OAKCREEK WISCONSIN

Meeting Date: February 11, 2025

Item No. 4

# PLAN COMMISSION REPORT

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| Proposal: | Plan Review – Multi-tenant Industrial Building |
| Description: | Site, building, and related plan review for a proposed multi-tenant speculative industrial building. |
| Applicant(s): | John Schlueter, Frontline Commercial Real Estate |
| Address(es): | 10000 S. Ridgeview Drive (5th Aldermanic District) |
| **Suggested Motion:** | That the Plan Commission approves the site and building plans for a multi-tenant industrial building on the property at 10000 S. Ridgeview Drive, submitted by John Schlueter, Frontline Commercial Real Estate, with the following conditions: |

1. That all relevant Code requirements remain in effect.
2. That the plans are revised to include locations for all mechanicals, transformers, and utilities. All mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) shall be screened from view.
3. That all stormwater requirements are coordinated with the Engineering Department. Any additional reviews and/or permits that may be required as a result of stormwater improvements shall be obtained prior to issuance of any permits and commencement of work.
4. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

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| Owner(s): | Ridgeview Drive, LLC |
| Tax Key(s): | 926-9038-000 |
| Lot Size(s): | 26.1509 acres |
| Current Zoning District(s): | M-1, Manufacturing |
| Overlay District(s): | PUD |

| | | | |
|---|---|---|---|
| Wetlands: | ☒ Yes ☐ No | Floodplain: | ☐ Yes ☒ No |
| Comprehensive Plan: | Industrial, Business Park | | |

**Background:** The Applicant is seeking approval for site, building, and related plans for a proposed 36-foot-tall, 417,344 square-foot, multi-tenant speculative industrial building located at 10000 S. Ridgeview Drive. The building is intended to accommodate one to three manufacturing tenants, with plans for expansion by a fabric-related business currently operating in the City of Oak Creek.

As you may recall, similar site, building, and related plans were approved by the Plan Commission at the January 23, 2024 meeting. That approval was contingent upon the Applicant receiving approval from the Wisconsin Department of Natural Resources (WDNR) for the filling of several wetlands on the site. However, the WDNR did not approve the wetland filling as proposed. Consequently, the Applicant has revised the site, building, and related plans to comply with WDNR requirements and is now seeking approval from Plan Commission for these revised plans.

**District Specific Standards, Use Specific Standards, & Land Use:** Due to the fact that the WDNR did not approve the wetland filling, the proposed development did NOT comply with the 15-foot wetland setback (Sec. 17.0301(b)). The applicant presented a wetland setback variance request before the City's Board of Zoning and Housing Appeals (BOZA) on January 6, 2025, and BOZA granted the variance request. The proposed development now complies with the bulk and dimensional standards of the M-1 Manufacturing District, including setbacks, coverage, and building height. Additionally, the development adheres to the Planned Unit Development (PUD) approved by the Common Council in 1988 (Ordinance 1294) and amended in 2024 (Ordinance 3089). The proposed development also aligns with the intent and use standards of the M-1 Manufacturing District and is consistent with the City's comprehensive plan.

**Design** The proposed building will feature four-sided architectural design, with both horizontal and vertical variations in the façade. The walls will be subdivided into vertically proportioned sections, and the entrances will be clearly defined and highly visible. The building will primarily be constructed using painted precast concrete panels in four (4) shades. Composite metal panel accents are planned for the northeast corner of the building and above the main entrances on the north elevation. Windows will be included on all sides, with the majority of the glass concentrated around the main entries and the northeast corner. The proposed design is in compliance with the requirements of the Municipal Code.

No mechanical units or utilities are specified in the plans at this time. All ground-mounted, building, and rooftop mechanical units, utility boxes, and transformers shall be screened in accordance with Code (currently, no rooftop mechanicals are proposed). This requirement is included in the recommended conditions of approval for clarity. The site plan shows two (2) refuse enclosures along the south façade of the building, which will both be screened as required by City Code. The enclosures will feature eight (8)-foot-high precast panel walls on three sides and composite board doors in a steel frame for the gate.

**Parking:** All parking lots will be paved with heavy-duty asphalt. The minimum parking requirement for industrial operations is one (1) space for every 1,500 square feet, which equates to 278 parking stalls. However, the applicant is proposing only 170 passenger vehicle parking stalls, all of which will be located on the north side of the building. The applicant is requesting an adjustment to the required parking based on actual parking demand, as supported by their operational experience, and further detailed in their narrative.

If the Plan Commission approves the site plan with this parking adjustment, it may review the adequacy of the parking one year after the adjustment is granted, and periodically thereafter, to ensure that the conditions justifying the parking modification are still valid. If the parking is found to be insufficient, the Plan Commission may require the property to comply with the parking requirements outlined in Section 17.0501(h) of the Municipal Code.

**Lighting:** Lighting plans and fixture cut sheets have been provided for the building and parking lot. In accordance with Code, all fixtures, except for architectural accent wash lighting, must have a color temperature of 5,000 Kelvins or lower, unless adjacent to residentially-zoned property. These fixtures must also be full cutoff, with the light source fully shielded and directed downward. Since residential properties are located immediately south of the proposal, the approved PUD restricts lighting on the south side to a maximum of 3,500 Kelvins. All proposed light fixtures will have a color temperature of 3,000 Kelvins and will be directed downward.

**Engineering:** A total of four (4) stormwater ponds will be located on the site: one in the northwest corner, one in the southeast corner, one between the west façade of the building and the drive aisle, and one to the south of the loading docks. The stormwater pond to the south will be enclosed by a fence extending along the south property line to the west. The Applicant must contact the City of Oak Creek Engineering Department and comply with all applicable regulations and requirements. The Project's Civil/Site Plans are currently under review.

**Access and Loading Area:** Access to the site will be provided via a proposed driveway off the cul-de-sac at the southern end of Ridgeview Drive. Coordination for the road extension and any necessary improvements will be required. All driveways, aisles, and parking areas will be paved with heavy-duty asphalt, while the loading dock areas will be paved with concrete. The Applicant anticipates a total of 35 truck deliveries per day. The south elevation of the building will feature 28 recessed truck loading dock doors and two (2) at-grade overhead doors, along with 31 trailer parking spaces along the south edge of the drive.

**Signage:** No signage is being proposed as part of this review. Any future sign will need to comply with Municipal Code and the owner/tenant will need to apply for the necessary sign permits prior to the installation of additional signs on the property.

**Environmental:** The site contains four (4) wetland areas, as delineated by Heliathus LLC in a report dated September 7, 2023. These areas collectively cover a total of 101,054 square feet. The Applicant has applied

for and been granted permits from the WDNR and the U.S. Army Corps of Engineers to fill 9,920 square feet (9.8% of the total wetlands) to accommodate the proposed development. No other environmental issues exist on the site.

**Landscaping:** In accordance with the approved PUD and Code requirements, the south side of the site requires landscaping and screening per Transition Zone D. Landscape plans for the development have been provided, including a tree inventory.

The Applicant has submitted a tree inventory as required by the City's Tree Preservation Ordinance. A total of 59 trees meeting the replacement criteria will be removed, while 93 trees will be preserved on-site. Based on this inventory, 181 replacement trees are required. The Applicant proposes to plant 188 replacement trees, in addition to the landscaping required by City Code (including landscaping around the parking lot perimeter, interior, building foundation area, and transition areas).

The Applicant plans to enhance the site with landscaping, including the parking lot perimeter, parking lot interior, building foundation area, and transition areas (Type D along the southern property line, which abuts an Rs-3 Single-Family Residential District). A total of 285 trees will be planted, bringing the total tree count to 378 across the property. Plantings will be focused in the southeast corner, adjacent to the residential properties. Additionally, an eight (8)-foot-high berm is proposed between the loading docks and the south property line, with trees to be planted on top of the berm. The Applicant's proposed landscape plan meets the City of Oak Creek's landscaping requirements. The Plan Commission may, at its discretion, request additional landscaping on the site.

It should be noted that the proposed screening along the south does not include a fence as is required per Code for Transition Zone D. Due to the proposal for a landscape berm on the southwest, and the configuration of the lot for drainage to the stormwater pond, a privacy fence may be challenging to install. It will be at the Plan Commission's discretion whether fencing in addition to the landscaping will be required.

**Fire Department:** The Fire Department has raised no concerns with the proposed plans. The Applicant must comply with all regulations and requirements set forth by the City of Oak Creek Fire Department.

**Options/Alternatives:** The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit.

Respectfully submitted & approved by:

Kristi Laine
Community Development Director

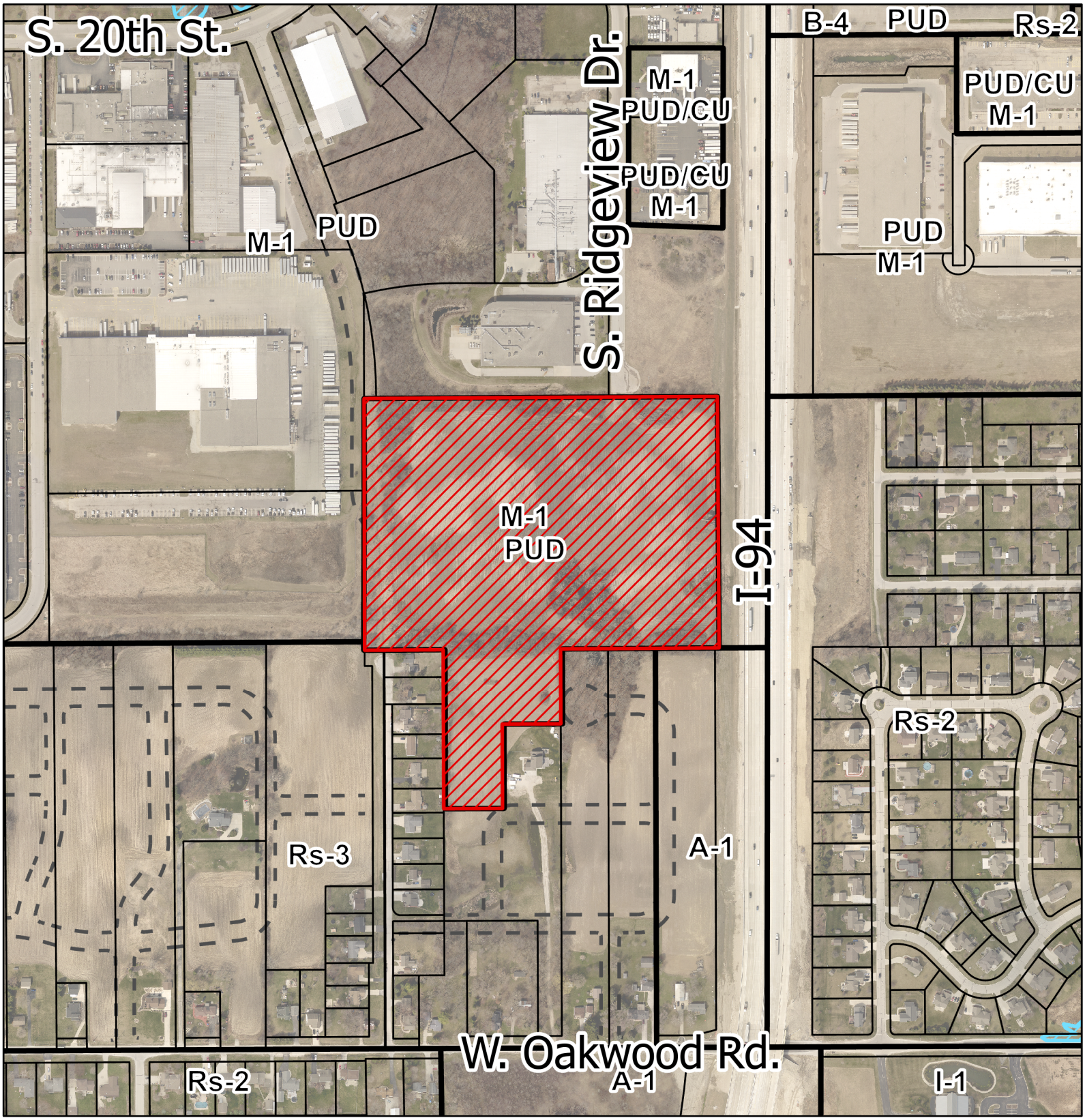
Prepared by:

Todd Roehl
Senior Planner

Attachments:

Location Map
Narrative (6 pages)
Civil Plans (9 pages)
Architectural Plans (4 pages)
Landscape Plans (7 pages)
Lighting Plan (1 page)

# Location Map
# 10000 S. Ridgeview Dr.




*This map is not a survey of the actual boundary of the property this map depicts*

OAKCREEK
WISCONSIN
*Community Development*

0 0.07 0.15 Miles

N

**Legend**

- Zoning
- Official Street Map
- Parcels
- OCGIS.GIS.FloodFringe2024
- OCGIS.GIS.Floodway2024

Lot
- LOT 1
- LOT 2
- 10000 S. Ridgeview Dr.

January 22, 2025

Plan Commission
City of Oak Creek
8040 S 6th Street
Oak Creek, WI 53154

RE: 10000 S. Ridgeview Drive (Tax Key No. 926-9038-000)
Site & Building Plan Review Narrative

Dear Members of the Plan Commission:

Frontline Commercial Real Estate, LLC and its site-ownership entity Ridgeview Drive, LLC (collectively "Frontline") respectfully submit the following information as it relates to the Site and Building Plan Review for the property located at 10000 S. Ridgeview Drive in the City of Oak Creek (the "Property").

1. **Background Details:**

The Property is part of the Southbranch Industrial Park abutting the I-94 freeway but has long been vacant land. It is encumbered by an existing 45 foot public utility easement along its entire west property line.

The Property is zoned M-1 Manufacturing with PUD Overlay pursuant to Ordinance No. 3089 that was unanimously approved by the Common Council on December 19, 2023.

When finalizing the wetlands delineation pursuant to the Federal and State wetlands regulations, Frontline downsized the building and updated the overall site plan configuration to preserve the vast majority of the wetlands at the Property. Upon applications to the Wisconsin DNR and US Army Corps of Engineers, the agencies issued the required permit approval letters in late 2024.

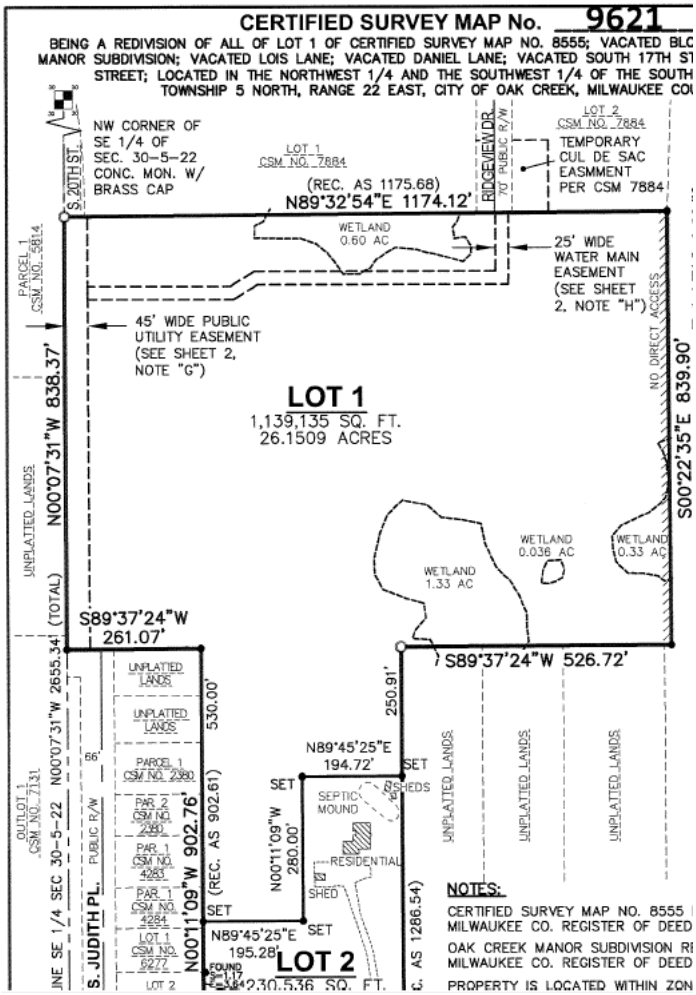
The updated site plan configuration also required application to the Board of Zoning Appeals for a dimensional variance (wetlands setbacks). In Case No. 25-001 on January 6, 2025, the Board granted a variance of up to 30% of the total linear feet of the wetlands setback area. The site plan now before the Plan Commission have a 22% linear footage encroachment that complies with the variance.

Frontline is renewing – and improving upon – its commitments to the residential neighbors to the south of the Property. Frontline engaged in direct outreach with the neighbors from the beginning of its project planning process resulting in several commitments related to site design, access, and buffers.

First, the building is positioned to the north far in excess of the 20 foot minimum setback. In fact, the site plan shows the building approximately 25 feet farther to the north now at 222 feet away from the property line.

Second, Frontline will not have any access to the Property from Oakwood Road via Judith Place through the residential neighborhood.

Finally, as shown by the configuration of the Property on the now-recorded Certified Survey Map, Frontline completed the acquisition of additional land to the south. *See* CSM **inset**, below. The additional land enabled Frontline to locate the south stormwater pond in the newly-acquired area to preserve the wetlands and to also provide a dense buffer of trees for the residential area to the south. *See* Landscape Plans.




## 2. Details of proposal, plan and hours of operation:

The use for the building includes one (1) to three (3) manufacturing tenants (or tenants as permitted per the PUD), as well as an expansion plan for a fabric related business currently located within the City of Oak Creek.

The fabric business will primarily operate during the hours of 7 a.m. to 5:30 p.m., Monday through Friday. Limited work will occur during the hours of 5:30 p.m. to 7 a.m., Monday through Friday. Limited work will also occur on Saturday and Sunday. Accordingly, 24/7 operations will occur at the M-1 PUD zoned site.

**3. Frequency of deliveries to site:**

Thirty-five (35) anticipated deliveries to the site per day.

Fabric business: fifteen (15) deliveries per day
Manufacturer: twenty (20) deliveries per day

**4. Number of employees (total and per shift):**

The fabric business will employ approximately fifty (50) employees.

7 a.m. to 5:30 p.m.: forty (45) employees
All other hours: five (5) employees

Frontline anticipates an annual employee growth rate of 24.0% for the next 5+ years.

**5. Description of any interior/exterior modifications or additions to be made to property:**

The 417,344 SF building will be positioned 222 feet away from the south property line that abuts residential properties. The building features thirty-six foot (36') clear height, masonry and glass construction. All mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) will be screened from view (no rooftop mechanical are currently contemplated).

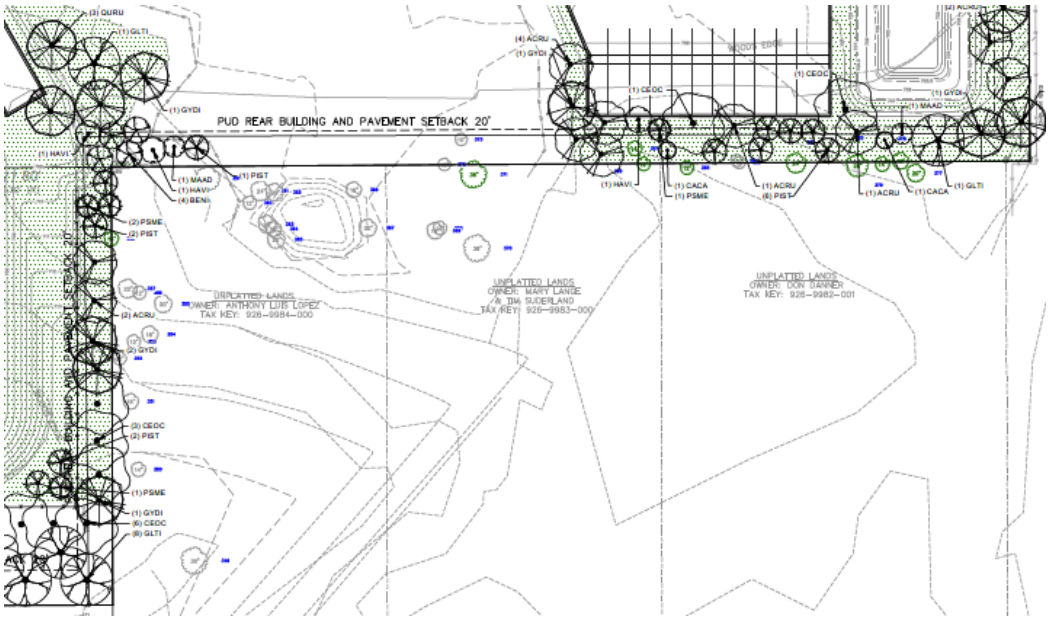
The current Site Plan and building plans show 28 recessed truck loading dock doors and 2 at-grade overhead doors. However, the Plan Commission's initial approval on January 23, 2024 approved up to 44 loading dock doors and Frontline respectfully request approval for that maximum number subject to the future approval of an amended Site and Building Plan Review plans and application.

Stormwater ponds will be constructed in the northwest corner, the southeast corner, between the west façade of the building and the drive aisle, and to the south of the loading docks. The south stormwater pond will be enclosed by a fence that will extend along the south property line to the west.

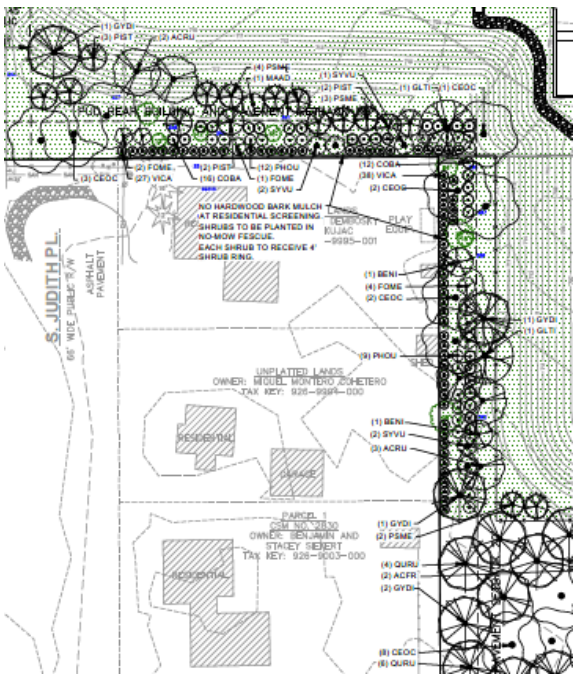
Frontline will preserve 93 trees and plant 285 new trees resulting in 378 trees throughout the Property. While some trees have to be removed as part of construction of the project, Frontline will plant a greater number of replacement trees than required by City code (+7).

An attractive landscaping design is shown for the front entrance at Ridgeview Drive, within the parking lot interior areas, and in the building foundation areas. For the landscaped buffer areas abutting residential properties:

- Frontline will focus its plantings in the southeast corner along the property line with the residential properties to the south until the dense buffer area of trees. *See* Landscape Plans and **inset**, below.




- Frontline will build an 8-foot high earthen berm between the loading docks and its south property line with trees on top of the berm but with ample space to the south of the berm to have robust plantings along the property line with the adjacent residential property. *See* Landscape Plans and **inset**, right.




The robust landscaping will continue along the property line with the residential properties to the south until the dense buffer area of trees. *See* Landscape Plans and **inset**, right.

**6. Outside storage (dumpsters, trucks, materials for sale, etc.):**

The Property will have 31 truck-trailer parking stalls. Licensed trucks and trailers may also be parked at times at the building loading dock or at-grade overhead doors.

Two dumpsters will be located at the Property. Both the southwest dumpster and southeast dumpsters were relocated farther away from the property line with the residential properties to the south, positioned next to the building, and with an enclosure. *See* Architectural Site Plan A050 and A060.

**7. Number of parking stalls:**

The Property will have 170 vehicle parking spaces for employees and visitors and 31 truck-trailer parking stalls (not including space where they may be parked at times at the building loading dock or at-grade overhead doors).

The City code requires 278 vehicle parking spaces calculated pursuant to the size of the 417,344 SF building. Frontline renews its request for a parking reduction from the Plan Commission in accordance with the approved parking reduction in the initial approval on January 23, 2024. Specifically, Frontline renews the parking reduction request for the following reasons:

- Frontline owns other industrial manufacturing and warehouse buildings – including some in the City of Oak Creek – and it has experience and operational knowledge of the parking needs for such a building. From its experience, Frontline does not want to "overpark" the Property and the 170 vehicle spaces will be sufficient.

- To wit, the expected first tenant will be a fabric related business currently located within the City. Frontline understands the parking needs of that business: as noted in #4, above, the business will employ approximately fifty (50) employees with a projected growth rate. The proportionate share of the 170 parking spaces will be meet the needs of that tenant. A The remaining proportionate share of the parking spaces will be sufficient for the one (1) to three (3) other manufacturing tenants (or tenants as permitted per the PUD).

- The prevalence of ride-share services, carpooling, mass transit options, and flex scheduling/work-from home has reduced the typical demand for a high number of parking stalls.

- Requiring Frontline to construct additional parking stalls that are not needed will result in several negative impacts on the environment and neighborhood. First, Frontline would have to destroy additional wetlands to create more parking stalls in contravention of the wetland permits issued by the Wisconsin DNR and US Army Corps of Engineers, and the wetlands setback variance granted by the Board of Zoning Appeals. Moreover, the only area of the Property that can accommodate more

paved area for additional parking stalls is along the south property line that abuts residential properties and/or by removing the dense buffer area of trees.

- Finally, and as suggested by Mayor Bukiewicz last year, if parking ever becomes an issue, arrangements can be made with other nearby the Southbranch Industrial Park property owners for overflow parking.

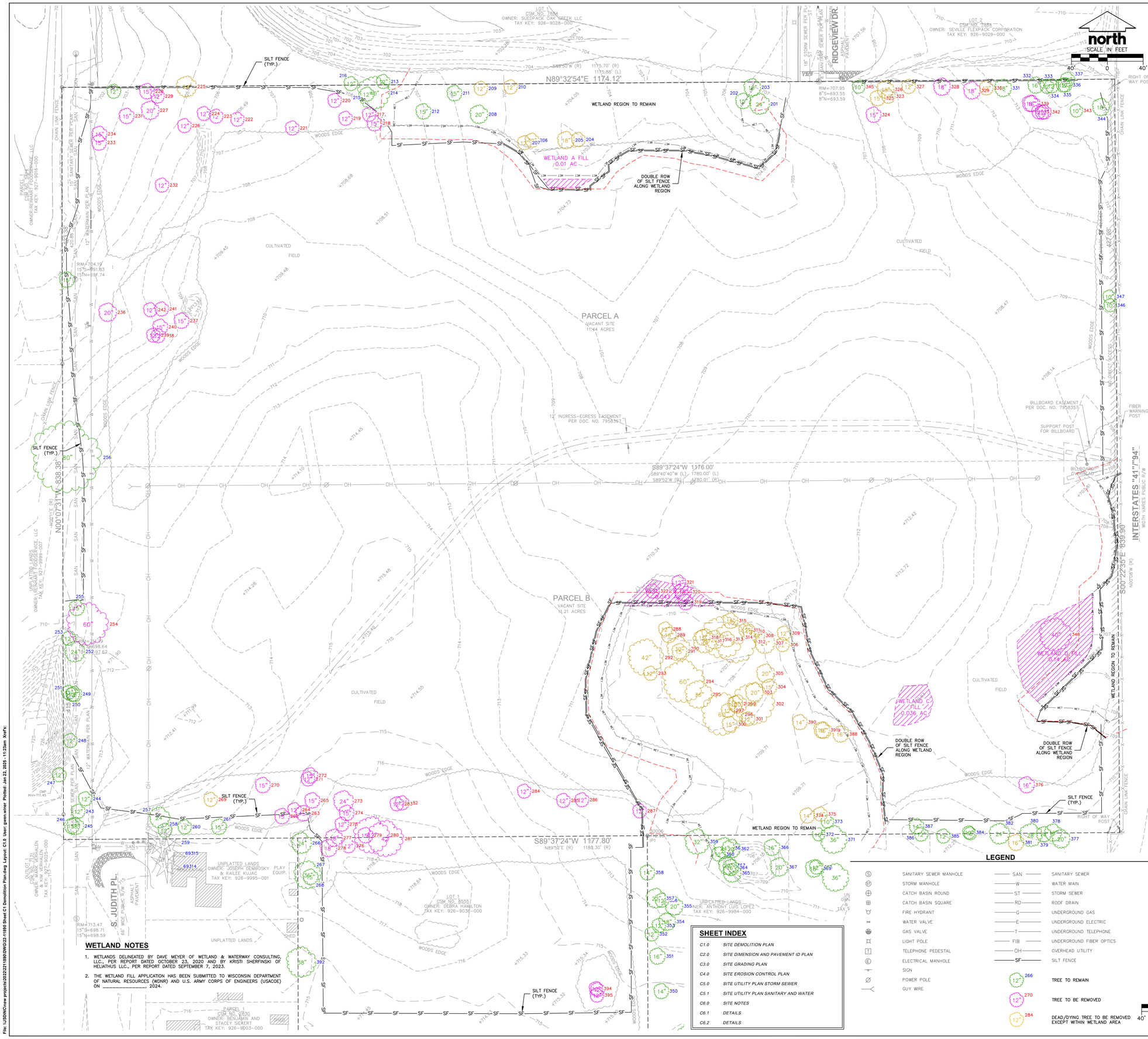
**8. <u>Additional Information:</u>**

The proposed manufacturing processes shall be clean, silent operations.

Thank you for considering our request. Should you have any questions or require any additional information, please contact be directly at (414) 769-7000. Thank you.

Sincerely,

John Schlueter
President
Frontline Commercial Real Estate, LLC




## WETLAND NOTES

1. WETLANDS DELINEATED BY DAVE MEYER OF WETLAND & WATERWAY CONSULTING, LLC., PER REPORT DATED OCTOBER 23, 2020 AND BY KRISTI SHERFINSKI OF HELIATHUS LLC., PER REPORT DATED SEPTEMBER 7, 2023.
2. THE WETLAND FILL APPLICATION HAS BEEN SUBMITTED TO WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) AND U.S. ARMY CORPS OF ENGINEERS (USACOE) ON _____, 2024.

## SHEET INDEX



## LEGEND

| | | | |
|---|---|---|---|
| S | SANITARY SEWER MANHOLE | SAN | SANITARY SEWER |
| ST | STORM MANHOLE | W | WATER MAIN |
| | CATCH BASIN ROUND | ST | STORM SEWER |
| | CATCH BASIN SQUARE | RD | ROOF DRAIN |
| | FIRE HYDRANT | G | UNDERGROUND GAS |
| | WATER VALVE | E | UNDERGROUND ELECTRIC |
| | GAS VALVE | T | UNDERGROUND TELEPHONE |
| | LIGHT POLE | FIB | UNDERGROUND FIBER OPTICS |
| T | TELEPHONE PEDESTAL | OH | OVERHEAD UTILITY |
| E | ELECTRICAL MANHOLE | SF | SILT FENCE |
| | SIGN | 12" 266 | TREE TO REMAIN |
| | POWER POLE | 12" 270 | TREE TO BE REMOVED |
| | GUY WIRE | 12" 284 | DEAD/DYING TREE TO BE REMOVED EXCEPT WITHIN WETLAND AREA |

## TREE IDENTIFICATION TABLE

| Pt. # | Code | DBH (in.) | Type | Condition | Proposed Condition | Replacement Trees QTY |
|---|---|---|---|---|---|---|
| 201 | TRD | 24 | Oak | Good | Saved | |
| 202 | TRD | 15 | Elm | Poor | Saved | |
| 203 | TRD | 18 | Elm | Poor | Saved | |
| 204 | TRD | 12 | Ash | Dead | Saved | |
| 205 | TRD | 18 | Ash | Dead | Saved | |
| 206 | TRD | 12 | Ash | Dead | Saved | |
| 207 | TRD | 12 | Elm | Fair | Saved | |
| 208 | TRD | 20 | Elm | Good | Saved | |
| 209 | TRD | 12 | Black Cherry | Dead | Saved | |
| 210 | TRD | 12 | Black Cherry | Dead | Saved | |
| 211 | TRD | 15 | Elm | Fair | Saved | |
| 212 | TRD | 15 | Black Cherry | Fair | Saved | |
| 213 | TRD | 12 | Elm | Good | Saved | |
| 214 | TRD | 40 | Oak | Good | Saved | |
| 215 | TRD | 12 | Black Cherry | Fair | Saved | |
| 216 | TRD | 12 | Oak | Good | Saved | |
| 217 | TRD | 12 | Oak | Good | | 3 |
| 218 | TRD | 15 | Oak | Good | | 3 |
| 219 | TRD | 12 | Elm | Fair | | 3 |
| 220 | TRD | 12 | Elm | Fair | | 3 |
| 221 | TRD | 12 | Elm | Fair | | 3 |
| 222 | TRD | 12 | Elm | Fair | | 3 |
| 223 | TRD | 12 | Elm | Fair | | 3 |
| 224 | TRD | 12 | Elm | Fair | | 3 |
| 225 | TRD | 24 | Ash | Dead | | |
| 226 | TRD | 12 | Elm | Poor | | 3 |
| 227 | TRD | 20 | Elm | Poor | | 3 |
| 228 | TRD | 15 | Elm | Fair | | 3 |
| 229 | TRD | 12 | Elm | Fair | | 3 |
| 230 | TRD | 12 | Elm | Fair | Saved | |
| 231 | TRD | 15 | Elm | Poor | | 3 |
| 232 | TRD | 12 | Buckthorn | Poor | | 3 |
| 233 | TRD | 15 | Cottonwood | Fair | | 3 |
| 234 | TRD | 15 | Cottonwood | Fair | | 3 |
| 235 | TRD | 15 | Cottonwood | Good | Saved | |
| 236 | TRD | 20 | Cottonwood | Good | | 3 |
| 237 | TRD | 15 | Elm | Fair | | 3 |
| 238 | TRD | 12 | Elm | Fair | | 3 |
| 239 | TRD | 12 | Elm | Fair | | 3 |
| 240 | TRD | 15 | Elm | Fair | | 3 |
| 241 | TRD-cluster | 12 | Elm | Fair | | 3 |
| 242 | TRD-cluster | 12 | Boxelder | Fair | | 3 |
| 243 | TRD | 12 | Cottonwood | Good | Saved | |
| 244 | TRD | 12 | Boxelder | Fair | Saved | |
| 245 | TRD | 18 | Boxelder | Good | Saved | |
| 246 | TRD | 15 | Elm | Good | Saved | |
| 247 | TRD | 12 | Elm | Fair | Saved | |
| 248 | TRD | 12 | Elm | Fair | Saved | |
| 249 | TRD | 15 | Cottonwood | Good | Saved | |
| 250 | TRD | 12 | Cottonwood | Good | Saved | |
| 251 | TRD | 12 | Cottonwood | Good | Saved | |
| 252 | TRD | 24 | Boxelder | Good | Saved | |
| 253 | TRD | 12 | Cottonwood | Good | Saved | |
| 254 | TRD | 60 | Willow | Good | | 4 |
| 255 | TRD | 15 | Boxelder | Good | Saved | |
| 256 | TRD | 80 | Basswood | Good | Saved | |
| 257 | TRD | 24 | Boxelder | Poor | Saved | |
| 258 | TRD | 12 | Boxelder | Good | Saved | |
| 260 | TRD | 12 | Boxelder | Good | Saved | |
| 261 | TRD | 15 | Boxelder | Good | | 3 |
| 262 | TRD | 15 | Black Walnut | Good | | 3 |
| 263 | TRD | 15 | Black Walnut | Good | | 3 |
| 264 | TRD | 12 | Black Walnut | Good | | 3 |
| 265 | TRD | 15 | Elm | Fair | | 3 |
| 266 | TRD | 24 | Ash | Fair | Saved | |
| 267 | TRD | 36 | Elm | Fair | Saved | |
| 268 | TRD | 15 | Black Walnut | Fair | Saved | |
| 269 | TRD | 12 | Ash | Dead | | |
| 270 | TRD | 15 | Black Cherry | Good | | 3 |
| 271 | TRD | 12 | Black Cherry | Good | | 3 |
| 272 | TRD | 15 | Black Cherry | Good | | 3 |
| 273 | TRD-cluster | 24 | Black Cherry | Poor | | 3 |
| 274 | TRD | 15 | Black Cherry | Good | | 3 |
| 275 | TRD | 12 | Black Cherry | Good | | 3 |
| 276 | TRD | 12 | Black Cherry | Good | | 3 |
| 277 | TRD | 18 | Black Cherry | Good | | 3 |
| 278 | TRD | 18 | Elm | Fair | | 3 |
| 279 | TRD | 15 | Elm | Good | | 3 |
| 280 | TRD | 42 | Oak | Good | | 4 |
| 281 | TRD | 42 | Elm | Good | | 4 |
| 282 | TRD | 12 | Black Cherry | Good | | 3 |
| 283 | TRD | 12 | Black Cherry | Good | | 3 |
| 284 | TRD | 12 | Ash | Dead | | |
| 285 | TRD | 12 | Elm | Good | | 3 |
| 286 | TRD | 12 | Elm | Good | | 3 |
| 287 | TRD | 12 | Oak | Good | | 3 |
| 288 | TRD | 12 | Ash | Dead | Saved | |
| 289 | TRD | 15 | Ash | Dead | Saved | |
| 290 | TRD | 30 | Ash | Dead | Saved | |
| 291 | TRD | 15 | Ash | Dead | Saved | |
| 292 | TRD | 42 | Cottonwood | Good | Saved | |
| 293 | TRD | 12 | Elm | Good | Saved | |
| 294 | TRD | 60 | Cottonwood | Good | Saved | |
| 295 | TRD | 36 | Cottonwood | Fair | Saved | |
| 296 | TRD | 60 | Willow | Fair | Saved | |
| 297 | TRD | 12 | Willow | Fair | Saved | |
| 298 | TRD | 15 | Willow | Fair | Saved | |
| 299 | TRD | 20 | Willow | Fair | Saved | |
| 300 | TRD | 15 | Willow | Fair | Saved | |
| 301 | TRD | 12 | Willow | Fair | Saved | |
| 302 | TRD | 60 | Willow | Fair | Saved | |
| 303 | TRD | 20 | Willow | Fair | Saved | |
| 304 | TRD | 15 | Willow | Fair | Saved | |
| 305 | TRD | 20 | Willow | Fair | Saved | |
| 306 | TRD | 12 | Ash | Dead | Saved | |
| 307 | TRD | 24 | Willow | Fair | Saved | |
| 308 | TRD | 12 | Ash | Dead | Saved | |
| 309 | TRD | 12 | Ash | Dead | Saved | |
| 310 | TRD | 12 | Willow | Fair | Saved | |
| 311 | TRD | 12 | Willow | Fair | Saved | |
| 312 | TRD | 60 | Willow | Fair | Saved | |
| 313 | TRD | 15 | Willow | Fair | Saved | |
| 314 | TRD | 60 | Cottonwood | Good | Saved | |
| 315 | TRD | 15 | Willow | Fair | Saved | |
| 316 | TRD | 20 | Willow | Fair | Saved | |
| 317 | TRD | 30 | Cottonwood | Fair | Saved | |
| 318 | TRD | 15 | Ash | Dead | Saved | |
| 319 | TRD | 15 | Ash | Dead | | |
| 320 | TRD | 18 | Ash | Dead | | |
| 321 | TRD | 12 | Ash | Dead | | |
| 322 | TRD | 12 | Ash | Dead | | |
| 323 | TRD-cluster | 12 | Buckthorn | Dead | | |
| 324 | TRD | 15 | Black Cherry | Fair | | 3 |
| 325 | TRD | 15 | Buckthorn | Dead | | |
| 326 | TRD-cluster | 18 | Buckthorn | Dead | | |
| 327 | TRD-cluster | 12 | Buckthorn | Dead | | |
| 328 | TRD-cluster | 18 | Basswood | Fair | | 3 |
| 329 | TRD | 18 | Black Cherry | Fair | | 3 |
| 330 | TRD-cluster | 12 | Black Cherry | Dead | | |
| 331 | TRD-cluster | 18 | Basswood | Good | Saved | |
| 332 | TRD-cluster | 16 | Basswood | Good | Saved | |
| 333 | TRD | 12 | Basswood | Good | Saved | |
| 334 | TRD | 12 | Elm | Poor | Saved | |
| 335 | TRD | 12 | Basswood | Good | Saved | |
| 336 | TRD | 12 | Basswood | Good | Saved | |
| 337 | TRD-cluster | 12 | Basswood | Good | Saved | |
| 338 | TRD | 16 | Basswood | Poor | | 3 |
| 339 | TRD | 16 | Basswood | Good | | 3 |
| 340 | TRD-cluster | 12 | Basswood | Good | | 3 |
| 341 | TRD | 12 | Basswood | Good | | 3 |
| 342 | TRD | 12 | Basswood | Good | | 3 |
| 344 | TRD | 18 | Ash | Poor | Saved | |
| 348 | TRD | 40 | Cottonwood | Good | | 4 |
| 358 | TRD | 14 | Basswood | Good | Saved | |
| 371 | TRD | 36 | Oak | Good | Saved | |
| 374 | TRD | 14 | Ash | Dead | Saved | |
| 375 | TRD | 12 | Ash | Dead | Saved | |
| 376 | TRD | 16 | Elm | Good | | 3 |
| 377 | TRD | 20 | Black Walnut | Good | Saved | |
| 378 | TRD-cluster | 18 | Black Walnut | Good | Saved | |
| 379 | TRD | 14 | Black Walnut | Good | Saved | |
| 380 | TRD-cluster | 28 | Oak | Good | Saved | |
| 381 | TRD-cluster | 16 | Ash | Dead | | |
| 382 | TRD-cluster | 24 | Black Cherry | Fair | Saved | |
| 385 | TRD | 12 | Oak | Good | Saved | |
| 386 | TRD | 12 | Oak | Good | Saved | |
| 387 | TRD | 14 | Oak | Good | Saved | |
| 388 | TRD | 16 | Ash | Dead | Saved | |
| 389 | TRD | 16 | Basswood | Good | Saved | |
| 390 | TRD | 14 | Cottonwood | Good | Saved | |
| 391 | TRD | 16 | Basswood | Good | Saved | |
| 392 | TRD | 38 | Ash | Poor | Saved | |
| 393 | TRD | 12 | Buckthorn | Fair | | 3 |
| 394 | TRD | 12 | Hawthorne | Good | | 3 |
| 395 | TRD | 12 | Boxelder | Good | | 3 |
| | | | | Total Trees Removed (12"-29"): | | 55 |
| | | | | Total Trees Removed (30"+): | | 4 |
| | | | | Total Trees Preserved: | | 93 |
| | | | | Replacement Trees Required*: | | 181 |
| | | | | Replacement Trees Provided**: | | 188 |

*Outside of requirements for parking lot, transition zone, etc.

** Outside of provided trees for requirements for parking lot, transition zone, etc. Refer to Landscape Planting Schedule on Sheet L1.5 for exact trees and Sheet L2.0 for landscape requirement calculations.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W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666


CLIENT:
Frontline Commercial Real Estate, LLC

CLIENT ADDRESS:
PO BOX 170107
MILWAUKEE, WI 53217

PROJECT:
FRONTLINE OAK CREEK

PROJECT LOCATION:
RIDGEVIEW DRIVE
OAK CREEK WI, 53154

PLAN MODIFICATIONS:

| # | Date: | Description: |
|---|---|---|
| 1 | 01-16-2024 | CITY RESUBMITTAL |
| 2 | 03-05-2024 | ADDRESS CITY COMMENTS |
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| Designed By: | APM 11-20-2023 |
| Reviewed By: | APM 11-20-2023 |
| Approved By: | JLJ 11-20-2023 |

SHEET TITLE:
SITE DEMOLITION PLAN

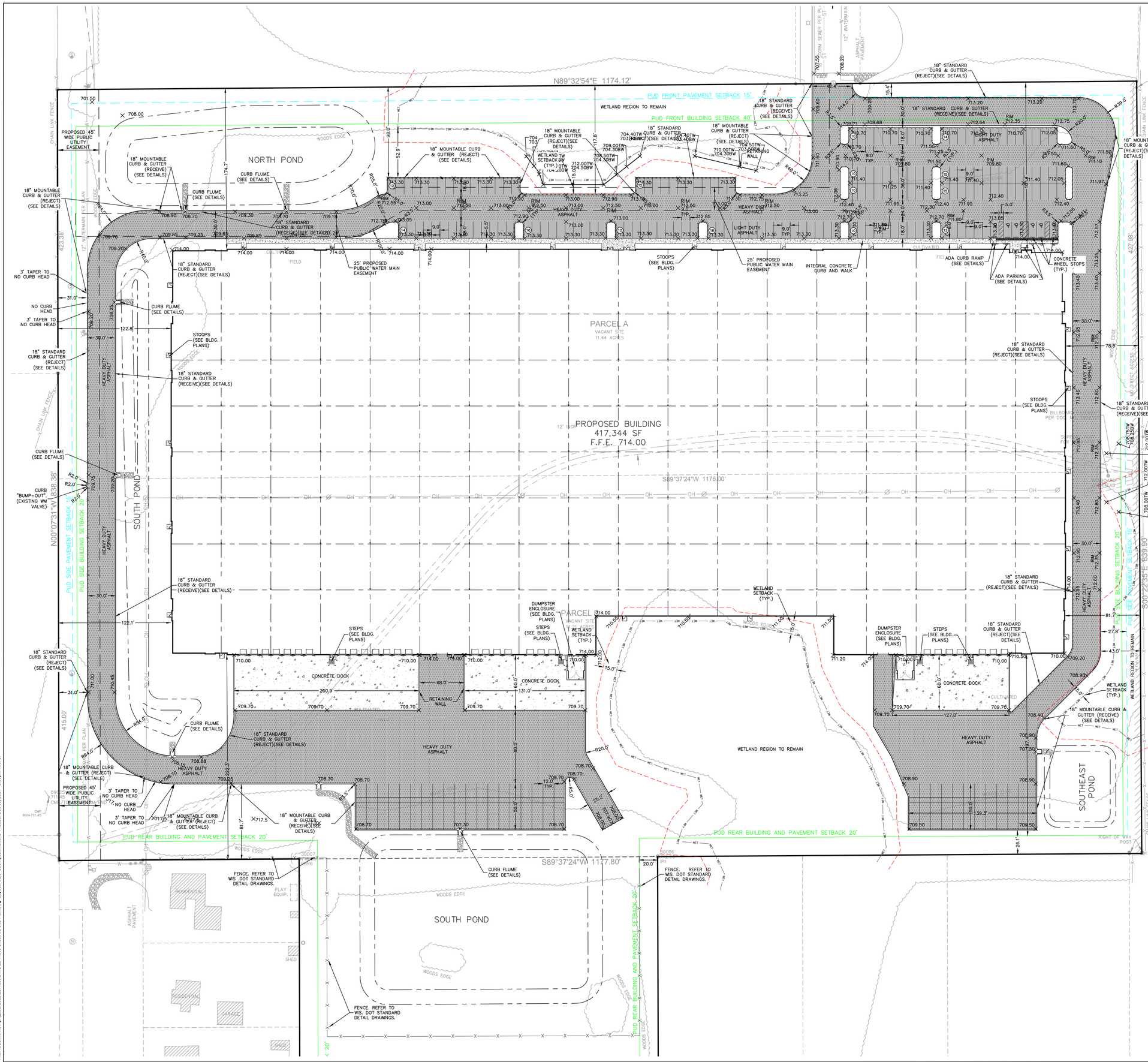
SHEET NUMBER:
C1.0

JSD PROJECT NO: 22-11890

DIGGERS HOTLINE



File: \\JSDINC\new projects\2022\22111890\DWG\22-11890 Sheet C1 Demolition Plan.dwg Layout: C1.0 User: gwen.winter Plotted: Jan 22, 2025 - 11:23am Xref's:




## PAVEMENT THICKNESS NOTES

ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION – CURRENT EDITION AND ADDENDUM, APPLICABLE CITY OF OAK CREEK ORDINANCES, AND THE GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY _____, DATED _____, 20 _____.

**** FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORDS RECOMMENDATIONS AS SPECIFIED IN THE SAID GEOTECHNICAL REPORT.**

MINIMUM PAVEMENT STRUCTURE

CONCRETE PAVEMENT
7" CONCRETE W/ MESH REINFORCEMENT
6" CRUSHED AGGREGATE BASE COURSE (1–1/4" DENSE GRADED LIMESTONE) CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.

HEAVY DUTY ASPHALT PAVEMENT
6" ASPHALTIC CONCRETE (2 LIFTS)
LOWER LAYER (4" BINDER, 4LT 58.28 S)
UPPER LAYER (2" SURFACE, 5LT 58.28 S)
13" CRUSHED AGGREGATE BASE COURSE (1–1/4" DENSE GRADED LIMESTONE) CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.

LIGHT DUTY ASPHALT PAVEMENT
3.25" ASPHALTIC CONCRETE (2 LIFTS)
LOWER LAYER (1.75" BINDER, 4LT 58.28 S)
UPPER LAYER (1.5" SURFACE, 5LT 58.28 S)
8" CRUSHED AGGREGATE BASE COURSE (1–1/4" DENSE GRADED LIMESTONE) CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.

CONCRETE SIDEWALK AND STOOPS
4" CONCRETE
6" CRUSHED AGGREGATE BASE COURSE
CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.

## LEGEND

- SANITARY SEWER MANHOLE
- STORM MANHOLE
- CATCH BASIN ROUND
- CATCH BASIN SQUARE
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- TELEPHONE PEDESTAL
- ELECTRICAL MANHOLE
- SIGN
- POWER POLE
- GUY WIRE
- SAN — SANITARY SEWER
- W — WATER MAIN
- ST — STORM SEWER
- RD — ROOF DRAIN
- G — UNDERGROUND GAS
- E — UNDERGROUND ELECTRIC
- T — UNDERGROUND TELEPHONE
- FIB — UNDERGROUND FIBER OPTICS
- OH — OVERHEAD UTILITY
- SF — SILT FENCE
- CONIFEROUS TREE
- DECIDUOUS TREE
- 18" MOUNTABLE CURB AND GUTTER (REJECT)
- 18" MOUNTABLE CURB AND GUTTER (RECEIVE)
- 18" STANDARD CURB AND GUTTER (REJECT)
- RIPRAP

| PRE–DEVELOPMENT: |
|---|
| PERVIOUS – 1,139,135 SF (100.0% GREEN SPACE) |
| IMPERVIOUS – 0 SF |
| **POST–DEVELOPMENT:** |
| PERVIOUS – 479,033 SF (42.1% GREEN SPACE) |
| IMPERVIOUS – 660,102 SF (417,344 SF BUILDING) 134 STALLS + 6 ADA STALLS |

north
SCALE IN FEET
40' 0 40'

DIGGERS HOTLINE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WAUKESHA, WISCONSIN 53188
P. 262.513.0666


CLIENT:
Frontline Commercial Real Estate, LLC

CLIENT ADDRESS:
PO BOX 170107
MILWAUKEE, WI 53217

PROJECT:
**FRONTLINE OAK CREEK**

PROJECT LOCATION:
**RIDGEVIEW DRIVE**
**OAK CREEK WI, 53154**

PLAN MODIFICATIONS:

| # | Date: | Description: |
|---|---|---|
| 1 | 01-16-2024 | CITY RESUBMITTAL |
| 2 | 03-05-2024 | ADDRESS CITY COMMENTS |
| 3 | 11-15-2024 | CITY RESUBMITTAL |
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| Designed By: | APM 11-20-2023 |
| Reviewed By: | APM 11-20-2023 |
| Approved By: | JLJ 11-20-2023 |

SHEET TITLE:
**SITE DIMENSION AND PAVEMENT ID PLAN**

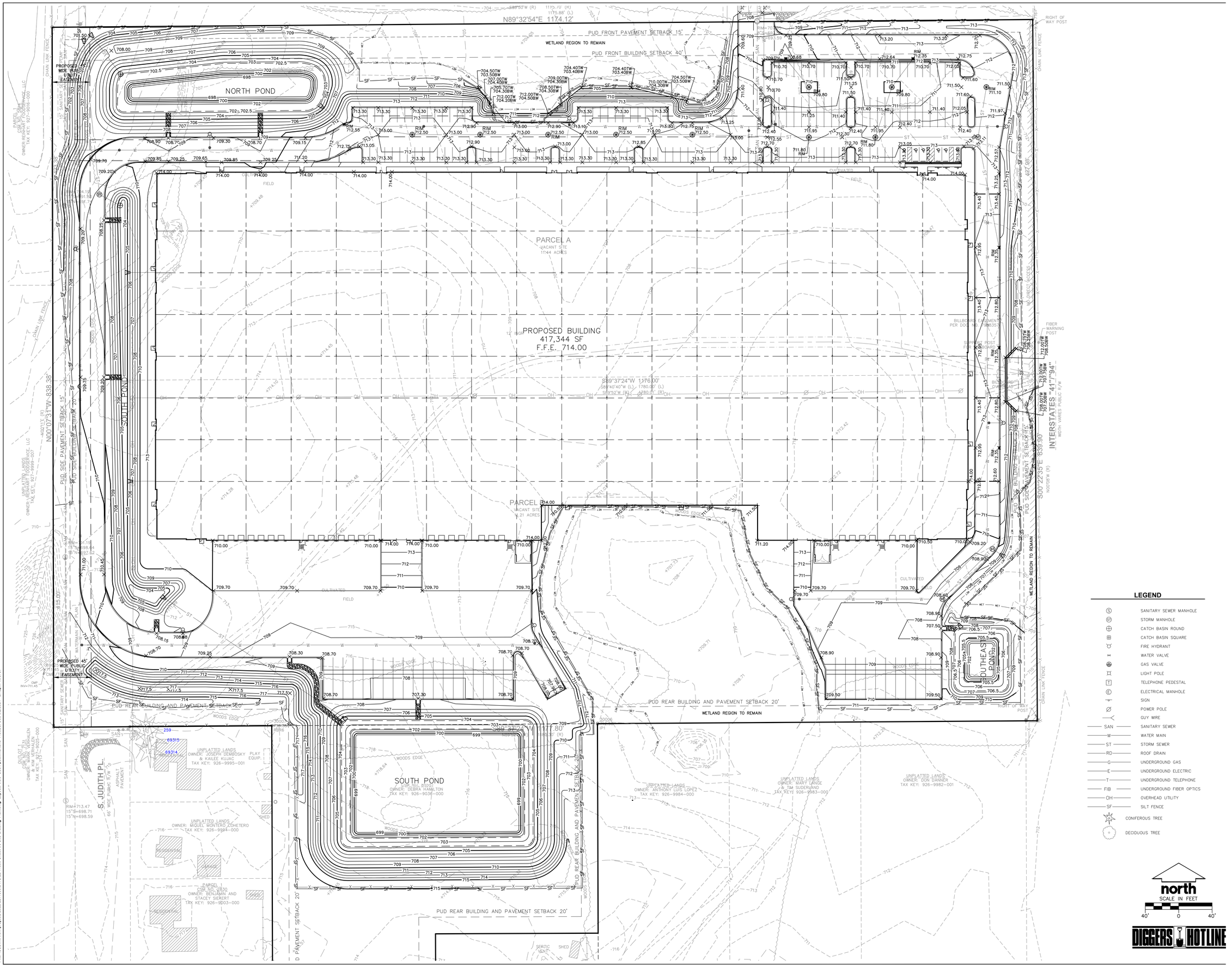
SHEET NUMBER:
**C2.0**

JSD PROJECT NO: 22-11890



File: I:\JSDINC\new projects\2022\22-11890\DWG\22-11890 Sheet C2 Site Plan.dwg Layout: C2.0 User: paul.martens Plotted: Dec 05, 2024 - 3:58pm Xref's:

2024-01-163




## LEGEND

- SANITARY SEWER MANHOLE
- STORM MANHOLE
- CATCH BASIN ROUND
- CATCH BASIN SQUARE
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- TELEPHONE PEDESTAL
- ELECTRICAL MANHOLE
- SIGN
- POWER POLE
- GUY WIRE
- SANITARY SEWER
- WATER MAIN
- STORM SEWER
- ROOF DRAIN
- UNDERGROUND GAS
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND FIBER OPTICS
- OVERHEAD UTILITY
- SILT FENCE
- CONIFEROUS TREE
- DECIDUOUS TREE

north
SCALE IN FEET
40' 0 40'

DIGGERS HOTLINE

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MILWAUKEE, WI 53217

PROJECT:
FRONTLINE OAK CREEK

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PLAN MODIFICATIONS:

| # | Date: | Description: |
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| 1 | 01-16-2024 | CITY RESUBMITTAL |
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| Designed By: | APM 11-20-2023 |
| Reviewed By: | APM 11-20-2023 |
| Approved By: | JLJ 11-20-2023 |

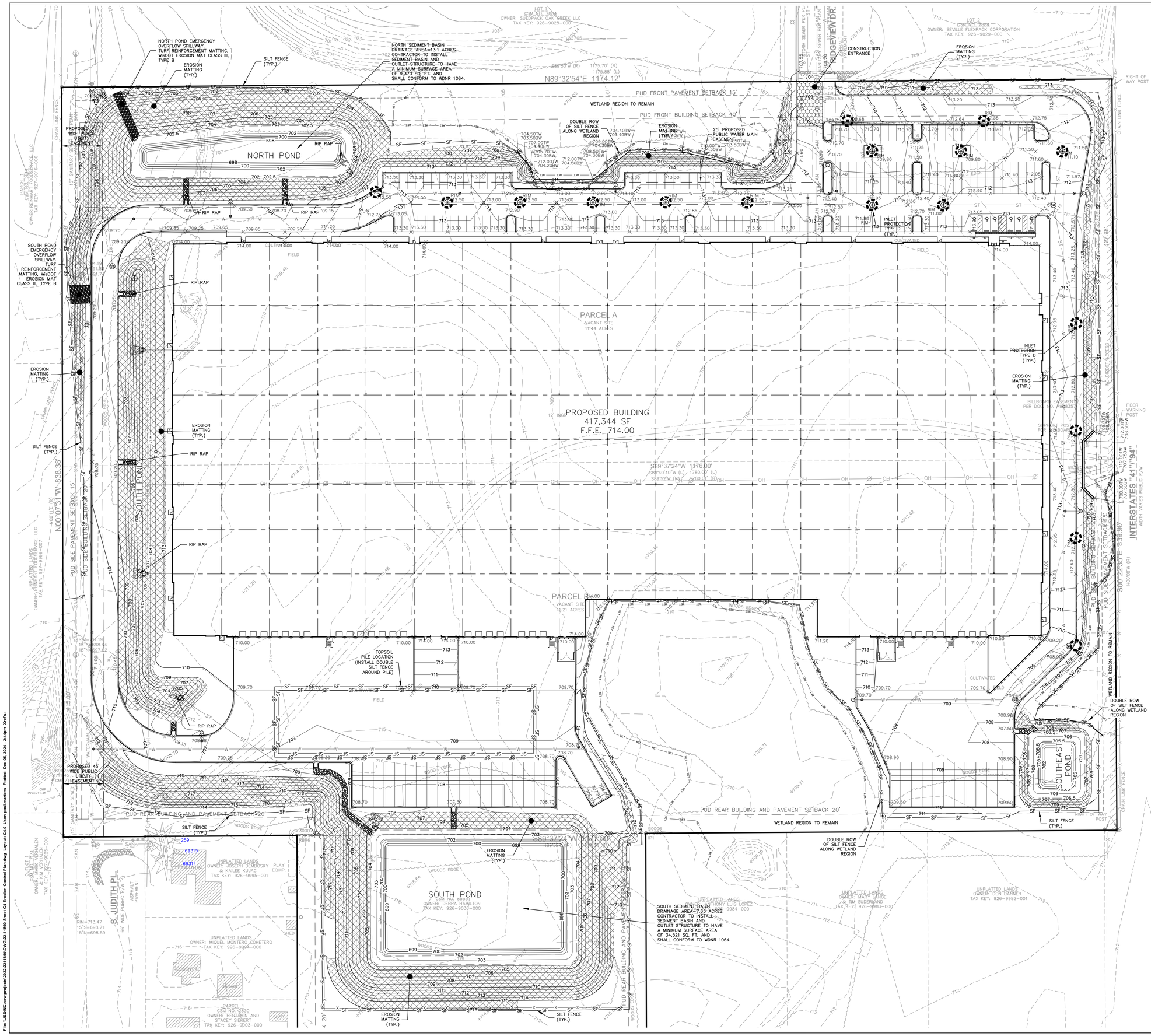
SHEET TITLE:
SITE GRADING PLAN

SHEET NUMBER:
C3.0

JSD PROJECT NO: 22-11890



File: I:\JSD\NC\new projects\2022\22118900\DWG\22-11890 Sheet C3 Site Grading Plan.dwg Layout: C3.0 User: paul.mertens Plotted: Dec 05, 2024 - 2:42pm Xref's:




## LEGEND

- SANITARY SEWER MANHOLE
- STORM MANHOLE
- CATCH BASIN ROUND
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- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
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- WATER MAIN
- STORM SEWER
- ROOF DRAIN
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- UNDERGROUND FIBER OPTICS
- OVERHEAD UTILITY
- SILT FENCE
- CONIFEROUS TREE
- DECIDUOUS TREE

north
SCALE IN FEET
40' 0 40'

DIGGERS HOTLINE


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PROJECT LOCATION:
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OAK CREEK WI, 53154

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| 2 | 03-05-2024 | ADDRESS CITY COMMENTS |
| 3 | 12-05-2024 | CITY RESUBMITTAL |
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| Designed By: | APM 11-20-2023 |
| Reviewed By: | APM 11-20-2023 |
| Approved By: | JLJ 11-20-2023 |

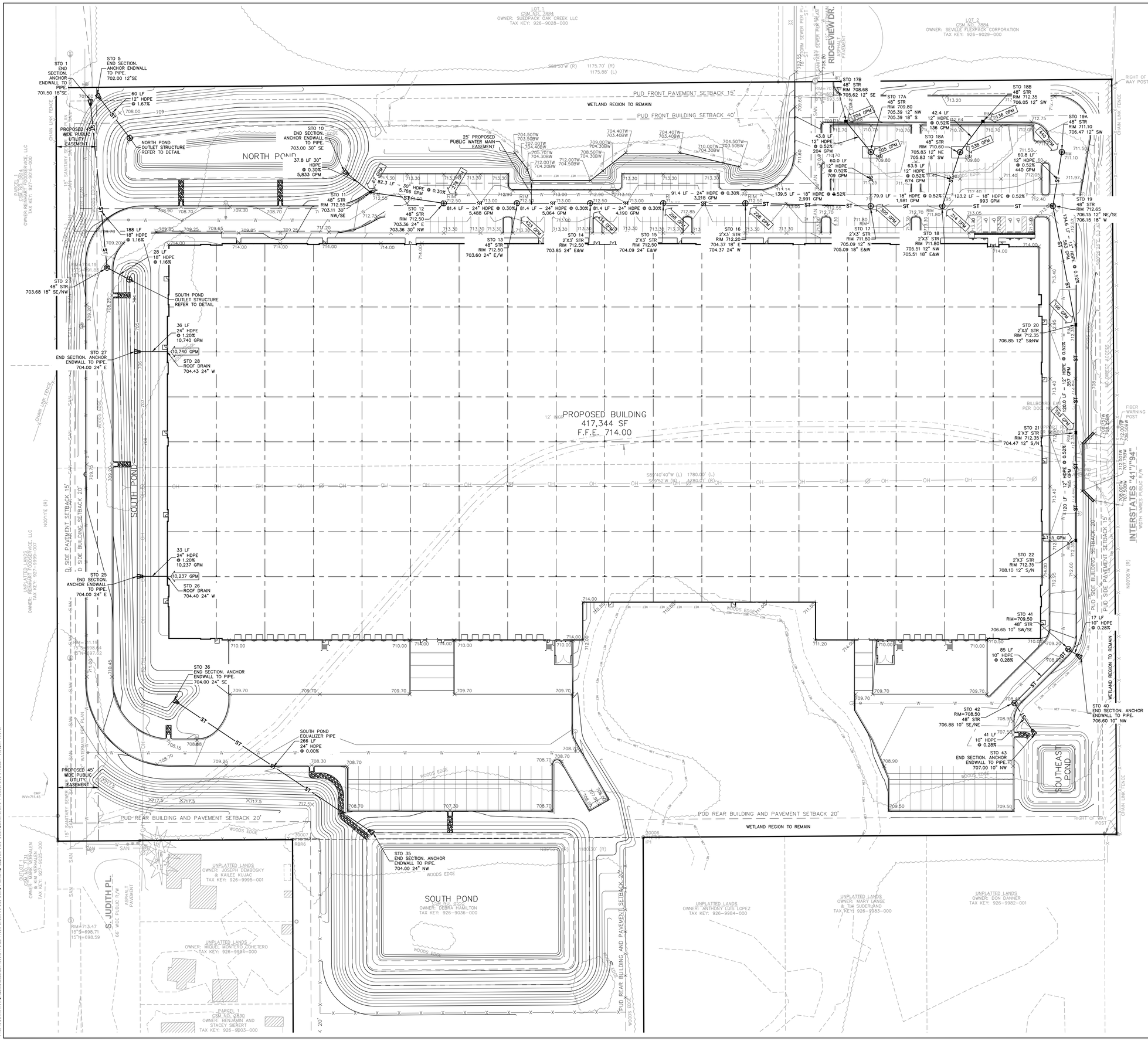
SHEET TITLE:
**SITE EROSION CONTROL PLAN**

SHEET NUMBER:
**C4.0**

JSD PROJECT NO: 22-11890




File: \JSDINC\new projects\2022\22111890\DWG\22-11890 Sheet C4 Erosion Control Plan.dwg Layout: C4.0 User: paul.mertens Plotted: Dec 05, 2024 - 2:44pm Xref's:




## LEGEND

- SANITARY SEWER MANHOLE
- STORM MANHOLE
- CATCH BASIN ROUND
- CATCH BASIN SQUARE
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
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- TELEPHONE PEDESTAL
- ELECTRICAL MANHOLE
- SIGN
- POWER POLE
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- SANITARY SEWER
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- OVERHEAD UTILITY
- SILT FENCE
- CONIFEROUS TREE
- DECIDUOUS TREE

north
SCALE IN FEET
40' 0 40'

DIGGERS HOTLINE


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PROJECT:
**FRONTLINE OAK CREEK**

PROJECT LOCATION:
RIDGEVIEW DRIVE
OAK CREEK WI, 53154

PLAN MODIFICATIONS:

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| Designed By: | APM 11-20-2023 |
| Reviewed By: | APM 11-20-2023 |
| Approved By: | JLJ 11-20-2023 |

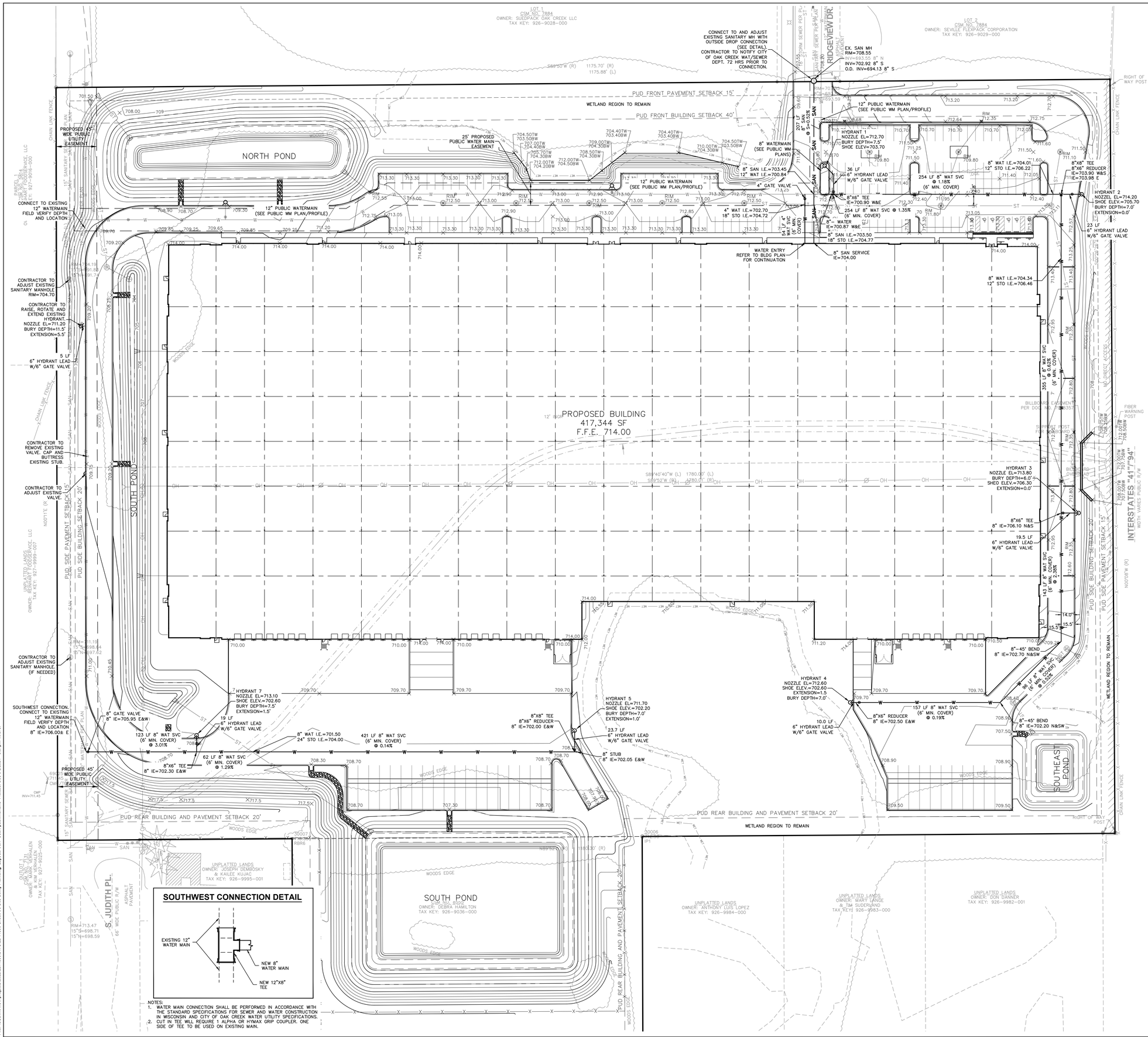
SHEET TITLE:
**SITE UTILITY PLAN**
**STORM SEWER**

SHEET NUMBER:
**C5.0**

JSD PROJECT NO: 22-11890




File: \JSDINC\new projects\2022\22111890\DWG\22-11890 Sheet C5 Site Utility Plan.dwg Layout: C5.0 User: paul.martens Plotted: Dec 04, 2024 - 3:36pm Xref's:




## LEGEND

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- SF — SILT FENCE
- CONIFEROUS TREE
- DECIDUOUS TREE

north
SCALE IN FEET
40' 0 40'

DIGGERS HOTLINE


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PROJECT:
**FRONTLINE OAK CREEK**

PROJECT LOCATION:
RIDGEVIEW DRIVE
OAK CREEK WI, 53154

PLAN MODIFICATIONS:

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Designed By: APM 11-20-2023
Reviewed By: APM 11-20-2023
Approved By: JLJ 11-20-2023

SHEET TITLE:
**SITE UTILITY PLAN SANITARY SEWER AND WATER**

SHEET NUMBER:
**C5.1**

JSD PROJECT NO: 22-11890



File: \\JSDINC\new projects\2022\22-11890\DWG\22-11890 Sheet C5 Site Utility Plan.dwg Layout: C5.1 User: paul.martens Plotted: Dec 04, 2024 - 3:37pm Xrefs:

## GENERAL NOTES AND SPECIFICATIONS

1. THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.

2. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.

3. THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.

4. THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES DISCOVERED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.

5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON THEIR OWN COMPUTATIONS AND UNDER NO CIRCUMSTANCES BE BASED ON THE ENGINEER'S ESTIMATE.

6. QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD–OF–MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.

7. PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.

8. COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN THEIR ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.

9. SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.

10. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS IN OBTAINING PERMITS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.

11. THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND "DIGGER'S HOTLINE" IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHICH ORDINANCES/CODES/RULES/ETC. ARE APPLICABLE.

12. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.

13. CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."

14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, JSD, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

15. ALL FIELD/DRAIN TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE IMMEDIATELY REPORTED TO ENGINEER/OWNER. TILES ORIGINATING OUTSIDE THE PROJECT LIMITS SHALL BE RECONNECTED OR REROUTED TO MAINTAIN DRAINAGE. ENGINEER/OWNER SHALL DETERMINE THE MOST FAVORABLE METHOD OF RE–ESTABLISHMENT OF OFFSITE DRAINAGE. IF TILE IS ENCOUNTERED DURING TRENCH EXCAVATIONS, RE–ESTABLISHING TILE FUNCTIONALITY SHALL BE CONSIDERED AN INCIDENTAL EXPENSE.

## WETLAND NOTES

1. WETLANDS DELINEATED BY DAVE MEYER OF WETLAND & WATERWAY CONSULTING, LLC., PER REPORT DATED OCTOBER 23, 2020 AND BY KRISTI SHERFINSKI OF HELIATHUS LLC., PER REPORT DATED OCTOBER 23, 2020.

2. THE WETLAND FILL APPLICATION HAS BEEN SUBMITTED TO WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) AND U.S. ARMY CORPS OF ENGINEERS (USACOE) ON MARCH 17, 2023.

## DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.

2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.

3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.

4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.

5. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.

6. CONTRACTOR TO REPLACE ALL SIDEWALK, CURB AND GUTTER, AND PAVEMENT ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
   - 7.1. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
   - 7.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
   - 7.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
   - 7.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.

8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S/CITY'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.

10. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.

11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.

12. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.

13. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.

14. EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.

15. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF OAK CREEK SPECIFICATIONS.

16. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF OAK CREEK SPECIFICATIONS.

17. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.

18. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.

19. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK–FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".

20. RESTORATION OF THE EXISTING ROADWAY RIGHT–OF–WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

## PAVING NOTES

1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE CITY OF OAK CREEK ORDINANCES.

2. CONCRETE PAVING SPECIFICATIONS–

   CODES AND STANDARDS – THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.

   CRUSHED AGGREGATE BASE COURSE – THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.

   SURFACE PREPARATION – NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

3. ASPHALTIC CONCRETE PAVING SPECIFICATIONS–

   CODES AND STANDARDS – THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.

   WEATHER LIMITATIONS – APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS AMOUNTS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (–1° C).

   GRADE CONTROL – ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.

   CRUSHED AGGREGATE BASE COURSE – THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.

   BINDER COURSE AGGREGATE – THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.

   SURFACE COURSE AGGREGATE – THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.

   ASPHALTIC MATERIALS – THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

   SURFACE PREPARATION – NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

## PAVEMENT STRIPING NOTES

1. CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL STRIPING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
4. DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
5. LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
6. PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
7. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300–400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES. (OR TO MFG. SPECIFICATIONS)
8. BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
9. ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6

## GRADING NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JSD PROFESSIONAL SERVICES, INC. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.

2. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.

3. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
   - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
   - THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.

4. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.

5. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY PROFESSIONAL SERVICE INDUSTRIES, INC. AND DATED MARCH 3, 2016 FOR SITE COMPACTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN–SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.

6. IN THE EVENT THAT ANY MOISTURE–DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.

7. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.

8. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.

9. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.

10. THE SITE SHALL BE COMPLETED TO WITHIN 0.10–FT (+/–) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.

11. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.

12. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.

13. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER□S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

14. WORK WITHIN ANY ROADWAY RIGHT–OF–WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT–OF–WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT–OF–WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT–OF–WAY IN–KIND INCLUDING LANDSCAPING.

15. CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.

## EROSION AND SEDIMENT CONTROL NOTES:

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF OAK CREEK ORDINANCE. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.

2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY JSD PROFESSIONAL SERVICES, INC. OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

3. MODIFICATIONS TO THE APPROVED EROSION CONTROL PLAN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY JSD/MUNICIPALITY PRIOR TO DEVIATION OF THE APPROVED PLAN.

4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.

5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.

6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE GOVERNING AGENCIES.

7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.

8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
   - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
   - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
   - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.

9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.

10. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.

11. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.

12. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.

13. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.

14. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS.

15. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF THIRTY (30) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.

16. ALL DISTURBED SLOPES EXCEEDING 4:1 YET LESS THAN 3:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING (OR APPROVED EQUAL) AND DISTURBED SLOPES EXCEEDING 3:1 YET LESS THAN 2:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.

17. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.

18. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.

19. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5–INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH PART IV D.4. (a–f). OF THE NPDES GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.

20. THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.
    - SILT FENCE – REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE–HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
    - CONSTRUCTION ENTRANCE – AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.
    - DITCH CHECK (STRAW BALES) – RE–SECURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE–HALF THE HEIGHT OF THE BALE.
    - EROSION CONTROL MATTING – REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE–GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.
    - DIVERSION BERM/SWALE – REPLACE OR RE–COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.
    - INLET PROTECTION – CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE–HALF FULL OF SEDIMENT.

    ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING.

    - CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPAULIN TO PREVENT BLOWING DEBRIS.
    - DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
      - **A.** COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON–ERODIBLE MATERIAL.
      - **B.** ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
      - **C.** FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
      - **D.** PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
    - STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

## CONSTRUCTION SITE SEQUENCING

1. INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS.
4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER THAT MEETS OR EXCEEDS THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES DEFINITION OF 'FINAL STABILIZATION'.

   CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

## UTILITY NOTES

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.

2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN (WISCONSIN LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.

3. UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE CITY OF OAK CREEK SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES DSPS 382.

4. TRACER WIRES SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.0715(2R) OF THE STATE STATUTES AND CITY OF OAK CREEK REQUIREMENTS.

5. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.

6. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.

7. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.

8. STORM SEWER SPECIFICATIONS –

   PIPE – REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS IV (MINIMUM) C–76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C–443; HIGH DENSITY DUAL–WALL POLYETHYLENE N–12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M–294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) – CLASS PS46 MEETING AASHTO M278, AS NOTED.

   INLETS/CATCH BASINS – INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'–8" X 2'–6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R–1580 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R–3067, OR EQUAL.

   BACKFILL AND BEDDING – STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

   MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEENAH R–1642 WITH TYPE "B" SELF SEALING LIDS, NON–ROCKING OR EQUAL.

   STORM SEWER END SECTIONS ARE TO BE CONSTRUCTED WITH AN ANCHORING SYSTEM TO THE PIPE.

   FIELD TILE CONNECTION – ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

9. WATER MAIN SPECIFICATIONS –

   PIPE – WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C–900, CLASS 150, DR–18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES – GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C–500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS".GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

   10–GAUGE TRACER WIRE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF ALL PRIVATE WATER MAINS, HYDRANT LEADS, FIRE DEPARTMENT CONNECTION LEADS AND LATERALS. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS AND ENCLOSED IN RISER BOX WITH "WATER" ON THE COVER.

   HYDRANTS – HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF OAK CREEK AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS." THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18–INCHES AND NO GREATER THAN 23–INCHES. PRIVATE HYDRANTS TO BE PAINTED SOLID RED. PUBLIC HYDRANTS TO BE HAVE A YELLOW TOP.

   BEDDING AND COVER MATERIAL – PIPE BEDDING AND COVER MATERIAL SHALL BE TORPEDO SAND.

   BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

10. SANITARY SEWER SPECIFICATIONS –

    PIPE – SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR–35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D–3212.

    BEDDING AND COVER MATERIAL – BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."

    BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."

    MANHOLES – MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF OAK CREEK.

    MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEENAH R–1580 WITH TYPE "B" SELF SEALING LIDS, NON–ROCKING OR EQUAL. MANHOLE CASTING SHALL HAVE A CHIMNEY SEAL.

11. WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

12. TRACER WIRE SHALL BE INSTALLED ALONG THE SANITARY SEWER SERVICE. THE TRACER WIRE SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4–INCH PVC PIPE WITH SCREW–ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.

13. ALL NEW ON–SITE SANITARY, STORM AND PRIVATE WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

14. THE CONTRACTOR SHALL CONTACT THE CITY OF OAK CREEK WATER AND UTILITY (414) 766–6600, 48 HOURS IN ADVANCE OF SANITARY OR WATER CONNECTIONS TO THE CITY OWNED SYSTEM TO SCHEDULE INSPECTIONS.

FRONT ELEVATION

PLAN VIEW

SECTION "A-A"

**GENERAL NOTES:**

1. INSTALLED, THE MINIMUM HEIGHT OF DITCH CHECKS SHALL BE 10–INCHES AND SHALL NOT EXCEED A MAXIMUM HEIGHT OF 16–INCHES FOR MANUFACTURED OR BIODEGRADABLE MATERIALS.
2. DITCH CHECKS MUST BE INSTALLED WITH THE CENTER LOWER THAN THE SIDES FORMING A WEIR.
3. AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY TWO–FEET OF DROP IN THE CHANNEL.
4. DITCH CHECK SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24– HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5–INCHES OF RAIN OR MORE DURING A 24–HOUR PERIOD.
5. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH HALF OF THE HEIGHT OF THE LOWEST BALE.
6. DITCH CHECKS SHALL BE UTILIZED DURING ROUGH GRADING AND SHALL BE REMOVED ONCE FINAL GRADING AND CHANNEL STABILIZATION IS APPLIED.
7. DITCH CHECK CONSTRUCTION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1062). EROSION MATTING SCOUR PROTECTION SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1053).

### DITCH CHECK (STRAW BALES)

N.T.S.

SILT FENCE ALONG SLOPES & OUTFALLS

NOTE:
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

TRENCH DETAIL

SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)

JOINT (TWIST METHOD)

WOOD POST (TYP.)

JOINT (HOOK METHOD)

**GENERAL NOTES:**

1. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8–INCHES OF FABRIC IN A 4–INCH WIDE AND 6–INCH DEEP TRENCH OR 6–INCH DEEP V–TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
2. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125–INCHES x 1.125–INCHES OF DRIED OAK OR HICKORY.
4. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
5. SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNR TECHNICAL STANDARD 1056.
6. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8–FEET FOR WOVEN & 3–FEET FOR NON–WOVEN)

### SILT FENCE

N.T.S.

**JSD**

CREATE THE VISION TELL THE STORY

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**MILWAUKEE REGIONAL OFFICE**
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
**P. 262.513.0666**

**CLIENT:**

Frontline Commercial Real Estate LLC

**CLIENT ADDRESS:**
**PO BOX 170107**
**MILWAUKEE, WI 53217**

**PROJECT:**
**FRONTLINE OAK CREEK**

**PROJECT LOCATION:**
**RIDGEVIEW DRIVE**
**OAK CREEK WI, 53154**

**PLAN MODIFICATIONS:**

| # | Date: | Description: |
|---|---|---|
| 1 | 01-16-2024 | CITY RESUBMITTAL |
| 2 | 03-05-2024 | ADDRESS CITY COMMENTS |
| 3 | 12-05-2024 | CITY RESUBMITTAL |
| 4 | | |
| 5 | | |
| 6 | | |
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| 8 | | |
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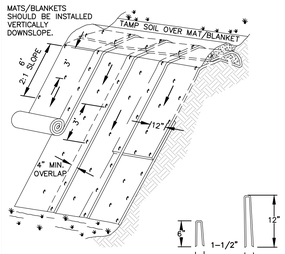
| 15 | | |

**Designed By:** APM 11-20-2023
**Reviewed By:** APM 11-20-2023
**Approved By:** JLJ 11-20-2023

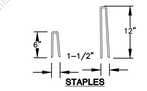
**SHEET TITLE:**
**SITE NOTES**

**SHEET NUMBER:**
**C6.0**

**JSD PROJECT NO:** 22-11890

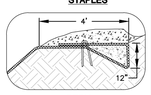



ISOMETRIC VIEW




STAPLES

TYPICAL SLOPE SOIL STABILIZATION



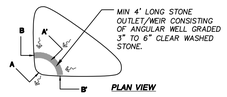

BERM

**GENERAL NOTES:**

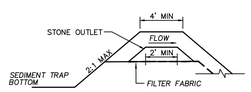
1. EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
2. ONLY WisDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
3. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
4. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
5. ONLY WisDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.

## EROSION MATTING

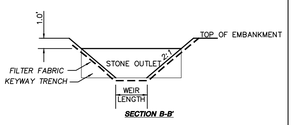
N.T.S.




PLAN VIEW




SECTION A-A'



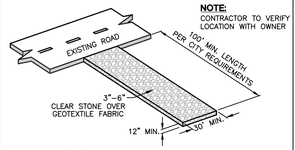

SECTION B-B'

**GENERAL NOTES**

1. SEDIMENT TRAP SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
2. SIDE SLOPES SHALL BE STABILIZED AS SOON AS THEY ARE CONSTRUCTED.
3. IF THE OUTLET BECOMES CLOGGED IT SHALL BE CLEANED TO RESTORE FLOW.
4. THE DEPTH OF THE SEDIMENT TRAP FROM THE BOTTOM OF THE TRAP TO THE INVERT OF THE STONE OUTLET SHALL BE AT LEAST 3 FEET.
5. THE SEDIMENT TRAP SHALL HAVE A LENGTH TO WIDTH RATIO OF AT LEAST 2:1. SIDE SLOPES SHALL BE NO STEEPER THAN 2:1
6. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION TO SITE CONDITIONS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF ONE FOOT
7. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF WDNR TS 1056.

## SEDIMENT TRAP

N.T.S.

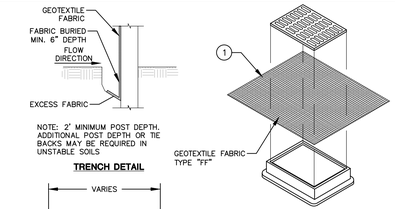



**GENERAL NOTES**

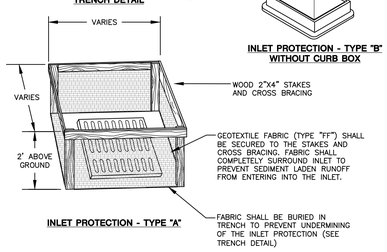
1. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
2. THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6-INCH CLEAR OR WASHED STONE. ALL MATERIAL TO BE RETAINED ON A 3-INCH SIEVE.
3. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH WisDOT TYPE "R" GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE STONE LAYER.
4. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM 100-FEET LONG.
5. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
6. TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
7. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

## CONSTRUCTION ENTRANCE

N.T.S.




INLET PROTECTION - TYPE "B" WITHOUT CURB BOX




INLET PROTECTION - TYPE "A"

**GENERAL NOTES:**

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER OF FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE "C" (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2X4

**INSTALLATION NOTES:**

TYPE "B" & "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHODS TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

**INSTALLATION NOTES:**

TYPE "D"

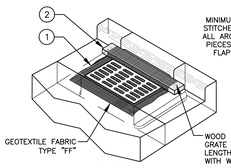
DO NOT INSTALL INLET PROTECTION TYPE "D" IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.

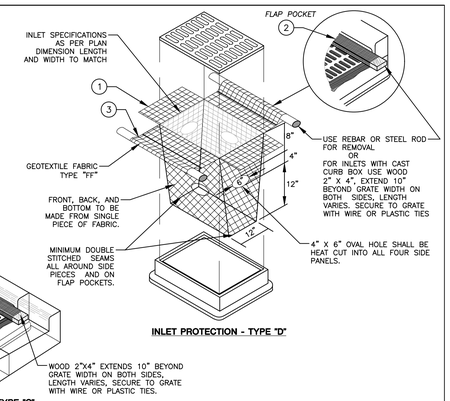
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.

## INLET PROTECTION

N.T.S.



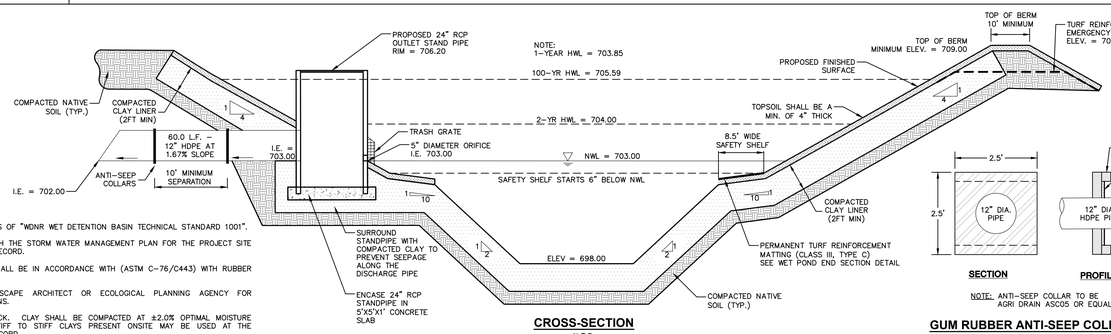

INLET PROTECTION - TYPE "C" WITH CURB BOX




INLET PROTECTION - TYPE "D"

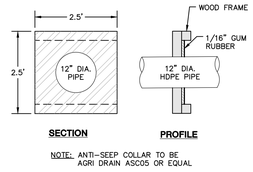
## DETAIL ABBREVIATIONS

HWL – HIGH WATER LEVEL
NWL – NORMAL WATER LEVEL
ELEV – ELEVATION
MIN – MINIMUM
TYP – TYPICAL
TRM – TURF REINFORCEMENT MATTING



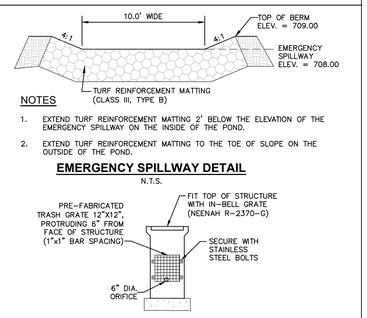

CROSS-SECTION

N.T.S.




GUM RUBBER ANTI-SEEP COLLAR

N.T.S.




EMERGENCY SPILLWAY DETAIL

N.T.S.




OUTLET STRUCTURE DETAIL

N.T.S.

## STORMWATER DETENTION NORTH POND

N.T.S.

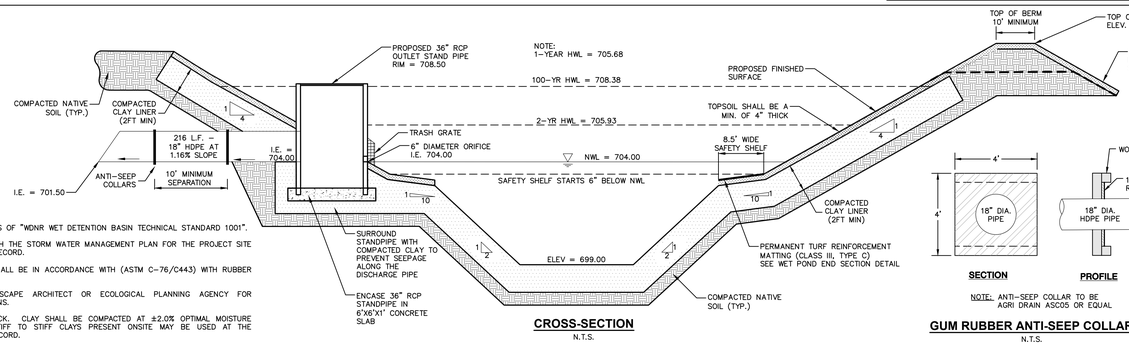
**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDNR WET DETENTION BASIN TECHNICAL STANDARD 1001".
2. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
3. HDPE PIPING & INSTALLATION WITHIN THE BASIN SHALL BE IN ACCORDANCE WITH (ASTM C-76/C443) WITH RUBBER GASKETS.
4. OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
4. CLAY LINER SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT ONSITE MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
5. FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3-FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2-FEET DEEP AND 8-FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.
6. CONTRACTOR SHALL POSITION ANTI-SEEP COLLAR FOR ENTERING PIPES SUCH THAT THE COLLARS ARE COMPLETELY CONTAINED WITHIN EMBANKMENT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER CONSTRUCTION PRACTICES HAVE BEEN UTILIZED AND THAT STORMWATER MANAGEMENT FEATURES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH APPROVED DESIGN PLANS. JSD, INC. SHALL NOT BE LIABLE FOR ANY CONSTRUCTION PRACTICES OR INSTALLATION WHICH DEVIATES FROM THE APPROVED PLAN SET. ONCE THE OWNER HAS PROVIDED FINAL APPROVAL TO THE WORK PERFORMED BY THE CONTRACTOR AND ENSURED COMPLIANCE WITH THE PLAN, IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN STORMWATER MANAGEMENT FEATURES IN ACCORDANCE WITH THE RECORDED MAINTENANCE AGREEMENT. PROPER OPERATION IS DEPENDENT ON A MULTITUDE OF VARIABLES INCLUDING WEATHER. THESE COMPONENTS REQUIRE ONGOING MAINTENANCE FOR WHICH THE OWNER IS RESPONSIBLE. JSD TAKES NO RESPONSIBILITY FOR PROPER OPERATION OF THE WATER QUALITY COMPONENTS.

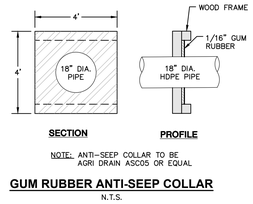
## DETAIL ABBREVIATIONS

HWL – HIGH WATER LEVEL
NWL – NORMAL WATER LEVEL
ELEV – ELEVATION
MIN – MINIMUM
TYP – TYPICAL
TRM – TURF REINFORCEMENT MATTING



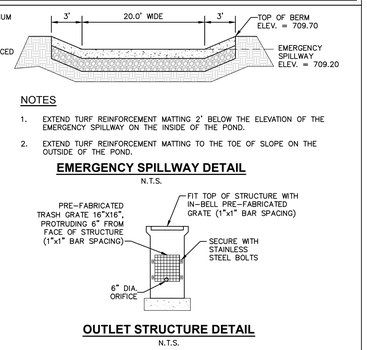

CROSS-SECTION

N.T.S.




GUM RUBBER ANTI-SEEP COLLAR

N.T.S.




EMERGENCY SPILLWAY DETAIL

N.T.S.




OUTLET STRUCTURE DETAIL

N.T.S.

## STORMWATER DETENTION SOUTH POND

N.T.S.

**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDNR WET DETENTION BASIN TECHNICAL STANDARD 1001".
2. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
3. HDPE PIPING & INSTALLATION WITHIN THE BASIN SHALL BE IN ACCORDANCE WITH (ASTM C-76/C443) WITH RUBBER GASKETS.
4. OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
4. CLAY LINER SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT ONSITE MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
5. FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3-FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2-FEET DEEP AND 8-FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.
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## DETAIL ABBREVIATIONS

HWL – HIGH WATER LEVEL
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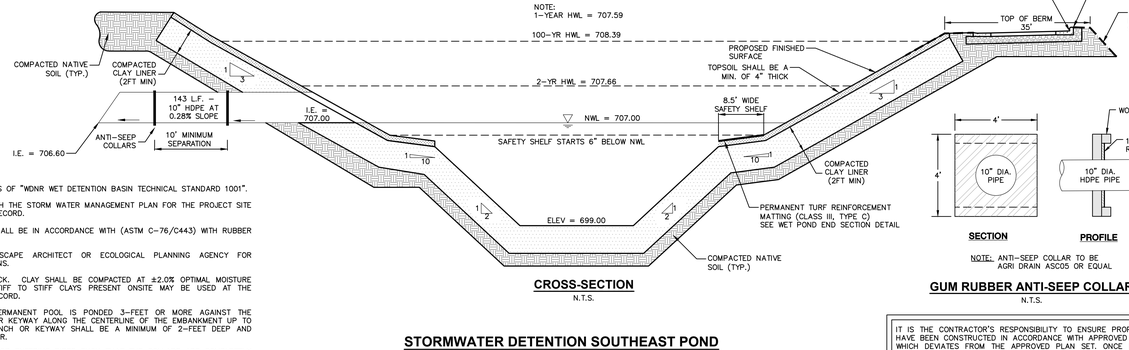
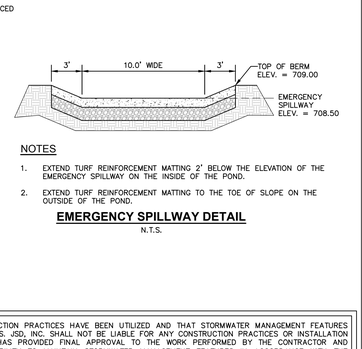



CROSS-SECTION

N.T.S.


GUM RUBBER ANTI-SEEP COLLAR

N.T.S.




EMERGENCY SPILLWAY DETAIL

N.T.S.

## STORMWATER DETENTION SOUTHEAST POND

N.T.S.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER CONSTRUCTION PRACTICES HAVE BEEN UTILIZED AND THAT STORMWATER MANAGEMENT FEATURES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH APPROVED DESIGN PLANS. JSD, INC. SHALL NOT BE LIABLE FOR ANY CONSTRUCTION PRACTICES OR INSTALLATION WHICH DEVIATES FROM THE APPROVED PLAN SET. ONCE THE OWNER HAS PROVIDED FINAL APPROVAL TO THE WORK PERFORMED BY THE CONTRACTOR AND ENSURED COMPLIANCE WITH THE PLAN, IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN STORMWATER MANAGEMENT FEATURES IN ACCORDANCE WITH THE RECORDED MAINTENANCE AGREEMENT. PROPER OPERATION IS DEPENDENT ON A MULTITUDE OF VARIABLES INCLUDING WEATHER. THESE COMPONENTS REQUIRE ONGOING MAINTENANCE FOR WHICH THE OWNER IS RESPONSIBLE. JSD TAKES NO RESPONSIBILITY FOR PROPER OPERATION OF THE WATER QUALITY COMPONENTS.


JSD
CREATE THE VISION TELL THE STORY
jsdinc.com
MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666


CLIENT:

Frontline Commercial Real Estate, LLC

CLIENT ADDRESS:
PO BOX 170107
MILWAUKEE, WI 53217

PROJECT:
**FRONTLINE OAK CREEK**

PROJECT LOCATION:
RIDGEVIEW DRIVE
OAK CREEK WI, 53154

PLAN MODIFICATIONS:

| # | Date: | Description: |
|---|---|---|
| 1 | 01-16-2024 | CITY RESUBMITTAL |
| 2 | 03-05-2024 | ADDRESS CITY COMMENTS |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
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| | |
|---|---|
| Designed By: | APM 11-20-2023 |
| Reviewed By: | APM 11-20-2023 |
| Approved By: | JLJ 11-20-2023 |

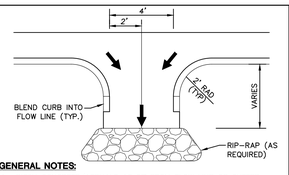
SHEET TITLE:
**DETAILS**

SHEET NUMBER:
**C6.1**

JSD PROJECT NO: 22-11890



File: I:\JSDINC\new projects\2022\22-11890\DWG\22-11890 Sheet C6 Details.dwg Layout: C6.1 User: paul.martens Plotted: Dec 04, 2024 - 3:39pm Xrefs:

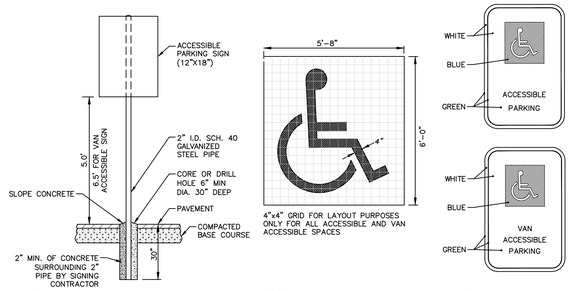



**GENERAL NOTES:**

1. PITCH CONCRETE/ASPHALT AT 2% FROM FLOW LINE OF GUTTER SECTION TO C/L OF FLUME

## FLUME DETAIL

N.T.S.




**NOTE:**
SIGNAGE DETAILS ARE SHOWN FOR INTENT ONLY. CONTRACTOR SHALL VERIFY EXACT REQUIREMENTS PRIOR TO CONSTRUCTION.

## ACCESSIBLE PARKING SIGN AND POST INSTALLATION

N.T.S.

**NOTE:**
SYMBOL DETAILS ARE SHOWN FOR INTENT ONLY. CONTRACTOR SHALL VERIFY EXACT REQUIREMENTS PRIOR TO CONSTRUCTION.

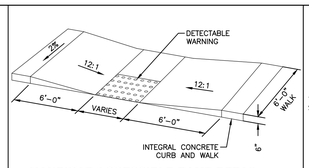
## PAINTED SYMBOL

N.T.S.

**NOTE:**
SIGNAGE AND SYMBOL DETAILS ARE SHOWN FOR INTENT ONLY. CONTRACTOR SHALL VERIFY EXACT REQUIREMENTS PRIOR TO CONSTRUCTION.

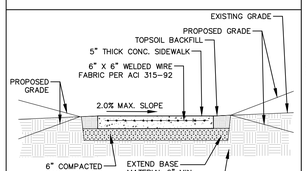
## SIGN DETAILS

N.T.S.



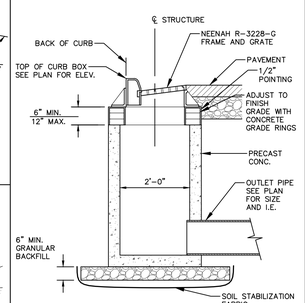

## HANDICAP ACCESSIBLE RAMP DETAIL

N.T.S.



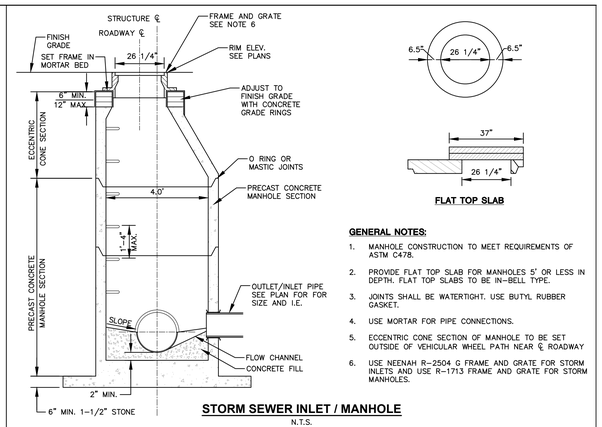

## CONCRETE SIDEWALK

N.T.S.




## 2'X3' CURB INLET

N.T.S.




## FLAT TOP SLAB

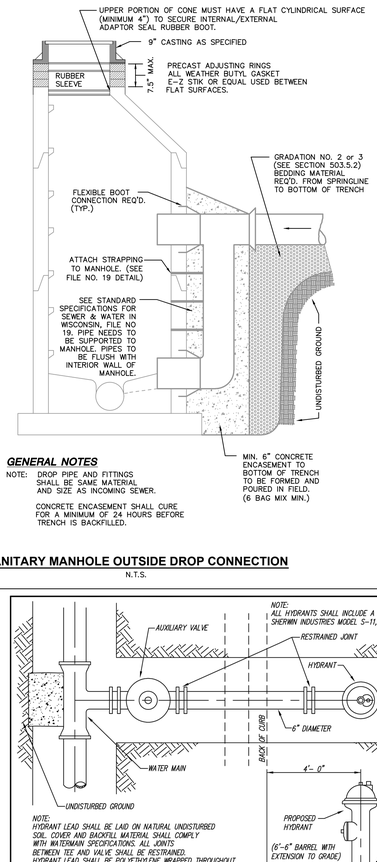
## STORM SEWER INLET / MANHOLE

N.T.S.

**GENERAL NOTES:**

1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
2. PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
3. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
4. USE MORTAR FOR PIPE CONNECTIONS.
5. ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR ℄ ROADWAY
6. USE NEENAH R-2504 G FRAME AND GRATE FOR STORM INLETS AND USE R-1713 FRAME AND GRATE FOR STORM MANHOLES.

| ADJUSTING RING HEIGHT | CHIMNEY SEAL |
|---|---|
| 0"-4.5" | DOUBLE PLEATED |
| 4.5"-7.5" | TRIPLE PLEATED |



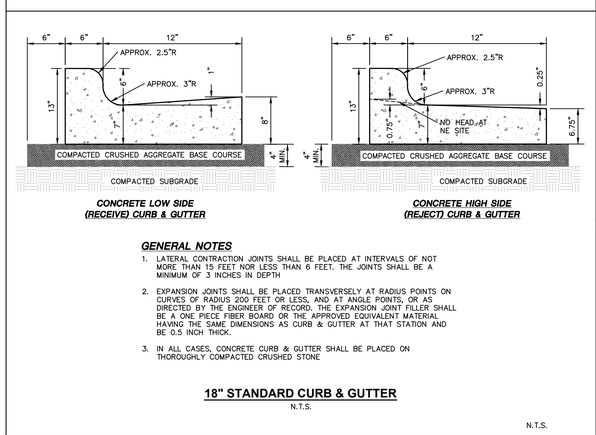

***GENERAL NOTES***

NOTE: DROP PIPE AND FITTINGS SHALL BE SAME MATERIAL AND SIZE AS INCOMING SEWER.

CONCRETE ENCASEMENT SHALL CURE FOR A MINIMUM OF 24 HOURS BEFORE TRENCH IS BACKFILLED.

## SANITARY MANHOLE OUTSIDE DROP CONNECTION

N.T.S.




***CONCRETE LOW SIDE (RECEIVE) CURB & GUTTER***

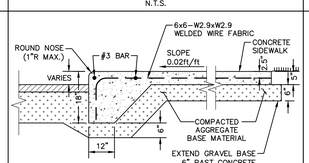
***CONCRETE HIGH SIDE (REJECT) CURB & GUTTER***

***GENERAL NOTES***

1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH
2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINT FILLER SHALL BE A ONE PIECE FIBER BOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.
3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE

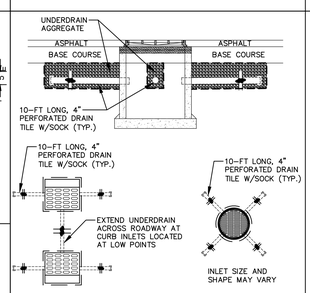
## 18" STANDARD CURB & GUTTER

N.T.S.




## INTEGRAL CONCRETE CURB & WALK

N.T.S.

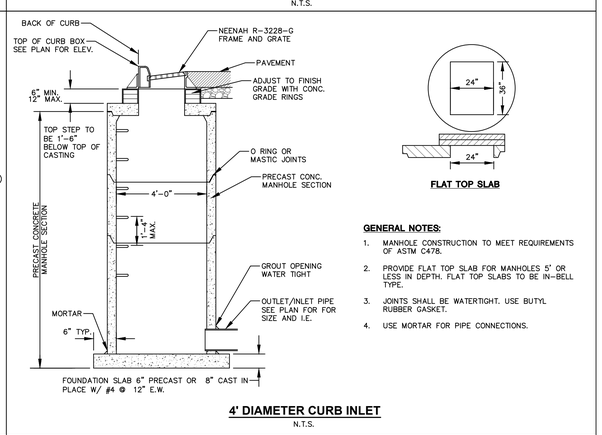



**GENERAL NOTES:**

1. UNDERDRAINS SHALL BE INSTALLED ON ALL INLET/CATCH BASINS LOCATED WITHIN IMPERVIOUS PAVEMENTS.
2. UNDERDRAIN CONNECTIONS SHALL BE CORED ONSITE.
3. UNDERDRAIN VERTICAL LOCATION MAY VARY DEPENDING ON STORM SEWER PIPE LOCATION.
4. ALTERNATIVE DESIGN MAY BE SUBSTITUTED IF SHOP DRAWINGS ARE SUBMITTED AND APPROVED BY CITY OF OAK CREEK.

## CATCH BASIN/INLET UNDERDRAIN

N.T.S.



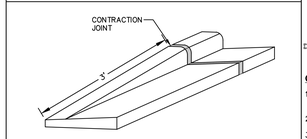

## FLAT TOP SLAB

## 4' DIAMETER CURB INLET

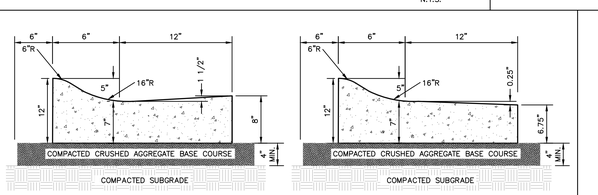
N.T.S.

**GENERAL NOTES:**

1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
2. PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
3. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
4. USE MORTAR FOR PIPE CONNECTIONS.




## TAPER CURB HEAD




***CONCRETE LOW SIDE (RECEIVE) CURB & GUTTER***

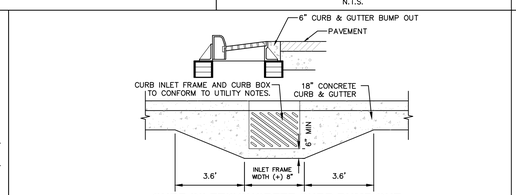
***CONCRETE HIGH SIDE (REJECT) CURB & GUTTER***

***GENERAL NOTES***

1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH
2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINT FILLER SHALL BE A ONE PIECE FIBER BOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.
3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE

## 18" MOUNTABLE CURB & GUTTER

N.T.S.




## CURB INLET/CONCRETE CURB BUMP OUT

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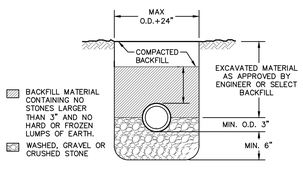
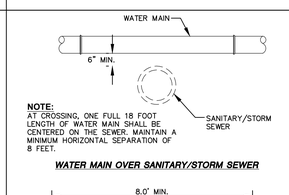


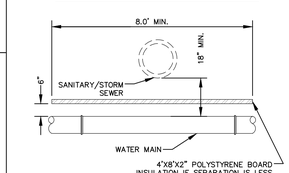

## STORM & SANITARY SEWER BEDDING

N.T.S.




**NOTE:**
AT CROSSING, ONE FULL 18 FOOT LENGTH OF WATER MAIN SHALL BE CENTERED ON THE SEWER. MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 8 FEET.

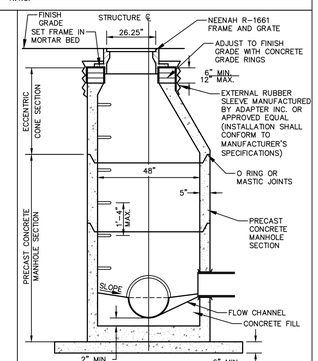
***WATER MAIN OVER SANITARY/STORM SEWER***




***SANITARY/STORM SEWER OVER WATER MAIN***

## SEWER - WATER MAIN SEPARATION

N.T.S.

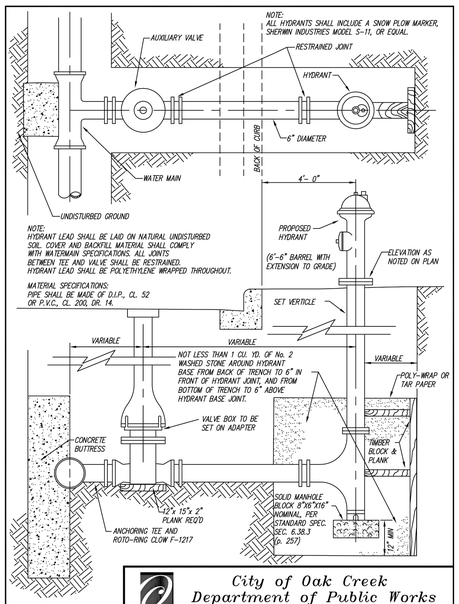



**GENERAL NOTES:**

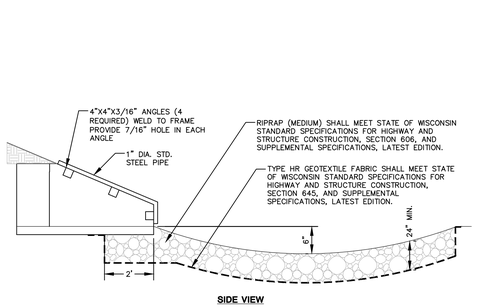
1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
2. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
3. USE MORTAR FOR PIPE CONNECTIONS.
4. ALL MANHOLES SHALL HAVE RUBBER CHIMNEY BOOT SEALS.

## SANITARY MANHOLE

N.T.S.

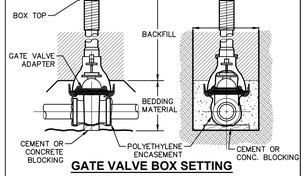



| City of Oak Creek Department of Public Works | |
|---|---|
| Drawn By: K.C. Seufzer | Scale: Not to Scale |
| Appv. By: M.J. Sullivan | Date: January 19, 2004 |
| TYPE "A" HYDRANT SETTING DETAIL | WD-13 |



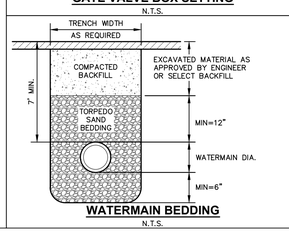

## APRON ENDWALL WITH GRADE

N.T.S.



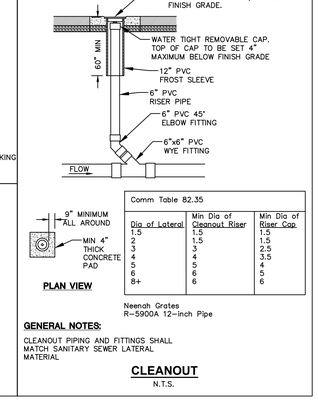

## GATE VALVE BOX SETTING

N.T.S.




## WATERMAIN BEDDING

N.T.S.




| Comm Table 82.35 | | |
|---|---|---|
| Dia of Lateral | Min Dia of Cleanout Riser | Min Dia of Riser Cap |
| 1.5 | 1.5 | 1.5 |
| 2 | 1.5 | 1.5 |
| 3 | 3 | 2.5 |
| 4 | 4 | 3.5 |
| 5 | 5 | 4 |
| 6 | 6 | 5 |
| 8+ | 6 | 6 |

**PLAN VIEW**

Neenah Grates R-5900A 12-inch Pipe

**GENERAL NOTES:**

CLEANOUT PIPING AND FITTINGS SHALL MATCH SANITARY SEWER LATERAL MATERIAL

## CLEANOUT

N.T.S.


JSD

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jsdinc.com

**MILWAUKEE REGIONAL OFFICE**
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:
Frontline Commercial Real Estate, LLC

CLIENT ADDRESS:
PO BOX 170107
MILWAUKEE, WI 53217


PROJECT:
**FRONTLINE OAK CREEK**

PROJECT LOCATION:
RIDGEVIEW DRIVE
OAK CREEK WI, 53154

PLAN MODIFICATIONS:

| # | Date: | Description: |
|---|---|---|
| 1 | 01-16-2024 | CITY RESUBMITTAL |
| 2 | 03-05-2024 | ADDRESS CITY COMMENTS |
| 3 | | |
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| 14 | | |
| 15 | | |

| | |
|---|---|
| Designed By: | APM 11-20-2023 |
| Reviewed By: | APM 11-20-2023 |
| Approved By: | JLJ 11-20-2023 |

SHEET TITLE:
**DETAILS**

SHEET NUMBER:
**C6.2**

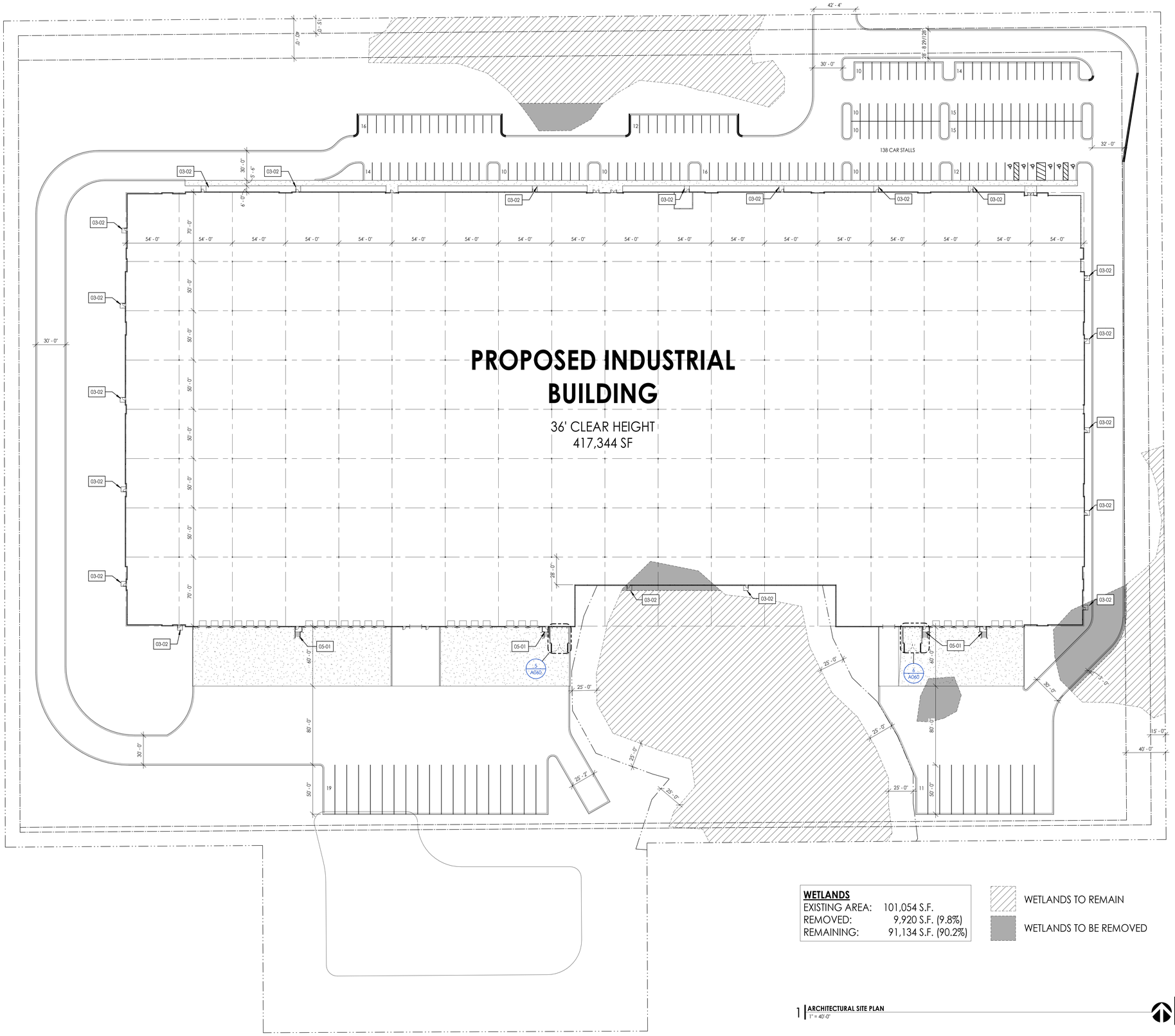
JSD PROJECT NO: 22-11890



File: \JSD\MC\new projects\2022\22111890\DWG\22-11890 Sheet C6 Details.dwg Layout: C6.2 User: paul.martens Plotted: Dec 04, 2024 - 3:40pm Xref's:

## SHEET KEYNOTES

| | |
|---|---|
| 03-02 | CONCRETE STOOP |
| 05-01 | DOCK STAIR - HOT DIPPED GALVANIZED METAL (AMB) |




**WETLANDS**

| | |
|---|---|
| EXISTING AREA: | 101,054 S.F. |
| REMOVED: | 9,920 S.F. (9.8%) |
| REMAINING: | 91,134 S.F. (90.2%) |

WETLANDS TO REMAIN

WETLANDS TO BE REMOVED

1 **ARCHITECTURAL SITE PLAN**
1" = 40'-0"


STEPHEN PERRY SMITH ARCHITECTS, INC.

215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202

414.277.9700
spsarchitects.com

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JSD


## PROJECT

Frontline Commercial Real Estate, LLC

FRONTLINE 10000 RIDGEVIEW DRIVE

10000 S RIDGEVIEW DR, OAK CREEK, WI 53154

## OWNER

## REVISIONS

| NO. | DESCRIPTION | DATE |
|---|---|---|

## INFORMATION

| | |
|---|---|
| PROJECT ARCHITECT | MAM |
| PROJECT MANAGER | SJC |
| PROJECT NUMBER | 240517 |
| ISSUED FOR | MUNICIPAL RESUB. |
| DATE | 01/23/2025 |

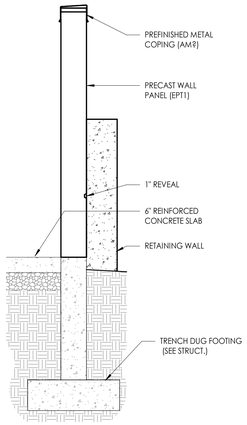
## SHEET

ARCHITECTURAL SITE PLAN

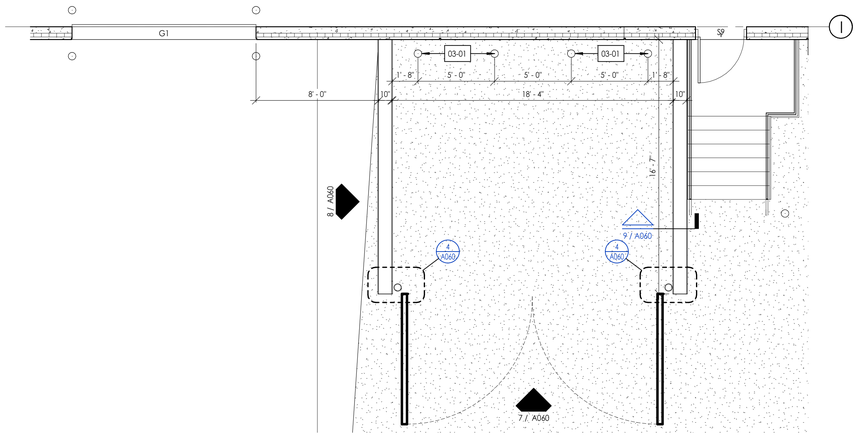
**A050**

## SHEET KEYNOTES

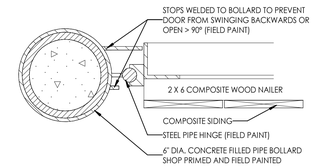
03-01 CONCRETE FILLED PIPE BOLLARD W/ YELLOW PLASTIC SLEEVE



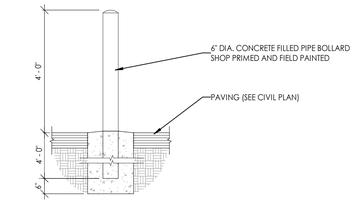

9 | SECTION AT DUMPSTER ENCLOSURE
1/2" = 1'-0"



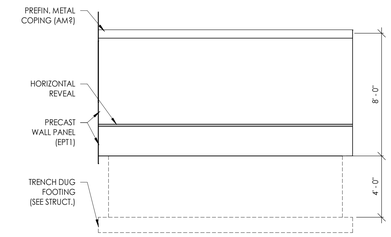

6 | ENLARGED PLAN - DUMPSTER ENCLOSURE 2
1/4" = 1'-0"



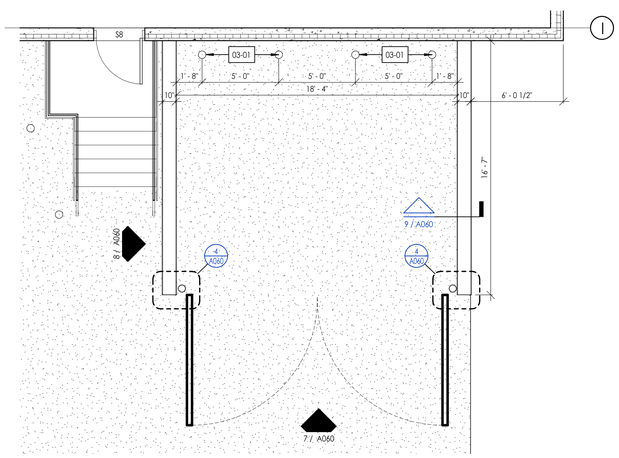

4 | GATE HINGE DETAIL
3" = 1'-0"



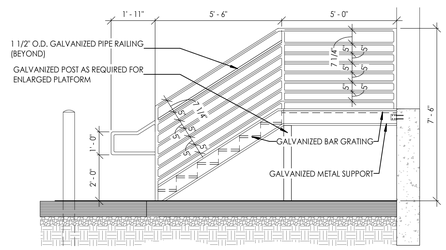

3 | CONCRETE FILLED PIPE BOLLARD
1/2" = 1'-0"



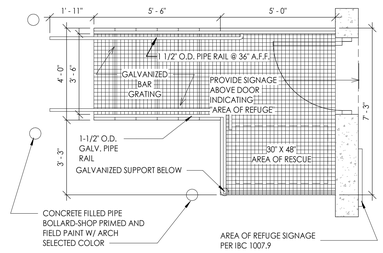

8 | ELEVATION - DUMPSTER ENCLOSURE SIDE
1/4" = 1'-0"




5 | ENLARGED PLAN - DUMPSTER ENCLOSURE 1
1/4" = 1'-0"




2 | DOCK STAIR - ELEVATION
3/8" = 1'-0"




1 | DOCK STAIR - ENLARGED PLAN
3/8" = 1'-0"


STEPHEN PERRY SMITH ARCHITECTS, INC.
215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
414.277.9700
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REYN ENGINEERING
JSD


## PROJECT

Frontline Commercial Real Estate, LLC

FRONTLINE 10000 RIDGEVIEW DRIVE

10000 S RIDGEVIEW DR, OAK CREEK, WI 53154

## OWNER

## REVISIONS

| NO. | DESCRIPTION | DATE |
|---|---|---|

## INFORMATION

| | |
|---|---|
| PROJECT ARCHITECT | MAM |
| PROJECT MANAGER | SJC |
| PROJECT NUMBER | 240517 |
| ISSUED FOR | MUNICIPAL RESUB. |
| DATE | 01/23/2025 |

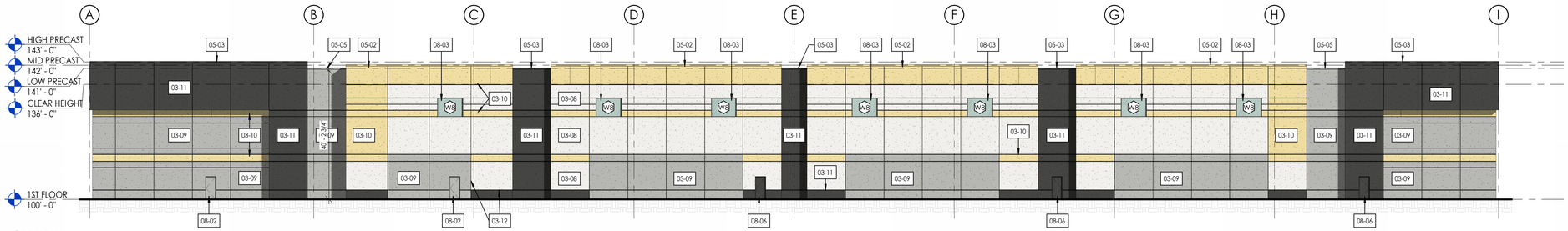
## SHEET

SITE DETAILS

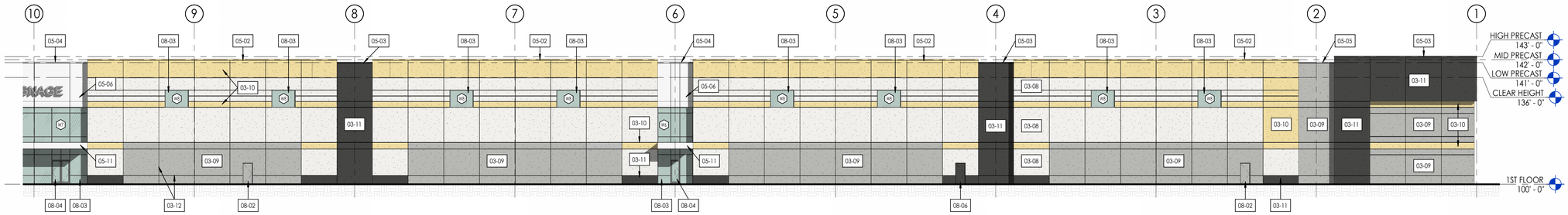
**A060**

## SHEET KEYNOTES

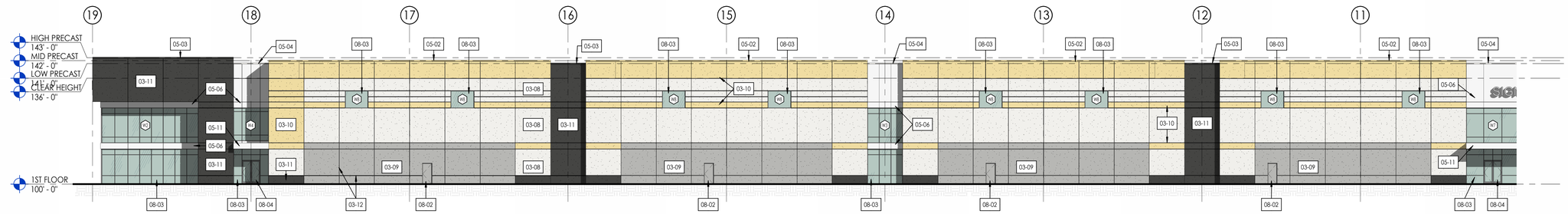
| | |
|---|---|
| 03-08 | 10" INSULATED PRECAST WALL PANEL FIELD COLOR (EPT1) |
| 03-09 | 10" INSULATED PRECAST WALL PANEL ENTRANCE/BAND COLOR (EPT2) |
| 03-10 | 10" INSULATED PRECAST WALL PANEL ACCENT BAND COLOR (EPT3) |
| 03-11 | 10" INSULATED PRECAST WALL PANEL ACCENT COLOR (EPT4) |
| 03-12 | HORIZONTAL AND VERTICAL PRECAST REVEALS |
| 05-02 | PREFINISHED METAL COPING (AM1) |
| 05-03 | PREFINISHED METAL COPING (AM2) |
| 05-04 | PREFINISHED METAL COPING (AM3) |
| 05-05 | PREFINISHED METAL COPING (AM4) |
| 05-06 | PREFINISHED METAL WALL PANEL (AM3) |
| 05-11 | ALUMINUM WRAPPED CANOPY (AM3) |
| 08-02 | INSULATED STEEL DOOR & FRAME (EPT2) |
| 08-03 | ALUMINUM STOREFRONT WINDOW SYSTEM (AM3, GL1, GL1T) |
| 08-04 | ALUMINUM STOREFRONT DOOR SYSTEM WITH FULL GLASS (AM4, GL1T) |
| 08-06 | INSULATED STEEL DOOR & FRAME (EPT4) |



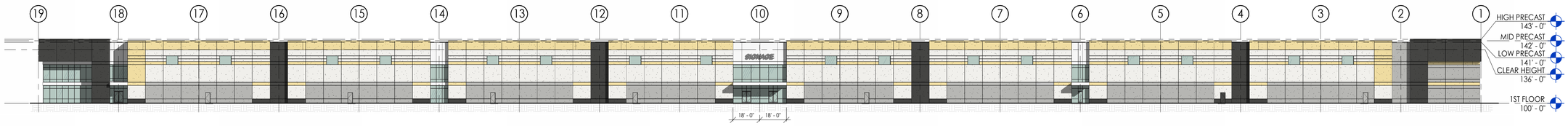

4 **ELEVATION - WEST**
1/16" = 1'-0"




3 **ELEVATION - NORTH 'A'**
1/16" = 1'-0"




2 **ELEVATION - NORTH 'B'**
1/16" = 1'-0"




1 **ELEVATION - NORTH OVERALL**
1" = 30'-0"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215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202

414.277.9700
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## PROJECT

Frontline Commercial Real Estate, LLC

FRONTLINE 10000 RIDGEVIEW DRIVE

10000 S RIDGEVIEW DR, OAK CREEK, WI 53154

## OWNER

## REVISIONS

| NO. | DESCRIPTION | DATE |
|---|---|---|

## INFORMATION

| | |
|---|---|
| PROJECT ARCHITECT | MAM |
| PROJECT MANAGER | SJC |
| PROJECT NUMBER | 240517 |
| ISSUED FOR | MUNICIPAL RESUB. |
| DATE | 01/23/2025 |

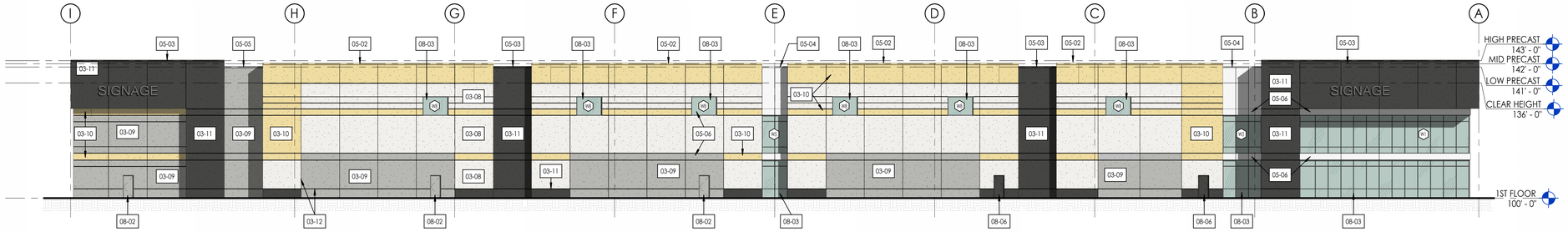
## SHEET

BUILDING ELEVATIONS

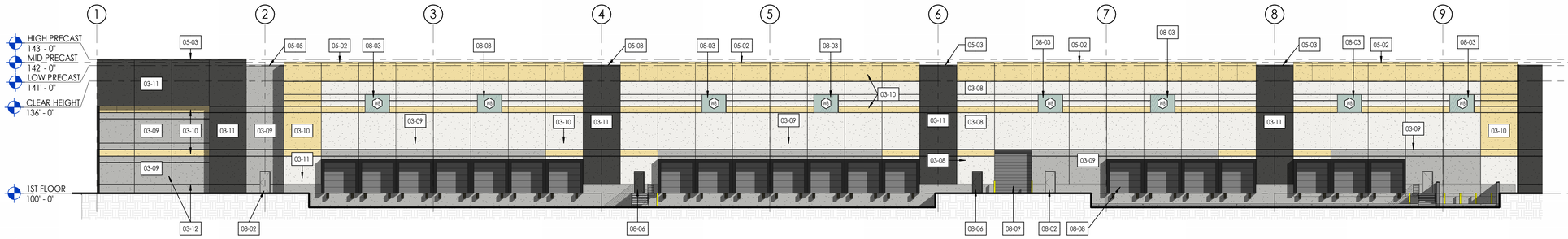
**A201**

## SHEET KEYNOTES

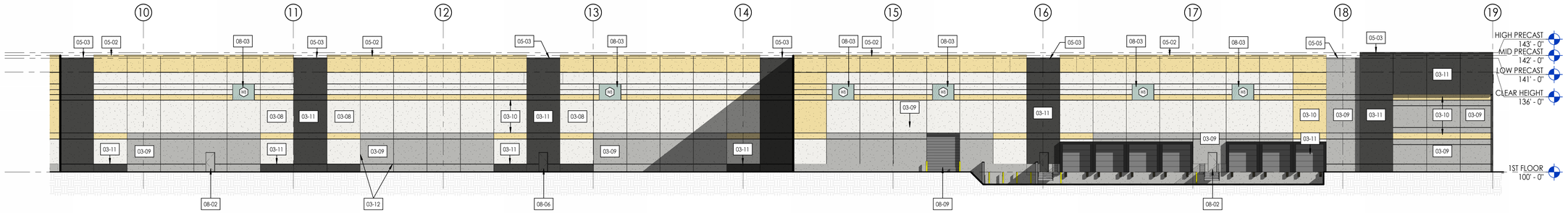
| | |
|---|---|
| 03-08 | 10" INSULATED PRECAST WALL PANEL FIELD COLOR (EPT1) |
| 03-09 | 10" INSULATED PRECAST WALL PANEL ENTRANCE/BAND COLOR (EPT2) |
| 03-10 | 10" INSULATED PRECAST WALL PANEL ACCENT BAND COLOR (EPT3) |
| 03-11 | 10" INSULATED PRECAST WALL PANEL ACCENT COLOR (EPT4) |
| 03-12 | HORIZONTAL AND VERTICAL PRECAST REVEALS |
| 05-02 | PREFINISHED METAL COPING (AM1) |
| 05-03 | PREFINISHED METAL COPING (AM2) |
| 05-04 | PREFINISHED METAL COPING (AM3) |
| 05-05 | PREFINISHED METAL COPING (AM4) |
| 05-06 | PREFINISHED METAL WALL PANEL (AM3) |
| 08-02 | INSULATED STEEL DOOR & FRAME (EPT2) |
| 08-03 | ALUMINUM STOREFRONT WINDOW SYSTEM (AM3, GL1, GL11) |
| 08-06 | INSULATED STEEL DOOR & FRAME (EPT4) |
| 08-08 | INSULATED OVERHEAD DOCK DOOR W/ DOCK SEAL |
| 08-09 | INSULATED OVERHEAD DRIVE-IN DOOR |



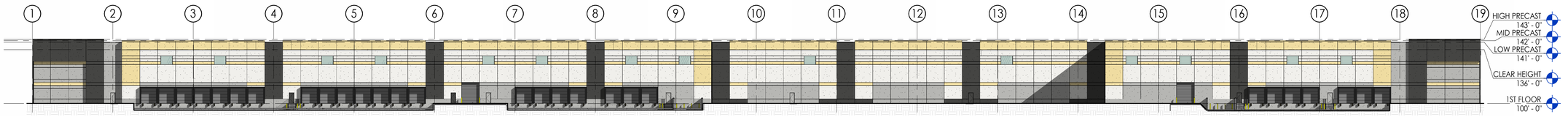

4 | ELEVATION - EAST
1/16" = 1'-0"




3 | ELEVATION - SOUTH 'A'
1/16" = 1'-0"




2 | ELEVATION - SOUTH 'B'
1/16" = 1'-0"




1 | ELEVATION - SOUTH OVERALL
1" = 30'-0"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REYN ENGINEERING

JSD


## PROJECT

Frontline Commercial Real Estate, LLC

FRONTLINE 10000 RIDGEVIEW DRIVE

10000 S RIDGEVIEW DR, OAK CREEK, WI 53154

## OWNER

## REVISIONS

| NO. | DESCRIPTION | DATE |
|---|---|---|

## INFORMATION

| | |
|---|---|
| PROJECT ARCHITECT | MAM |
| PROJECT MANAGER | SJC |
| PROJECT NUMBER | 240517 |
| ISSUED FOR | MUNICIPAL RESUB. |
| DATE | 01/23/2025 |

## SHEET

BUILDING ELEVATIONS

**A202**

## GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW – NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE

## LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- 950 PROPOSED 1 FOOT CONTOUR
- 960 PROPOSED 5 FOOT CONTOUR
- 959 EXISTING 1 FOOT CONTOUR
- 960 EXISTING 5 FOOT CONTOUR
- KENTUCKY BLUE GRASS SEED, FERTILIZER, AND MULCH
- NO-MOW FESCUE WITH ANNUAL RYE SEED, FERTILIZER, AND MULCH
- STONE MULCH
- STORMWATER MANAGEMENT AREA
- SAN SANITARY SEWER
- W WATERMAIN
- ST STORM SEWER
- SAN EXISTING SANITARY SEWER
- W EXISTING WATERMAIN
- ST EXISTING STORM SEWER
- RETAINING WALL
- FENCE
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- BOLLARD
- BOLLARD WITH ADA PARKING SIGN
- ALUMINUM EDGING

north
SCALE IN FEET
40' 0 40'

DIGGERS HOTLINE


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jsdinc.com
**MILWAUKEE REGIONAL OFFICE**
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
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CLIENT:
Frontline Commercial Real Estate, LLC

CLIENT ADDRESS:
**PO BOX 170107**
**MILWAUKEE, WI 53217**

PROJECT:
**FRONTLINE OAK CREEK**

PROJECT LOCATION:
**RIDGEVIEW DRIVE**
**OAK CREEK WI, 53154**

PLAN MODIFICATIONS:

| # | Date: | Description: |
|---|---|---|
| 1 | 01-16-2024 | CITY RESUBMITTAL |
| 2 | 03-05-2024 | ADDRESS CITY COMMENTS |
| 3 | 01-16-2025 | CITY RESUBMITTAL |
| 4 | | |
| 5 | | |
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| 9 | | |
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| 12 | | |
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| 14 | | |
| 15 | | |

| | |
|---|---|
| Designed By: | GSW |
| Reviewed By: | SCD |
| Approved By: | SCD |

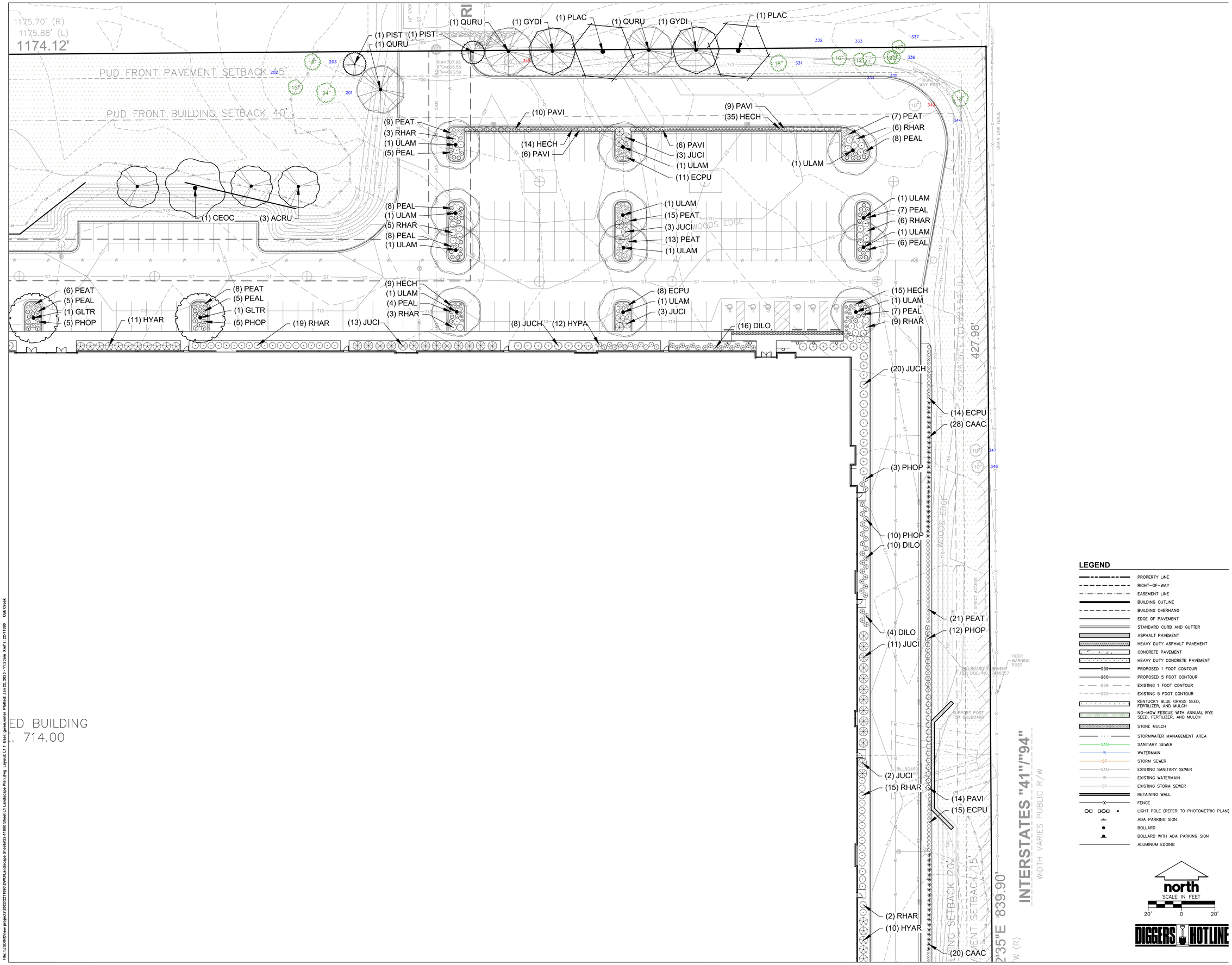
SHEET TITLE:
**SITE LANDSCAPE PLAN**

SHEET NUMBER:
**L1.0**

JSD PROJECT NO: 22-11890




File: \JSDINC\max projects\2022\22111890\DWG\Landscape Sheets\22-11890 Sheet L1 Landscape Plan.dwg Layout: L1.0 User: gwein.winter Plotted: Jan 22, 2025 - 11:20am Xref's: 22-11890 Oak Creek




ED BUILDING
. 714.00

## LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- 959 — PROPOSED 1 FOOT CONTOUR
- 960 — PROPOSED 5 FOOT CONTOUR
- 959 — EXISTING 1 FOOT CONTOUR
- 960 — EXISTING 5 FOOT CONTOUR
- KENTUCKY BLUE GRASS SEED, FERTILIZER, AND MULCH
- NO-MOW FESCUE WITH ANNUAL RYE SEED, FERTILIZER, AND MULCH
- STONE MULCH
- STORMWATER MANAGEMENT AREA
- SAN — SANITARY SEWER
- W — WATERMAIN
- ST — STORM SEWER
- SAN — EXISTING SANITARY SEWER
- W — EXISTING WATERMAIN
- ST — EXISTING STORM SEWER
- RETAINING WALL
- X — FENCE
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- BOLLARD
- BOLLARD WITH ADA PARKING SIGN
- ALUMINUM EDGING

north
SCALE IN FEET
20' 0 20'

DIGGERS HOTLINE

JSD
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MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:
Frontline Commercial Real Estate, LLC

CLIENT ADDRESS:
PO BOX 170107
MILWAUKEE, WI 53217

PROJECT:
**FRONTLINE OAK CREEK**

PROJECT LOCATION:
RIDGEVIEW DRIVE
OAK CREEK WI, 53154

PLAN MODIFICATIONS:

| # | Date: | Description: |
|---|---|---|
| 1 | 01-16-2024 | CITY RESUBMITTAL |
| 2 | 03-05-2024 | ADDRESS CITY COMMENTS |
| 3 | 01-15-2025 | CITY RESUBMITTAL |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
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| 11 | | |
| 12 | | |
| 13 | | |
| 14 | | |
| 15 | | |

Designed By: GSW
Reviewed By: SCD
Approved By: SCD

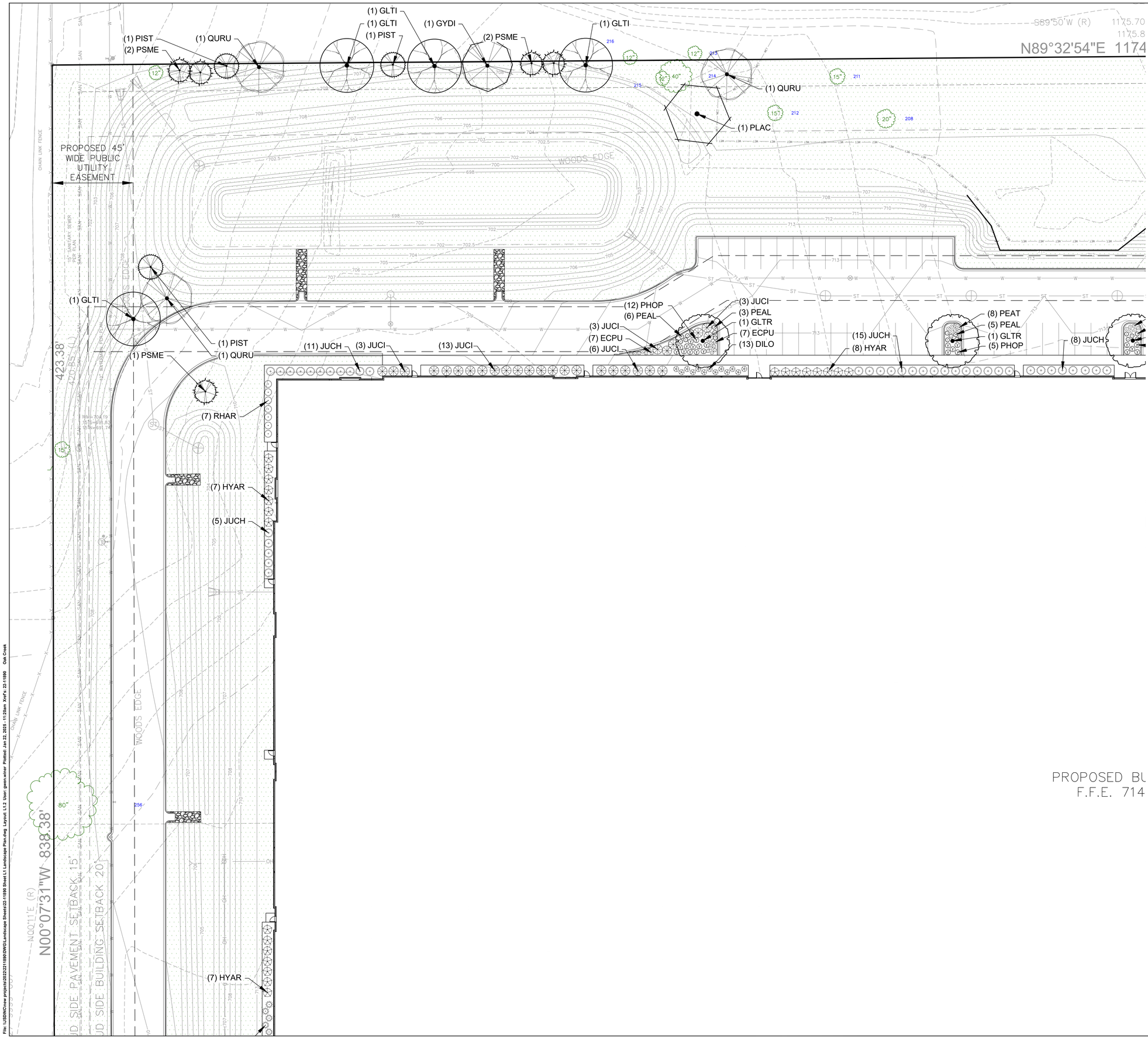
SHEET TITLE:
**SITE LANDSCAPE PLAN NORTHEAST**

SHEET NUMBER:
**L1.1**

JSD PROJECT NO: 22-11890



File: \\JSDINC\new projects\2022\22-11890\DWG\Landscape Sheets\22-11890 Sheet L1 Landscape Plan.dwg Layout: L1.1 User: gwen.winter Plotted: Jan 22, 2025 - 11:20am Xref's: 22-11890 Oak Creek




## LEGEND

- PROPERTY LINE
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- EASEMENT LINE
- BUILDING OUTLINE
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- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
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- HEAVY DUTY ASPHALT PAVEMENT
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- HEAVY DUTY CONCRETE PAVEMENT
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- 960 PROPOSED 5 FOOT CONTOUR
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- KENTUCKY BLUE GRASS SEED, FERTILIZER, AND MULCH
- NO-MOW FESCUE WITH ANNUAL RYE SEED, FERTILIZER, AND MULCH
- STONE MULCH
- STORMWATER MANAGEMENT AREA
- SAN SANITARY SEWER
- W WATERMAIN
- ST STORM SEWER
- SAN EXISTING SANITARY SEWER
- W EXISTING WATERMAIN
- ST EXISTING STORM SEWER
- RETAINING WALL
- FENCE
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- BOLLARD
- BOLLARD WITH ADA PARKING SIGN
- ALUMINUM EDGING

north
SCALE IN FEET
20' 0 20'

DIGGERS HOTLINE

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jsdinc.com
MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:
Frontline Commercial Real Estate, LLC

CLIENT ADDRESS:
PO BOX 170107
MILWAUKEE, WI 53217

PROJECT:
**FRONTLINE OAK CREEK**

PROJECT LOCATION:
RIDGEVIEW DRIVE
OAK CREEK WI, 53154

PLAN MODIFICATIONS:

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Designed By: GSW
Reviewed By: SCD
Approved By: SCD

SHEET TITLE:
**SITE LANDSCAPE PLAN NORTHWEST**

SHEET NUMBER:
**L1.2**

JSD PROJECT NO: 22-11890



File: \\JSDINC\new projects\2022\22-11890\DWG\Landscape Sheets\22-11890 Sheet L1 Landscape Plan.dwg Layout: L1.2 User: gwein.winter Plotted: Jan 22, 2025 - 11:20am Xref's: 22-11890 Oak Creek

(12) PAVI
(11) PHOP
(8) JUCI
(2) QURU
(1) GLTI
(5) PSME
CULTIVATED FIELD
WOODS EDGE
PROPOSED 45' WIDE PUBLIC UTILITY EASEMENT
(1) GYDI
(3) PIST
(2) ACRU
(4) PSME
(1) MAAD
(1) SYVU
(2) PIST
(3) PSME
(1) GLTI
(1) CEOC
(2) CEOC
PUD REAR BUILDING AND PAVEMENT SETBACK
(2) FOME
(27) VICA
(3) CEOC
(2) PIST
(16) COBA
(12) PHOU
(1) FOME
(2) SYVU
(12) COBA
(38) VICA
(2) CEOC
NO HARDWOOD BARK MULCH AT RESIDENTIAL SCREENING. SHRUBS TO BE PLANTED IN NO-MOW FESCUE. EACH SHRUB TO RECEIVE 4' SHRUB RING.
(1) BENI
(4) FOME
(2) CEOC
(1) GYDI
(1) GLTI
(9) PHOU
(1) BENI
(2) SYVU
(3) ACRU
(1) GYDI
(2) PSME
(4) QURU
(2) ACFR
(2) GYDI
(8) CEOC
(6) QURU
(6) GLTR
(2) GYDI
(1) GLTI
(4) PLAC
(1) GYDI
(2) QURU
(4) ACFR
S89°37'24"W 1177.80'
N89°52'E (R) 1180.30' (R
S. JUDITH PL.
66' WIDE PUBLIC R/W
ASPHALT PAVEMENT
TAX KEY: 927-9025-000
UNPLATTED LANDS
OWNER: MIQUEL MONTERO COHETERO
TAX KEY: 926-9994-000
RESIDENTIAL
GARAGE
PARCEL 1
CSM NO. 2830
OWNER: BENJAMIN AND STACEY SIEKERT
TAX KEY: 926-9003-000
LOT 1
CSM NO. 8555
OWNER: DEBRA HAMILTON
TAX KEY: 926-9036-000
LANDS OF DEMBOSKY KUJAC -9995-001
PLAY EQUIP
SEPTIC VENT
WOODS EDGE
PUD REAR BUILDING AND PAVEMENT SETBACK
WATERMARK PER PLAN
CMP/FLOW UPSTREAM
RIM=711.13
15"S=698.63
15"N=697.88
RIM=713.47
15"S=698.71
15"N=698.59
69315

## LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- 959 PROPOSED 1 FOOT CONTOUR
- 960 PROPOSED 5 FOOT CONTOUR
- 959 EXISTING 1 FOOT CONTOUR
- 960 EXISTING 5 FOOT CONTOUR
- KENTUCKY BLUE GRASS SEED, FERTILIZER, AND MULCH
- NO-MOW FESCUE WITH ANNUAL RYE SEED, FERTILIZER, AND MULCH
- STONE MULCH
- STORMWATER MANAGEMENT AREA
- SAN SANITARY SEWER
- W WATERMAIN
- ST STORM SEWER
- SAN EXISTING SANITARY SEWER
- W EXISTING WATERMAIN
- ST EXISTING STORM SEWER
- RETAINING WALL
- FENCE
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- BOLLARD
- BOLLARD WITH ADA PARKING SIGN
- ALUMINUM EDGING

north
SCALE IN FEET
20' 0 20'

DIGGERS HOTLINE


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CLIENT:
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CLIENT ADDRESS:
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MILWAUKEE, WI 53217

PROJECT:
**FRONTLINE OAK CREEK**

PROJECT LOCATION:
RIDGEVIEW DRIVE
OAK CREEK WI, 53154

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Designed By: GSW
Reviewed By: SCD
Approved By: SCD

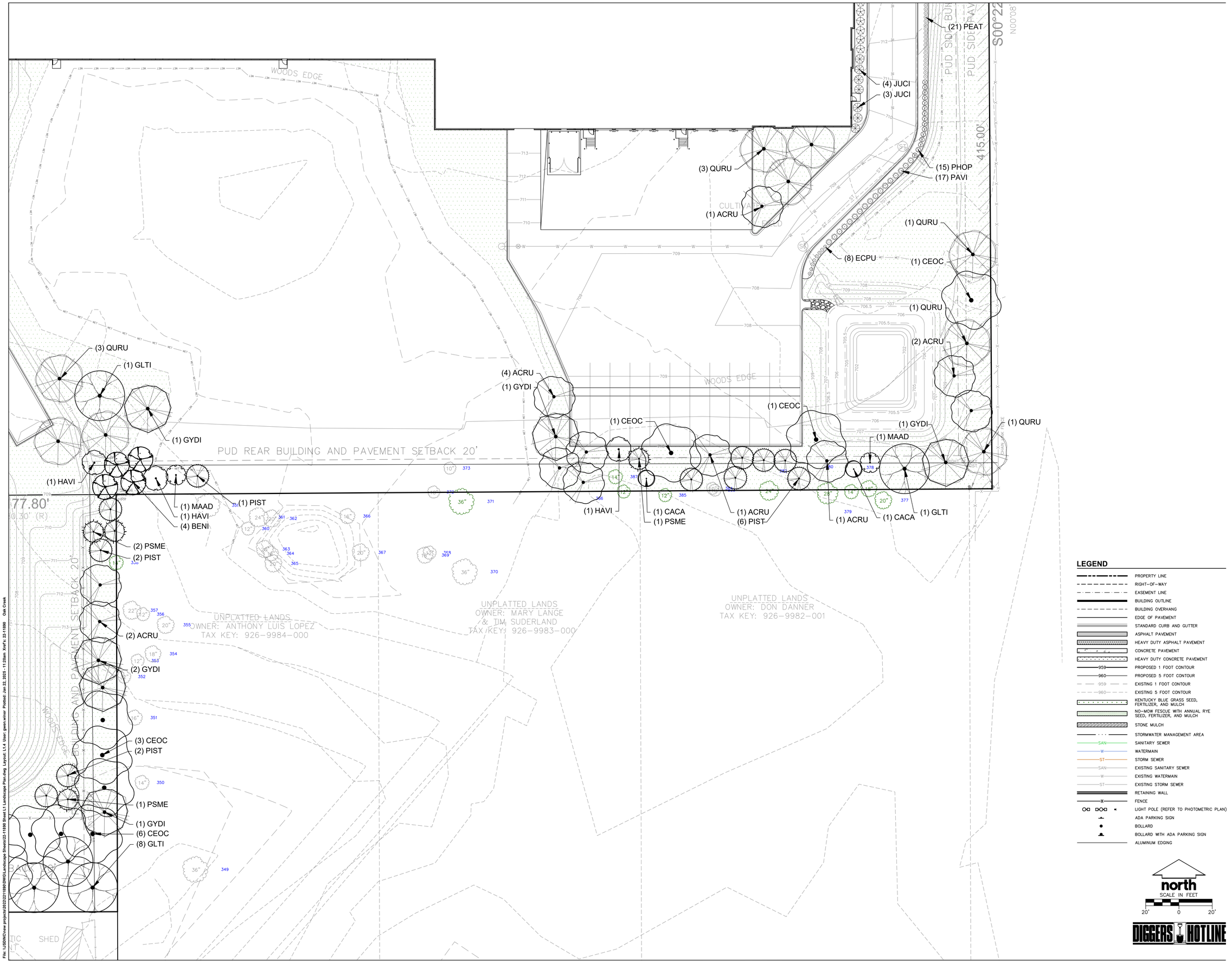
SHEET TITLE:
**SITE LANDSCAPE PLAN SOUTHWEST**

SHEET NUMBER:
**L1.3**

JSD PROJECT NO: 22-11890




File: \JSD\NCfiles projects\2022\22111890\DWG\Landscape Sheets\22-11890 Sheet L1 Landscape Plan.dwg Layout: L1.3 User: gwen.winter Plotted: Jan 22, 2025 - 11:26am Xref's: 22-11890 Oak Creek




## LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- 959 PROPOSED 1 FOOT CONTOUR
- 960 PROPOSED 5 FOOT CONTOUR
- 959 EXISTING 1 FOOT CONTOUR
- 960 EXISTING 5 FOOT CONTOUR
- KENTUCKY BLUE GRASS SEED, FERTILIZER, AND MULCH
- NO-MOW FESCUE WITH ANNUAL RYE SEED, FERTILIZER, AND MULCH
- STONE MULCH
- STORMWATER MANAGEMENT AREA
- SAN SANITARY SEWER
- W WATERMAIN
- ST STORM SEWER
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- W EXISTING WATERMAIN
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- RETAINING WALL
- FENCE
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- BOLLARD
- BOLLARD WITH ADA PARKING SIGN
- ALUMINUM EDGING

north
SCALE IN FEET
20' 0 20'

DIGGERS HOTLINE


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Frontline Commercial Real Estate, LLC

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MILWAUKEE, WI 53217

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OAK CREEK WI, 53154

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|---|---|
| Designed By: | GSW |
| Reviewed By: | SCD |
| Approved By: | SCD |

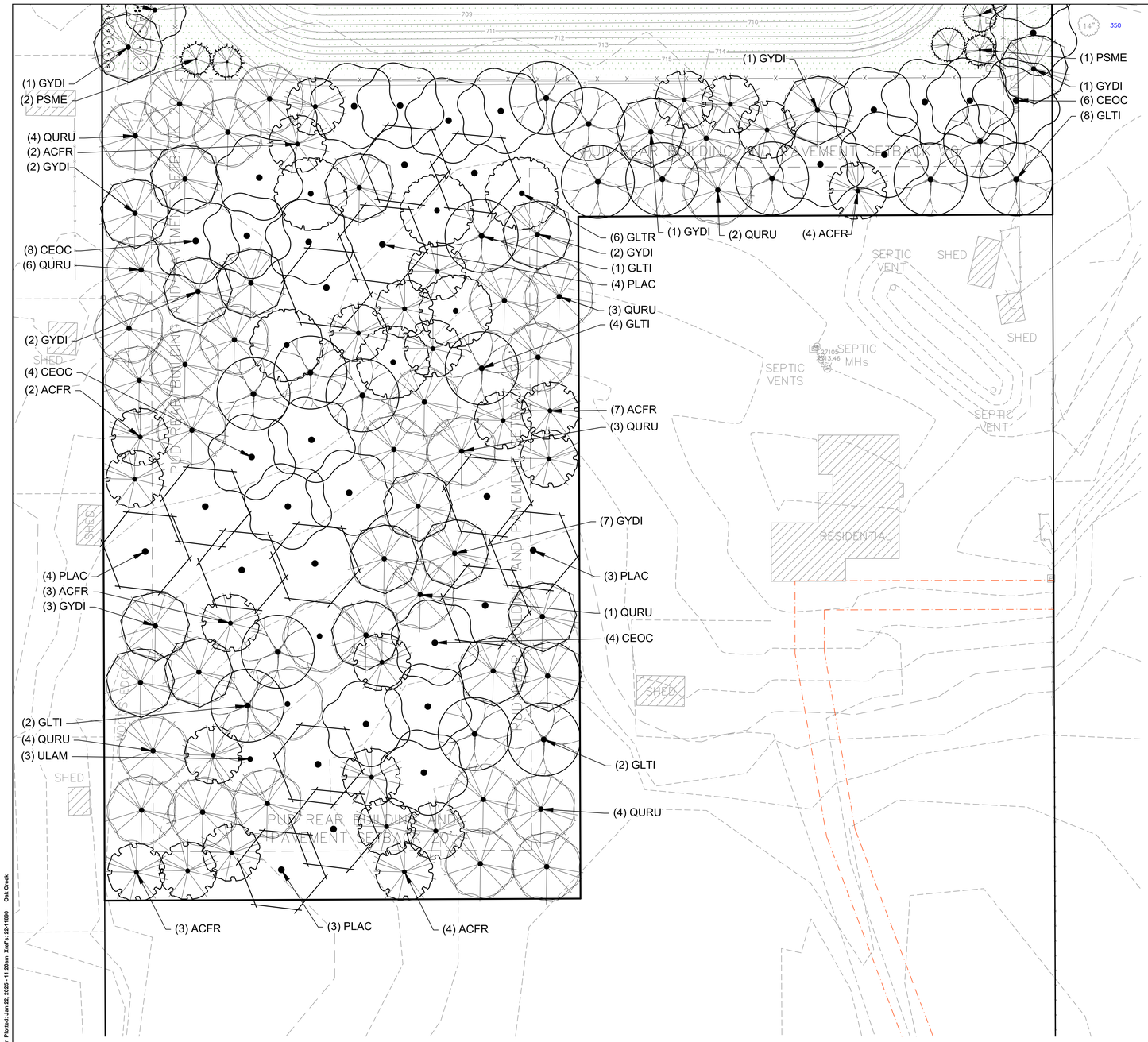
SHEET TITLE:
**SITE LANDSCAPE PLAN SOUTHEAST**

SHEET NUMBER:
**L1.4**

JSD PROJECT NO: 22-11890



File: \\JSDINC\new projects\22\22211890\DWG\Landscape Sheets\22-11890 Sheet L1 Landscape Plan.dwg Layout: L1.4 User: gwen.winer Plotted: Jan 22, 2025 - 11:20am Xref's: 22-11890 Oak Creek




## PLANT SCHEDULE

| SYMBOL | CODE | BOTANICAL / COMMON NAME | CONT | SIZE | QTY | MATURITY | REPLACEMENT TREE (QTY.)* |
|---|---|---|---|---|---|---|---|
| *@1 - DECIDUOUS TREES* | | | | | | | |
| | ACRU | *Acer rubrum 'Autumn Flame' / Autumn Flame Red Maple* | B & B | 2.5" Cal | 19 | 40 – 65ft. ht. | |
| | ACFR | *Acer x freemanii 'Jeffsred' TM / Autumn Blaze Freeman Maple* | B & B | 2.5" Cal | 25 | 40 – 65ft. ht. | 25 |
| | CEOC | *Celtis occidentalis 'Prairie Pride' / Prairie Pride Hackberry* | B & B | 2.5" Cal | 39 | 40 – 65ft. ht. | 27 |
| | GLTR | *Gleditsia triacanthos inermis / Thornless Honey Locust* | B & B | 2.5" Cal | 10 | 40 – 65ft. ht. | |
| | GLTI | *Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust* | B & B | 2.5" Cal | 26 | 40 – 65ft. ht. | 26 |
| | GYDI | *Gymnocladus dioica 'Espresso' / Kentucky Coffeetree* | B & B | 2.5" Cal | 30 | 40 – 65ft. ht. | 30 |
| | PLAC | *Platanus x acerifolia 'Morton Circle' / Exclamation!™ London Plane Tree* | B & B | 2.5" Cal | 17 | 55 – 65ft. ht. | 17 |
| | QURU | *Quercus rubra / Red Oak* | B & B | 2.5" Cal | 44 | 40 – 65ft. ht. | |
| | ULAM | *Ulmus americana / American Elm* | B & B | 2.5" Cal | 15 | 40 – 65ft. ht. | |
| *@2 - EVERGREEN TREES* | | | | | | | |
| | PIST | *Pinus strobus / White Pine* | B & B | 8' Tall | 23 | > 65ft. ht. | 23 |
| | PSME | *Pseudotsuga menziesii / Douglas Fir* | B & B | 8' Tall | 23 | > 65ft. ht. | 23 |
| *@3 - ORNAMENTAL TREES* | | | | | | | |
| | BENI | *Betula nigra 'Cully' TM / Heritage River Birch* | B & B | 7' Tall (Multi-Stem) | 6 | 40 – 50ft. ht. | 6 |
| | CACA | *Carpinus caroliniana 'J.N. Globe' TM / Ball O' Fire American Hornbeam* | B & B | Min. 4' Ht. | 2 | 10 – 15ft. ht. | 2 |
| | HAVI | *Hamamelis virginiana / Common Witch Hazel* | B & B | 5' Tall | 3 | 10 – 30ft. ht. | 3 |
| | MAAD | *Malus x 'Adirondack' / Adirondack Crabapple* | B & B | 2"Cal | 3 | 15 – 25ft. ht. | 3 |
| *DECIDUOUS SHRUBS* | | | | | | | |
| | COBA | *Cornus baileyi / Bailey's Red-twig Dogwood* | B & B | 36" Ht. | 28 | 6 – 8ft. ht. | |
| | DILO | *Diervilla lonicera / Dwarf Bush Honeysuckle* | Cont. | #3 | 43 | 18 – 36in. ht. | |
| | FOME | *Forsythia x 'Meadowlark' / Meadowlark Forsythia* | B & B | 36" Tall | 7 | 6 – 10ft. ht. | |
| | HYAR | *Hydrangea arborescens 'Incrediball' / Incrediball White Hydrangea* | Cont. | #3 | 43 | 3 – 6ft. ht. | |
| | HYPA | *Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea* | Cont. | #3 | 12 | 3 – 6ft. ht. | |
| | PHOP | *Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark* | Cont. | #3 | 78 | 3 – 6ft. ht. | |
| | PHOU | *Physocarpus opulifolius 'Monlo' TM / Diabolo Purple Ninebark* | B & B | 36" Tall | 21 | 6 – 10ft. ht. | |
| | RHAR | *Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac* | Cont. | #3 | 75 | 18 – 36in. ht. | |
| | SYVU | *Syringa vulgaris / Common Lilac* | B & B | 36" Tall | 5 | 6 – 10ft. ht. | |
| | VICA | *Viburnum carlesii 'SMVCB' TM / Spice Baby Koreanspice Viburnum* | B & B | 24" Tall | 65 | 4 – 8ft. ht. | |
| *EVERGREEN SHRUBS* | | | | | | | |
| | JUCH | *Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfitzer Juniper* | Cont. | #5 | 67 | 18 – 36in. ht. | |
| | JUCI | *Juniperus chinensis 'Sea Green' / Sea Green Juniper* | Cont. | #5 | 78 | 3 – 6ft. ht. | |
| *PERENNIALS & GRASSES* | | | | | | | |
| | CAAC | *Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass* | Cont. | #1 | 48 | 18 – 36in. ht. | |
| | ECPU | *Echinacea purpurea / Coneflower* | Cont. | #1 | 70 | 18 – 36in. ht. | |
| | HECH | *Hemerocallis x 'Chicago Apache' / Daylily* | Cont. | #1 | 73 | 18 – 36in. ht. | |
| | PAVI | *Panicum virgatum 'Northwind' / Northwind Switch Grass* | Cont. | #1 | 74 | 18 – 36in. ht. | |
| | PEAL | *Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass* | Cont. | #1 | 77 | 18 – 36in. ht. | |
| | PEAT | *Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage* | Cont. | #1 | 188 | 18 – 36in. ht. | |

*REFER TO SHEET L2.0 FOR ADDITIONAL TREE/LANDSCAPE REQUIREMENTS

## LEGEND

- PROPERTY LINE
- 959 EXISTING 1 FOOT CONTOUR
- 960 EXISTING 5 FOOT CONTOUR
- NO-MOW FESCUE WITH ANNUAL RYE SEED, FERTILIZER, AND MULCH

north

SCALE IN FEET

20' 0 20'

DIGGERS HOTLINE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PROJECT:
**FRONTLINE OAK CREEK**

PROJECT LOCATION:
RIDGEVIEW DRIVE
OAK CREEK WI, 53154

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|---|---|
| Designed By: | GSW |
| Reviewed By: | SCD |
| Approved By: | SCD |

SHEET TITLE:
**SITE LANDSCAPE PLAN**
**SOUTH TREE PLANTING**

SHEET NUMBER:
**L1.5**

JSD PROJECT NO: 22-11890




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# LANDSCAPE REQUIREMENTS

## PARKING LOT INTERIOR AREA

| | | |
|---|---|---|
| Landscape Requirement: | *Medians: 1 canopy tree and 15 shrubs or native grasses per 50 LF of median* | |
| | *Islands: 1 canopy tree per island* | |
| | *75% surface of medians and islands shall be planted with living ground cover* | |
| Calculation: | *Islands: 13 islands = 13 canopy trees* | |
| Total Required: | ***Islands: 13 canopy trees*** | |
| Total Provided: | ***Islands: 16 canopy trees*** | |
| ***Species: Scientific Name*** | ***Species: Common Name*** | ***QTY*** |
| **TALL DECIDUOUS TREES** | | |
| *Ulmus americana* | American Elm | 12 |
| *Gleditsia triacanthos inermis* | Thornless Honey Locust | 4 |
| | ***Total =*** | ***16*** |
| **DECIDUOUS SHRUBS** | | |
| *Physocarpus opulifolius 'Little Devil'* | Dwarf Ninebark | 27 |
| *Rhus aromatica 'Gro-Low'* | Gro-Low Fragrant Sumac | 32 |
| *Juniperus chinensis 'Sea Green'* | Sea Green Juniper | 15 |
| **GRASSES & PERENNIALS** | | |
| *Echinacea purpurea* | Purple Coneflower | 33 |
| *Hemerocallis x 'Chicago Apache'* | Daylily | 73 |
| *Panicum virgatum 'Northwind'* | Northwind Switch | 31 |
| *Pennisetum alopecuroides 'Hameln'* | Hameln Fountain Grass | 77 |
| *Perivskia atriplicifolia 'Little Spire'* | Little Spire Russian Sage | 66 |
| | ***Total =*** | ***354*** |

## BUILDING FOUNDATION AREA (1,577 Linear Feet Plantable Foundation)

| | | |
|---|---|---|
| Landscape Requirement: | *7' minimum foundation landscape area* | |
| | *80% of plantable foundation length to be planted* | |
| Calculation: | *1,844 LF x 80% = 1475 LF of foundation plantings* | |
| Total Required: | ***1475 LF of foundation plantings*** | |
| Total Provided: | ***1609 LF of foundation plantings*** | |
| ***Species: Scientific Name*** | ***Species: Common Name*** | ***QTY*** |
| **DECIDUOUS SHRUBS** | | |
| *Dierville lonicera* | Dwarf Bush Honeysuckle | 43 |
| *Hydrangea arborescens 'Incrediball'* | Incrediball White Hydrangea | 43 |
| *Rhus aromatica 'Gro-Low'* | Gro-Low Fragrant Sumac | 43 |
| *Hydrangea paniculata 'Little Lime'* | Little Lime Hydrangea | 12 |
| *Physocarpus opulifolius 'Little Devil' TM* | Dwarf Ninebark | 24 |
| **EVERGREEN SHRUBS** | | |
| *Juniperus chinensis 'Sea Green'* | Sea Green Juniper | 63 |
| *Juniperus chinensis 'Kallays Compact'* | Kallay Compact Pfitzer Juniper | 67 |
| **GRASSES & PERENNIALS** | | |
| *Panicum virgatum 'Northwind'* | Northwind Switch | 12 |
| | ***Total =*** | ***307*** |

## TRANSITION AREA (360 Linear Feet) Industrial Adjacent to Residential

| | | |
|---|---|---|
| Landscape Requirement: | *Type "d" Transition Area (Industrial use buffering Residential)* | |
| Per 100 Linear Feet = | *20' wide - 5 Understory trees - 5 Canopy/Evergreen trees - 35 Shrubs/Native Grasses* | |
| Calculation: | *360 LF / 100 LF X (5 Understory trees - 5 Canopy/Evergreen trees - 35 Shrubs/Native Grasses)* | |
| Total Required: | ***18 Understory trees - 18 Canopy/Evergreen Trees - 126 Shrubs/Native Grasses*** | |
| Total Provided: | ***0 Understory trees - 0 Canopy/Evergreen Trees - 126 Shrubs/Native Grasses*** | |
| | ****Insufficient space for Understory and Canopy/Evergreen Tree Requirement, Accommodated with Overall Tree Requirement*** | |
| ***Species: Scientific Name*** | ***Species: Common Name*** | ***QTY*** |
| **SHRUBS / NATIVE GRASSES / PERENNIALS** | | |
| *Comus baileyi* | Bailey's Red-twig Dogwood | 28 |
| *Syringa vulgaris* | Common Lilac | 5 |
| *Forsythia x 'Meadowlark'* | Meadowlark Forsythia | 7 |
| *Physocarpus opulifolius 'Monlo' TM* | Diabolo Purple Ninebark | 21 |
| *Viburnum carlesii 'SMVCB' TM* | Spice Baby Koreanspice Viburnum | 65 |
| | ***Total =*** | **126** |

## TRANSITION AREA (840 Linear Feet) Industrial Adjacent to Vehicle Related

| | | |
|---|---|---|
| Landscape Requirement: | *Type "b" Transition Area (Industrial use buffering Vehicle Related Use)* | |
| Per 100 Linear Feet = | *10' wide - 3 Understory trees - 3 Canopy/Evergreen trees - 15 Shrubs/Native Grasses* | |
| Calculation: | *840 LF / 100 LF X (3 Understory trees - 3 Canopy/Evergreen trees - 15 Shrubs/Native Grasses)* | |
| Total Required: | ***24 Understory trees - 24 Canopy/Evergreen Trees - 120 Shrubs/Native Grasses*** | |
| Total Provided: | ***0 Understory Trees - 6 Canopy/Evergreen Trees - 185 Shrubs/Native Grasses*** | |
| | **** Understory Trees and Canopy/Evergreen Trees accommodated with Overall Tree Requirement*** | |
| ***Species: Scientific Name*** | ***Species: Common Name*** | ***QTY*** |
| **TALL DECIDUOUS TREES** | | |
| *Quercus rubra* | Red Oak | 3 |
| *Celtis occidentalis 'Prairie Pride'* | Prairie Pride Hackberry | 1 |
| *Acer rubrum 'Autumn Flame'* | Autumn Flame Red Maple | 2 |
| | ***Total =*** | ***6*** |
| **SHRUBS / NATIVE GRASSES / PERENNIALS** | | |
| *Calamagroatia x acutiflora 'Karl Foerster'* | Karl Foerster Feather Reed Grass | *48* |
| *Perivskia atriplicifolia 'Little Spire'* | Little Spire Russian Sage | *42* |
| *Panicum virgatum 'Northwind'* | Northwind Switch | *31* |
| *Physocarpus opulifolius 'Little Devil' TM* | Dwarf Ninebark | *27* |
| *Echinacea purpurea* | Purple Coneflower | *37* |
| | ***Total =*** | **185** |

EXISTNG TREE NOTES: REFER TO C1.0 SITE DEMOLITION PLAN

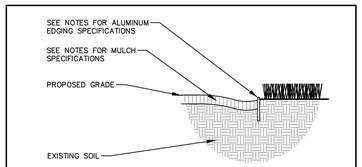
(55) TREES 12" TO 29" REMOVED TO BE REPLACED (165 REPLACEMENT TREES)
(4) TREES 30"+ REMOVED TO BE REPLACED (16 REPLACEMENT TREES)

PROPOSED TREE NOTES: REFER TO L1.0 SITE LANDSCAPE PLAN

(285) TREES PLANTED

(97) REQUIRED FOR PARKING LOT, TRANSITION ZONE, ETC.
(22) PROVIDED FOR PARKING LOT, TRANSITION ZONE, ETC. AT SPECIFIED ZONES
(75) PROVIDED FOR PARKING LOT, TRANSITION ZONE, ETC. ELSEWHERE ON SITE

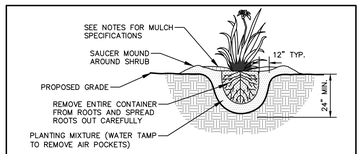
(181) REQUIRED FOR REMOVED TREES
(188) PROVIDED AS REPLACEMENT TREES




## ALUMINUM LANDSCAPE EDGING DETAIL

N.T.S.

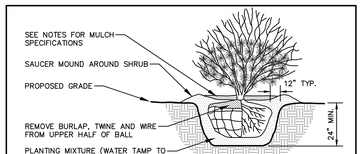
REV. 01-03-2019




## PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.

REV. 01-03-2019

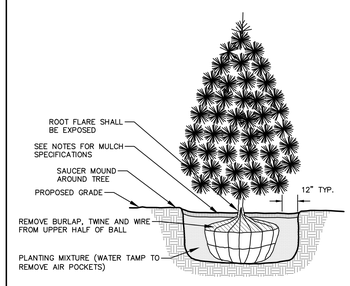



NOTE:
1. ROOT FLARE TO BE EXPOSED.

## SHRUB PLANTING DETAIL

N.T.S.

REV. 01-03-2019



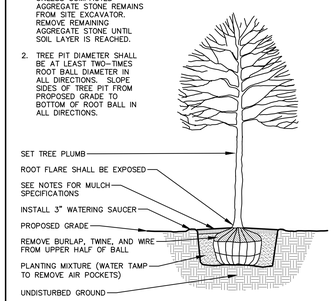

NOTE:
1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED

## EVERGREEN TREE PLANTING DETAIL

N.T.S.

REV. 01-03-2019

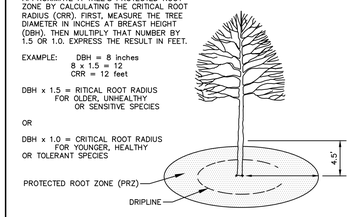
NOTE:
1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED

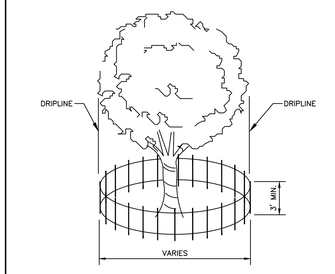



## DECIDUOUS TREE PLANTING DETAIL

N.T.S.

REV. 10-29-2021



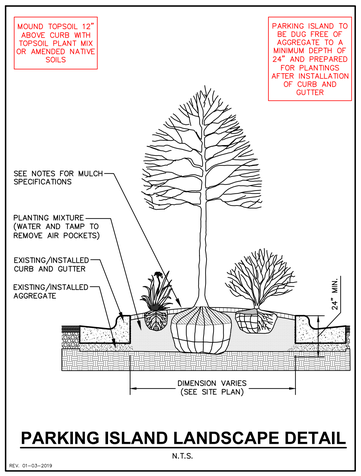




NOTE:
1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
2. NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
3. IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

## TREE PROTECTION DETAIL

N.T.S.

REV. 01-04-2019




## PARKING ISLAND LANDSCAPE DETAIL

N.T.S.

REV. 01-03-2019

# GENERAL NOTES

1. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. PROTECT PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
3. MATERIALS – PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
4. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
5. CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
6. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

# LANDSCAPE MATERIAL NOTES

1. MATERIALS – PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
2. MATERIALS – TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
3. MATERIALS – SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3–INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
4. MATERIALS – STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3–INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE 2" MISSISSIPPI RIVER STONE, FINAL SELECTION APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
5. MATERIALS – TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3–INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION AS NEEDED.
6. MATERIALS – ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
7. MATERIALS – TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.
8. MATERIALS – (ALTERNATE 1): TREE WATERING BAGS: ALL TREES TO BE INSTALLED WITH ONE (1) WATER BAG. PRODUCT TO BE "TREE GATOR ORIGINAL SLOW RELEASE WATERING BAG," PRODUCT NO. 98183–R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
9. MATERIALS – (ALTERNATE 2): ROOT WATERING SYSTEM: ALL TREES TO BE INSTALLED WITH TWO (2) DEEP TREE ROOT WATER AERATION/WATERING TUBES. PRODUCT TO BE "ROOTWELL PRO–318, OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO TREE ROOT BALL.

# SEEDING, SODDING, & POND VEGETATION NOTES

1. MATERIALS – TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED–FREE
2. MATERIALS – NO–MOW FESCUE SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND PRAIRIE NURSERY NO–MOW FESCUE GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO NO–MOW SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED–FREE

# CONTRACTOR AND OWNER RESPONSIBILITY NOTES

1. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)–YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
2. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
3. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
4. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

DIGGERS HOTLINE

JSD
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jsdinc.com


MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666


CLIENT:
Frontline Commercial Real Estate, LLC

CLIENT ADDRESS:
PO BOX 170107
MILWAUKEE, WI 53217

PROJECT:
FRONTLINE OAK CREEK

PROJECT LOCATION:
RIDGEVIEW DRIVE
OAK CREEK WI, 53154

PLAN MODIFICATIONS:

| # | Date: | Description: |
|---|---|---|
| 1 | 01-16-2024 | CITY RESUBMITTAL |
| 2 | 03-05-2024 | ADDRESS CITY COMMENTS |
| 3 | 01-15-2025 | CITY RESUBMITTAL |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |
| 11 | | |
| 12 | | |
| 13 | | |
| 14 | | |
| 15 | | |

Designed By: GSW
Reviewed By: SCD
Approved By: SCD

SHEET TITLE:
LANDSCAPE DETAILS

SHEET NUMBER:
L2.0

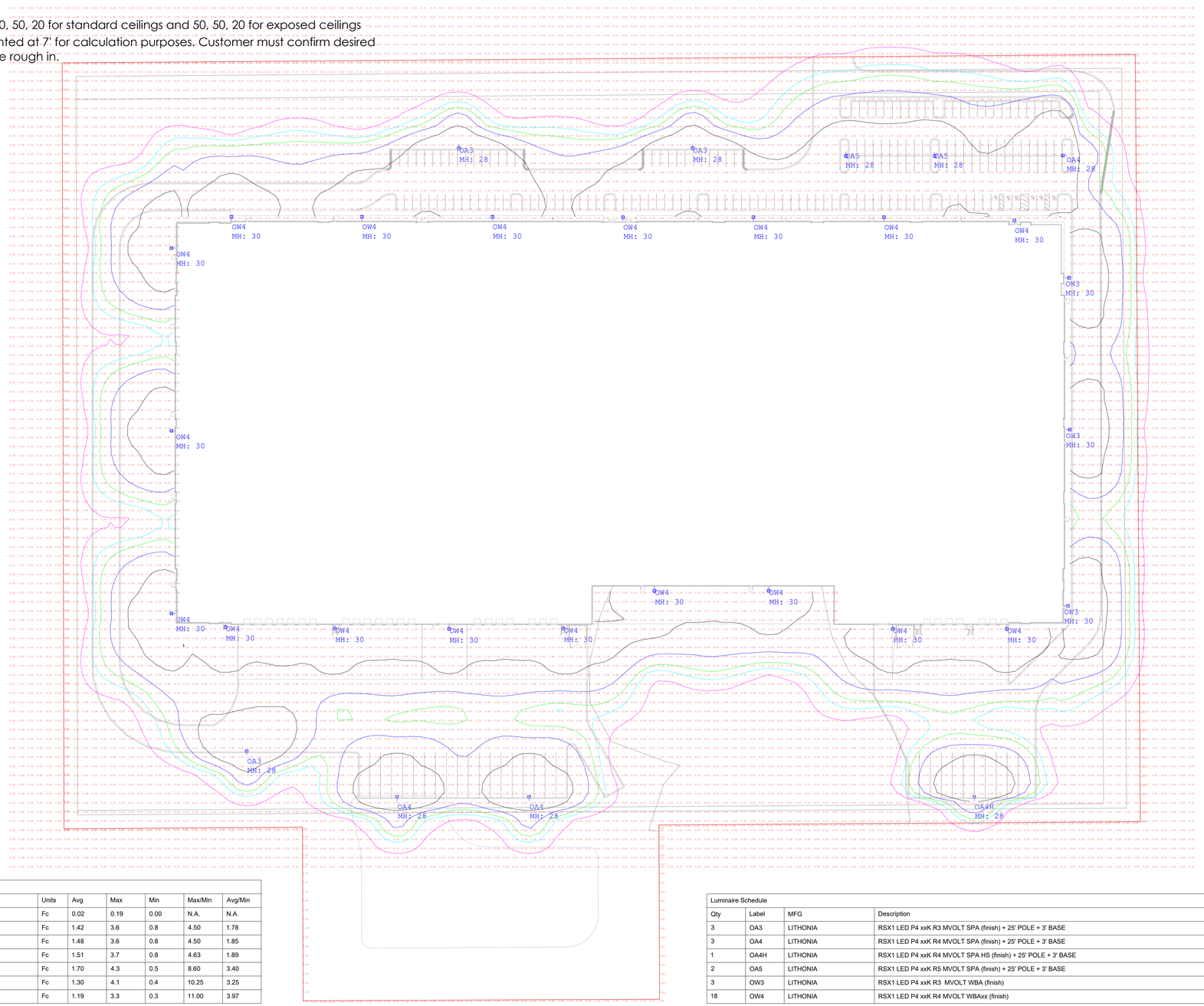
JSD PROJECT NO: 22-11890




File: \\JSDINC\new projects\2022\22-11890\DWG\Landscape Sheets\22-11890 Sheet L1 Landscape Plan.dwg Layout: L2.0 User: gwen.winter Plotted: Jan 22, 2025 - 11:20am Xref's - 22-11890 Oak Creek

NOTES:

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
  - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
  - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.




| Calculation Summary | | | | | | |
|---|---|---|---|---|---|---|
| Label | Units | Avg | Max | Min | Max/Min | Avg/Min |
| Presumed Property Line @ 4ft | Fc | 0.02 | 0.19 | 0.00 | N.A. | N.A. |
| Loading Dock 1 | Fc | 1.42 | 3.6 | 0.8 | 4.50 | 1.78 |
| Loading Dock 2 | Fc | 1.48 | 3.6 | 0.8 | 4.50 | 1.85 |
| Loading Dock 3 | Fc | 1.51 | 3.7 | 0.8 | 4.63 | 1.89 |
| North Parking Area | Fc | 1.70 | 4.3 | 0.5 | 8.60 | 3.40 |
| Trailer Parking 1 | Fc | 1.30 | 4.1 | 0.4 | 10.25 | 3.25 |
| Trailer Parking 2 | Fc | 1.19 | 3.3 | 0.3 | 11.00 | 3.97 |

| Luminaire Schedule | | | | | | |
|---|---|---|---|---|---|---|
| Qty | Label | MFG | Description | LLF | Lum. Watts | Total Watts |
| 3 | OA3 | LITHONIA | RSX1 LED P4 xxK R3 MVOLT SPA (finish) + 25' POLE + 3' BASE | 0.950 | 133 | 399 |
| 3 | OA4 | LITHONIA | RSX1 LED P4 xxK R4 MVOLT SPA (finish) + 25' POLE + 3' BASE | 0.950 | 133 | 399 |
| 1 | OA4H | LITHONIA | RSX1 LED P4 xxK R4 MVOLT SPA HS (finish) + 25' POLE + 3' BASE | 0.950 | 133 | 133 |
| 2 | OA5 | LITHONIA | RSX1 LED P4 xxK R5 MVOLT SPA (finish) + 25' POLE + 3' BASE | 0.950 | 133 | 266 |
| 3 | OW3 | LITHONIA | RSX1 LED P4 xxK R3 MVOLT WBA (finish) | 0.950 | 133 | 399 |
| 18 | OW4 | LITHONIA | RSX1 LED P4 xxK R4 MVOLT WBAxx (finish) | 0.950 | 133 | 2394 |

NOTES:
1. ALL LIGHT FIXTURES TO BE 3000K COLOR TEMPERATURE
2. ALL LIGHT FIXTURES ARE FULL CUT-OFF

ENTERPRISE
Lighting & Control

| REVISIONS | | | |
|---|---|---|---|
| # | DATE | COMMENTS | |
| | | | |

DRAWN BY : JT

DATE : JAN 23 2025

SCALE : 1" = 60'

FRONTLINE I-94 WAREHOUSE

OAK CREEK, WISCONSIN

SITE LIGHTING LAYOUT