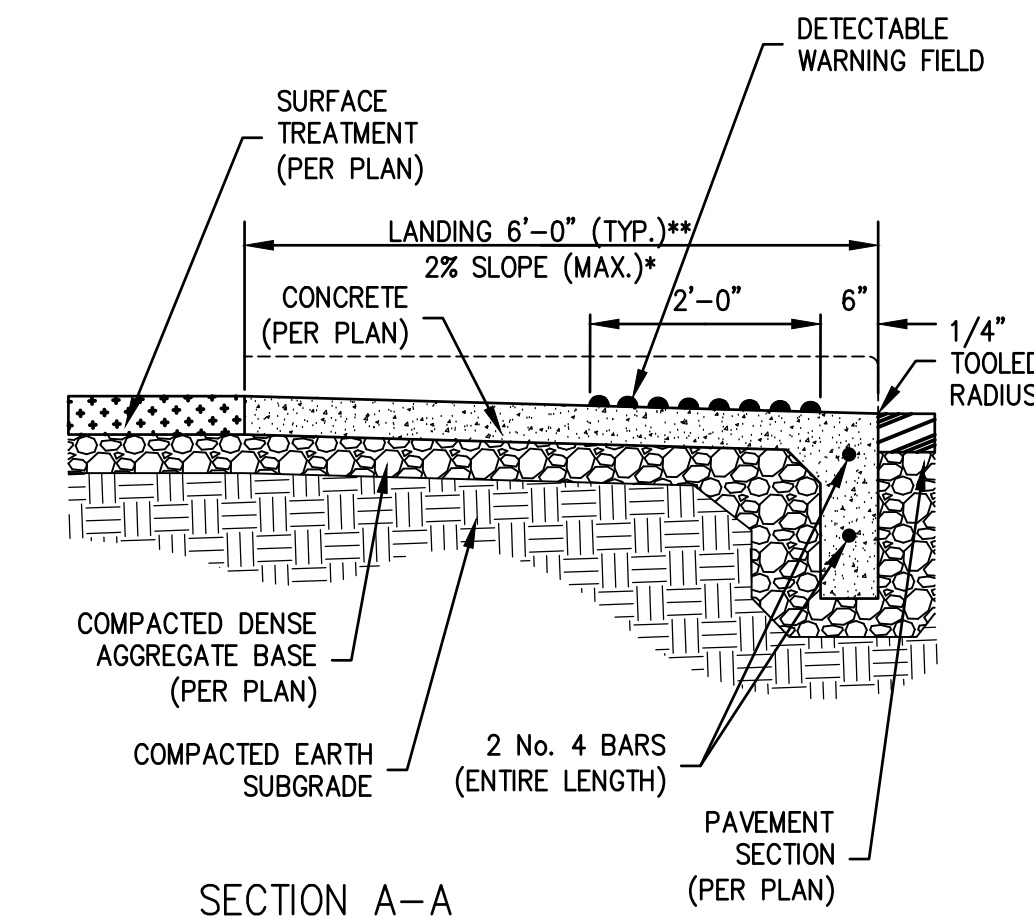
N.T.S.

4 INTEGRAL CONCRETE SIDEWALK / BARRIER CURB DETAIL

N.T.S.



- NOTES:**
- THIS WORK WILL CONSIST OF FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR NECESSARY FOR THE PLACEMENT OF DETECTABLE WARNING DEVICES, COMPLETE AND READY FOR SERVICE AT ALL NEW SIDEWALK CURB RAMPS OR WHERE SHOWN ON THE PLAN.
 - DETECTABLE WARNING FIELDS SHALL COMPLY WITH "THE DETECTABLE WARNINGS ON WALKING SURFACES" SECTION OF THE AMERICANS WITH DISABILITIES ACT (TITLE 49 CFR TRANSPORTATION, PART 37.9 STANDARDS FOR ACCESSIBLE TRANSPORTATION FACILITIES, APPENDIX A, SECTION 4.29.2 DETECTABLE WARNINGS ON WALKING SURFACES).
 - DETECTABLE WARNING FIELDS SHALL EXTEND 24 INCHES (610 MM) MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP FLUSH SURFACE.
 - A. THE DETECTABLE WARNING FIELD SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB OR EDGE OF PAVEMENT IS 6 INCHES (150 MM) MINIMUM AND 8 INCHES (205 MM) MAXIMUM FROM THE FACE OF THE CURB OR EDGE OF PAVEMENT.
 - B. TRUNCATED DOMES SHALL BE ALIGNED ON A SQUARED GRID, ALIGNED IN ROWS PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. DOMES MUST NOT BE SKEWED DIAGONALLY TO THE DIRECTION OF TRAVEL.
 - AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED IN THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - CAST IN PLACE REPLACEABLE TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ADA SOLUTIONS, INC., CHELMSFORD, MA OR PRE-APPROVED EQUAL.
 - COLOR OF THE DETECTABLE WARNING FIELD SHALL BE SELECTED BY THE OWNER.
 - SPECIFICATIONS FOR CONCRETE SEALANT AND OTHER RELATED MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE GUIDELINES SET BY THEIR RESPECTIVE MANUFACTURERS.



5 CURB HEAD TAPER DETAIL

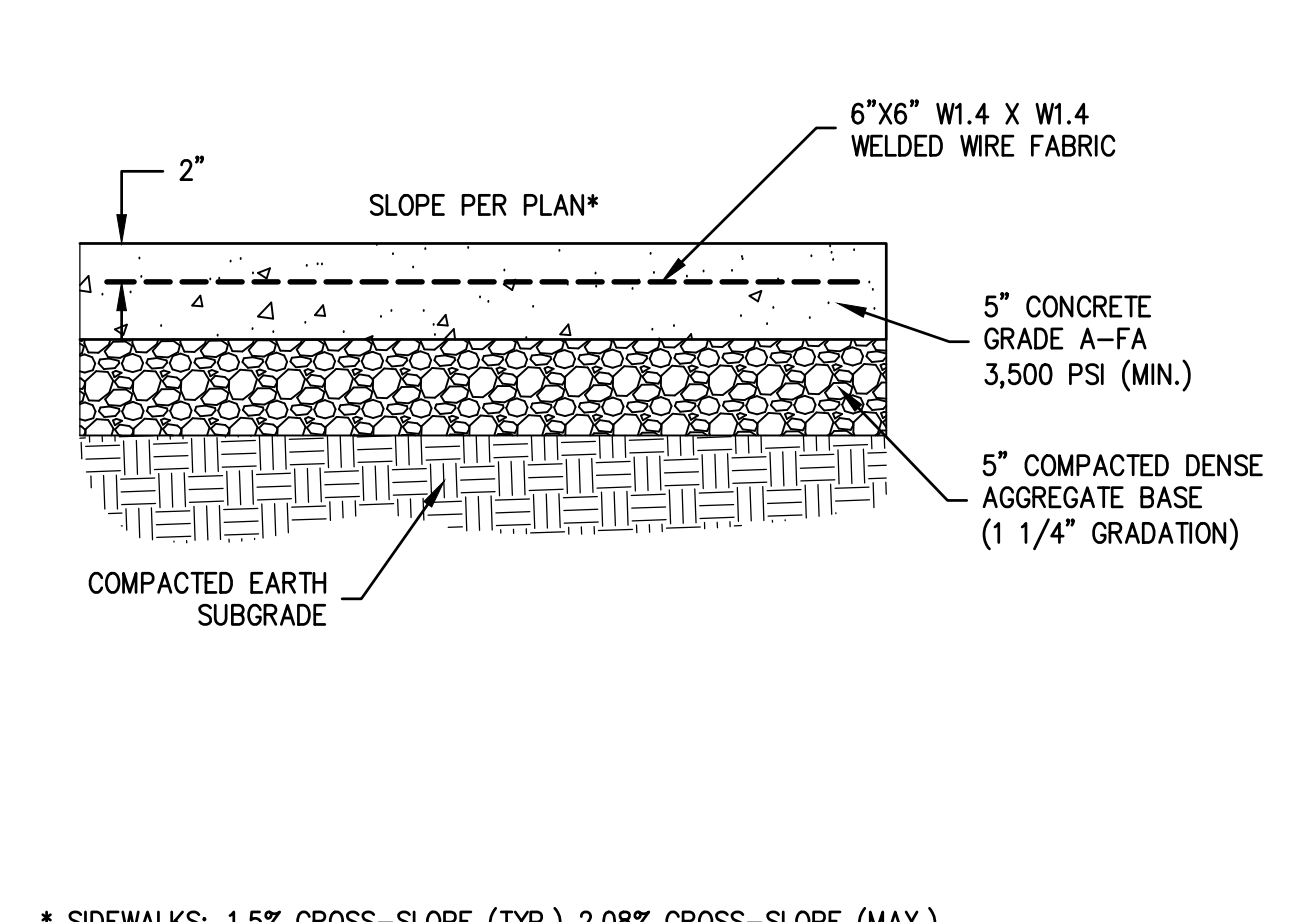
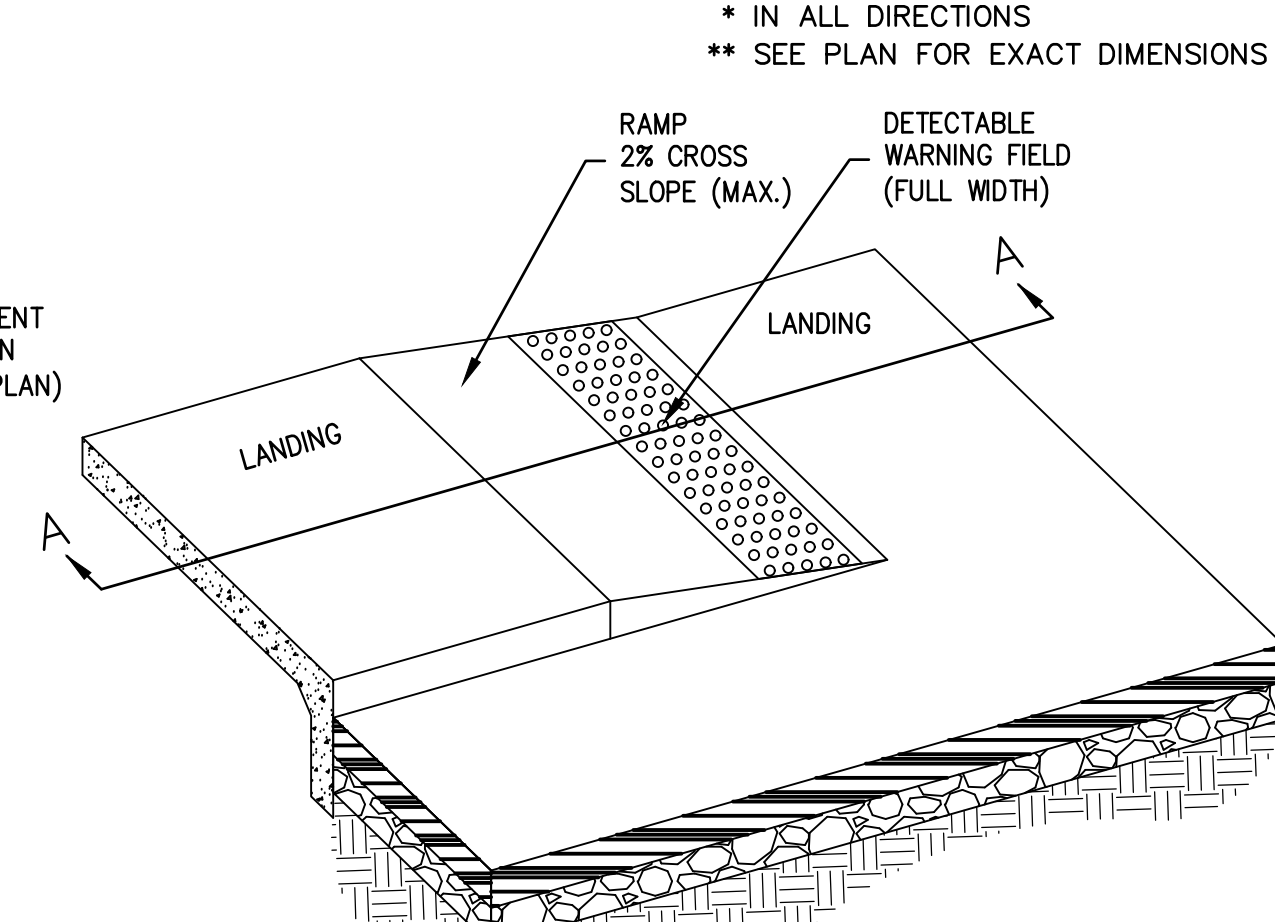
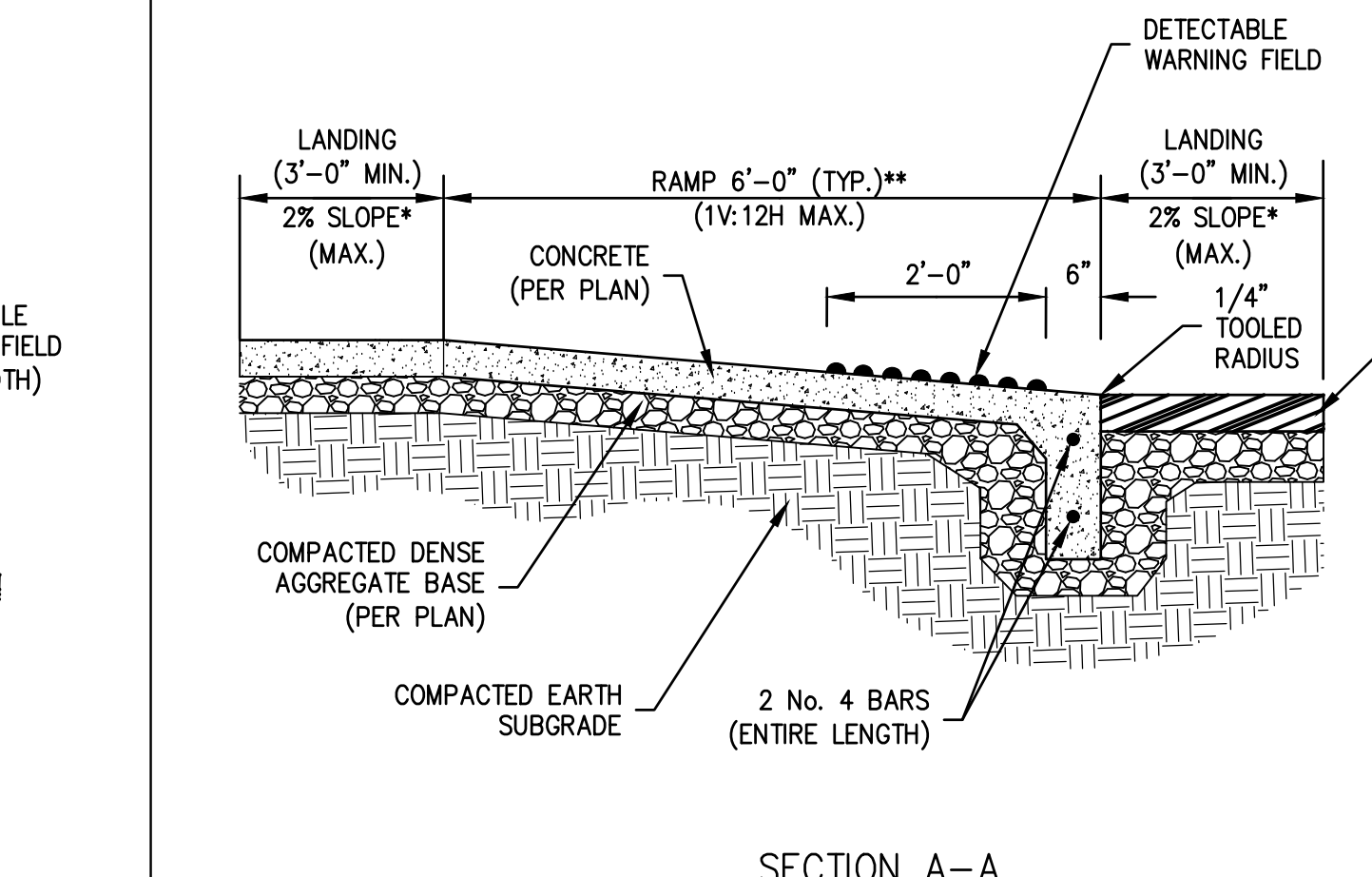
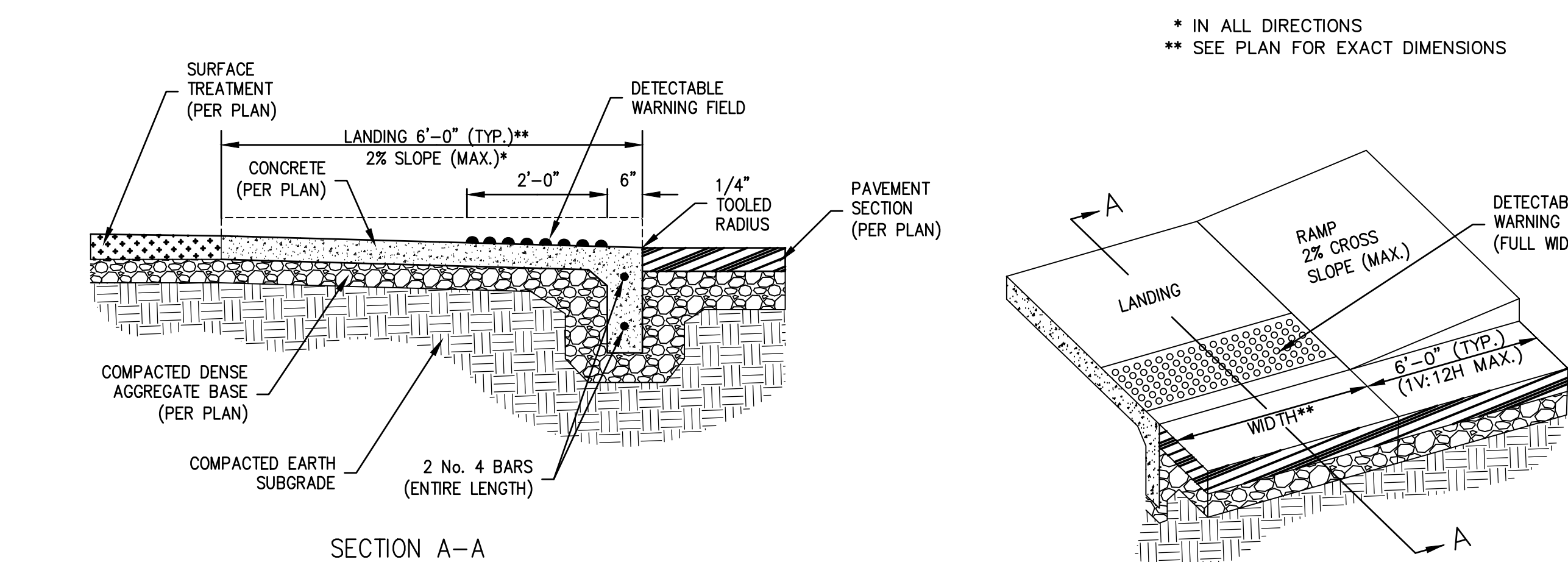
N.T.S.

6 DETECTABLE WARNING FIELD DETAIL

N.T.S.

7 INTEGRAL SIDEWALK (72" TAPER) ACCESSIBLE RAMP DETAIL

N.T.S.



8 INTEGRAL (72" TAPER) ACCESSIBLE RAMP DETAIL

N.T.S.

9 INTEGRAL SIDEWALK (72" TAPER) ACCESSIBLE RAMP DETAIL

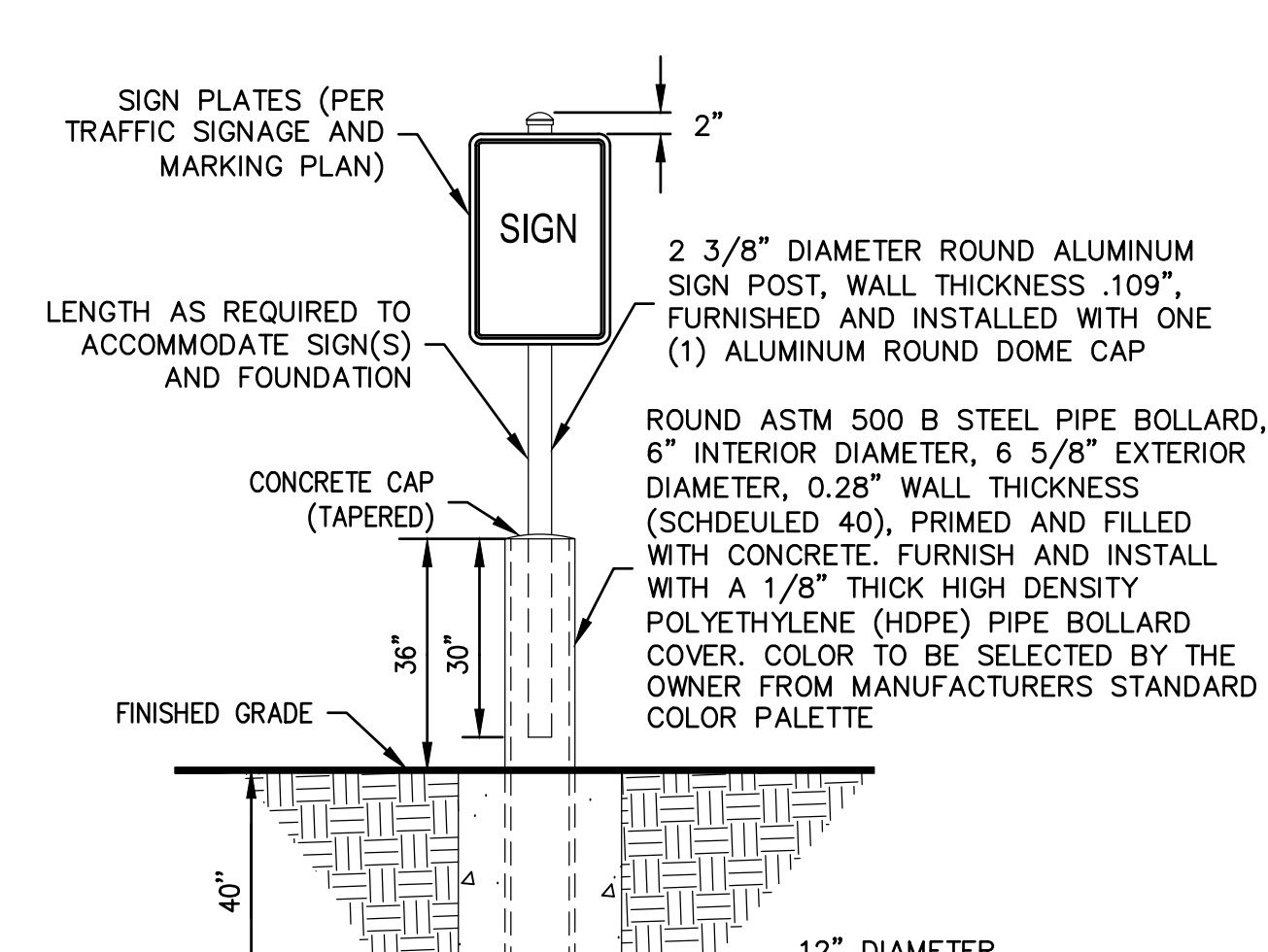
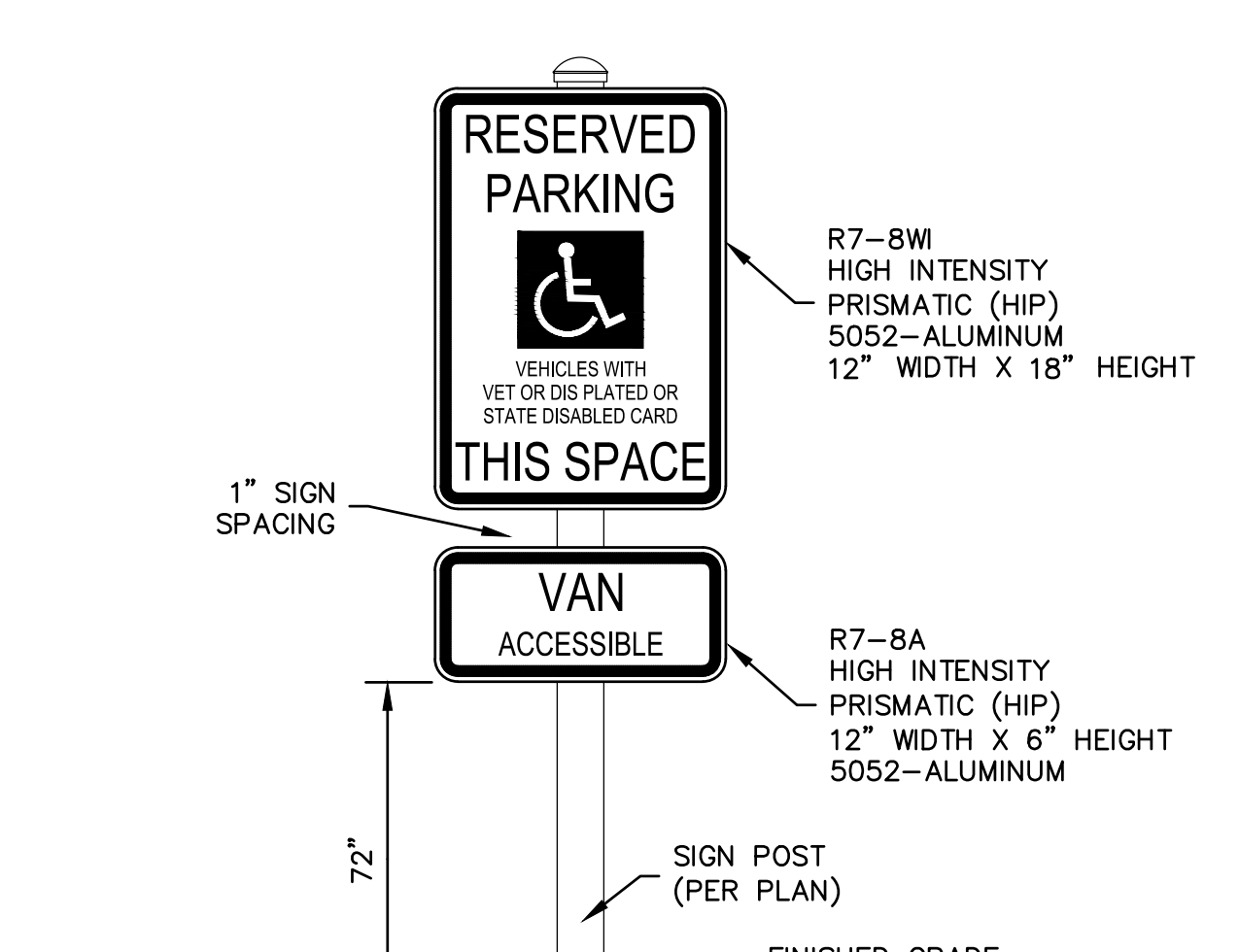
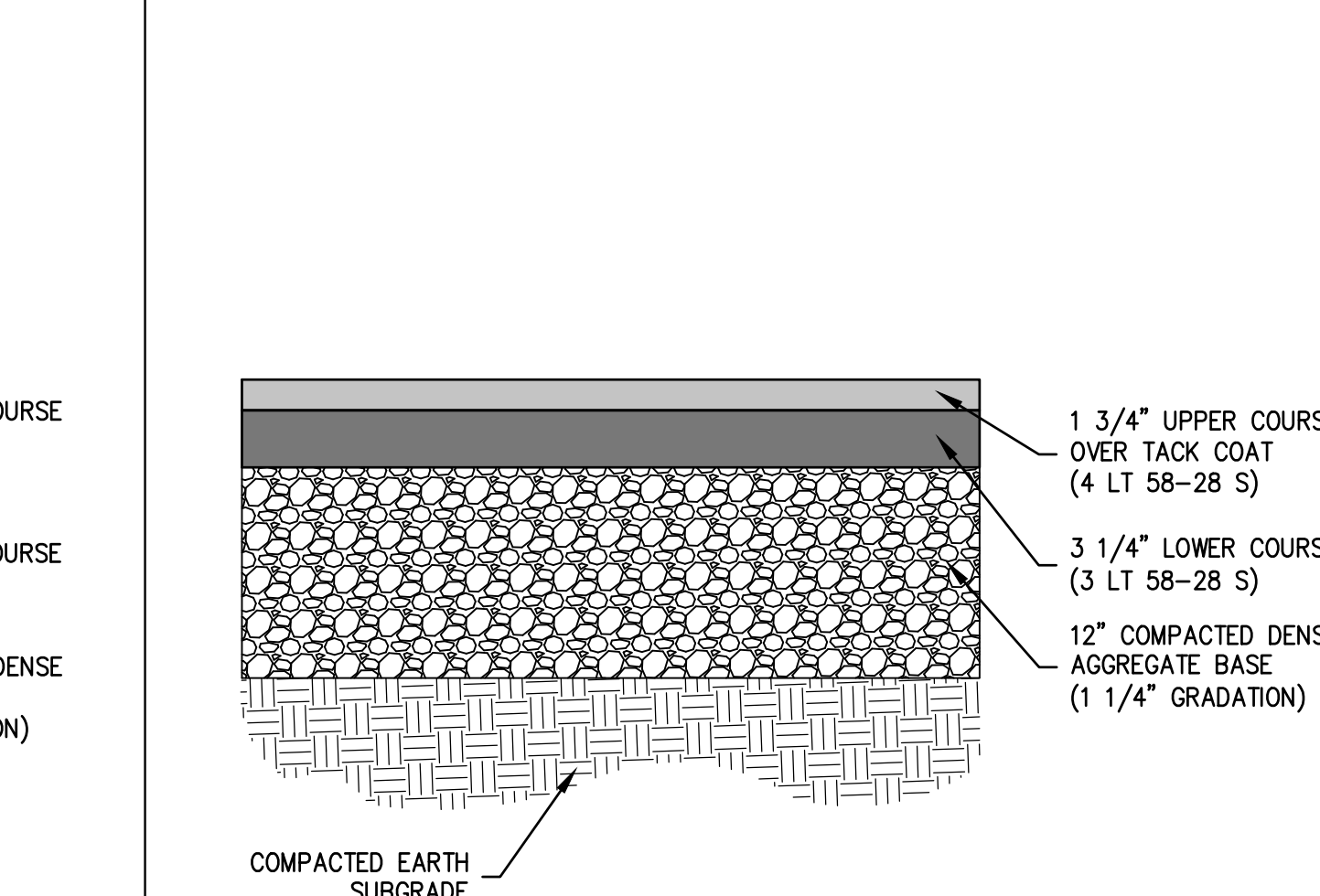
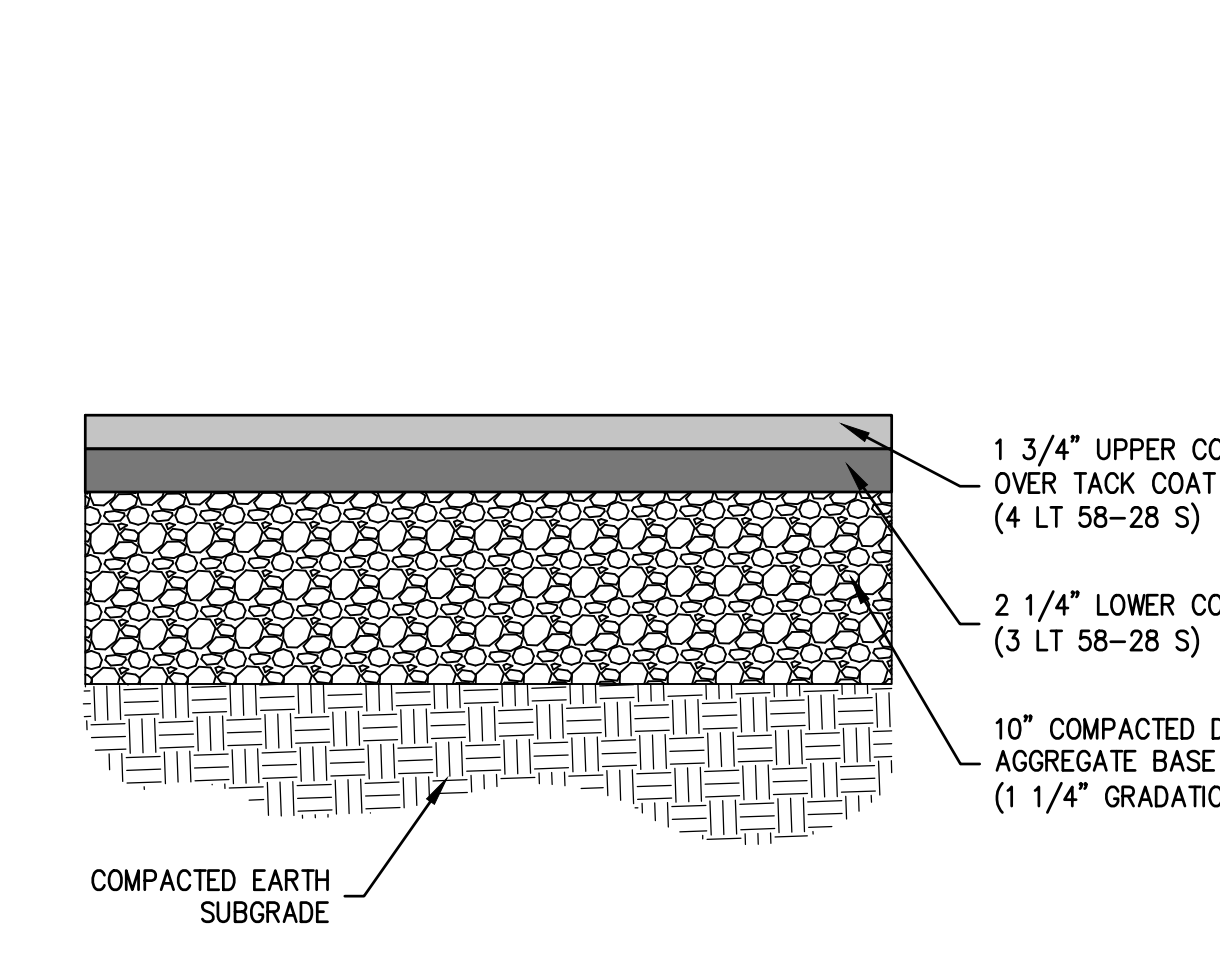
N.T.S.

10 LIGHT-DUTY CONCRETE PAVEMENT (5") (TYPICAL SECTION)

N.T.S.

11 HEAVY-DUTY CONCRETE PAVEMENT (8") (TYPICAL SECTION)

N.T.S.



11 HEAVY-DUTY CONCRETE PAVEMENT (8") (TYPICAL SECTION)

N.T.S.

12 MEDIUM-DUTY ASPHALT PAVEMENT (4") (TYPICAL SECTION)

N.T.S.

13 HEAVY-DUTY ASPHALT PAVEMENT (5") (TYPICAL SECTION)

N.T.S.

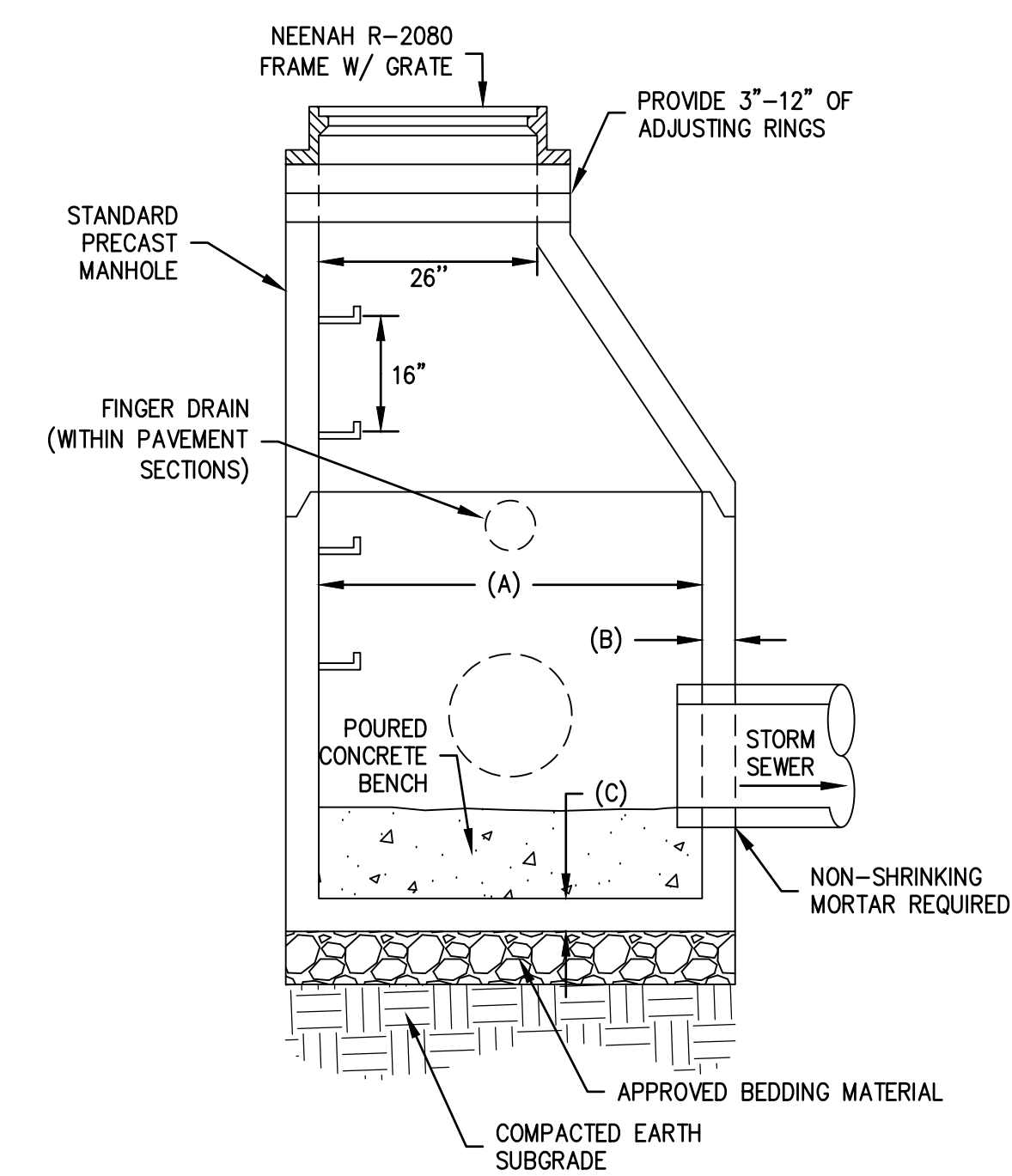
14 ADA "RESERVED PARKING VAN ACCESSIBLE" SIGN DETAIL

N.T.S.

15 ALUMINUM ROUND SIGN POST W/ 6" STEEL PIPE BOLLARD DETAIL

N.T.S.



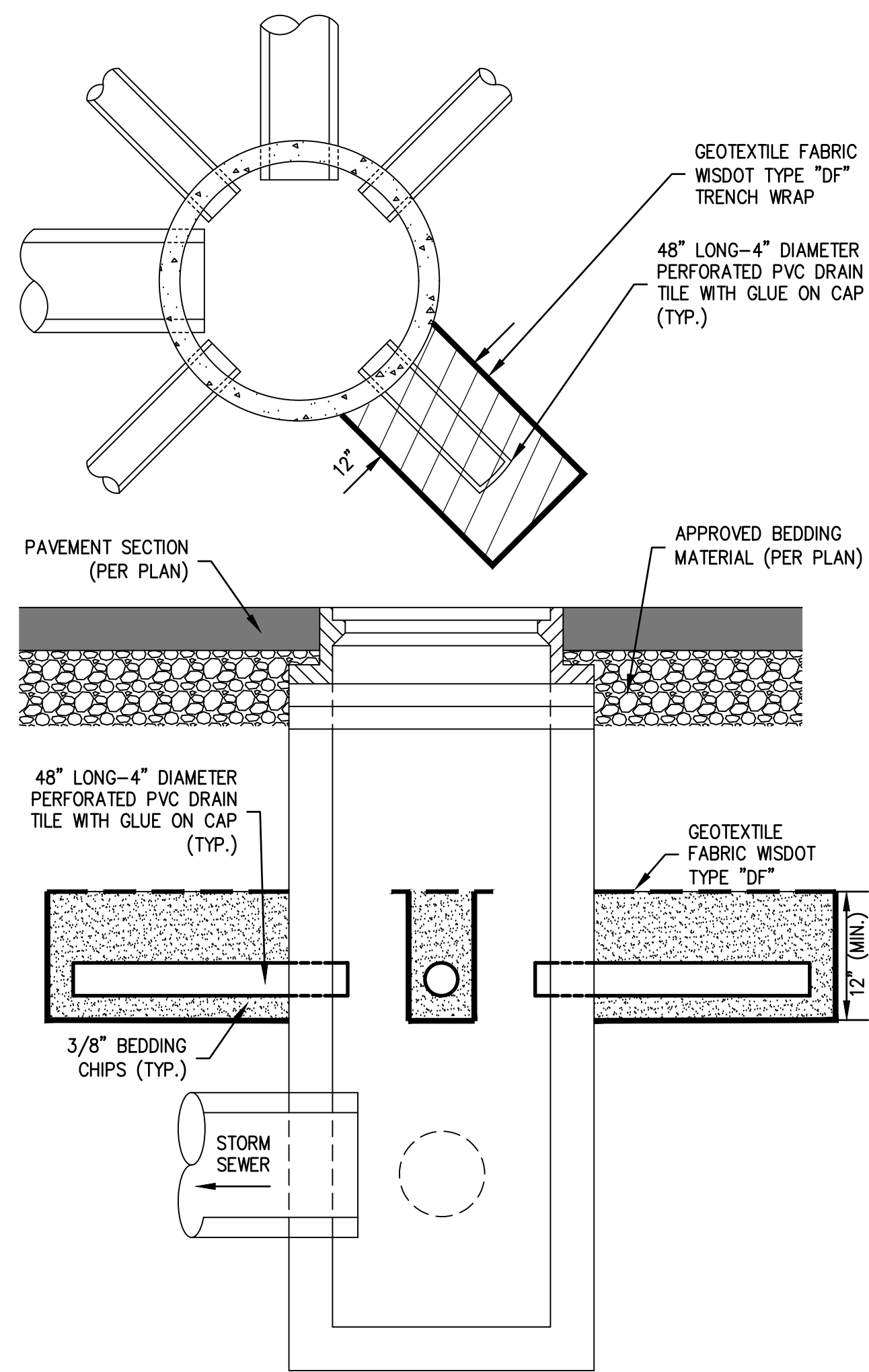


STRUCTURE DIAMETER (A)**	MINIMUM WALL THICKNESS (B)**	MINIMUM BASE AND TOP THICKNESS (C)**
4'	5"	6"
5'	6"	8"
6'	7"	8"
7'	8"	8"
8'	9"	8"

*STRUCTURE DIAMETER SHALL BE STANDARD 48" UNLESS OTHERWISE NOTED ON PLAN
**MINIMUM THICKNESS SHALL NOT BE LESS THAN THAT REQUIRED TO MEET AASHTO H-20 LOADINGS

1 STANDARD STORM SEWER MANHOLE DETAIL

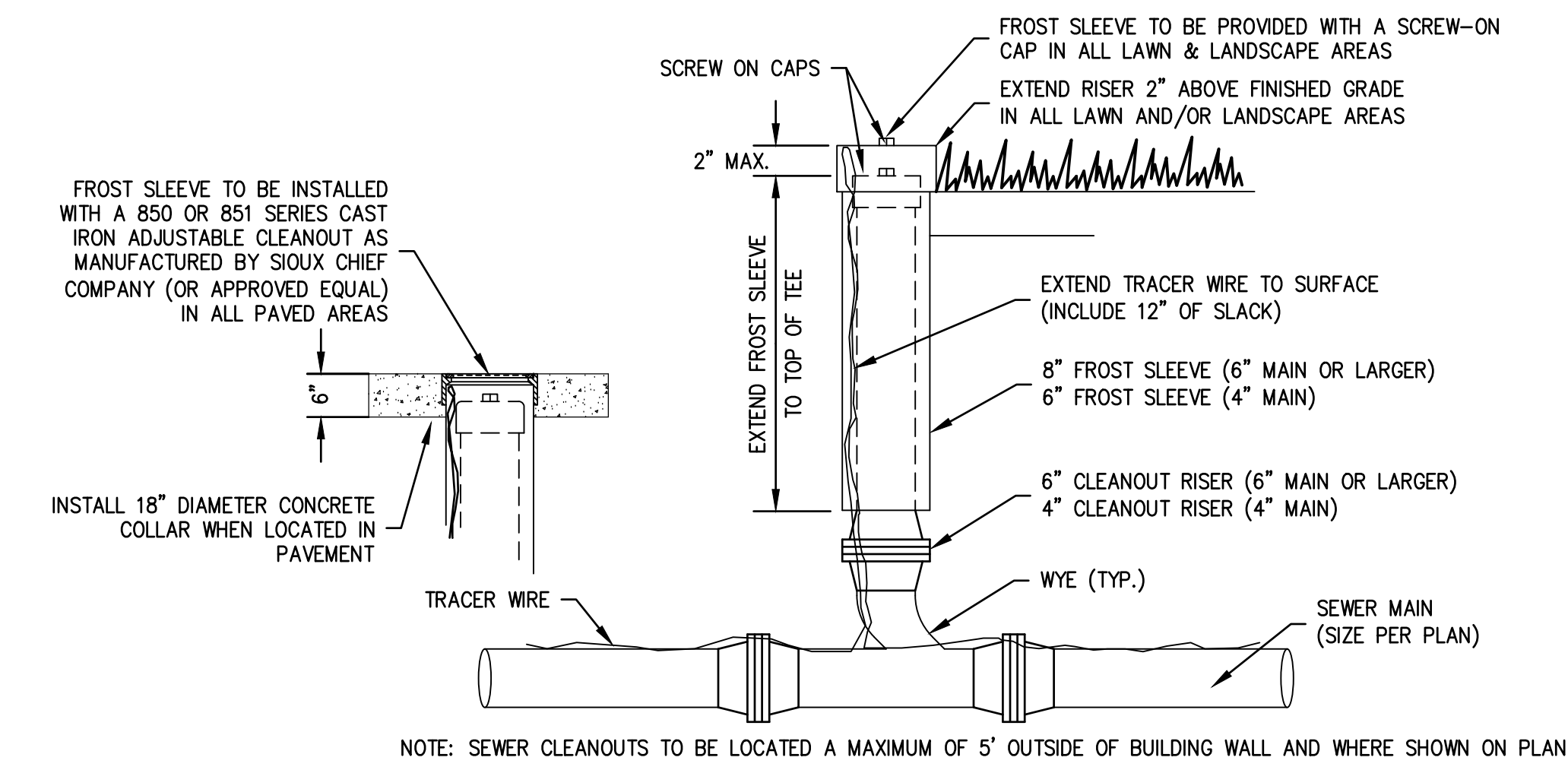
N.T.S.



NOTE:
1. FINGER DRAINS SHALL BE INSTALLED IN ALL DRAINAGE STRUCTURES (WITHIN OR ADJACENT TO) PAVED SURFACES.
2. FINGER DRAIN OPENINGS IN STRUCTURE SHALL BE PRECAST.
3. VERTICAL LOCATION OF FINGER DRAIN MAY VARY DEPENDING ON PIPE CONFIGURATION.
4. FINGER DRAINS MUST BE ABOVE THE TOP OF ALL STORM SEWERS.
5. FINGER DRAINS SHALL BE FURNISHED WITH STANDARD PERFORATIONS - CONFIGURATION "E".

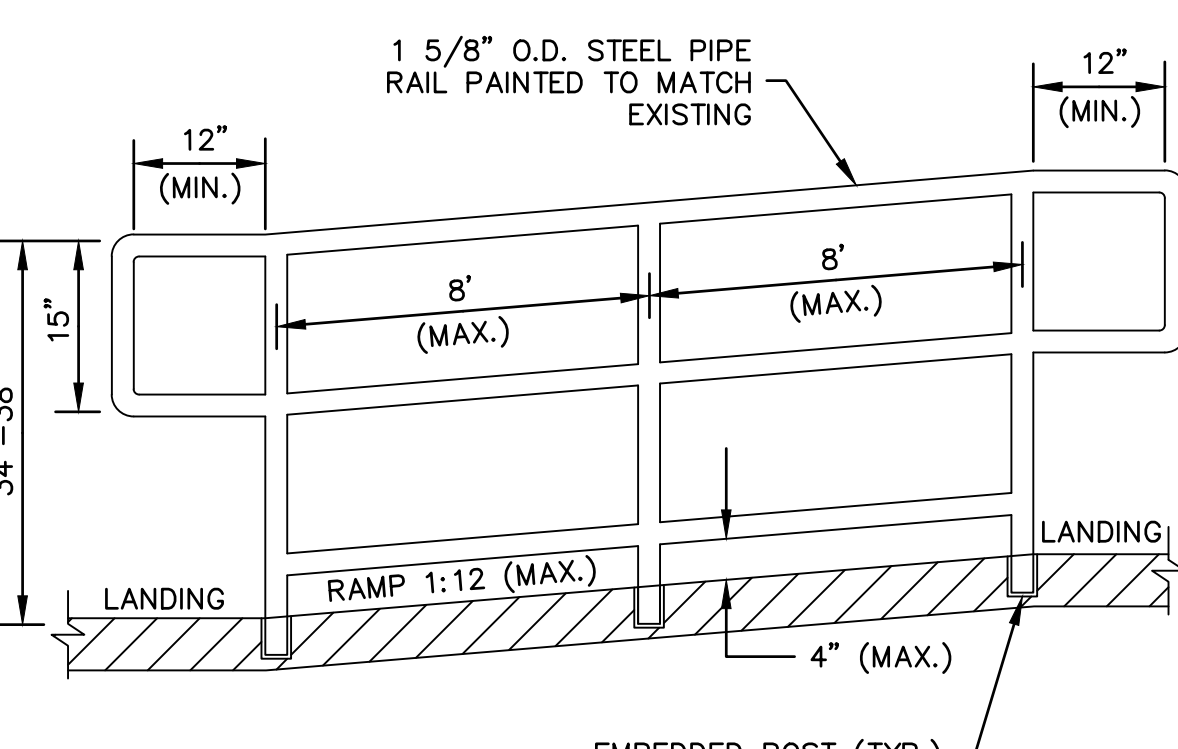
2 STORM SEWER STRUCTURE FINGER DRAIN DETAIL

N.T.S.



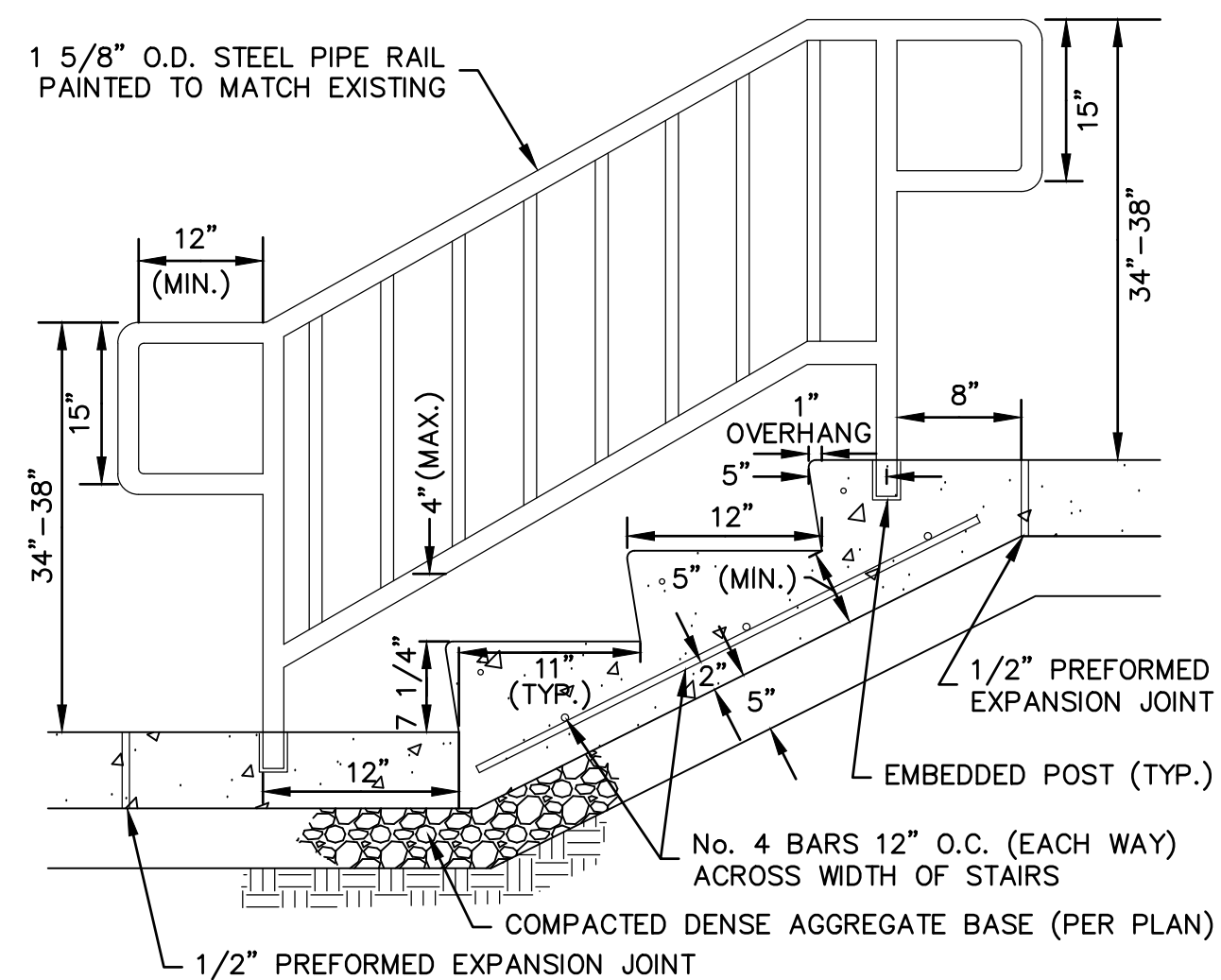
6 SEWER CLEANOUT (CO) RISER DETAIL

N.T.S.



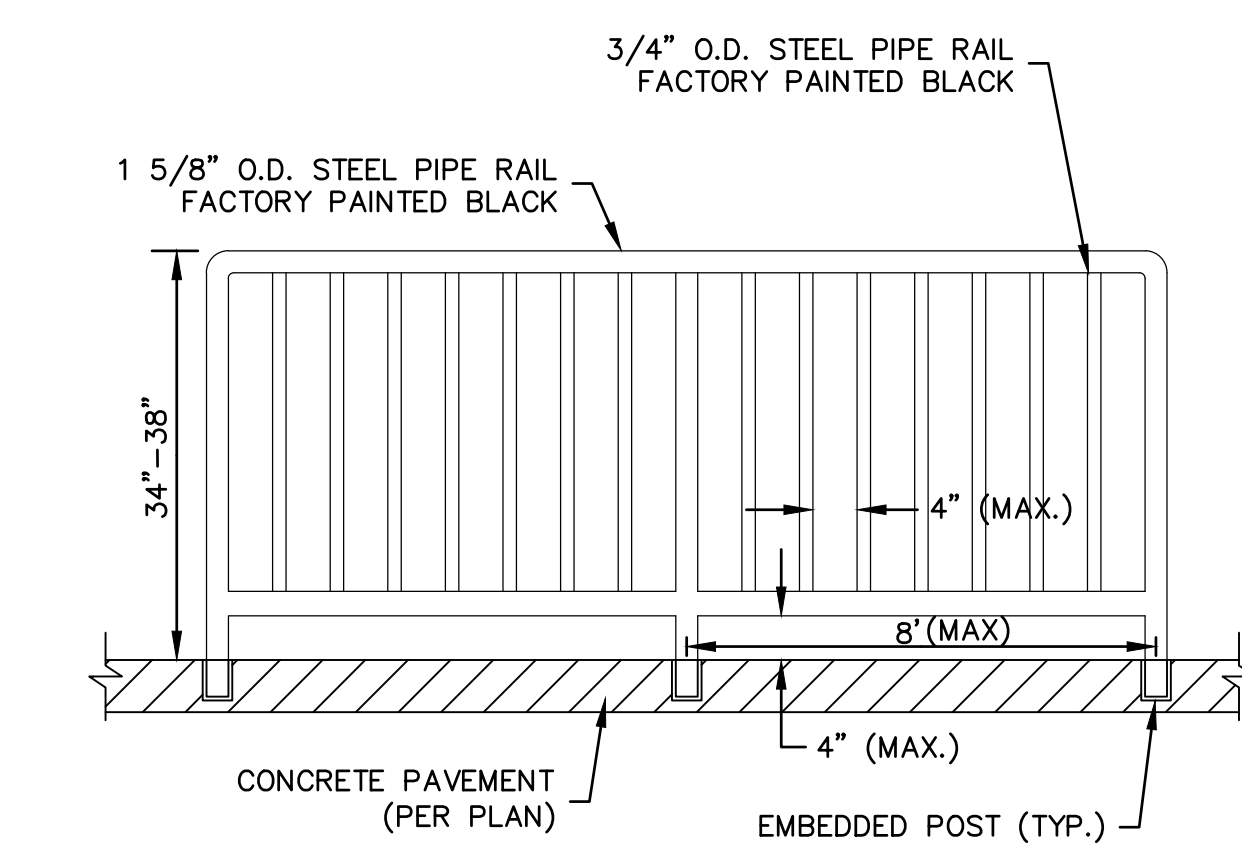
9 ACCESSIBLE RAMP HANDRAIL DETAIL

N.T.S.



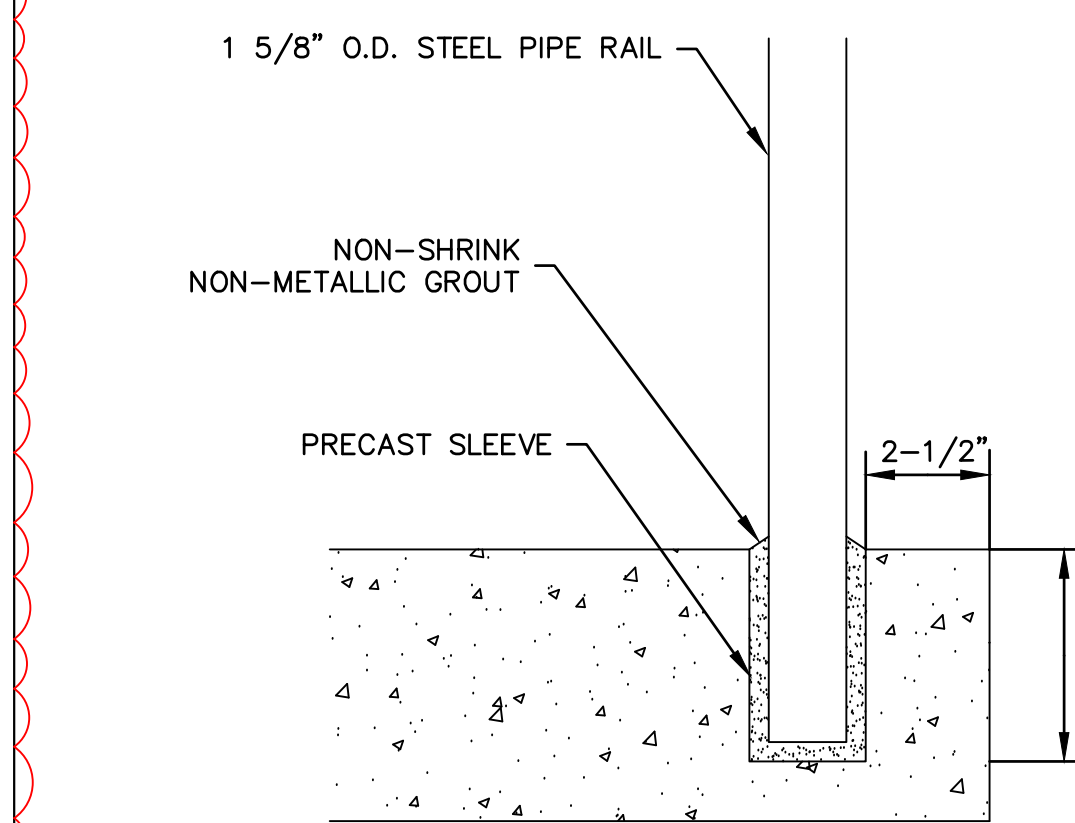
10 TYPICAL STAIR & RAILING DETAIL (GREATER THAN 24" FALL HEIGHT)

N.T.S.



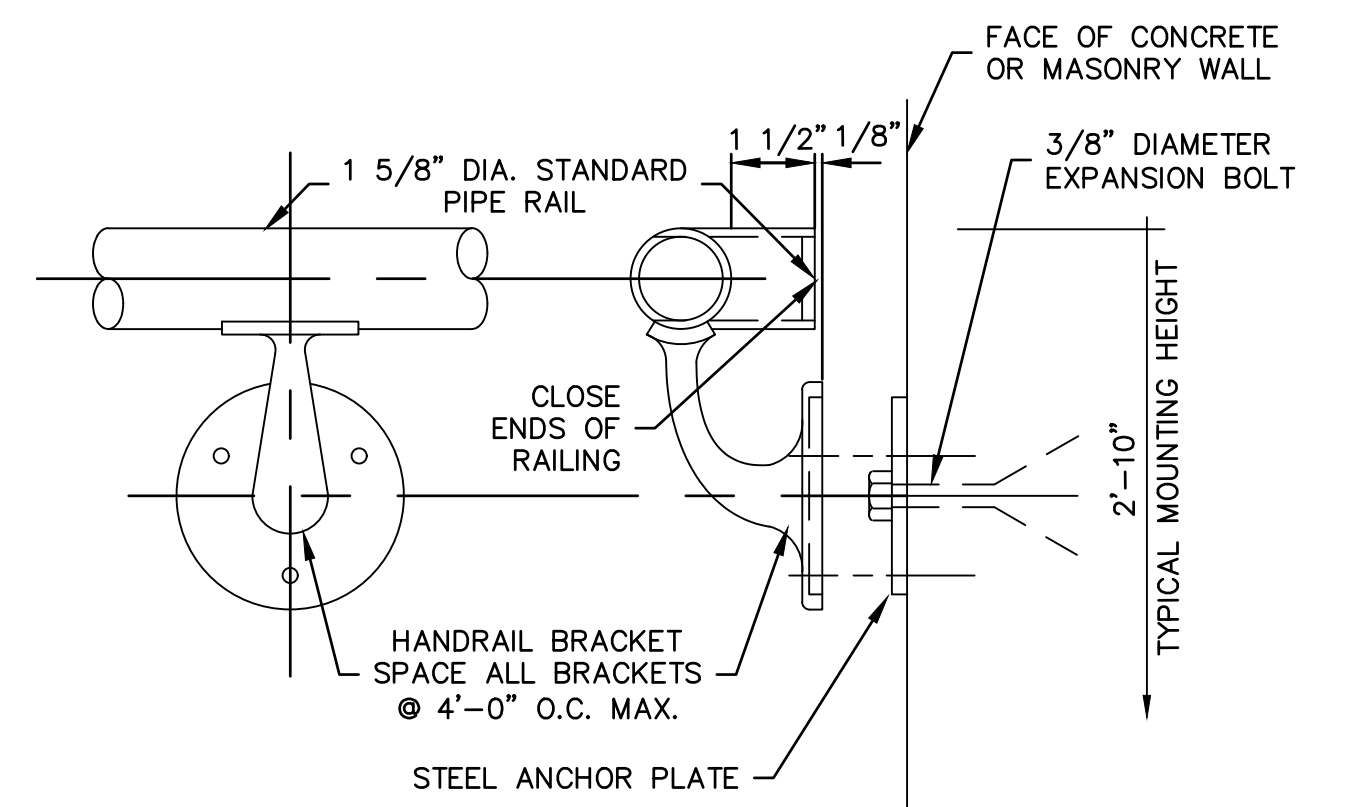
11 TYPICAL RAILING DETAIL (GREATER THAN 24" FALL HEIGHT)

N.T.S.



12 EMBEDDED POST DETAIL

N.T.S.

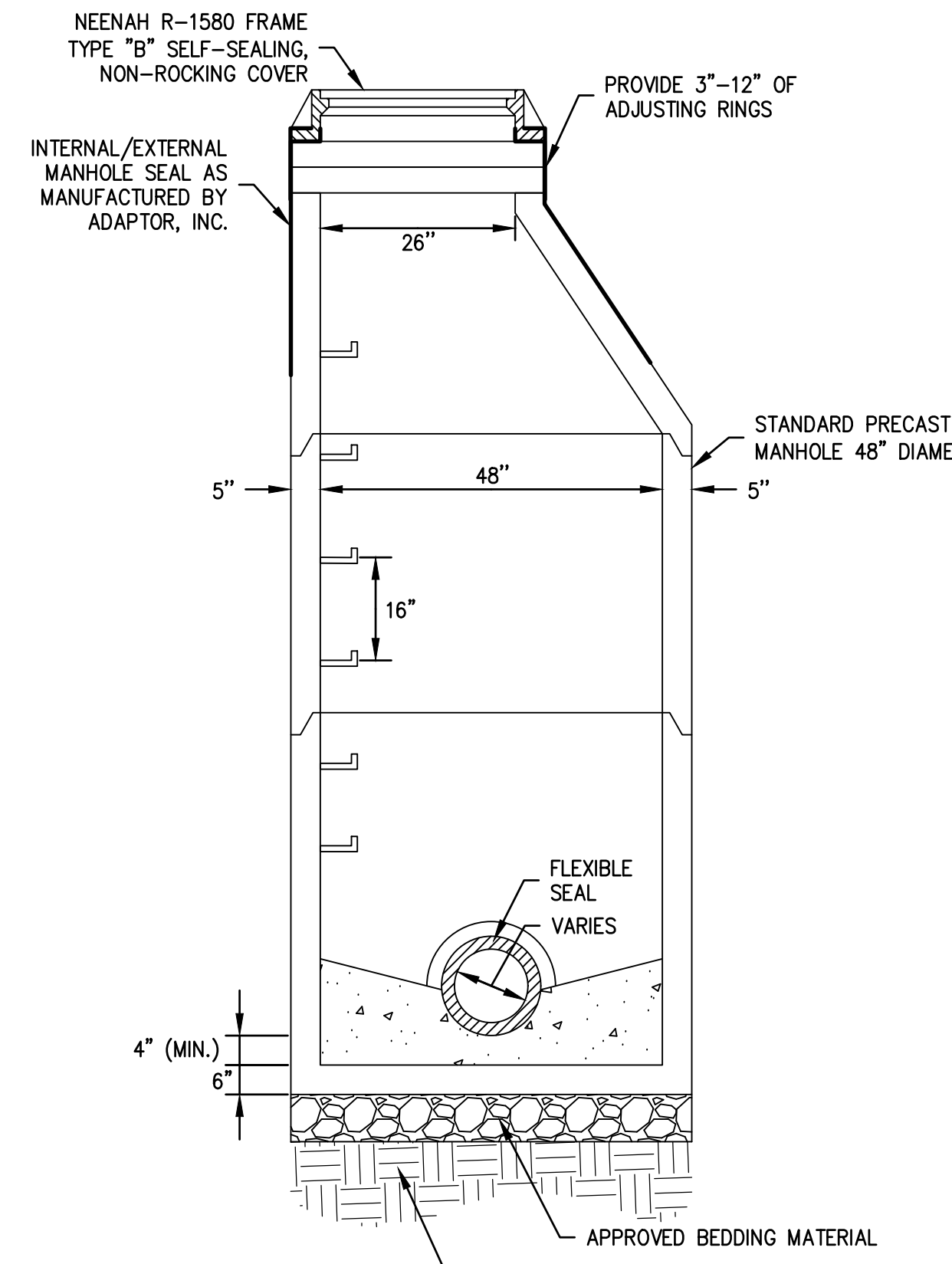


13 WALL MOUNTED HANDRAIL DETAIL

N.T.S.

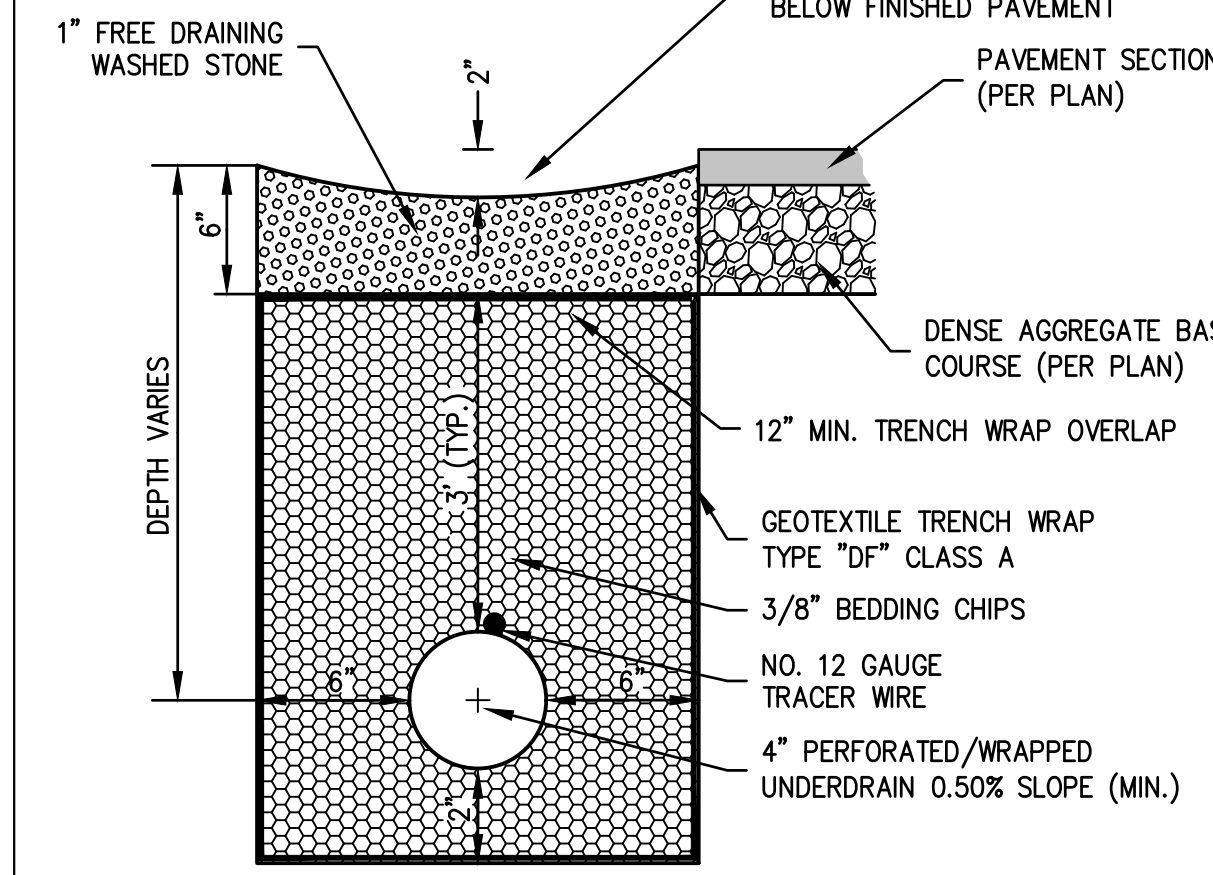
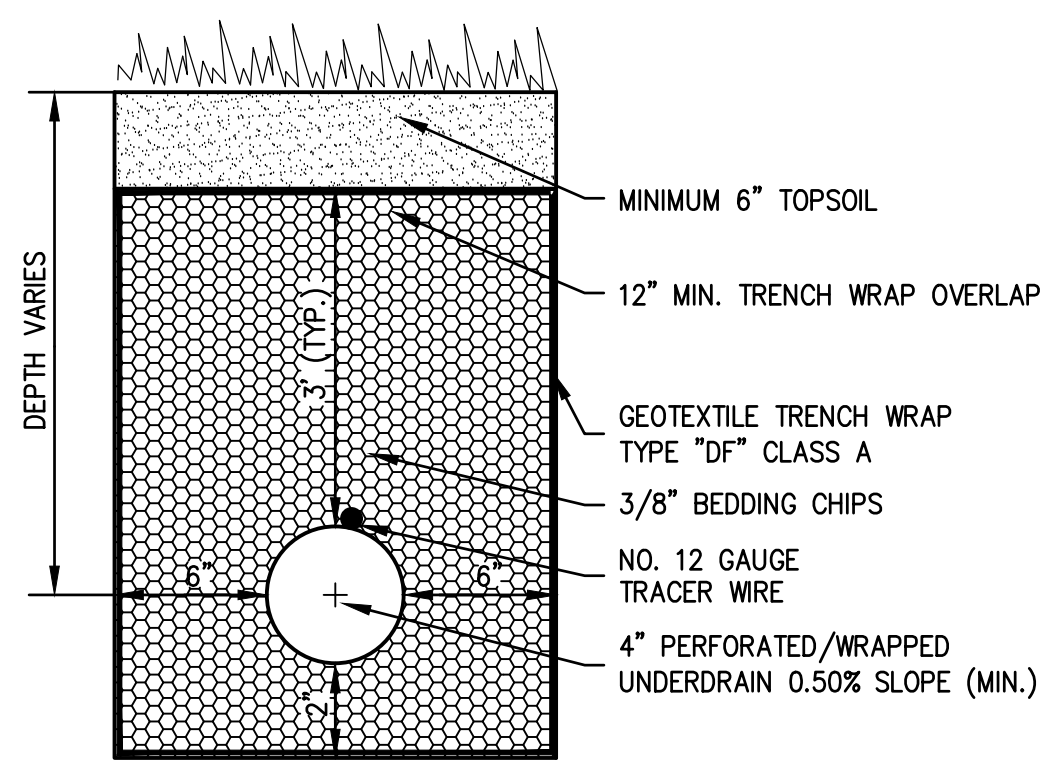
3 PIPE UNDERDRAIN (LAWN) DETAIL

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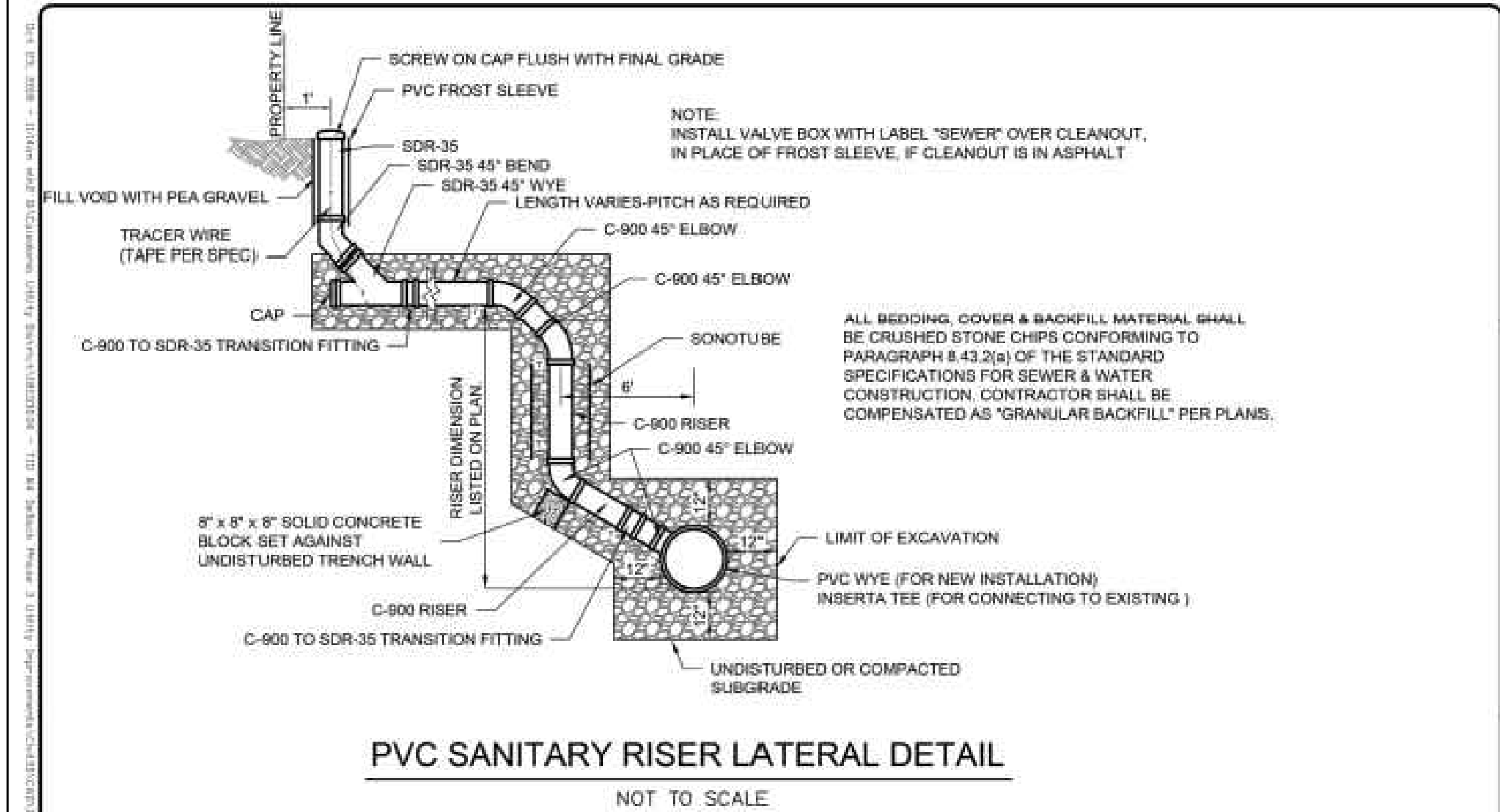
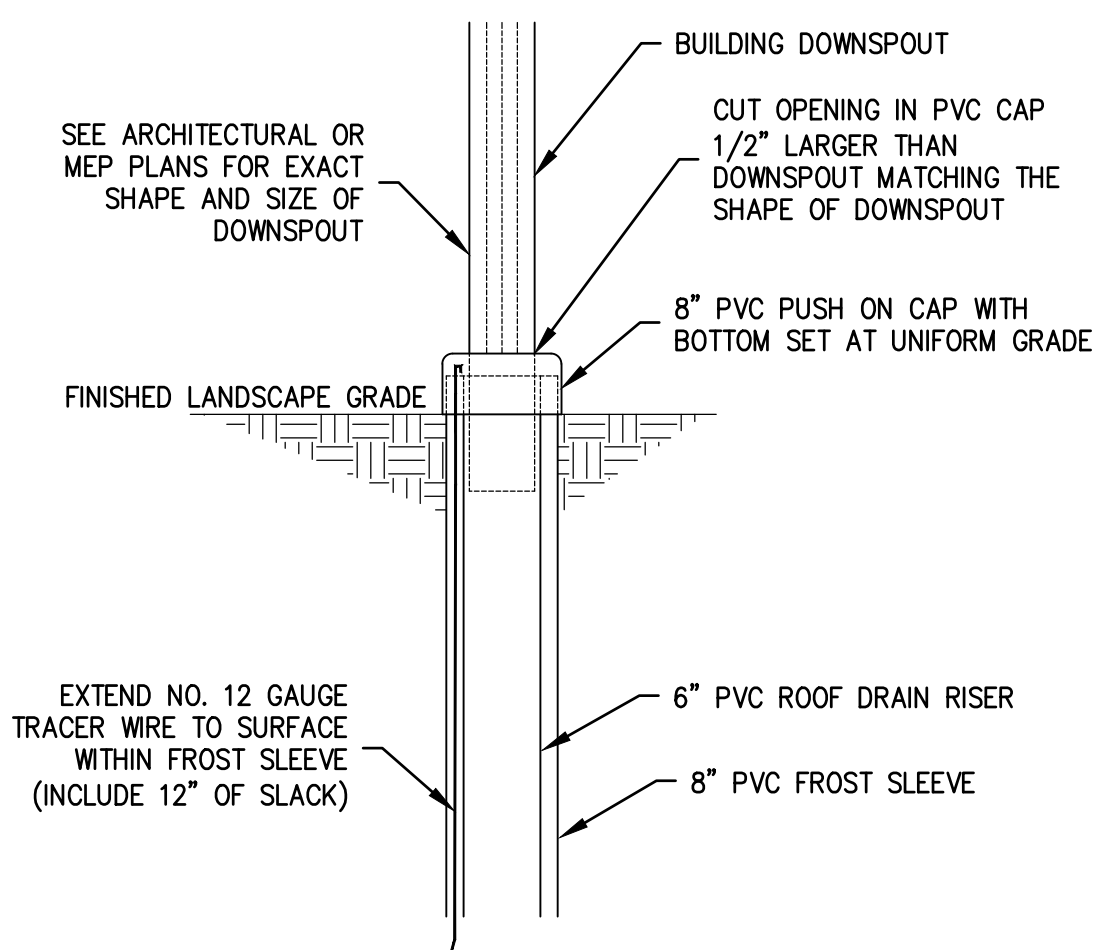
4 PIPE UNDERDRAIN (ADJACENT PAVEMENT) DETAIL

N.T.S.



5 ROOF DRAIN (RD) RISER DETAIL

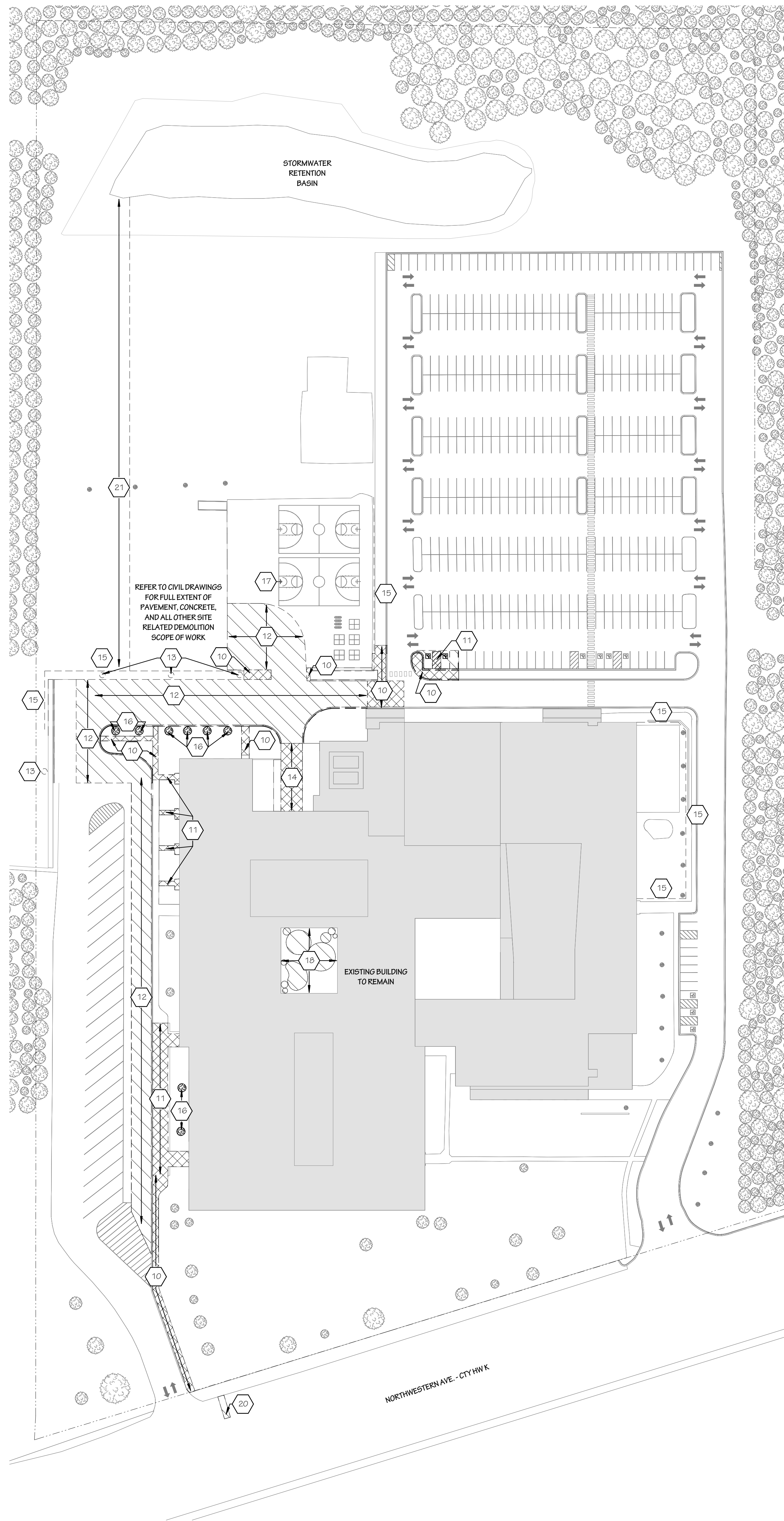
N.T.S.



8 CALEDONIA UTILITY DISTRICT PVC SANITARY RISER LATERAL DETAIL

N.T.S.

CALEDONIA UTILITY DISTRICT
PVC SANITARY RISER LATERAL DETAIL
SCALE
PROJECT ID 18C030.04
DATE: 10/23/2018
PREPARED BY: MLH
CHECKED BY: AMS
Foth
FIGURE NO. 1
Foth Infrastructure & Environment, LLC



DEMOLITION SITE PLAN LEGEND

	EXISTING WALL TO REMAIN
	STUD WALL DEMOLITION
	EXISTING DOOR TO REMAIN
	DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	WINDOW TO BE REMOVED
	MASONRY WALL DEMOLITION
	ASPHALT TO BE SAW CUT AND REMOVED
	CONCRETE AND ALL ASSOCIATED COMPONENTS TO BE REMOVED
	EXISTING BUILDING TO REMAIN
	PROPERTY LINE

DEMO KEY NOTES

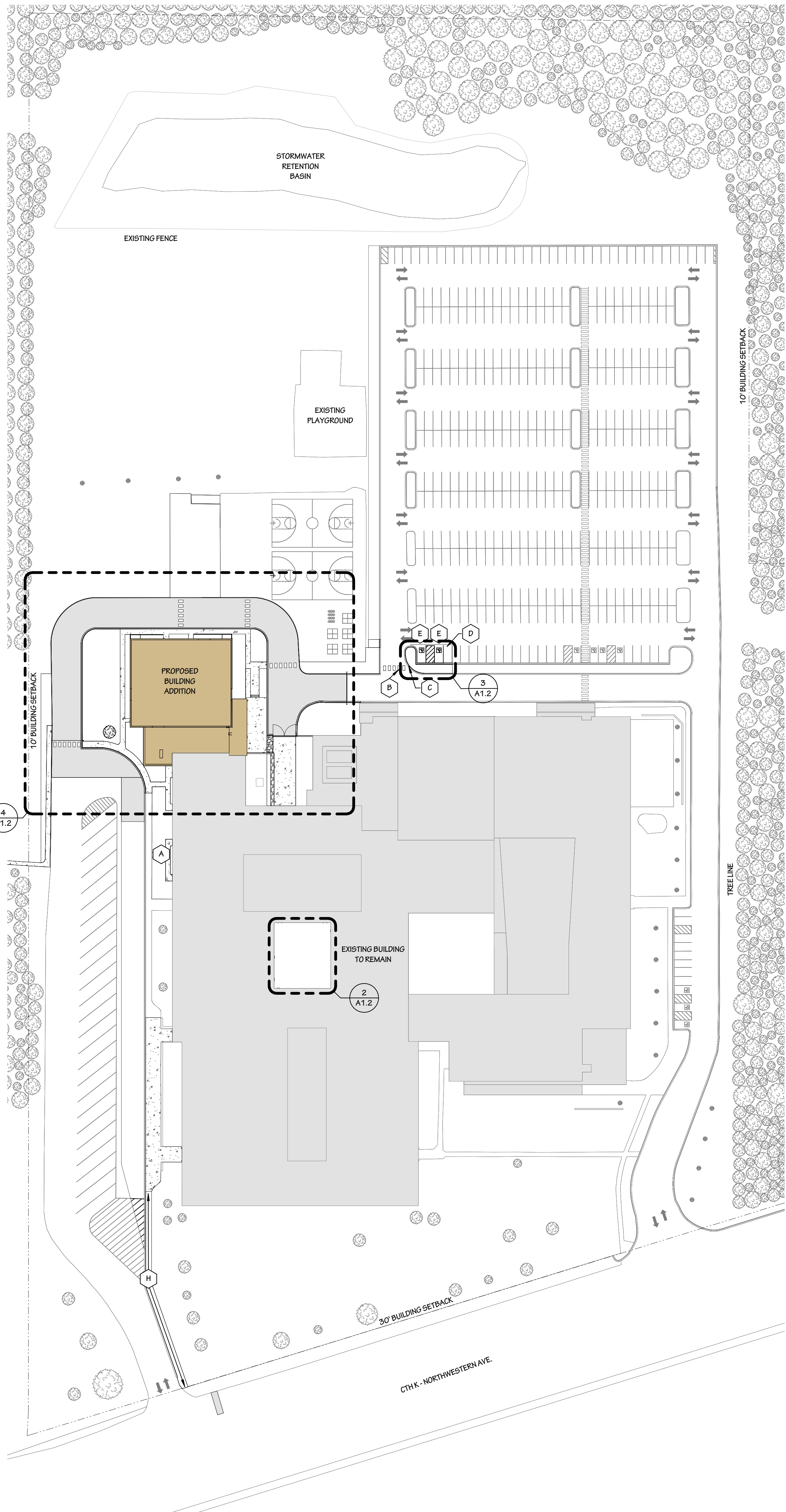
- SITE / BUILDING**
- 10 REMOVE A PORTION OF CONCRETE SIDEWALK AND BASE COMPLETELY. PREP AREA TO RECEIVE NEW TOP SOIL AND SEED.
 - 11 REMOVE A PORTION OF CONCRETE SIDEWALK AND CURB. PREP AREA AS NECESSARY TO POUR NEW SIDEWALK AND CURB.
 - 12 SAW CUT AND REMOVE A PORTION OF ASPHALT DRIVE TO ACCOMMODATE THE NEW UTILITY AND CONCRETE FLAT WORK.
 - 13 REMOVE AND SALVAGE LIGHT POLE FOR REINSTALLATION. SEE ELECTRICAL DRAWINGS FOR DETAILS.
 - 14 REMOVE A PORTION OF THE CONCRETE DRIVE AS NECESSARY TO ACCOMMODATE THE NEW UTILITIES AND DELIVERY DOOR REPLACEMENT.
 - 15 REMOVE FENCING, GATES, POST, FOUNDATION AND ALL ASSOCIATED COMPONENTS.
 - 16 REMOVE AND GRUB TREE.
 - 17 REMOVE, SALVAGE, AND REINSTALL BASKETBALL HOOP.
 - 18 REMOVE EXISTING GRASS AND PREPARE AREA TO RECEIVE NEW FINISH. REFER TO CIVIL FOR SCOPE OF WORK.
 - 20 SAWCUT AND REMOVE A PORTION OF ASPHALT TO ACCOMMODATE SANITATION CONNECTION. REFER TO CIVIL FOR SCOPE OF WORK.
 - 21 TRENCH OUT A PORTION OF GRASS TO ACCOMMODATE STORM PIPING. REFER TO CIVIL FOR ENTIRE SCOPE OF WORK.

GENERAL DEMOLITION NOTES

1. DEMOLITION DRAWINGS ARE PROVIDED AS A REFERENCE TO ESTABLISH THE GENERAL SCOPE OF DEMOLITION WORK. CONTRACTOR IS RESPONSIBLE TO COMPLETE ALL DEMOLITION WORK WHERE REQUIRED TO ACCOMMODATE NEW CONSTRUCTION AND PROTECT THE STRUCTURAL INTEGRITY OF EXISTING-TO-REMAIN.
2. MAINTAIN THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING TO REMAIN. IMMEDIATELY CONTACT THE ARCHITECT IF SCHEDULED DEMOLITION WORK WILL COMPROMISE STRUCTURAL INTEGRITY OF EXISTING BUILDING PRIOR TO DEMOLITION.
3. VERIFY EXISTING STRUCTURAL SUPPORTS AND LOCATION OF ALL STRUCTURAL SUPPORTING WALLS PRIOR TO DEMOLITION. ALL EXISTING STRUCTURAL SUPPORTS ARE TO REMAIN UNLESS NOTED OTHERWISE ON DEMOLITION PLAN.
4. COORDINATE ALL DEMOLITION WORK OUTLINED ON DEMOLITION PLAN WITH NEW FLOOR PLAN LAYOUT TO ALL FOR PROTECTION OF EXISTING TO REMAIN.
5. GENERAL CONTRACTOR TO COORDINATE WITH OTHER CONTRACTORS FOR ALL DEMOLITION WORK. G.C. SHALL PROVIDE NECESSARY ACCESS FOR OTHER CONTRACTORS TO ALLOW OTHER DEMOLITION WORK AND SHALL REPAIR SUCH DEMOLITION AREAS WITH MATERIALS TO MATCH FINAL FINISHES.
6. CONTRACTOR IS RESPONSIBLE FOR PATCHING WALLS, FLOORS, ETC. AND LEVELING EXISTING SURFACES AS REQUIRED TO MATCH ALL ADJACENT SURFACES WHERE REMOVAL WORK HAS OCCURRED. ESPECIALLY WHERE REMOVED WALLS INTERSECT WALLS TO REMAIN AND EXISTING FLOORS SCHEDULED FOR NEW FINISHES.
7. GENERAL CONTRACTOR IS REQUIRED TO WALK THROUGH THE PROJECT SITE TO BECOME FAMILIAR WITH THE SCOPE AND INTENT OF THE CONSTRUCTION DOCUMENTS.
8. SAWCUT AND REMOVE & PATCH ALL WALLS AND FLOORS AS REQUIRED FOR NEW MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL WORK AS REQUIRED.
9. CONTRACTORS TO FIELD VERIFY REQUIRED MECHANICAL, PLUMBING, AND ELECTRICAL DEMOLITION.
10. RECONFIGURE EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS PER THE NEW FLOOR PLAN AND ALL APPLICABLE CODES - TERMINATE AND REMOVE ALL UNUSED CONNECTIONS PER CODE.
11. ALL DEMOLITION DIMENSIONS ARE TO FINISHED OPENINGS & TO BE COORDINATED WITH NEW CONSTRUCTION.

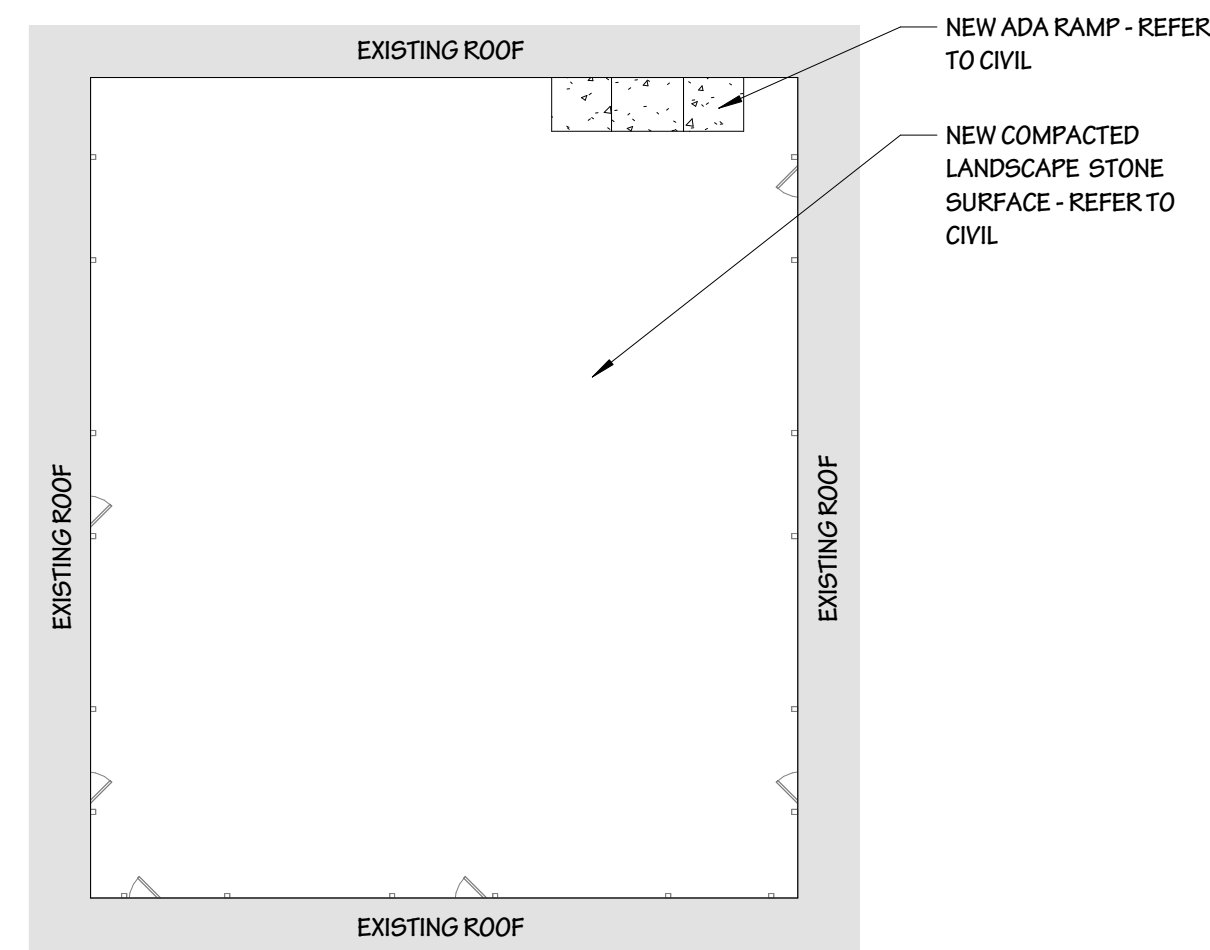
1 ARCHITECTURAL SITE DEMOLITION PLAN
A1.1 1" = 60'-0"



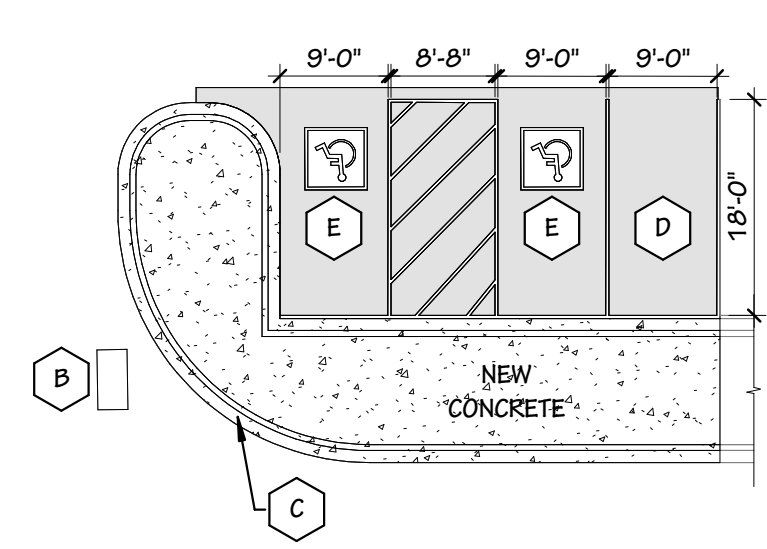


1 OVERALL ARCHITECTURAL SITE PLAN
 A1.2 1" = 60'-0"

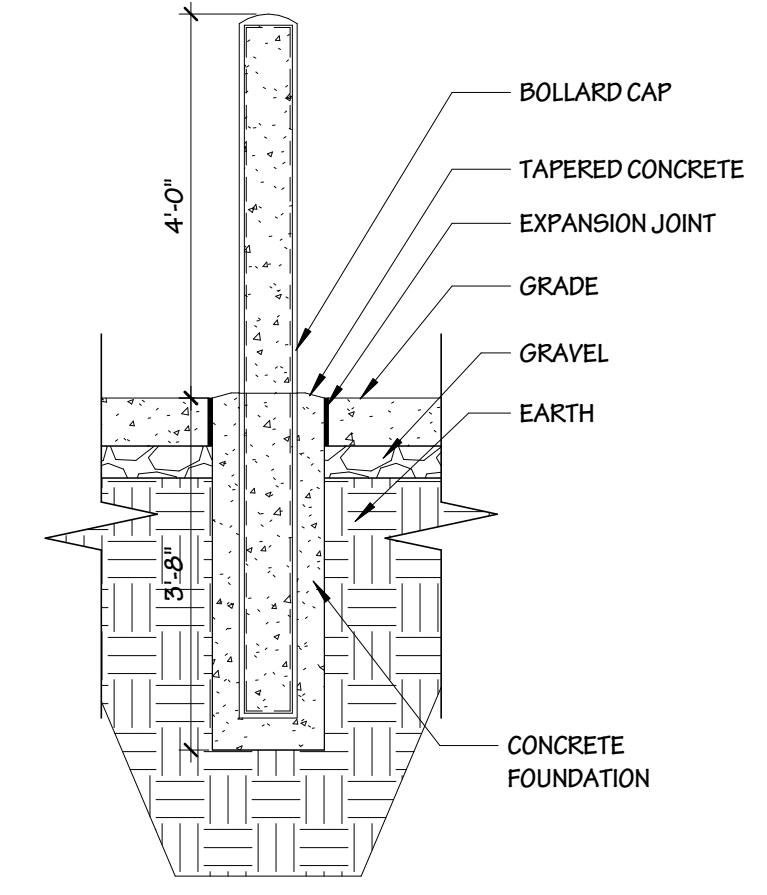
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2 ENLARGED EAST COURTYARD
 A1.2 1/16" = 1'-0"



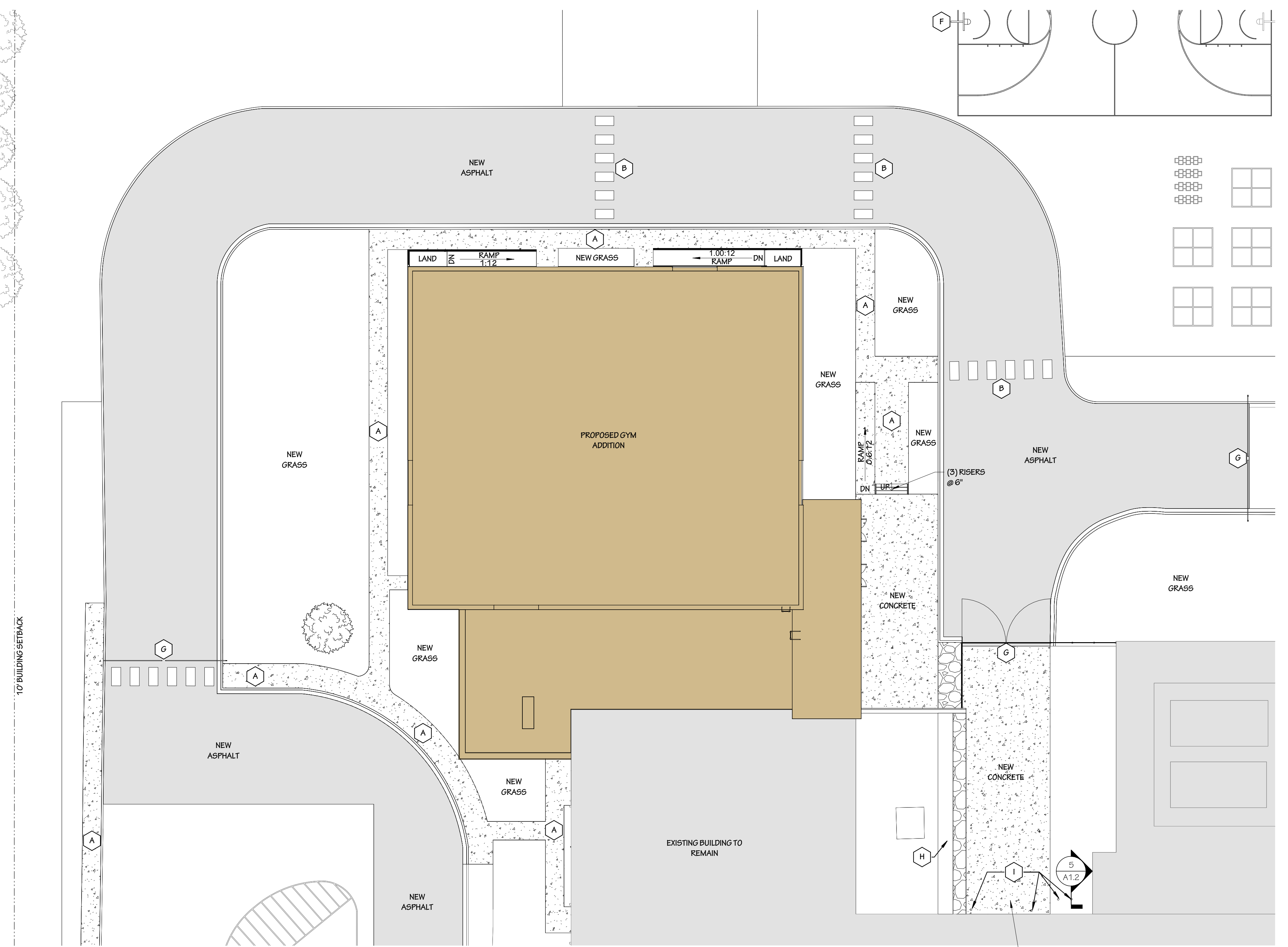
3 ENLARGED WEST PARKING LOT
 A1.2 1/16" = 1'-0"



5 TYPICAL BOLLARD SECTION
 A1.2 1/2" = 1'-0"

- KEY NOTES**
- A SIDEWALK
 - B CROSSWALK
 - C CURB
 - D PARKING SPACE
 - E ADA PARKING SPACE
 - F BASKETBALL HOOP TO BE SALVAGED AND REPLACED TO SAME LOCATION
 - G GATE
 - H LAWN RESTORATION
 - I BOLLARD

- GENERAL PLAN NOTES**
1. NEW CONSTRUCTION TO BE FLUSH WITH EXISTING
 2. FIRE EXTINGUISHERS TO BE BRACKET MOUNTED. EXTINGUISHERS TO CONFORM TO LOCAL FIRE CODE REQUIREMENTS.
 3. STAGGER OUTLET BOXES TO AVOID BACK TO BACK CONFIGURATION. PROVIDE SOUND CAULK AT LOCATIONS THAT CANNOT BE STAGGERED.
 4. THE CONTRACTOR SHALL VERIFY DIMENSIONS AND EXISTING CONDITIONS, AND SHALL REPORT ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
 5. OUTLETS TO BE FIXED 18" A.F.F. ON CENTER UNLESS NOTED OTHERWISE - ELECTRICAL DESIGN BY DESIGN BUILD CONTRACTOR.



4 ENLARGED GYM ADDITION SITE PLAN
 A1.2 1/16" = 1'-0"

GIFFORD SCHOOL ADDITION AND RENOVATION
 8332 Northwestern Ave, Racine, Wisconsin
 ARCHITECTURAL SITE PLAN

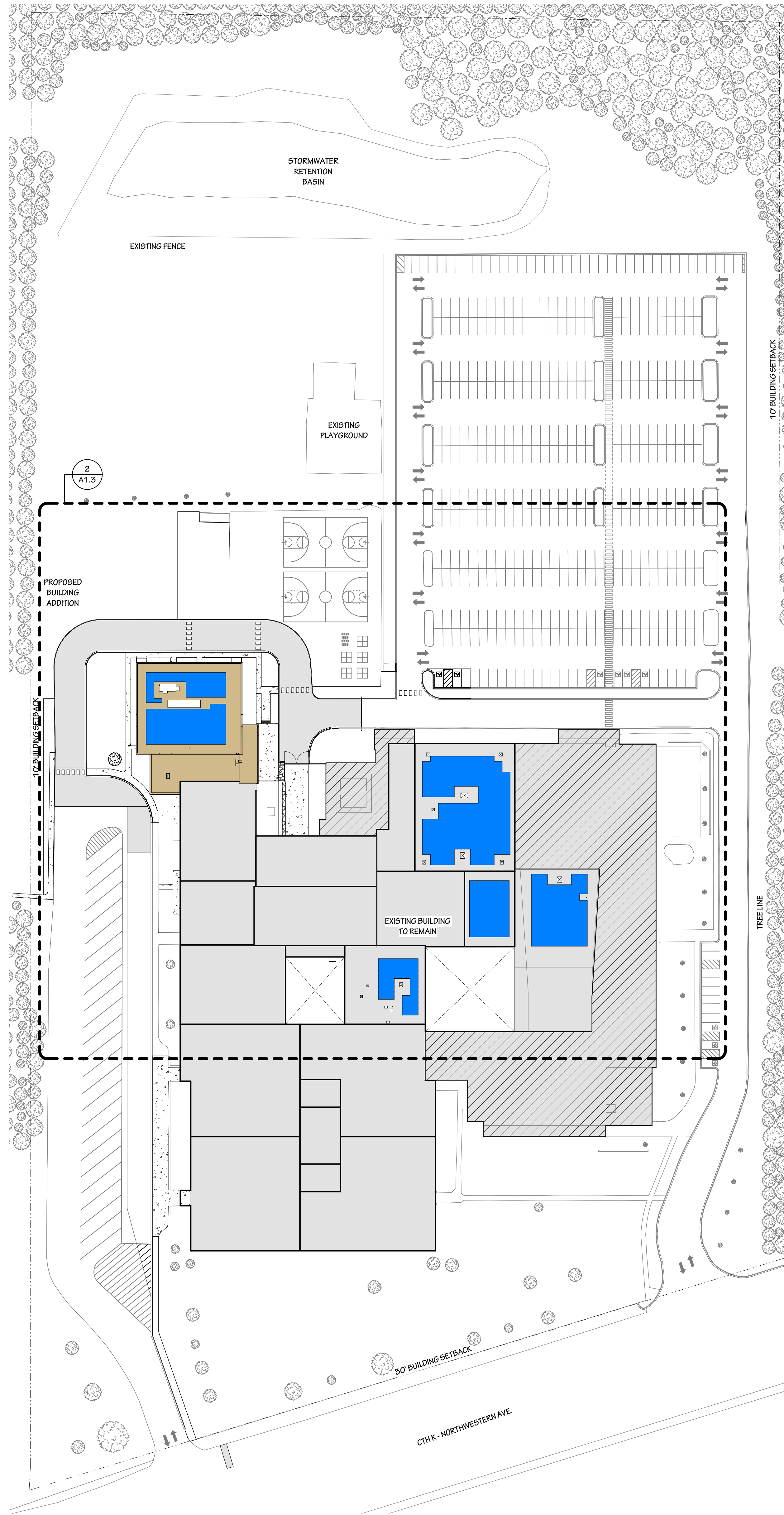
600 Fifth Second Street
 Suite 220
 Kenosha, Wisconsin 53140
 Ph: (262) 592-2800

Partners in Design
 ARCHITECTS

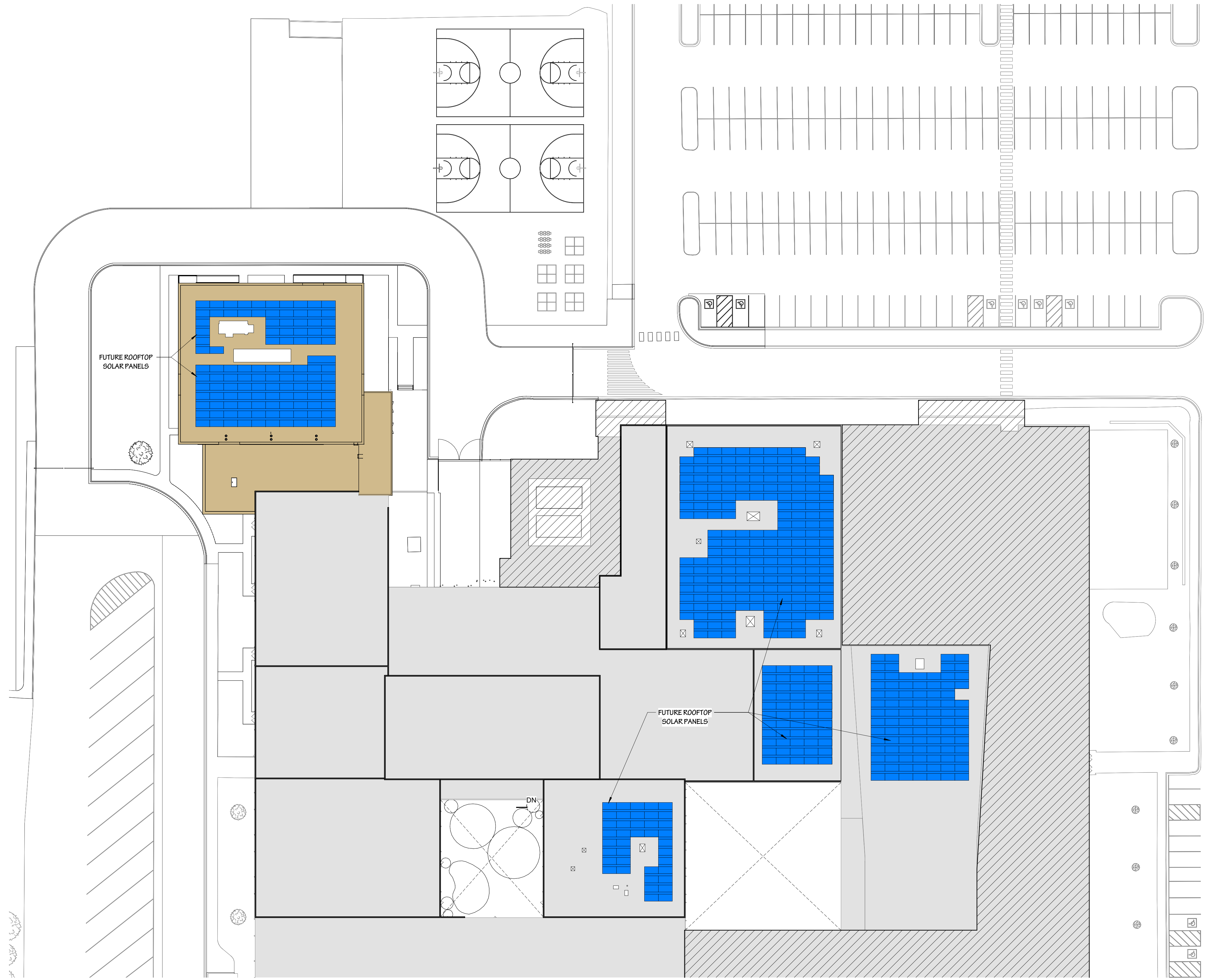


PROJECT NO:
723.24.035
 DRAWN BY: MGP CHECKED BY: JEB
 DATE: 01.09.2025
 SHEET NO.

A1.2



1 OVERALL ARCHITECTURAL SITE PLAN
1" = 60'-0"



2 ENLARGED SITE PLAN WITH FUTURE SOLAR PANELS
1" = 30'-0"

LEGEND

[Grey Box]	EXISTING BUILDING (1966)
[Hatched Box]	EXISTING BUILDING (2016 ADDITION)
[Brown Box]	NEW GYM ADDITION
[Blue Box]	SOLAR PANEL AREA

- GENERAL PLAN NOTES**
1. NEW CONSTRUCTION TO BE FLUSH WITH EXISTING
 2. FIRE EXTINGUISHERS TO BE BRACKET MOUNTED. EXTINGUISHERS TO CONFORM TO LOCAL FIRE CODE REQUIREMENTS.
 3. STAGGER OUTLET BOXES TO AVOID BACK TO BACK CONFIGURATION. PROVIDE SOUND CAULK AT LOCATIONS THAT CANNOT BE STAGGERED.
 4. THE CONTRACTOR SHALL VERIFY DIMENSIONS AND EXISTING CONDITIONS, AND SHALL REPORT ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
 5. OUTLETS TO BE FIXED 18" A.F.F. ON CENTER UNLESS NOTED OTHERWISE - ELECTRICAL DESIGN BY DESIGN BUILD CONTRACTOR.

GIFFORD SCHOOL ADDITION AND RENOVATION
8332 Northwestern Ave, Racine, Wisconsin
ARCHITECTURAL SITE PLAN w/ FUTURE SOLAR PANELS

600 Fifth Second Street
Suite 220
Kenosha, Wisconsin 53140
Ph.: (822)652-2800

Partners in Design
ARCHITECTS



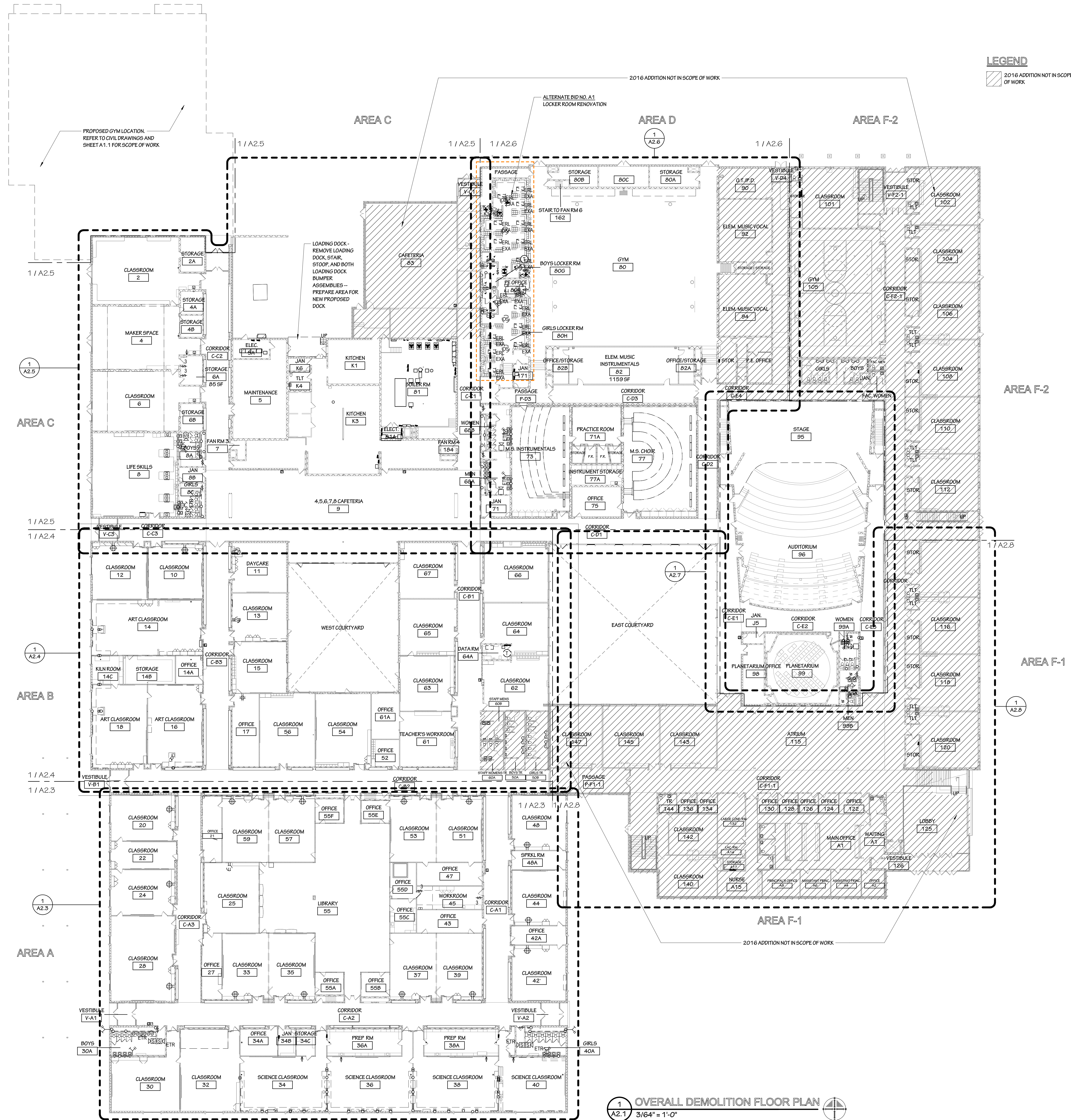
PROJECT NO:
723.24.035

DRAWN BY: MGP
CHECKED BY: JEB

DATE:
01.09.2025

SHEET NO:

A1.3



GENERAL DEMOLITION NOTES

- DEMOLITION DRAWINGS ARE PROVIDED AS A REFERENCE TO ESTABLISH THE GENERAL SCOPE OF DEMOLITION WORK. CONTRACTOR IS RESPONSIBLE TO COMPLETE ALL DEMOLITION WORK WHERE REQUIRED TO ACCOMMODATE NEW CONSTRUCTION AND PROTECT THE STRUCTURAL INTEGRITY OF EXISTING-TO-REMAIN.
- MAINTAIN THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING TO REMAIN. IMMEDIATELY CONTACT THE ARCHITECT IF SCHEDULED DEMOLITION WORK WILL COMPROMISE STRUCTURAL INTEGRITY OF EXISTING BUILDING PRIOR TO DEMOLITION.
- VERIFY EXISTING STRUCTURAL SUPPORTS AND LOCATION OF ALL STRUCTURAL SUPPORTING WALLS PRIOR TO DEMOLITION. ALL EXISTING STRUCTURAL SUPPORTS ARE TO REMAIN UNLESS NOTED OTHERWISE ON DEMOLITION PLAN.
- COORDINATE ALL DEMOLITION WORK OUTLINED ON DEMOLITION PLAN WITH NEW FLOOR PLAN LAYOUT TO ALL FOR PROTECTION OF EXISTING TO REMAIN.
- GENERAL CONTRACTOR TO COORDINATE WITH OTHER CONTRACTORS FOR ALL DEMOLITION WORK. G.C. SHALL PROVIDE NECESSARY ACCESS FOR OTHER CONTRACTORS TO ALLOW OTHER DEMOLITION WORK AND SHALL REPAIR SUCH DEMOLITION AREAS WITH MATERIALS TO MATCH FINAL FINISHES.
- CONTRACTOR IS RESPONSIBLE FOR PATCHING WALLS, FLOORS, ETC. AND LEVELING EXISTING SURFACES AS REQUIRED TO MATCH ALL ADJACENT SURFACES WHERE REMOVAL WORK HAS OCCURRED, ESPECIALLY WHERE REMOVED WALLS INTERSECT WALLS TO REMAIN AND EXISTING FLOORS SCHEDULED FOR NEW FINISHES.
- GENERAL CONTRACTOR IS REQUIRED TO WALK THROUGH THE PROJECT SITE TO BECOME FAMILIAR WITH THE SCOPE AND INTENT OF THE CONSTRUCTION DOCUMENTS.
- SAWCUT AND REMOVE & PATCH ALL WALLS AND FLOORS AS REQUIRED FOR NEW MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL WORK AS REQUIRED.
- CONTRACTORS TO FIELD VERIFY REQUIRED MECHANICAL, PLUMBING, AND ELECTRICAL DEMOLITION.
- RECONFIGURE EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS PER THE NEW FLOOR PLAN AND ALL APPLICABLE CODES - TERMINATE AND REMOVE ALL UNUSED CONNECTIONS PER CODE.
- ALL DEMOLITION DIMENSIONS ARE TO FINISHED OPENINGS & TO BE COORDINATED WITH NEW CONSTRUCTION.

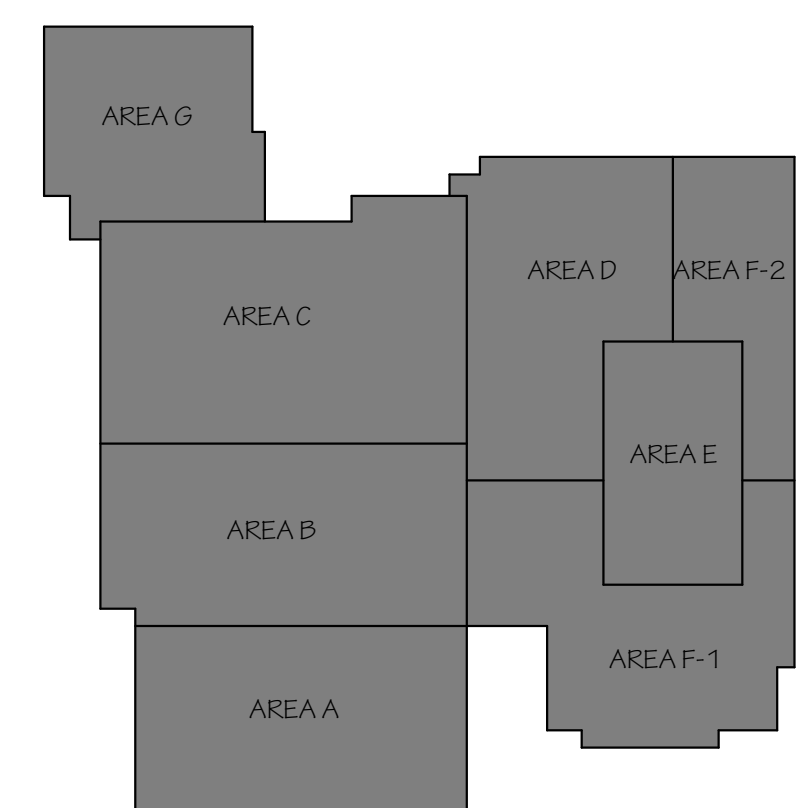
GIFFORD SCHOOL ADDITION AND RENOVATION
8332 Northwestern Ave, Racine, Wisconsin

600 Fifth Second Street
Suite 220
Kenosha, Wisconsin 53140
Ph: (262) 592-2800

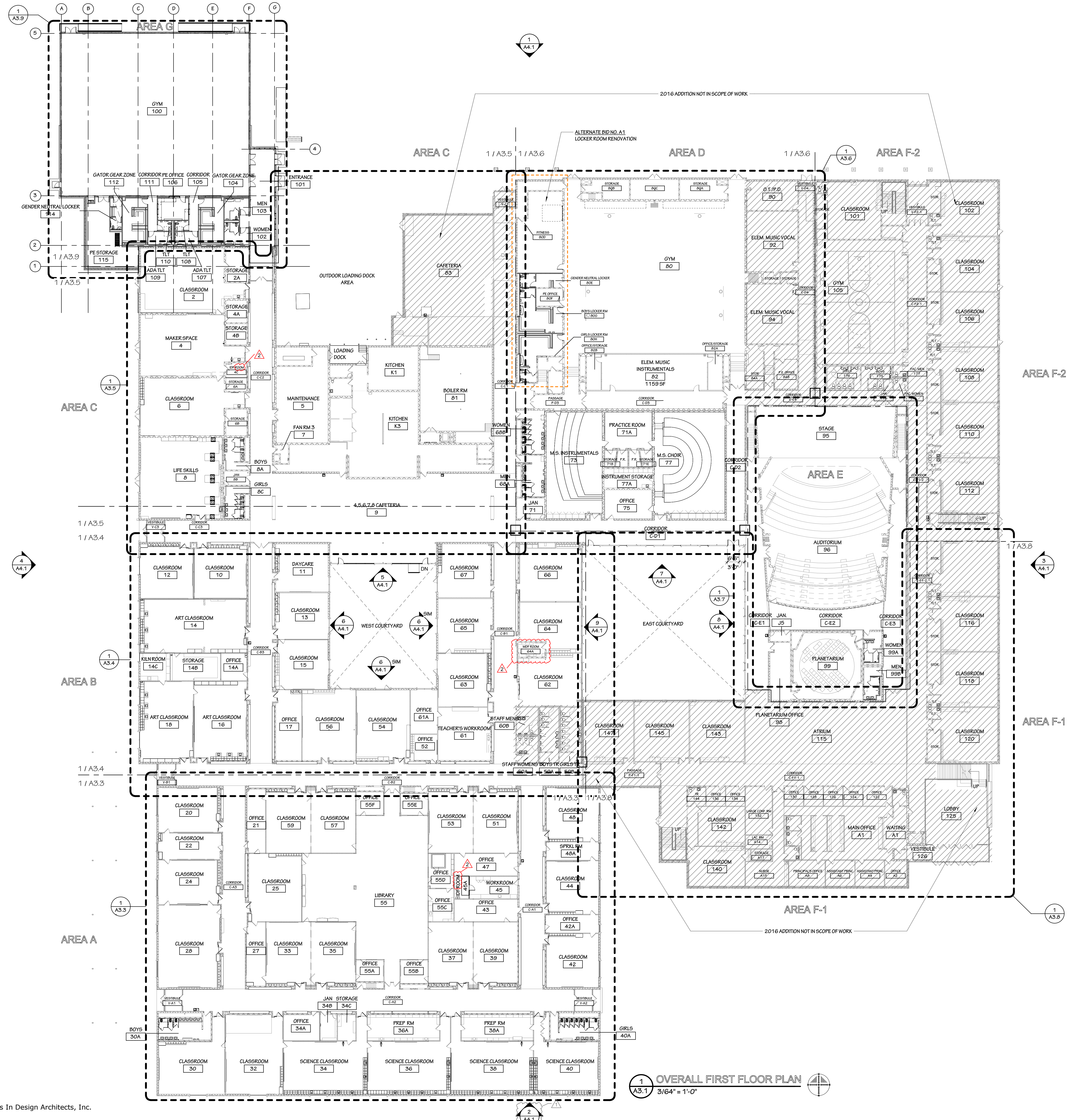
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PROJECT NO.
723.24.035
DRAWN BY: JEB
CHECKED BY: JEB
DATE: 01.09.2025
SHEET NO.

A2.1



1 OVERALL DEMOLITION FLOOR PLAN
A2.1 3/64" = 1'-0"



- GENERAL PLAN NOTES**
1. NEW CONSTRUCTION TO BE FLUSH WITH EXISTING.
 2. FIRE EXTINGUISHERS TO BE BRACKET MOUNTED. EXTINGUISHERS TO CONFORM TO LOCAL FIRE CODE REQUIREMENTS.
 3. STAGGER OUTLET BOXES TO AVOID BACK TO BACK CONFIGURATION. PROVIDE SOUND CAULK AT LOCATIONS THAT CANNOT BE STAGGERED.
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LEGEND

2016 ADDITION NOT IN SCOPE OF WORK

REVISIONS	1	01.23.2025	APPENDIX A.1
	2	01.28.2025	APPENDIX A.2

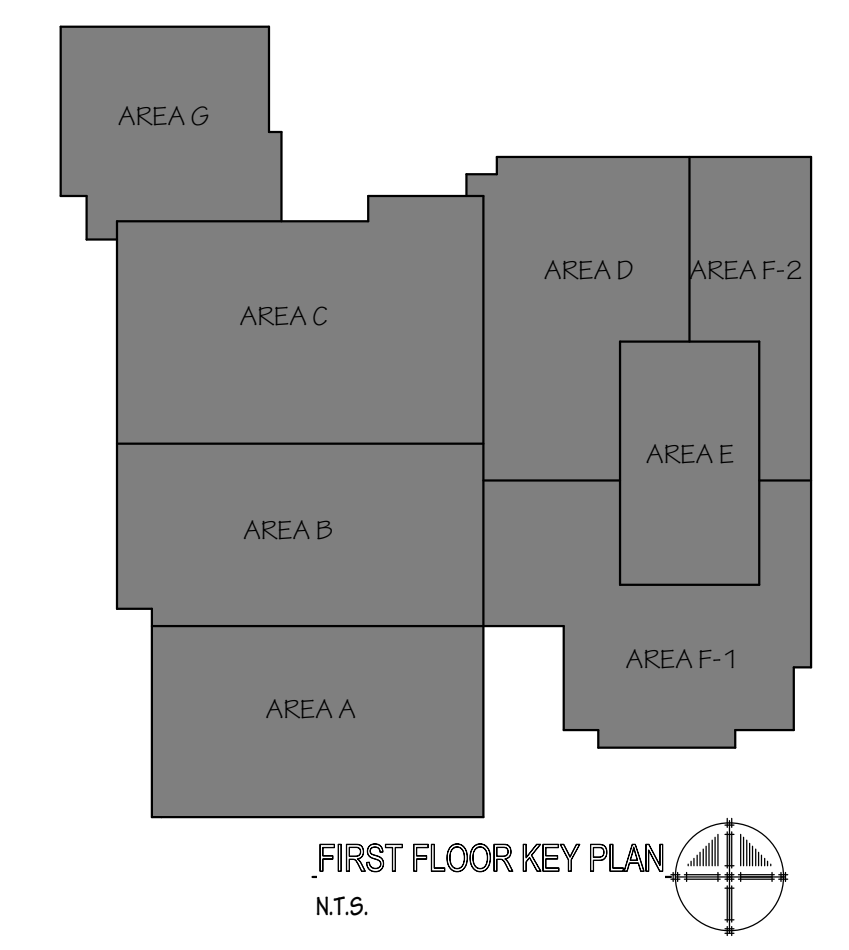
GIFFORD SCHOOL ADDITION AND RENOVATION
 8332 Northwestern Ave, Racine, Wisconsin
OVERALL FIRST FLOOR PLAN

600 Fifth Second Street
 Suite 220
 Kenosha, Wisconsin 53140
 Ph.: (822) 657-2800

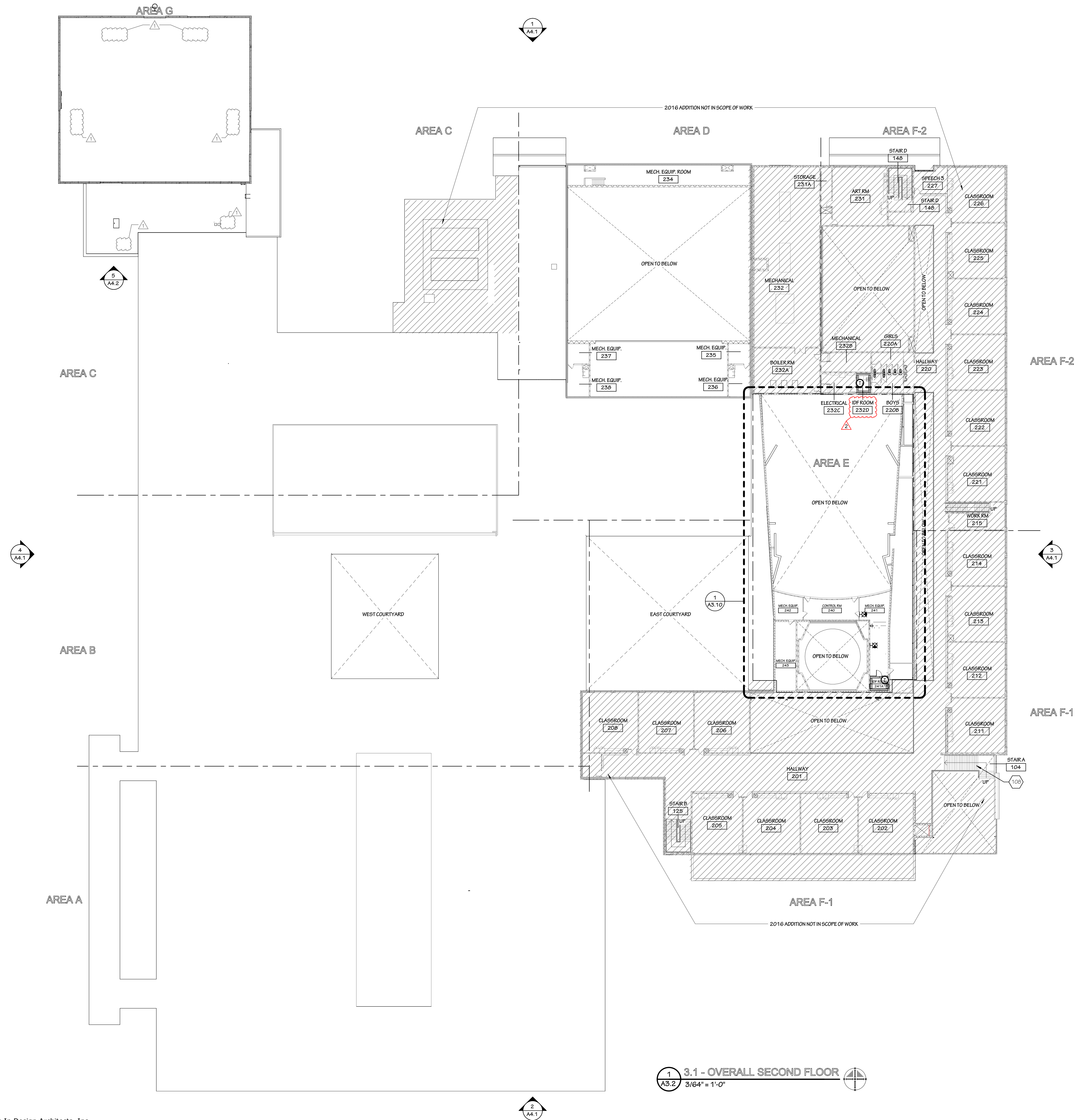
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PROJECT NO: 723.24.035
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 DATE: 01.09.2025
 SHEET NO:

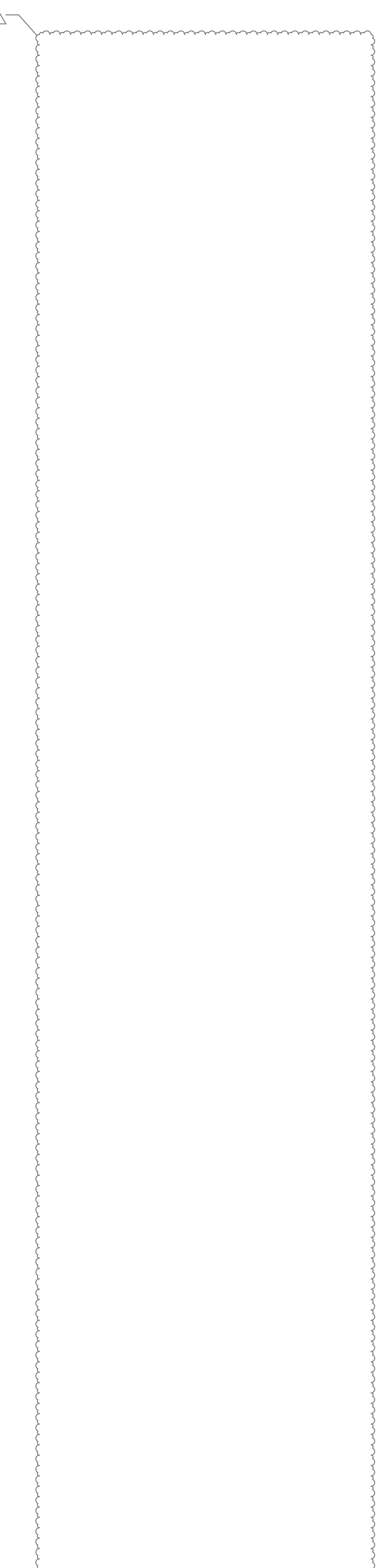


1 OVERALL FIRST FLOOR PLAN
 A3.1 3/64" = 1'-0"



GENERAL PLAN NOTES

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2. FIRE EXTINGUISHERS TO BE BRACKET MOUNTED. EXTINGUISHERS TO CONFORM TO LOCAL FIRE CODE REQUIREMENTS.
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1 3.1 - OVERALL SECOND FLOOR
A3.2 3/64" = 1'-0"

SECOND FLOOR KEY PLAN
NT.5

REVISIONS	1	01.23.2025	APPENDIX A.1
	2	01.28.2025	APPENDIX A.2

GIFFORD SCHOOL ADDITION AND RENOVATION
 8332 Northwestern Ave, Racine, Wisconsin
OVERALL SECOND FLOOR PLAN

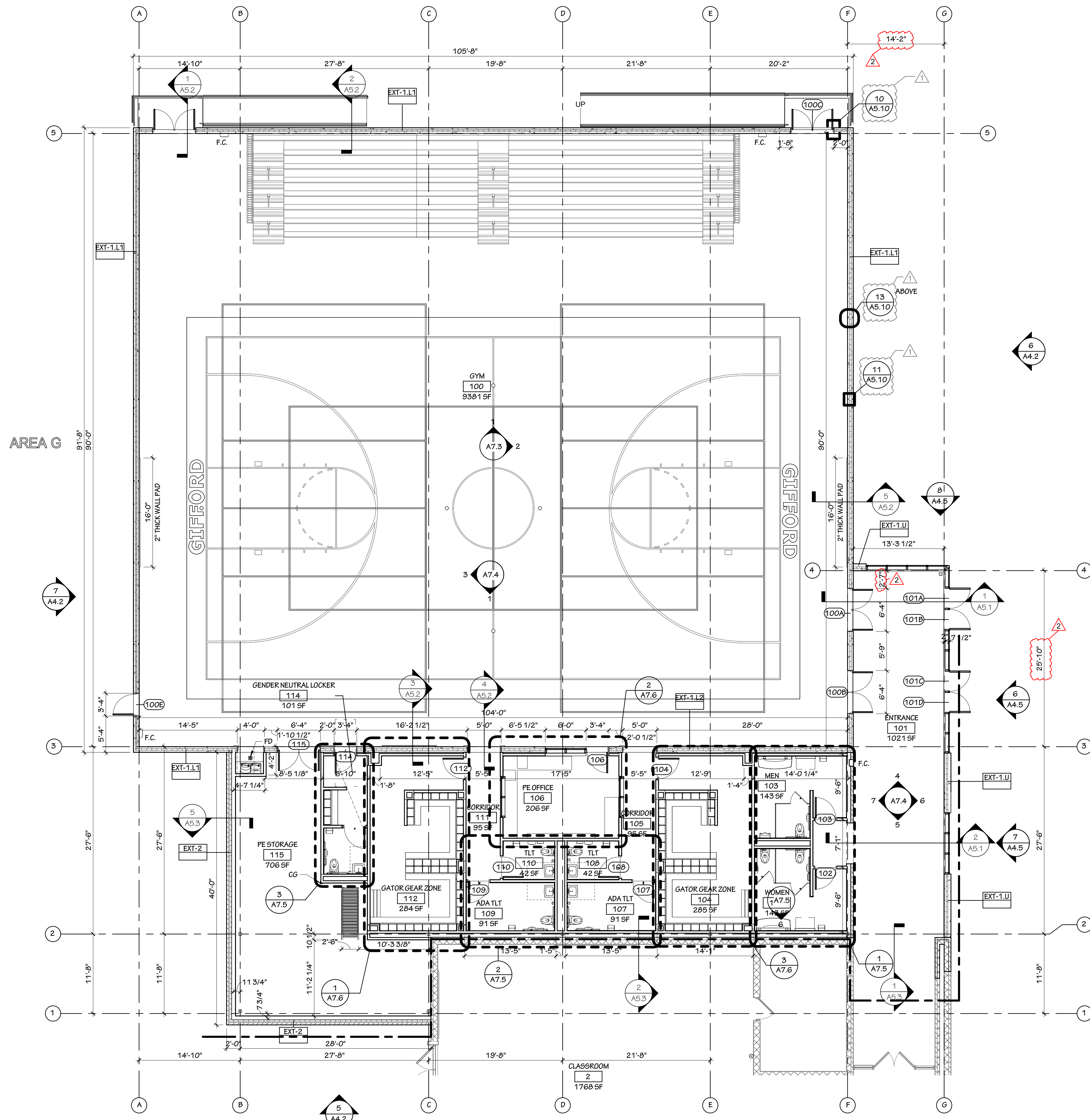
600 Ffry-Second Street
 Suite 220
 Kenosha, Wisconsin 53140
 Ph.: (827)657-2800

Partners in Design
 ARCHITECTS



PROJECT NO: 723.24.035
 DRAWN BY: MGP CHECKED BY: JEB
 DATE: 01.09.2025

SHEET NO:
 A3.2



1 ENLARGED FLOOR PLAN - AREA G
A3.9 1/8" = 1'-0"

ROOM FINISH SCHEDULE

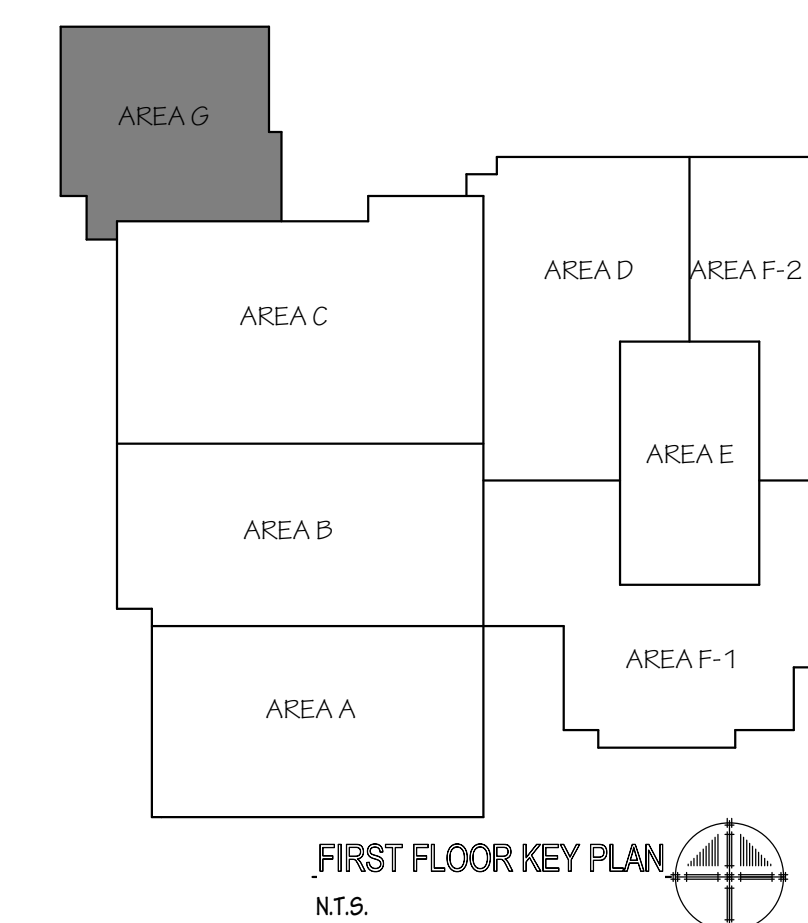
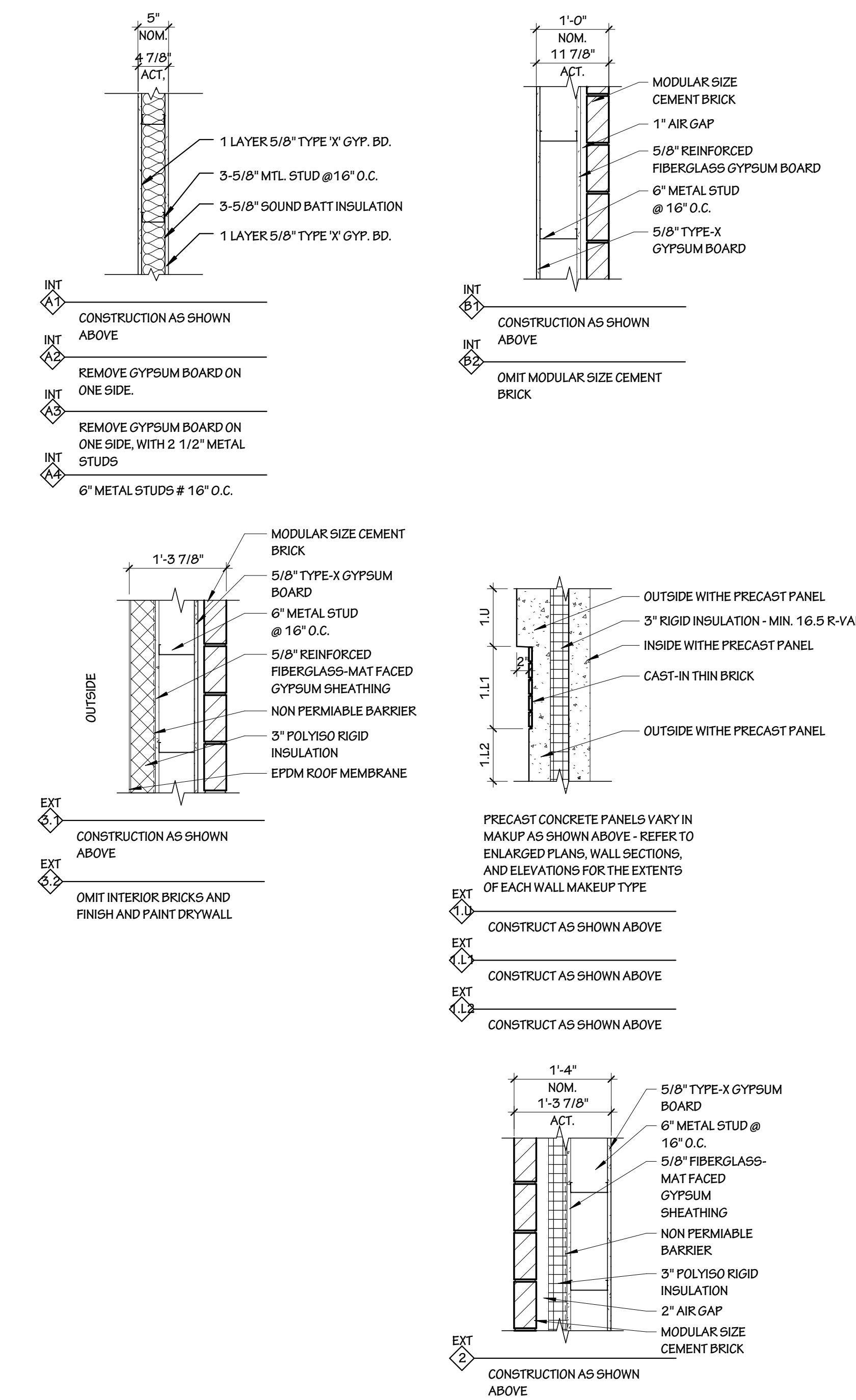
ROOM NAME	NO.	FLOOR	BASE	WALLS				CEILING	HEIGHT	PAINT		REMARKS
				NORTH	EAST	SOUTH / GYP. BD.	WEST			WALLS	CEILING	
GYM	100	WOOD	VENTED WALL COVE BASE	PRE-CAST	PRE-CAST	PRE-CAST / GYP. BD.	PRE-CAST	EXPOSED STRUCTURE	VARIES	YES	YES	
ENTRANCE	101	CARPET TILE	WALL COVE BASE	PRE-CAST / GLAZING	PRE-CAST	GLAZING	PRE-CAST / GLAZING	WOOD SLAT	17'-8"	YES	YES	
WOMEN	102	PORCELIN TILE	CERAMIC TILE	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	PORCELIN TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	GYP. BD.	8'-5"	YES	YES	
MEN	103	PORCELIN TILE	CERAMIC TILE	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	GYP. BD.	8'-5"	YES	YES	
GATOR GEAR ZONE	104	EPOXY	WALL COVE BASE	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	8'-5"	YES	YES	
CORRIDOR	105	VINYL COMPOSITION TILE	CERAMIC TILE	OPEN / GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	S.A.T.	8'-5"	YES	NO	
PE OFFICE	106	VINYL COMPOSITION TILE	CERAMIC TILE	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	S.A.T.	8'-5"	YES	NO	
ADA TL1	107	PORCELIN TILE	CERAMIC TILE	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	GYP. BD.	8'-5"	YES	YES	
TL1	108	PORCELIN TILE	CERAMIC TILE	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	GYP. BD.	8'-5"	YES	YES	
ADA TL2	109	PORCELIN TILE	CERAMIC TILE	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	GYP. BD.	8'-5"	YES	YES	
TL2	110	PORCELIN TILE	CERAMIC TILE	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	CERAMIC TILE / GYP. BD.	GYP. BD.	8'-5"	YES	YES	
CORRIDOR	111	VINYL COMPOSITION TILE	CERAMIC TILE	OPEN / GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	S.A.T.	8'-5"	YES	NO	
GATOR GEAR ZONE	112	EPOXY	WALL COVE BASE	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	8'-5"	YES	YES	
GENDER NEUTRAL LOCKER	114	PORCELIN TILE	WALL COVE BASE	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	8'-5"	YES	YES	
PE STORAGE	115	CONCRETE	WALL COVE BASE	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	EXPOSED STRUCTURE	10'-0"	YES	NO	

ROOM FINISH SCHEDULE NOTES:

1. PAINT WINDOW FRAMES.
2. PAINT GYPSUM SOFFIT.

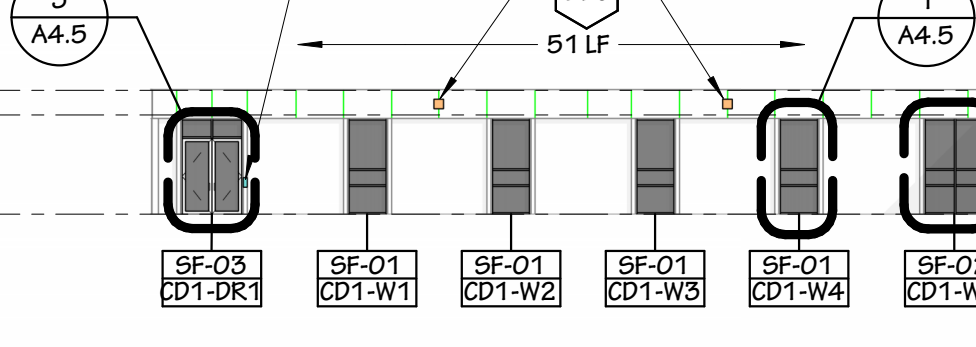
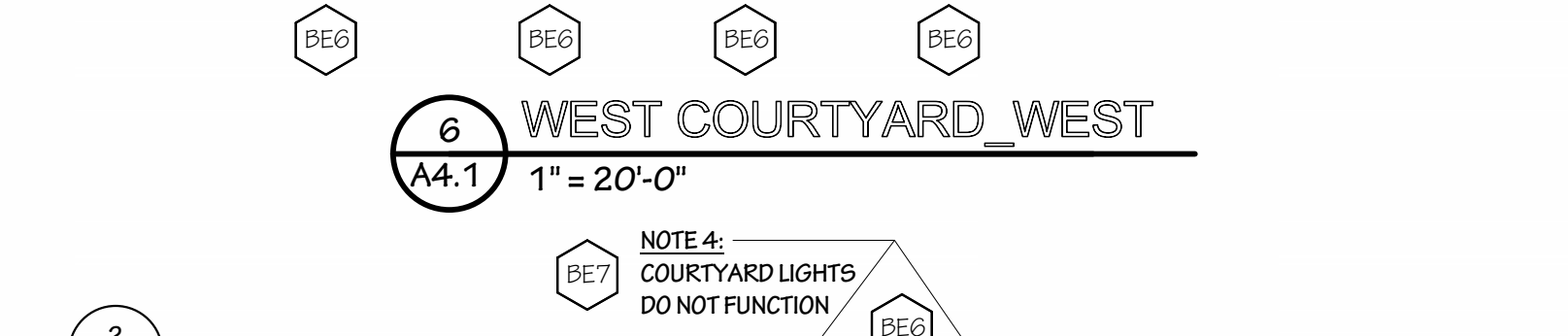
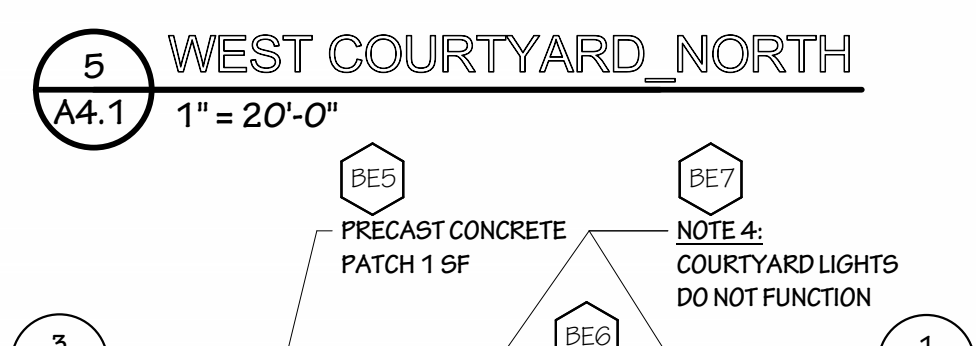
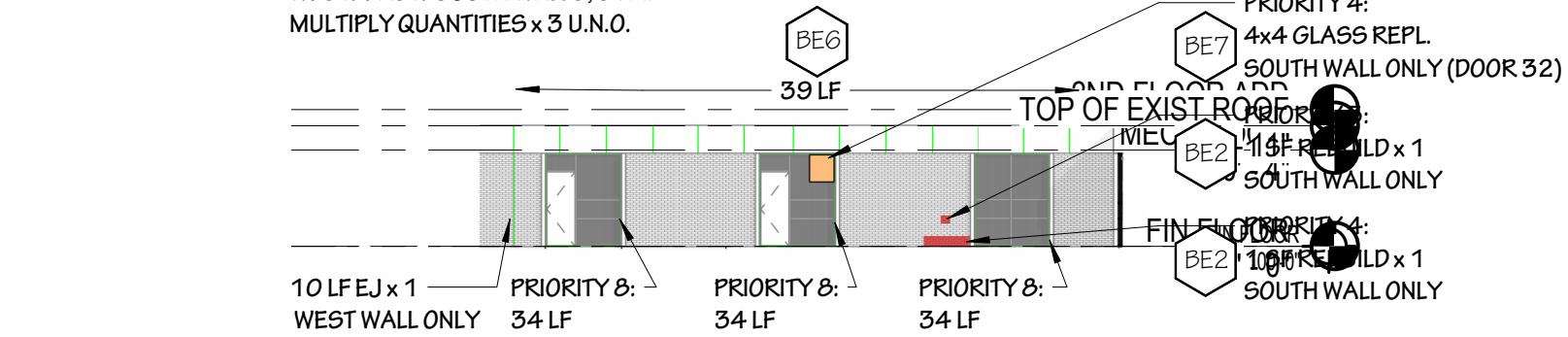
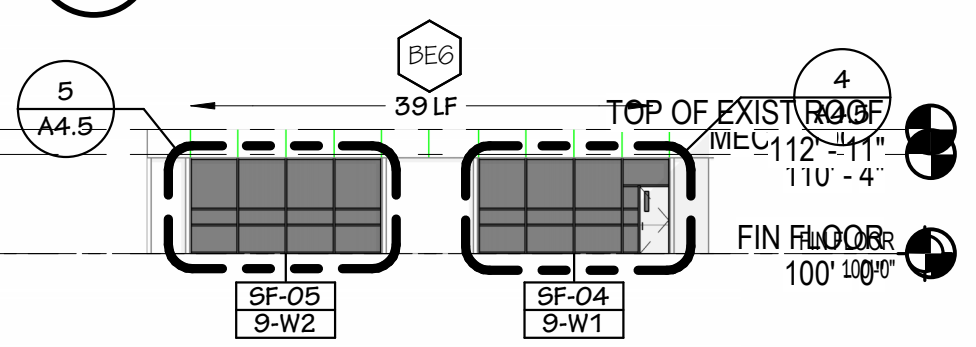
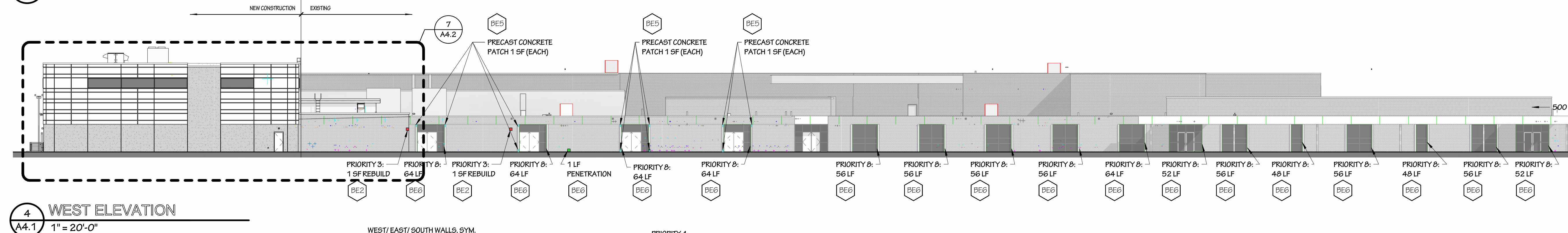
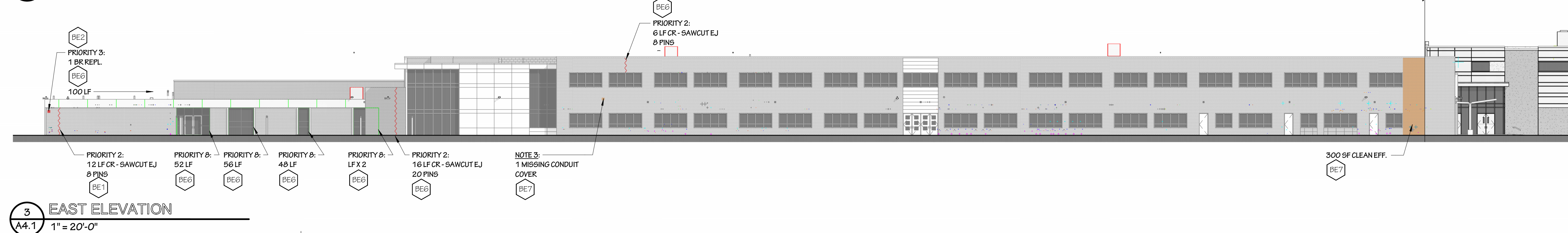
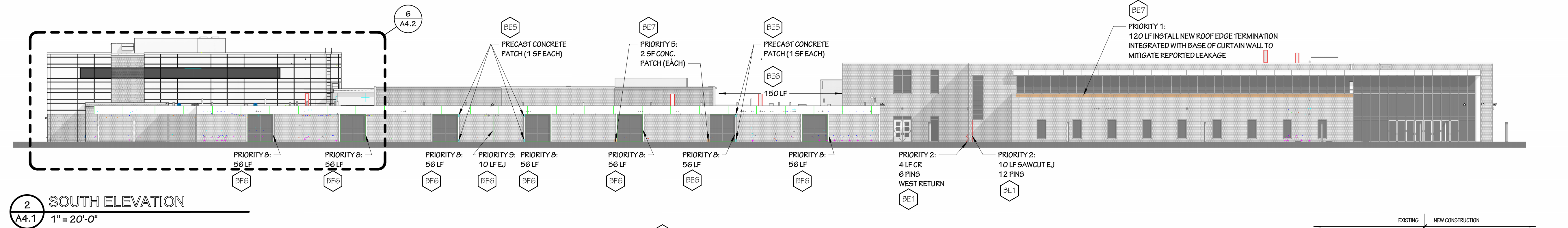
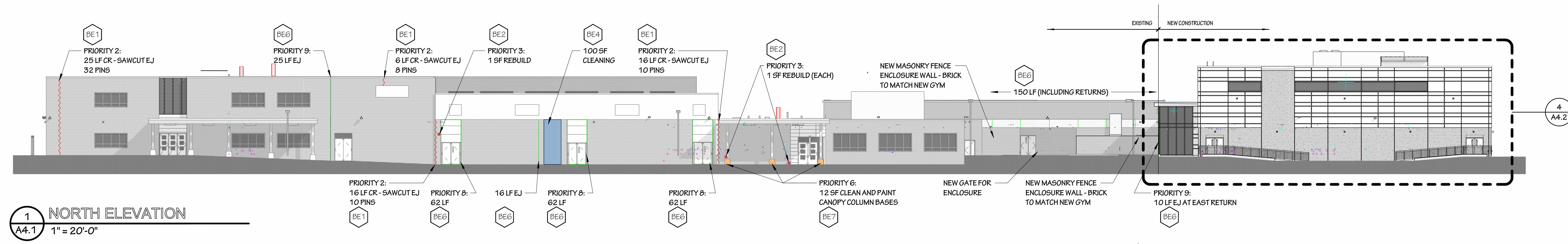
WALL TYPES

1. ALL WALLS TO BE BRACED.
2. ALL GYP. BD. TO BE 5/8" TYPE 'X' UNLESS NOTED OTHERWISE.
3. PROVIDE GALVANIZED STUD TRACK WITH 3 LEGS AT TOP OF ANY FRAMING TO UNDERSIDE OF DECK STRUCTURE TO ALLOW FOR 1" DEFLECTION MINIMUM AND 1" CLEAR BETWEEN TRACK AND ANY APPLIED WALL SURFACE - NO WELD OR MECHANICAL FASTENING BETWEEN STUD AND TRACK.
4. PROVIDE WALL BRACING BETWEEN TOPS OF WALLS AND TO STRUCTURE ABOVE AS REQUIRED. ALLOW FOR BUILDING WALL EXPANSION BETWEEN EXISTING MASONRY SHELL AND NEW CONSTRUCTION.
5. PROVIDE 5/8" TYPE 'X' MOISTURE RESISTANT GYP. BD. AT ALL WET WALLS AND WALL FACES WITHIN 72" OF PLUMBING FIXTURES.



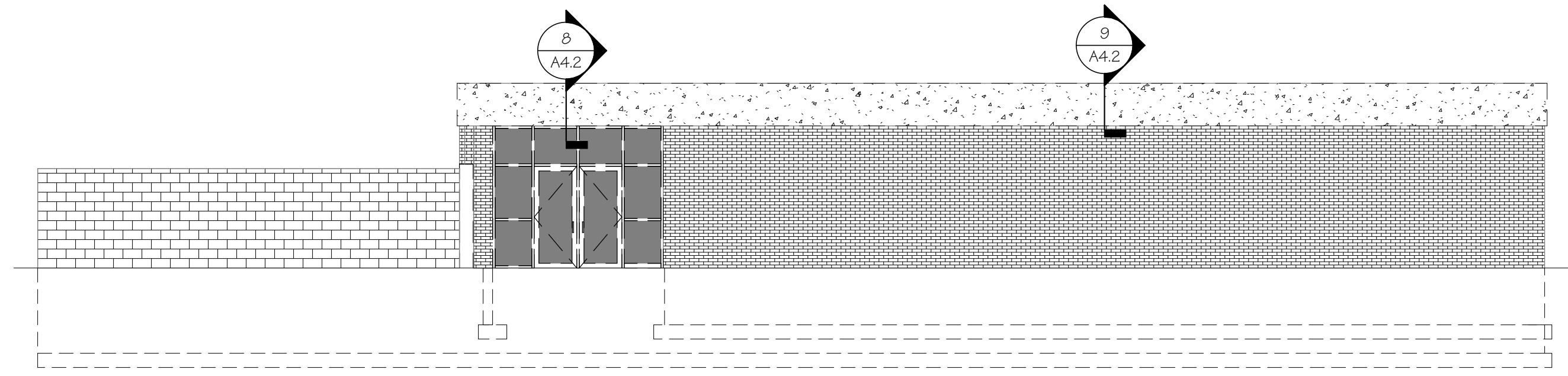
GIFFORD SCHOOL ADDITION AND RENOVATION
8332 Northwestern Ave, Racine, Wisconsin
ENLARGED FIRST FLOOR PLAN AREA G

Partners in Design ARCHITECTS
600 Fifth Second Street Suite 220 Kenosha, Wisconsin 53140 Ph.: (623) 657-2800
PROJECT NO. 723.24.035
DRAWN BY: DLV/VEB CHECKED BY: JEB
DATE: 01.09.2025
SHEET NO. A3.9

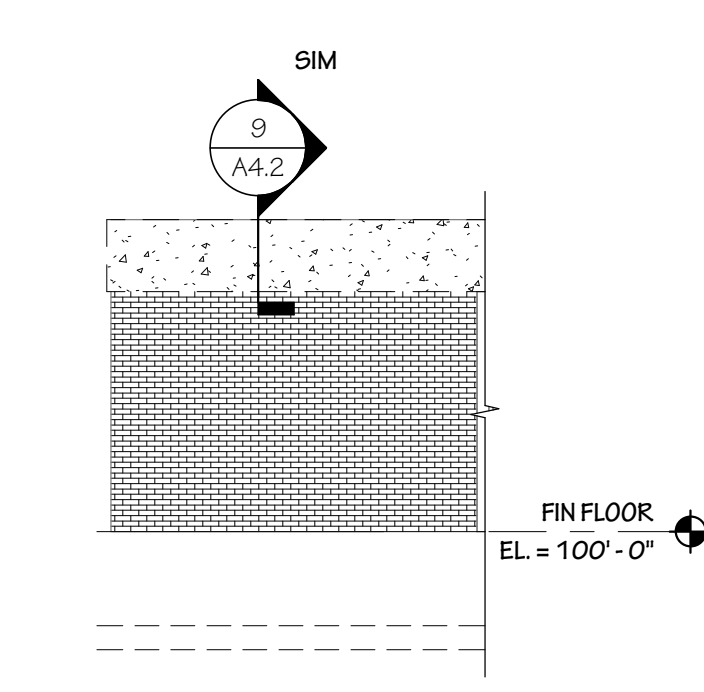


BUILDING ENVELOPE REPAIR SPECIFICATIONS

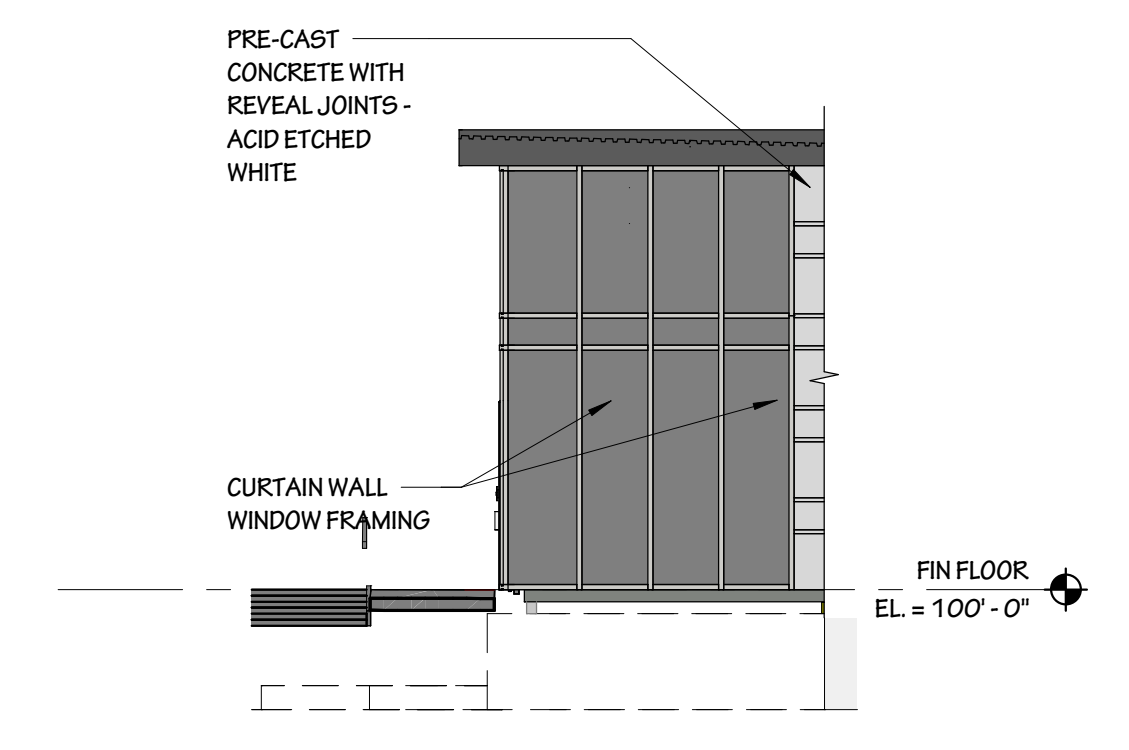
- Section 02 01 20: SELECTIVE DEMOLITION**
 - Visual survey of existing conditions
 - Verify repair areas and base bid quantities
 - Provide allowance quantities to A/E for review and approval
 - Selective demolition
 - Temporary weather protection for in-progress repairs
 - Final cleaning following completion of repair work
- Section 03 01 00: MAINTENANCE OF CONCRETE**
 - SikaQuick VOH or A/E approved equivalent
 - 3/16" diameter stainless steel pins
 - DeWalt AC100+ Gold epoxy
 - 4.5 mm diameter s.s. Helifix Helibar reinforcing
- Section 03 01 40: MAINTENANCE OF PRECAST ARCHITECTURAL CONCRETE**
 - Precast concrete patches to match existing exposed aggregate color/texture
 - Provide sample units for Ownership and A/E review and approval
 - Provide testing data for A/E review and approval
 - IE Tomes Tintcrete Colored Patching Mortar, SikaQuick VOH, SikaEmaco-426, or A/E approved equivalent with color to match existing precast
 - Exposed aggregate with color to match existing precast
 - 3/16" diameter stainless steel pins
 - DeWalt AC100+ Gold epoxy
- Section 04 01 20: BRICK MASONRY RESTORATION**
 - New Brick: ASTM C216, Grade SW, Type FBS
 - 5000 psi compressive strength
 - ASTM C67 - "not effloresced"
 - Color, texture, and size to match existing brick as closely as possible
 - Contractor to provide 3 samples, minimum, for Owner and A/E app
 - Salvaged Brick: Clean sound, salvaged brick of mortar and sealant residue and reuse
 - Rebuild brick with new Type N mortar and new 304 series stainless steel ties and stainless steel masonry anchorage
 - 8, 10 mm diameter Helifix DryFix masonry anchors with lengths as required for crac repairs
 - Install temporary weather protection to protect in-progress work areas for moisture ingress
 - Clean rebuild areas following completion of work
 - Prosoco SureClean Limestone and Masonry Afterwash
 - DO NOT USE HYDROCHLORIC ACID
 - Clean organic growth/atmospheric soiling with D/2 Biological Solution
 - Remove ferrous stains with ABR X-190
- Section 04 01 27: REPOINTING WITH CEMENT-LIME MORTAR**
 - Type N mortar
 - Provide three repointing samples for color/texture review by Ownership and
 - Remove existing mortar minimum 3/4" depth or to extent of eroded or unsound m/c
 - Remove half-moons taking care not to damage adjacent brick
- Repoint with multiple 1/4" lifts
- For crack repairs: 4.5 mm diameter Helifix Helibar reinforcing horizontally in bed joints at 16" O.C. vertically



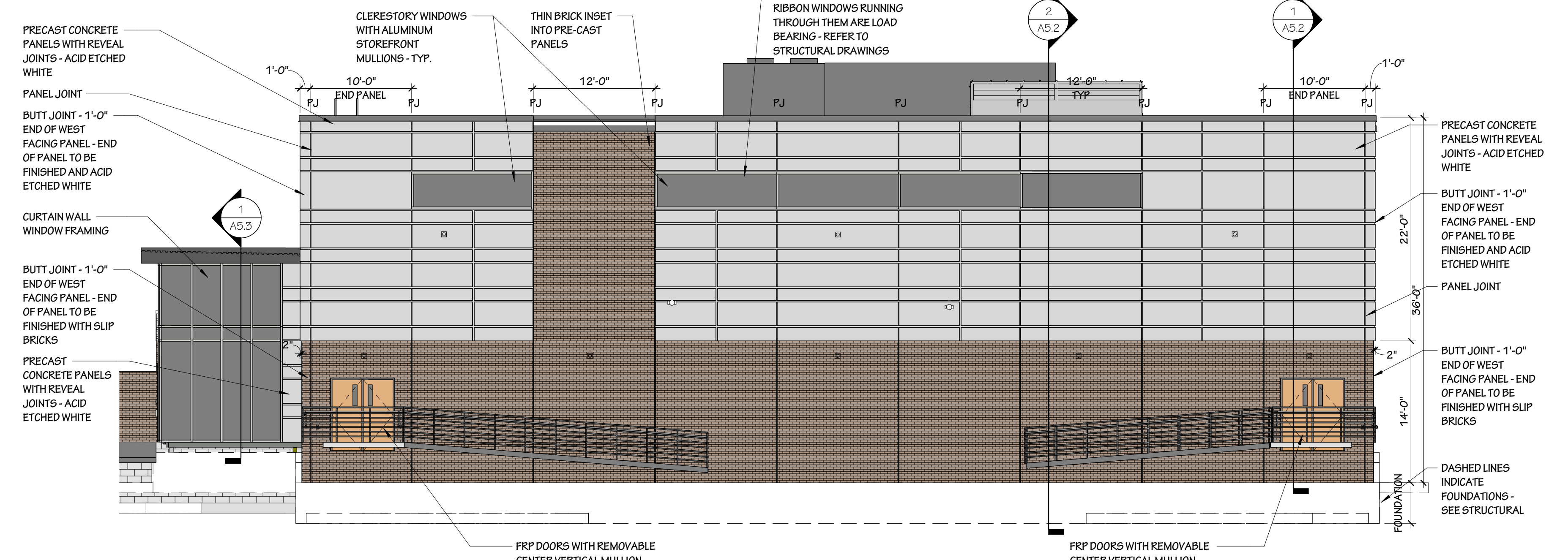
1 NORTH DEMO ELEVATION
A4.2 1/8" = 1'-0"



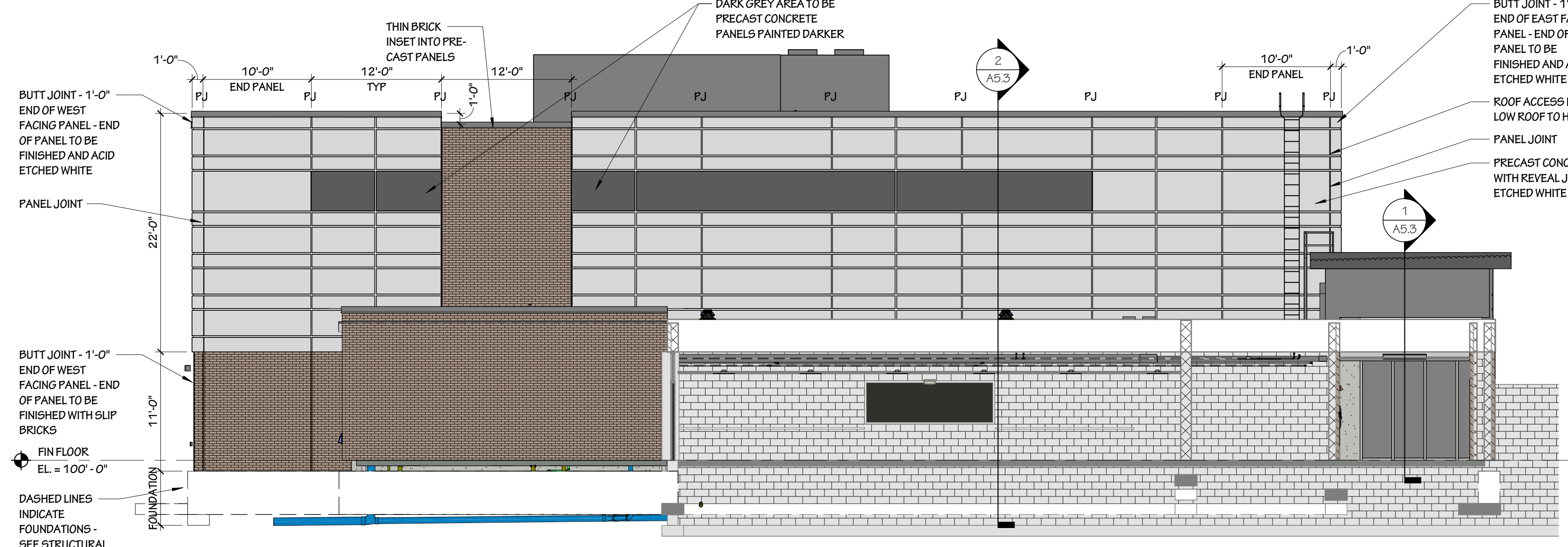
2 WEST DEMO ELEVATION
A4.2 1/8" = 1'-0"



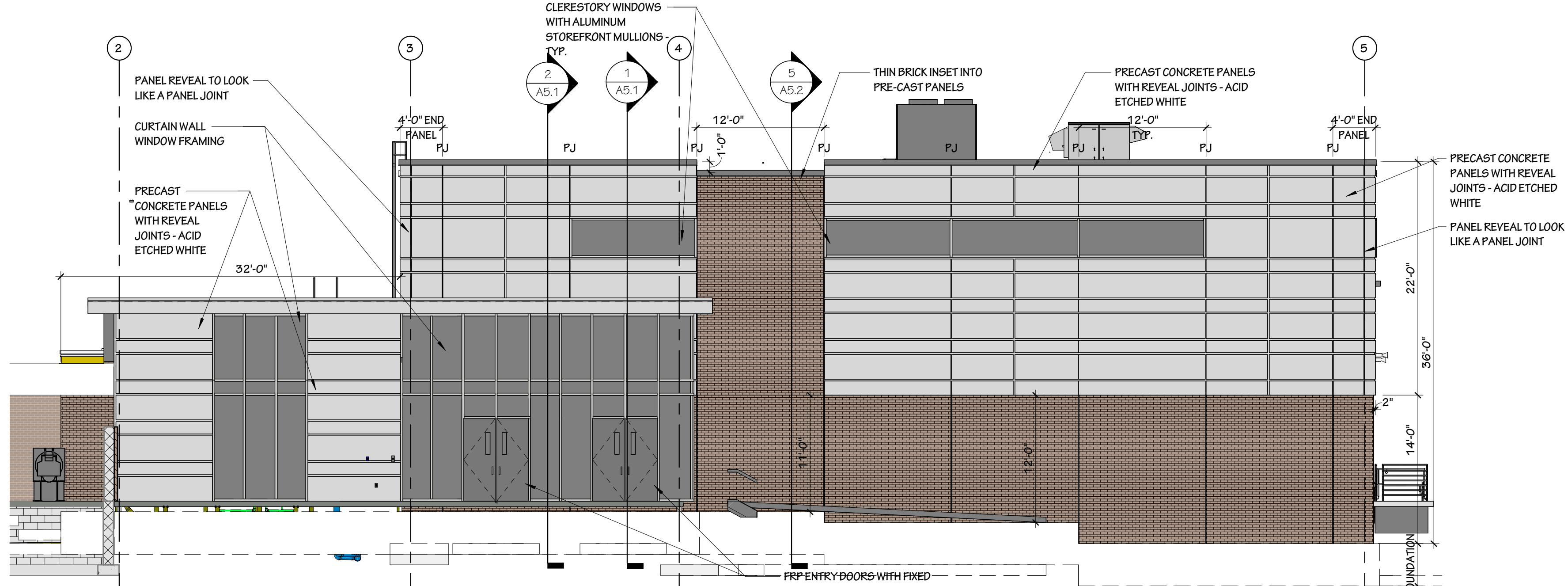
3 VESIBULE NORTH ELEVATION
A4.2 1/8" = 1'-0"



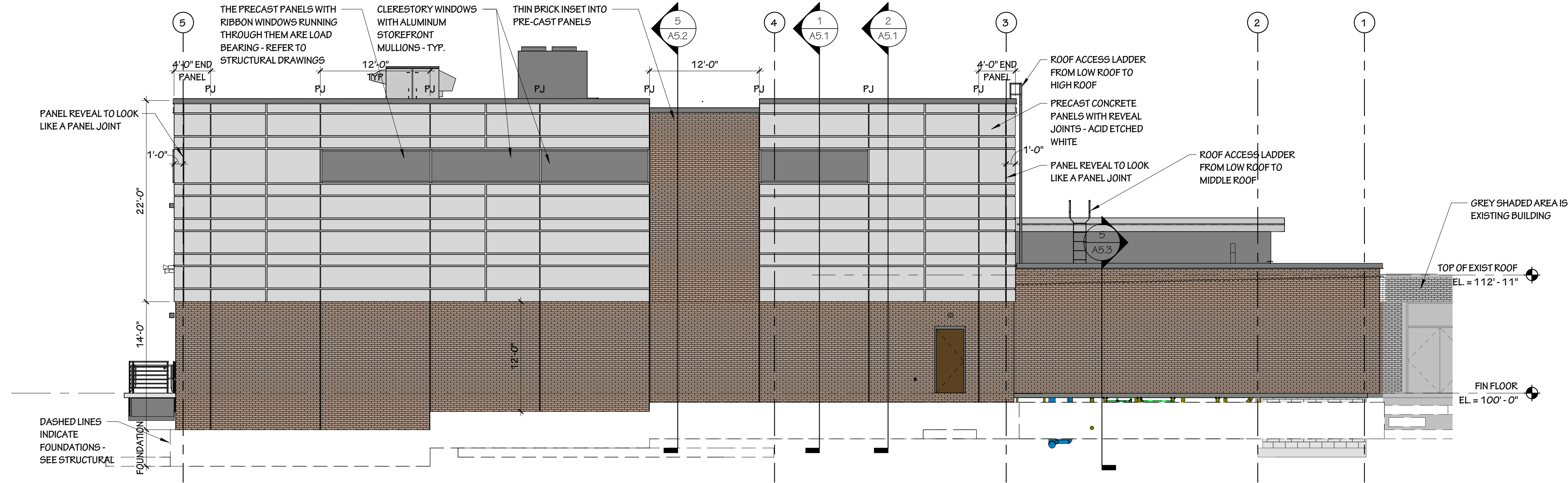
4 NORTH ELEVATION - GYM
A4.2 1/8" = 1'-0"



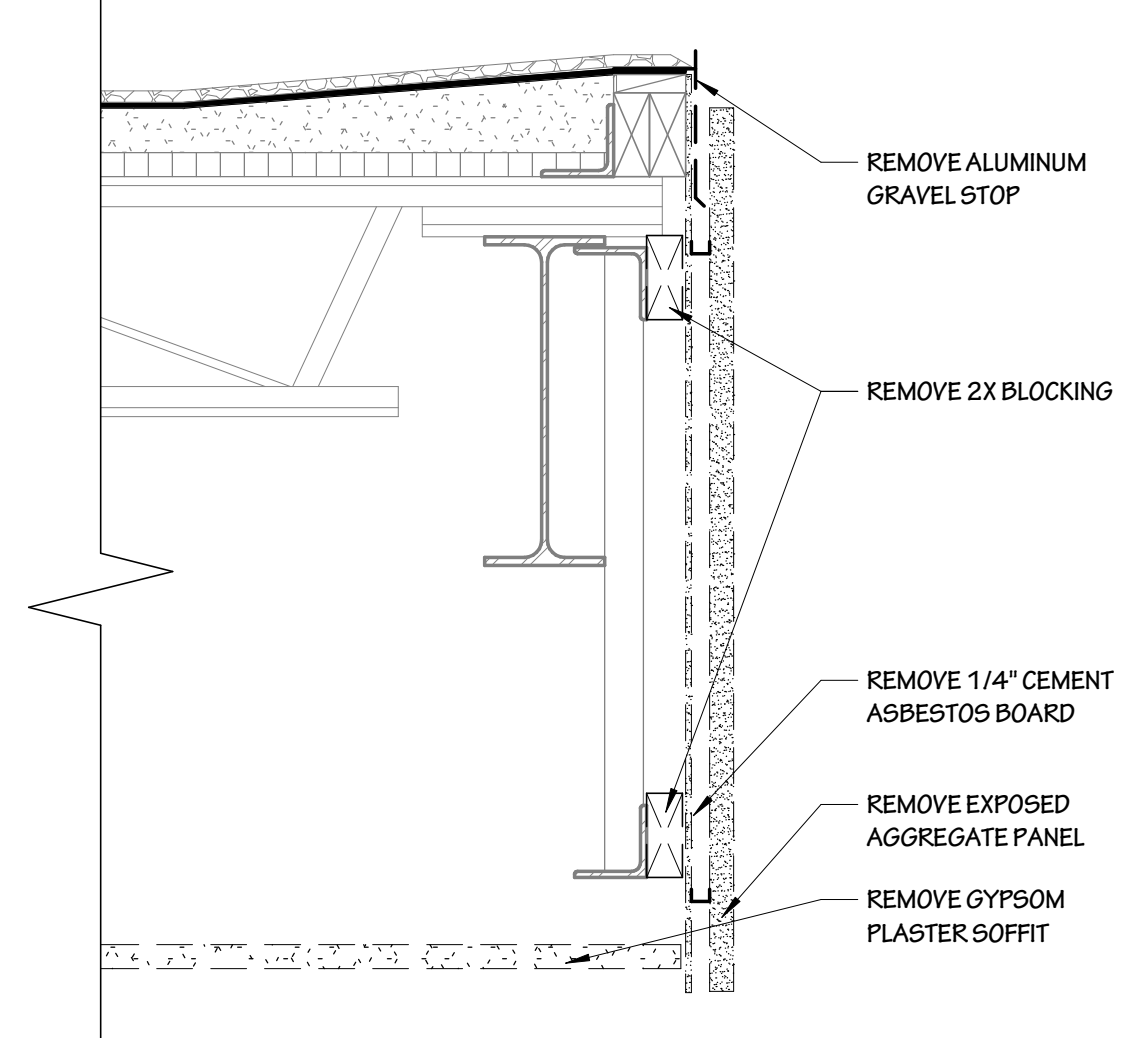
5 SOUTH ELEVATION - GYM
A4.2 1/8" = 1'-0"



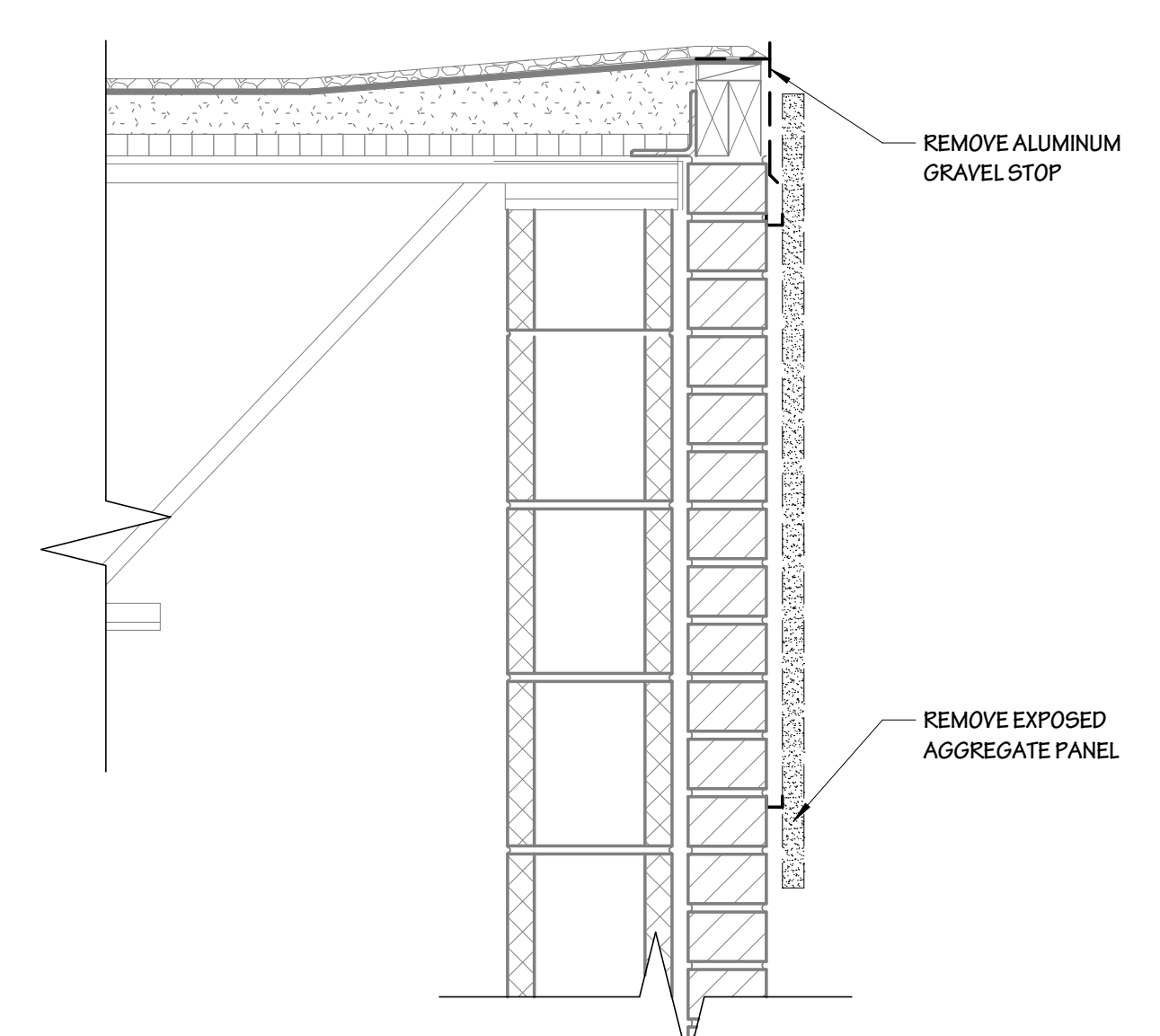
6 EAST ELEVATION - GYM
A4.2 1/8" = 1'-0"



7 WEST ELEVATION - GYM
A4.2 1/8" = 1'-0"



8 DEMO SECTION
A4.2 1 1/2" = 1'-0"

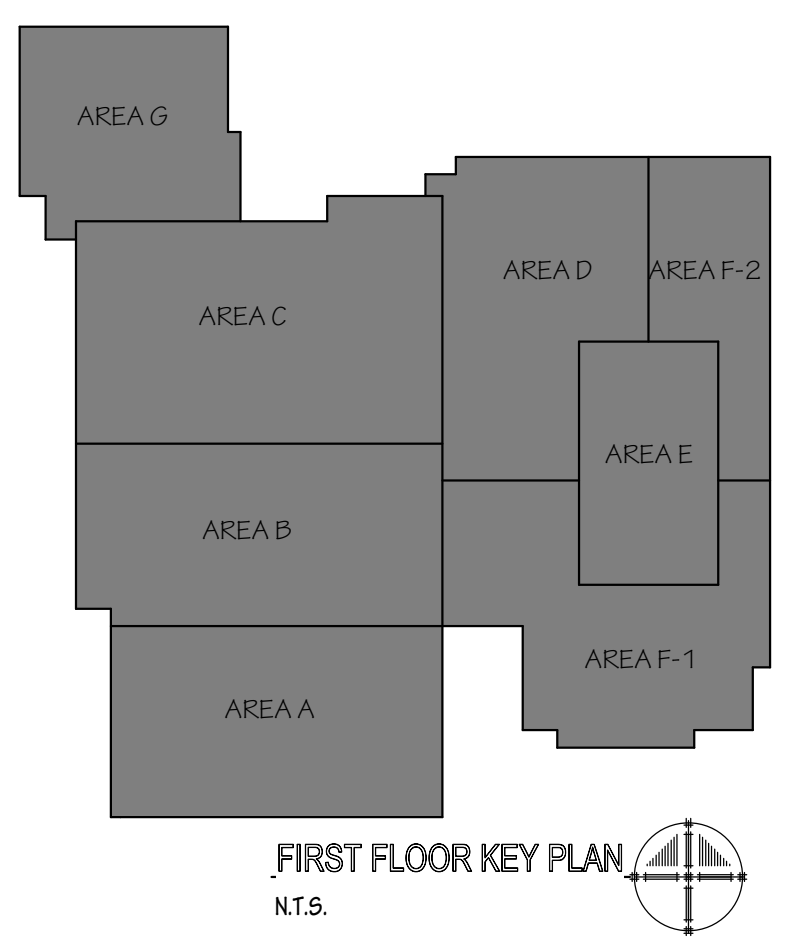


9 DEMO SECTION
A4.2 1 1/2" = 1'-0"





- NEW GYM ADDITION
- 1966 BUILDING (ORIGINAL BUILDING)
- ADDITION 2016 (N.I.C.)



1 OVERALL ROOF PLAN
A9.1 3/64" = 1'-0"

600 Fifth Second Street
 Suite 220
 Kenosha, Wisconsin 53140
 Ph.: (822) 652-2800

Partners in Design
 ARCHITECTS

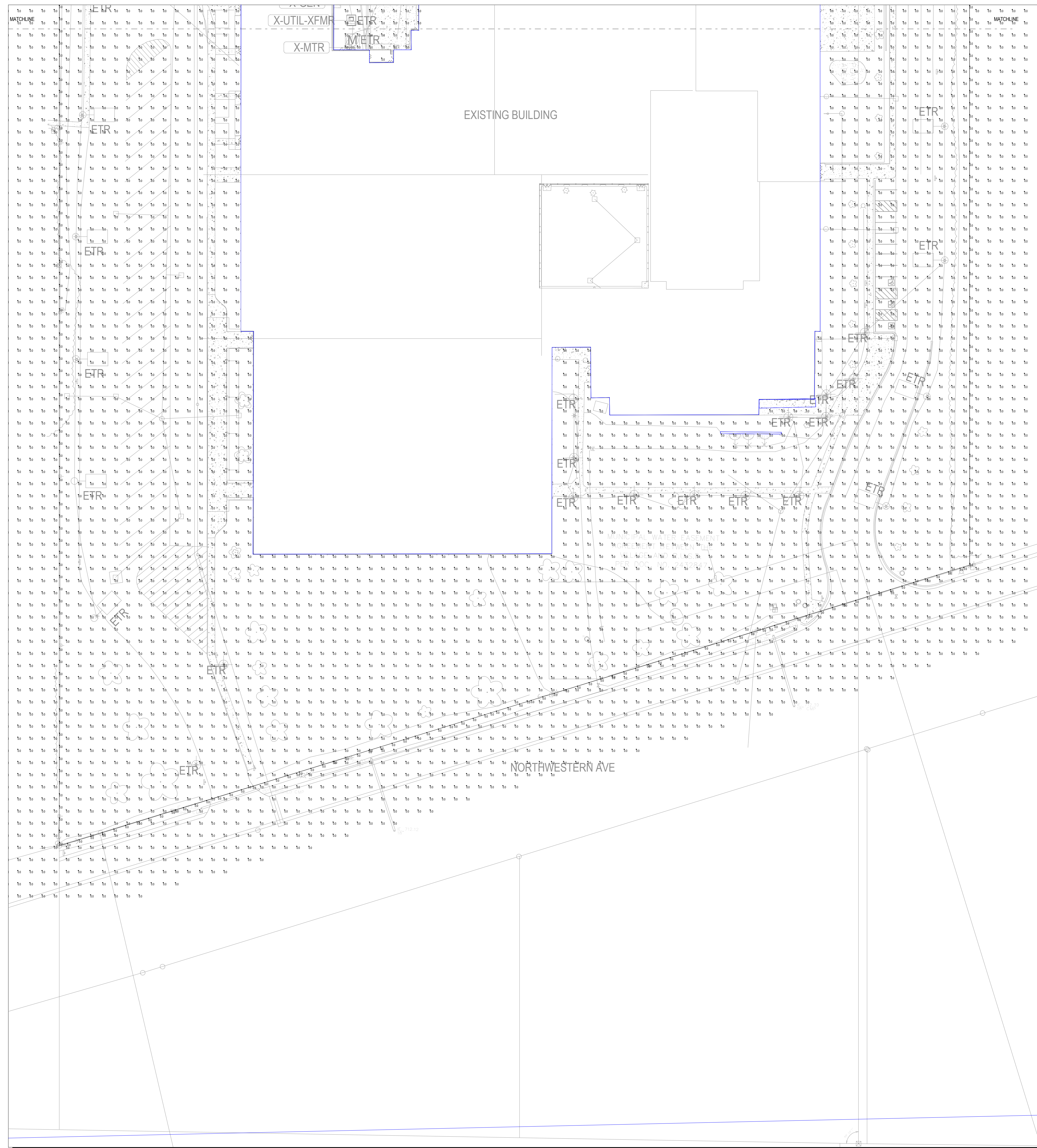
PROJECT NO:
723.24.035

DRAWN BY: Author
 CHECKED BY: Checker

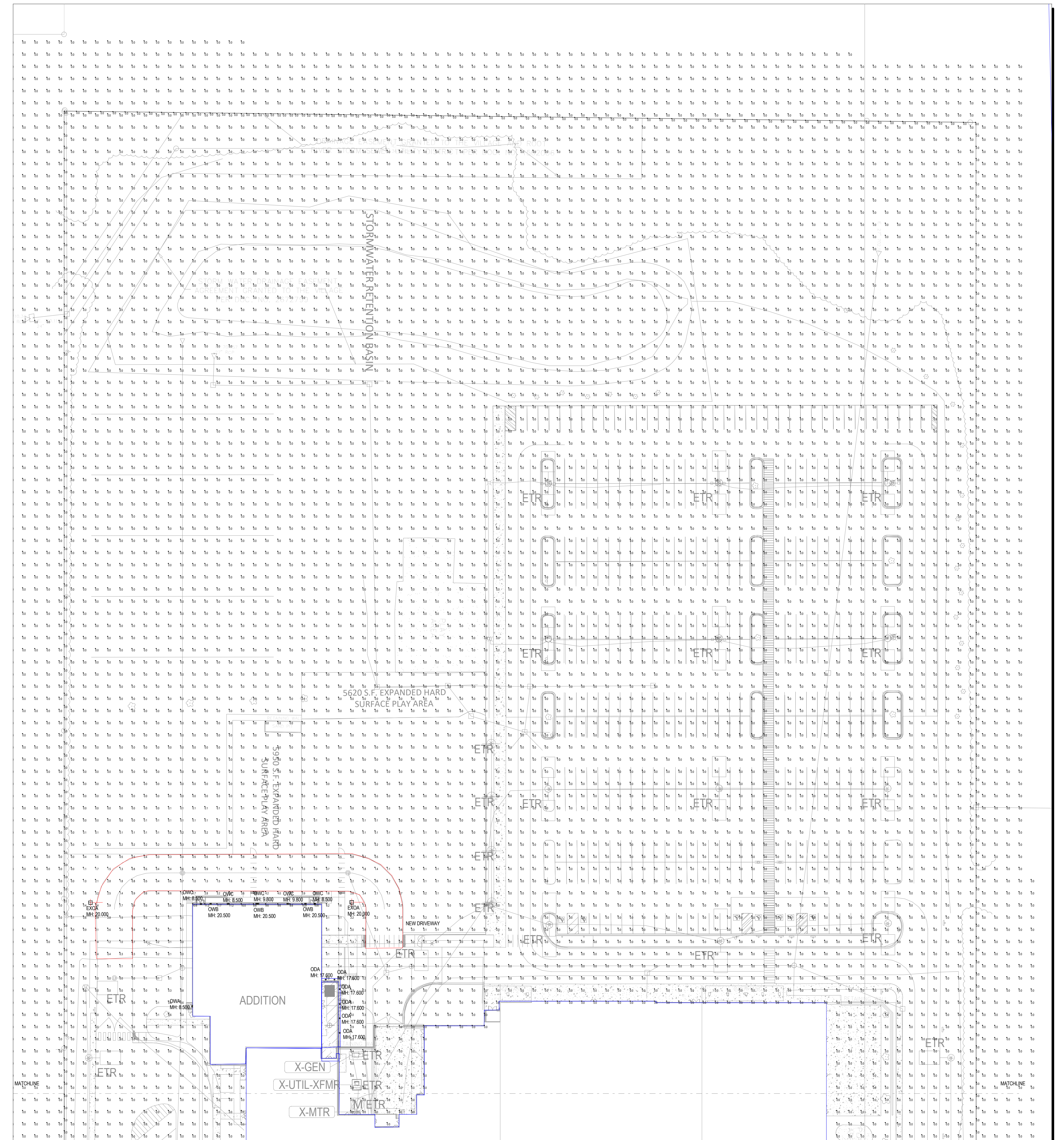
DATE:
 01.09.2025

SHEET NO:
A9.1

GIFFORD SCHOOL ADDITION AND RENOVATION
 8332 Northwestern Ave, Racine, Wisconsin
 OVERALL ROOF PLAN



LIGHTING SITE PLAN - SOUTH
Scale: 1 inch= 40 Ft.



LIGHTING SITE PLAN - NORTH
Scale: 1 inch= 40 Ft.



Luminaire Schedule					
Symbol	Tag	Label	Description	Lum. Lumens	LLF
☐	EXOA	ARE-EDG-4MB_-10-E-UL-350-40_2_1	ARE-EDG-4MB_-10-E-UL-350-40K (350mA) CONFIGURED FROM ARE-EDG-4MB-DA-12-E-	7940	0.900
○	ODA	LDN6 40 15 LOGAR LSS	LDN6 40 15 LOGAR LSS	1518	0.900
○	OWA	WDGE2 LED P3 40K 80CRI VF_1	WDGE2 LED P3 40K 80CRI VF	3133	0.900
○	OWB	WDGE2 LED P3 40K 80CRI TFTM_1	WDGE2 LED P3 40K 80CRI TFTM	3166	0.900
○	OWC	WDGE2 LED P4 40K 80CRI T1S	WDGE2 LED P4 40K 80CRI T1S	4100	0.900

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE_GROUND	Fc	0.04	11.7	0.0	N.A.	N.A.
PROPERTY LINE	Fc	0.00	0.1	0.0	N.A.	N.A.
NEW DRIVEWAY	Fc	1.20	3.4	0.3	4.00	11.33

Revision Schedule		
No.	Revision	Date

Date: 11/18/2024
 Drawn By: KMO
 Checked By:
 Sheet Name:
 LIGHTING SITE PLAN