



Site Plan Village of East Troy, Wisconsin

Version: March 27, 2018

Village of East Troy
2015 Energy Drive
East Troy, WI 53120

Overview: The site plan review process ensures that proposed land uses and development activity complies with the requirements of the Village's zoning regulations. This review must occur before any building, occupancy, and building permits can be issued; except that development activity associated with an approved final plat of subdivision or certified survey map, and development activity associated with and approved final development plan of a planned development, is exempt from this requirement.

Governing regulations: The procedures and standards governing the review of this application are found in § 510-160 of the Village's zoning code.

General instructions: Complete this application and submit one copies to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (920) 728-2814 or via email at tim.schwecke@civitekconsulting.com. You may download this form at <http://villageofeasttroy.zoninghub/highlights/procedures/procedure.aspx>.

When you fill out this application, you should think about how your business operation may expand or be different in the future. For example, if your business will have 5 employees to start and you hope to have 25, tell us. Also, if you foresee an expansion to a building or a parking lot, your site plan should show that. If you invest time to do this now, you will end up with a more thoughtful plan. Not only that, you will save time and the expense of having to submit a new site plan sometime in the future. So, think ahead.

Application fee: none

Application submittal deadline: Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

1. Applicant and property owner information

	Applicant	Property owner
Name	_____	_____
Street address	_____	_____
City, state, zip code	_____	_____
Daytime telephone number	_____	_____
Email	_____	_____

2. Agent contact information. Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	_____	_____
Company	_____	_____
Street address	_____	_____
City, state, zip code	_____	_____
Daytime telephone number	_____	_____
Email	_____	_____

3. Type of application (select one)

- New site plan
- An amendment of a previously approved site plan (i.e., revision and/or expansion)

4. Business information

Current business name _____

Date business began _____

Previous name, if any _____

5. Subject property information

Physical address _____

Tax key number(s) _____

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

6. Zoning information (refer to the Village's current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|---|---|---|
| <input type="checkbox"/> RH-35 Rural Holding | <input type="checkbox"/> TR-8 Two-Family Residential | <input type="checkbox"/> NB Neighborhood Business |
| <input type="checkbox"/> SR-3 Estate Residential | <input type="checkbox"/> AR-9 Attached Residential | <input type="checkbox"/> HB Highway Business |
| <input type="checkbox"/> SR-4 Suburban Residential | <input type="checkbox"/> MR-10 Multi-Family Residential | <input type="checkbox"/> CB Central Business |
| <input type="checkbox"/> SR-5 Neighborhood Residential | <input type="checkbox"/> MHR-6 Mobile Home Residential | <input type="checkbox"/> BP Business Park |
| <input type="checkbox"/> SR-6 Traditional-Front Residential | | <input type="checkbox"/> LI Light Industrial |
| <input type="checkbox"/> SR-7 Traditional-Rear Residential | | <input type="checkbox"/> GI General Industrial |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|---|---|---|
| <input type="checkbox"/> PD Planned Development | <input type="checkbox"/> GP Groundwater Protection | <input type="checkbox"/> FP 100-Year Floodplain |
| <input type="checkbox"/> DD Downtown Design | <input type="checkbox"/> NFC Natural Features Conservancy | <input type="checkbox"/> FP 500-Year Floodplain |
| | | <input type="checkbox"/> SW Shoreland-Wetland |

7. Adjoining land uses and zoning

	Zoning district(s)	Current uses
North	_____	_____
South	_____	_____
East	_____	_____
West	_____	_____

Note: If the subject property abuts a property located in a different zoning district, a bufferyard may be required. You will need to submit a Landscaping and Bufferyard Worksheet if a bufferyard is required.

8. Current use. Describe the current use of the subject property.

9. Proposed use. Describe the proposed use or the proposed amendment.

10. Hours of operation. Describe when the proposed use will be open for business (i.e., hours and days).

11. Employees. Describe number by type, number on largest works shift, etc.

12. Customers / patrons of business. Describe the customers and patrons, including peak loads.

13. Miscellaneous

Yes No Has the Village approved a variance for the subject property?

If yes, provide the year of issuance and a short description for each one.

Yes No Is the subject property currently in violation of the Village's zoning code?

If yes, describe the nature of the violation and what is being done to bring the property into compliance.

Yes No Are there any nonconforming buildings on the subject property? A nonconforming building does not meet the dimensional requirements for the zoning district in which it is located.

If yes, describe what building is nonconforming and the nature of the nonconformity.

Yes No Will the proposed use create any detectable ground vibrations? (See § 510-99 of the zoning code.) If

yes, describe.

Yes No Will the proposed use create any detectable noise beyond the property boundary lines? (See § 510-100 of the zoning code.)

If yes, describe.

Yes No Will the proposed use create any air pollution? (See § 510-101 of the zoning code.)

If yes, describe.

Yes No Will the proposed use create any detectable odor beyond the property boundary lines? (See § 510-102 of the zoning code.)

If yes, describe.

Yes No Will the proposed use create any detectable glare or heat beyond the property boundary lines? (See § 510-104 of the zoning code.)

If yes, describe.

Yes No Will the proposed use involve any materials which could detonate by any means? (See § 510-105 of the zoning code.)

If yes, describe.

Yes No Will the proposed use involve any materials that are toxic or noxious or that are considered waste materials? (See § 510-106 of the zoning code.)

If yes, describe.

Yes No Will the proposed use involve any outdoor storage of materials?

If yes, describe.

Yes No If the proposed use involves processing or manufacturing of materials, will water be used in any of those processes?

If yes, describe the nature of the activity and anticipated water demand and sanitary loading

Yes No Is expansion of the proposed use or building anticipated?

If yes, describe the nature of the expansion and potential timeline for such expansion

14. Utilities

Water Municipal Private well

If private well, when was the well installed and approved?

Sewer Municipal On-site septic system

If septic system, when was the system installed and approved?

15. Licenses and permits

Required

- Beer Have To Get
- Liquor Have To Get
- Cigarette Have To Get
- Food service Have To Get
- Amusement Device Have To Get
- Other: _____ Have To Get
- Other: _____ Have To Get
- Other: _____ Have To Get

16. Property access (refer to § 510-91 of the zoning code for details)

	Current	New
Local street		
County highway		
State highway		

17. On-site parking (refer to § 510-91.1 of the zoning code for details)

	<u>Current</u>	<u>Required [1]</u>	<u>New</u>
Standard spaces	_____	_____	_____
Accessible spaces	_____	_____	_____

Notes:

[1] On-site parking is not required in the Central Business (CB) zoning district

Yes No Are you proposing shared parking pursuant to § 510-93(G) of the zoning code?

If yes, attach a draft shared parking agreement.

18. Calculations for maximum building coverage and impervious surface coverage

- a. Area of subject property as determined by site survey acres _____
- b. Land located within proposed rights-of-ways of roads and within proposed boundaries of public facilities that are designated within the Village's comprehensive plan and/or required for dedication per subdivision regulations acres _____
- c. Land which, although part of the same parcel, is not contiguous to or is not accessible from the proposed road network serving the project acres _____
- d. Land which is proposed for a different development option or a different zoning district acres _____
- e. Navigable waters (lakes & streams not within a designated floodplain) acres _____
- f. Designated floodplains acres _____
- g. Wetlands acres _____
- h. Lakeshores acres _____
- i. Woodlands acres _____
- j. Steep slopes (12 percent or greater) acres _____
- k. Total of "b" through "j" acres _____
- l. Net developable area (subtract "k" from "a") acres _____
- m. Building coverage ratio (see the standard for the appropriate zoning district) percent _____
- n. Impervious surface coverage ratio (see the standard for the appropriate zoning district) percent _____
- o. Maximum building coverage on property (multiply "l" by "m") acres _____
- p. Maximum impervious surface coverage on property (multiply "l" by "n") acres _____

	Maximum (acres)	Proposed (acres)
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Building coverage (For Maximum, enter calculated value for "o" from above table)		
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Impervious surface (For Maximum, enter calculated value for "p" from above table)		
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19. Supplemental materials. Attach each of the following as appropriate. Upon written petition, the Village Administrator, Village Engineer, Village Planner, or the Zoning Administrator may waive specific site plan requirements.

Site plan with the following information:

1. Title block showing the name, address, and phone of the current property owner and/or agent(s) (i.e. developer, architect, engineer, or planner) for project.
2. The date of the original plan and the latest date of revision to the plan.
3. A north arrow and a graphic scale (at a minimum scale of 1" = 100').
4. A legal description of the subject property.
5. All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
6. All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
7. Ground contours when any slope exceeds 12 percent
8. All required building setback lines.

9. All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls.
10. If the project is designed to be completed in phases or allow expansion of the building and other features, indicate these.
11. The location and dimension (cross-section and entry throat) of all access points onto public streets.
12. The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by this Chapter.
13. The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.
14. The location of all outdoor storage areas and the design of all screening devices.
15. Floodplains, wetlands, lakeshores, woodlands, steep slopes, and other environmentally sensitive lands.
16. The location, type, height, size, and lighting of all signage on the subject property.
17. The location and type of any permanently protected green space areas.
18. The location of existing and proposed drainage facilities.
19. Environmental and manmade development constraints and hazards including brownfields, contaminated sites, unstable soils, high groundwater, bedrock, and high-pressure natural gas lines
20. In the legend, the following data for the subject property: lot area, building coverage, building coverage ratio, floor area ratio, impervious surface area, impervious surface ratio, and building height.
21. Any additional information as requested by the Plan Commission or Village Board.

Landscaping plan prepared at the same scale as the main plan showing the location of all required bufferyard and landscaping areas, and existing and proposed landscape point fencing and berm options for meeting said requirements. The landscaping plan shall demonstrate complete compliance with the requirements of Article XIV of Chapter 510 of the zoning code. Be sure to show the individual plant locations and species, fencing types and heights, and berm heights. In addition to the drawing, include the Worksheet for Landscaping and Bufferyards.

Grading and erosion control plan prepared at the same scale as the main plan, showing existing and proposed grades, including retention walls and related devices, and erosion control measures.

Outdoor lighting plan (photometric plan) prepared at the same scale as the main plan that shows all existing and proposed exterior light fixtures. Calculations for the photometric plan shall be rounded to the nearest 0.10 foot-candles. A legend must be included to show the following information for each type of fixture: (1) manufacturer name, (2) product number, (3) mounting height, and (4) any other pertinent information. Be sure that current and proposed lighting will not exceed the 0.50 foot-candles threshold at the property boundary line. See § 510-95 of the zoning code for more details.

Plat of survey prepared by a registered land surveyor if in the judgment of the Zoning Administrator such accuracy is needed to ensure compliance with all dimensional standards, including setback requirements. The survey shall depict property lines, easements, and other existing and proposed improvements, and other information as may be needed to establish compliance with zoning requirements.

Architectural review application for any new buildings or for remodeling of existing buildings. The application must include elevation drawings showing finished exterior treatment, with adequate labels to clearly depict exterior materials, texture, color, and overall appearance. Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings. (Refer to § 510-90 of the zoning code for additional details.)

20. Attachments. List any attachments included with your application.

21. Other information. You may provide any other information you feel is relevant to the review of your application.

22. Applicant certification

- ◆ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- ◆ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with § 510-149 (D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property.
- ◆ I understand that submission of this application authorizes Village officials and employees, Plan Commission members, Village Board members, and other designated agents, including those retained by the Village, to enter the property to conduct whatever site investigations are necessary

to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.

- ◆ I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- ◆ I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Name – print

Name – Signature

Date

Name – print

Name – Signature

Date

Applicant (if different than Property Owner):

Name – print

Name – Signature

Date

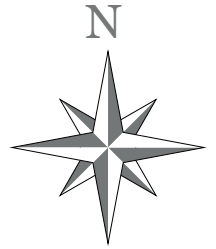
Name – print

Name – Signature

Date

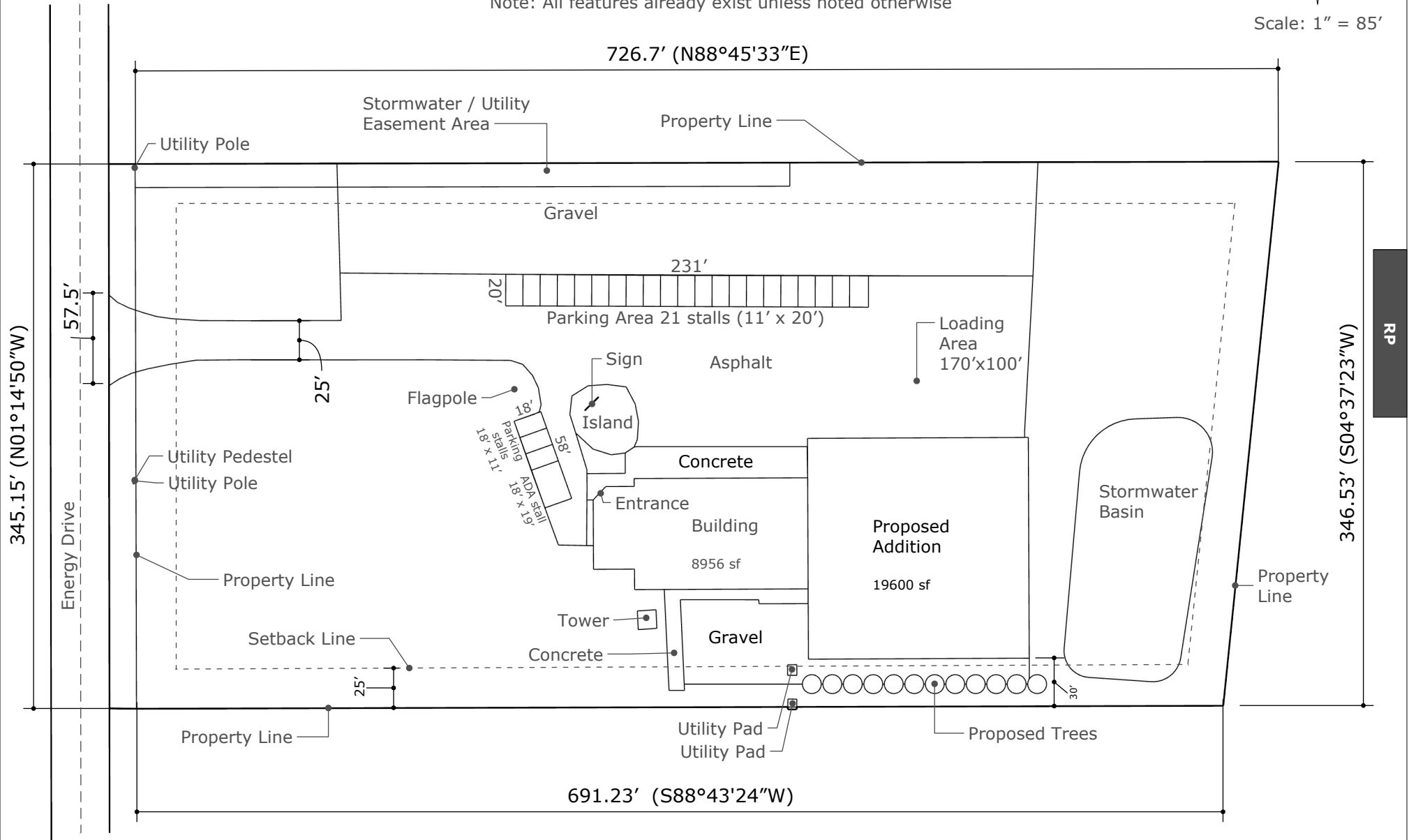
Site Plan

Lot Area: 5.61 Acres
Building Coverage: 0.65 Acres 11.6% (Max: 75% or 4.21 Acres)
Impervious Area: 1.8 Acres 32% (Max: 85% or 4.77 Acres)
Parking Spots: 25 (Min: 15)



Scale: 1" = 85'

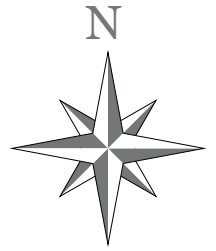
Note: All features already exist unless noted otherwise



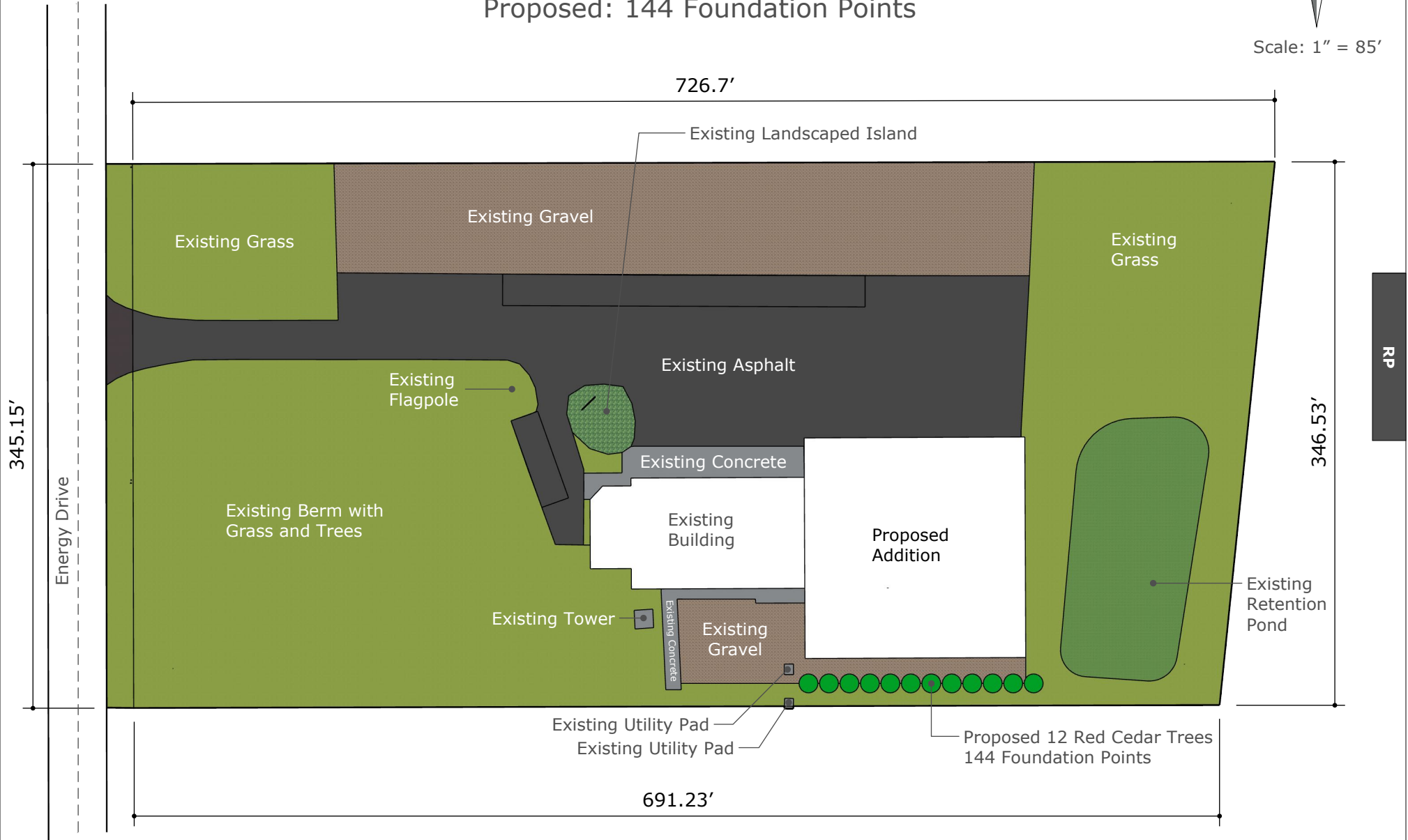
Landscaping Plan

5.61 Acres

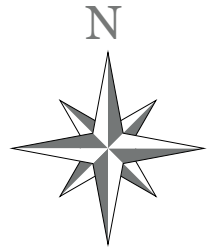
Required: 112 Foundation Points
Proposed: 144 Foundation Points



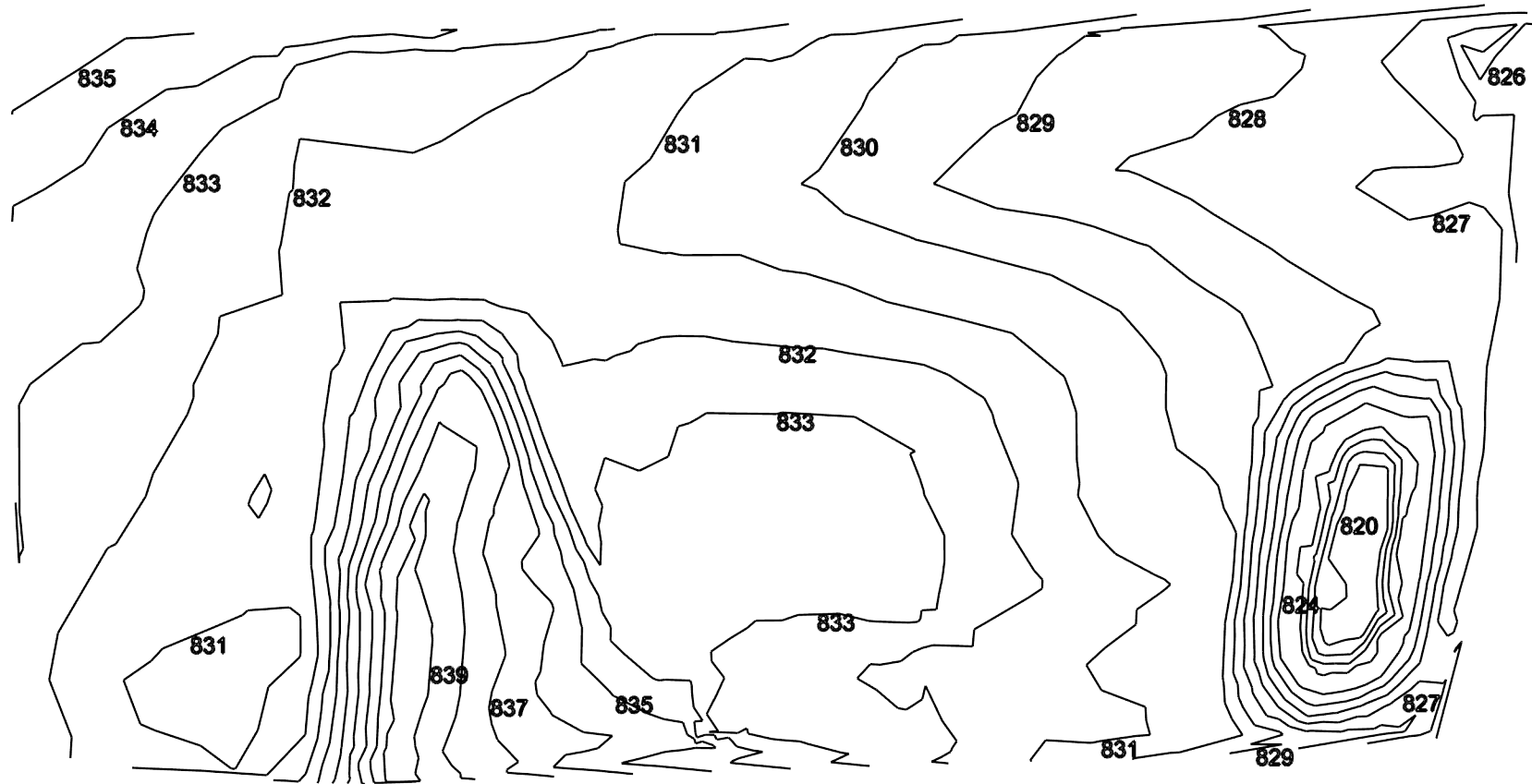
Scale: 1" = 85'



Site Grade (Existing)

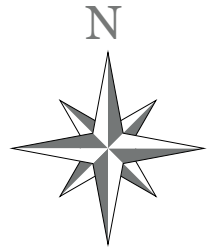


Scale: 1" = 85'

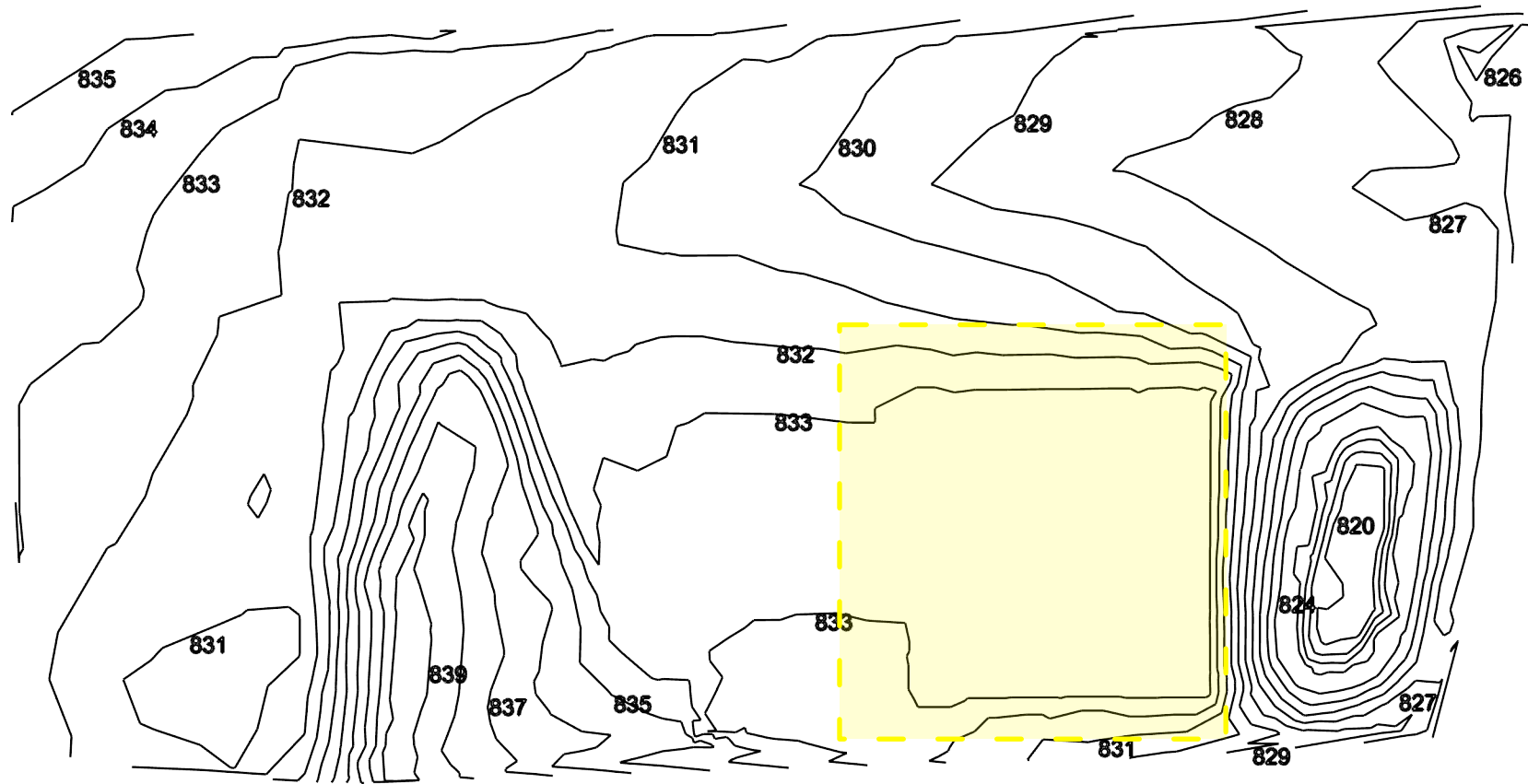


RP


Site Grade (New)



Scale: 1" = 85'



RP

 Modified Area

NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 20-4-18

S88°45'13"W
(S88°45'20"W)

2431.68'
(2431.67')

S88°45'13"W
(S88°45'21"W)

212.84'
(212.84')

NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 20-4-18

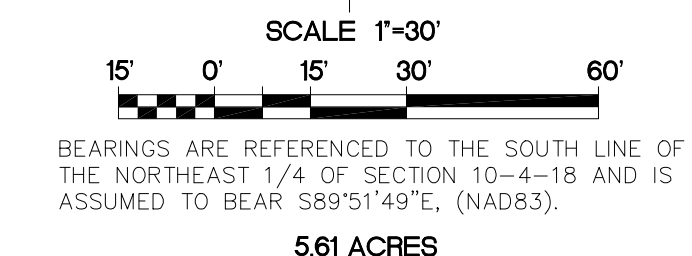
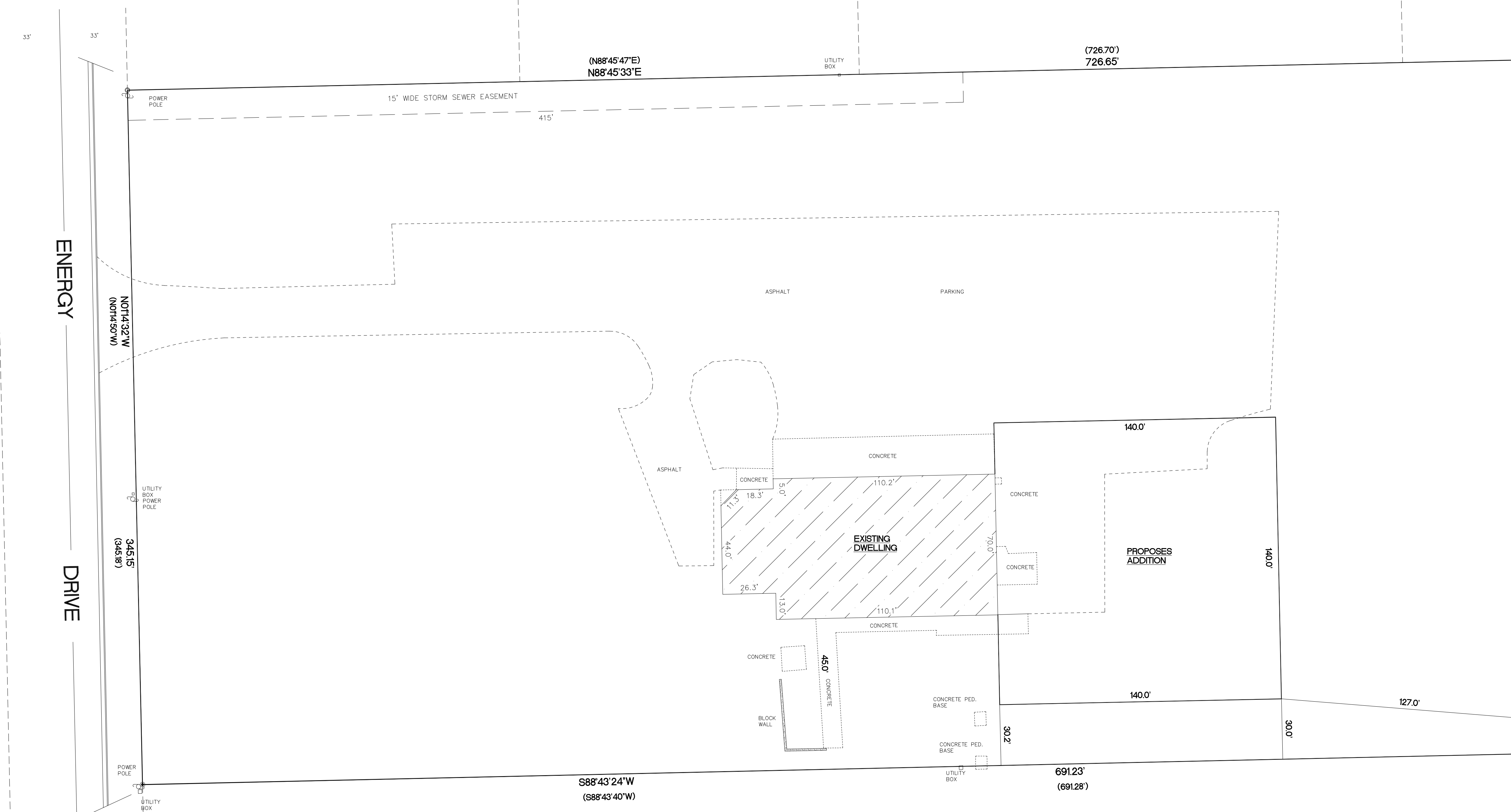
PLAT OF SURVEY

LOT 1, CERTIFIED SURVEY MAP NO. 2195, BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWN 4 NORTH, RANGE 18 EAST, VILLAGE OF EAST TROY, WALWORTH COUNTY, WISCONSIN.

SURVEYD FOR: JUSTIN ROHRER
SURVEY ADDRESS: 1988 ENERGY DRIVE

ENERGY DRIVE

HIGHWAY INTERSTATE "43"



BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE NORTHEAST 1/4 OF SECTION 10-4-18 AND IS ASSUMED TO BEAR S89°51'49"E, (NAD83).

5.61 ACRES

- FOUND 6" CONC. MON. W/BRASS CAP
- FOUND 1 1/4" IRON ROD
- ⊙ FOUND 3/4" IRON ROD
- () RECORDED AS DIMENSIONS

I hereby certify that I have surveyed the above property and that the above map is a true representation thereof and shows the size and location of the property, exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and encroachments if any.

This survey is made for the use of the present owners of the property, and also those who purchase, mortgage or guarantee the title thereto within one year from date hereof.

REV. 9/19/2024
DATE 6/4/2024

TEP FIELD WORK BY

TEP DRAWN BY

24052 JOB NUMBER

Kettle Moraine Surveying Inc.
P.O. BOX 357
Eagle WI 53119
(262)594-3484

THIS IS NOT AN ORIGINAL SURVEY UNLESS OTHERWISE NOTED



Worksheets for Landscaping and Bufferyards

Village of East Troy, Wisconsin

Version: March 27, 2018

Village of East Troy
2015 Energy Drive
East Troy, WI 53120

Part I: General Landscaping

Description: The Village of East Troy has adopted landscaping standards to ensure there is an adequate amount of landscaping along public streets, within parking lots, around the foundation of buildings, and within remaining yard areas. These requirements apply to all new development, with the exception of single-family residences and agricultural uses. For more information please refer to Article XIV of Chapter 510 of the Municipal Code.

Step One. Find the zoning district in the left column of this table and circle the entire row. The point values are used in the next step.

Zoning District		Landscaping Standard (Points per Unit)			
		Foundation Plantings [2]	Street Plantings [3]	Paved Area Plantings [4]	Other Yard Plantings [5]
RH-35	Rural Holding [1]	20	20	40	10
SR-3	Estate Residential [1]	40	40	80	20
SR-4	Suburban Residential [1]	40	40	80	20
SR-5	Neighborhood Residential [1]	40	40	80	20
SR-6	Traditional-Front Residential [1]	40	40	80	20
SR-7	Traditional-Front Residential [1]	40	40	80	20
TR-8	Two-Family Residential [1]	45	45	90	20
AR-9	Attached Residential [1]	50	50	95	25
MR-10	Multi-Family Residential [1]	60	60	100	30
MHR-7	Mobile Home Residential [1]	40	40	80	29
NB	Neighborhood Business	40	40	80	20
HB	Highway Business	40	40	80	20
CB	Central Business	0	0	80	0
BP	Business Park	25	40	80	10
LI	Light Industrial	20	20	40	5
GI	General Industrial	20	20	40	5

Notes:

[1] Landscaping is not required for single-family or agricultural uses

[2] Points per 100 feet of building foundation

[3] Points per 100 feet of street frontage

[4] Points per 20 parking stalls or 10,000 square feet of paved area, whichever is greater (i.e., more landscaping)

[5] Points per 1,000 square feet of total building footprints

Step Two. Use the proposed site plan to calculate the surface area of the parking area(s), the perimeter of the building(s), the length of street frontage(s), and the gross floor area of the building(s). Put these values in the second column. For each type of planting, transfer the corresponding value from the table in Step 1 into the fourth column.

To calculate the total points that are required (Column 5), divide the value in the second column by the value in the third column and then multiply that quotient by the value in the fourth column ((column 2 divided by column 3) times column 4 = column 5). Multiple rows are provided in each category in case there is more than one street frontage, building, or parking area.

Column 1	Column 2	Column 3	Column 4	Column 5
Street Plantings				
	Frontage in Feet	Conversion Factor	Points per 100 LF	Total Points Required
Street 1		100		
Street 2		100		
Total	--	--	--	
Building Perimeter				
	in Feet	Conversion Factor	Points per 100 LF	Total Points Required
Building 1		100		
Building 2		100		
Total	--	--	--	
Paved Area Plantings				
	Paved Area In Sq. Ft. [1]	Conversion Factor	Points per 10,000 SF	Total Points Required
Area 1		10,000 [1]		
Area 2		10,000 [1]		
Area 3		10,000 [1]		
Total	--	--	--	
Other Yard Plantings				
	Gross Floor Area in Sq. Ft.	Conversion Factor	Points 1,000 SF	Total Points Required
Building 1		1,000		
Building 2		1,000		
Total	--	--	--	

Notes:

[1] or 20 stalls whichever yields the most landscaping

Step Three. For each of the four types of plantings, determine which plant species will be used and how many of each. Multiply the number of plants by the corresponding point value and put the product into the corresponding cell. If a cell is shaded, that type of plant may not be used to meet the planting requirement. The total points for each of the planting types should equal or exceed the required number of points.

Climax Trees		Point Value	Street Plantings [1,2]	Foundation Plantings [3]	Paved Area Plantings [4,5]	Other Yard Plantings
Acer saccharum	Sugar Maple	75		-		
Ginkgo biloba	Ginkgo	75		-		
Quercus spp	Oak: Pin, Red, White	75		-		
Tall Deciduous						
Acer spp	Maple: Red, Silver, Norway	30		-		
Gleditsia	Honey Locust	30		-		
Populus	Bigtooth Aspen	30		-		
Tilla spp.	Linden: Basswood, Littleleaf, Redmond	30		-		
Medium Deciduous						
Betula spp.	Birch: River, Paper	15				
Prunus spp.	Cherry: Choke, Pin	15				
Salix spp.	Willow	15				
Low Deciduous						
Amelanchier spp.	Serviceberry	10				
Crataegus spp.	Hawthorn: Cockspur, Downy, Washington	10				
Malus spp.	Crab apple spp.	10				
Tall Evergreen Tree						
Abies concolor	White Fir	40				
Pinus spp.	Pine: Red, White, Scots	40				
Tsuga Canadensis	Canada Hemlock	40				
Medium Evergreen Tree						
Thuja occidentalis	American Arborvitae	20				
Low Evergreen Tree						
Juniper spp.	Juniper: Mountbatten, Red Cedar	12				
Thuja spp	Arborvitae: Pyramidal, Techny	12				
Tall Deciduous Shrubs						
Cornus spp.	Dogwood: Grey, Pagoda	5	-			
Syringa spp.	Lilac: Chinese, Hyacinth	5	-			
Viburnum spp.	Viburnum: Arrowwood, Nannyberry	5	-			
Medium Deciduous Shrubs						
Corylus Americana	American Filbert, Hazelnut	3	-			
Cotoneaster spp.	Cotoneaster	3	-			
Forsythia spp.	Forsythia: Border, Early, Weeping	3	-			
Rosa spp.	Rose: Virginia, Rugosa	3	-			
Low Deciduous Shrubs						
Berberis thunbergii	Japanese Barberry	1	-			
Spirea spp.	Spirea: Fostbel, Snowmound	1	-			
Medium Evergreen Shrubs						
Juniperus chinensis	Juniper: Pfitzer	5	-			
Taxus spp.	Yew: Japanese	5	-			
Low Evergreen Shrubs						
Juniperus	Juniper: Sargent, Creeping, Andorra	3	-			
Total Points						
Required Points						

Notes:

- [1] At least 50 percent of the total points shall be used for climax trees and 30 percent for medium trees.
- [2] The plants must be located within 10 feet of the public right-of-way
- [3] The plant's dripline at maturity must be located within 10 feet of the building foundation.
- [4] At least 30 percent of the total points shall be used for climax and/or tall trees and at least 40 percent for shrubs.
- [5] The plants must be located within landscape islands or within 10 feet of the paved area

GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
3. REFER TO THE SOILS REPORT FOR SUBSURFACE CONDITIONS, BEARING CAPACITIES, ETC. NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS, SPECIFICATIONS OR SITE CONDITIONS.
4. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST BUILDING CODES, ORDINANCES AND REGULATIONS OF THE CITY OR COUNTY WITH JURISDICTION.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING AS REQUIRED BY THE CONTRACT DOCUMENTS OR ANY GOVERNMENT AGENCY.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
7. THE GENERAL CONTRACTOR IS TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS, COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKER AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO THE JOBSITE. WHERE DAMAGE OCCURS, REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL HOURS.
8. UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL, PLUMBING, SPRINKLER OR ELECTRICAL EQUIPMENT.
9. THE GENERAL CONTRACTOR SHALL BRING ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES TO THE ATTENTION OF THE ARCHITECT AND OWNER BEFORE PROCEEDING.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S). BRING ALL UTILITY LINES (WATER, SEWER, GAS, STORM DRAIN, TELEPHONE AND ELECTRICAL, ETC.) INTO THE BUILDING AS INDICATED ON THE CONSTRUCTION DOCUMENTS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT, OWNER & CIVIL ENGINEER.
11. UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
12. NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE TEMPORARY CERTIFICATE OF OCCUPANCY. APPROVAL FOR OCCUPANCY IS ONLY GRANTED AFTER ACCEPTANCE BY GOVERNING AGENCIES.
13. THE REMOVAL OF ALL HAZARDOUS CONTAINING MATERIALS IS THE SOLE RESPONSIBILITY OF THE OWNER. SHOULD ANY MATERIALS BE ENCOUNTERED DURING ANY PHASE OF CONSTRUCTION, OR SUSPECTED TO BE HAZARDOUS, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER.



RP Nutrients

1988 Energy Dr.
East Troy, WI



BUILDING RENDERING

PROJECT INFORMATION:

GOVERNING CODE:	WISCONSIN ADOPTED 2015 IEBC	
SCOPE OF WORK:		
ADDITION		9,037sf
AREA OF EXISTING BUILDING		19,600sf
AREA OF ADDITION		28,637sf
TOTAL BUILDING AREA		
ALLOWABLE BUILDING AREA	(15,500sf+9,648.75sf) = 25,148.75sf	
TABULAR AREA + FRONTAGE INCREASE		
CONSTRUCTION TYPE:	2B	
OCCUPANCY CLASSIFICATION:	B/F-2	
SPRINKLER SYSTEM:	NONE / FIRE WALL	
FIRE EXTINGUISHERS:	PROVIDE PER IFC	
ACCESSIBLE ROUTE:	EXISTING	
ACCESSIBLE RESTROOMS # FIXTURES:	EXISTING	
TOTAL OCCUPANCY LOADING (per TABLE 1004.1.2)	<u>151 TOTAL OCCUPANTS IN BUILDING</u>	
	BUSINESS = 1 PER 100sf	
	(1,337 sf / 100 = 14)	
	MANUFACTURING = 1 PER 200sf	
	(27,300 sf / 200 = 137)	
PLUMBING FIXTURE REQUIREMENTS: (per TABLE 2902.1)		
<u>*PLUMBING FIXTURES REQUIRED*</u>		
MALE	= .76 REQUIRED	3 PROVIDED
FEMALE	= .76 REQUIRED	1 PROVIDED
LAVATORIES	= 1.51 REQUIRED	3 PROVIDED
WATER CLOSETS "F-1"		
MALE (1 PER 100)	(76 / 100) = 0.76 REQUIRED	
FEMALE (1 PER 100)	(76 / 100) = 0.76 REQUIRED	
LAVATORIES (1 PER 100)	(151 / 100) = 1.51 REQUIRED	
WATER CLOSETS "F-1 REPAIR"		
MALE (1 PER 100)	(98 / 100) = .98 REQUIRED	
FEMALE (1 PER 100)	(98 / 100) = .98 REQUIRED	
LAVATORIES (1 PER 100)	(240 / 100) = 1.95 REQUIRED	

SHEET INDEX:

A0.1	ARCHITECTURAL SITE PLAN
A1.1	FLOOR PLAN
A2.1	EXISTING FLOOR PLAN & ELEVATIONS
A2.2	ELEVATIONS
A3.1	SECTIONS / DETAILS

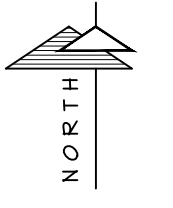
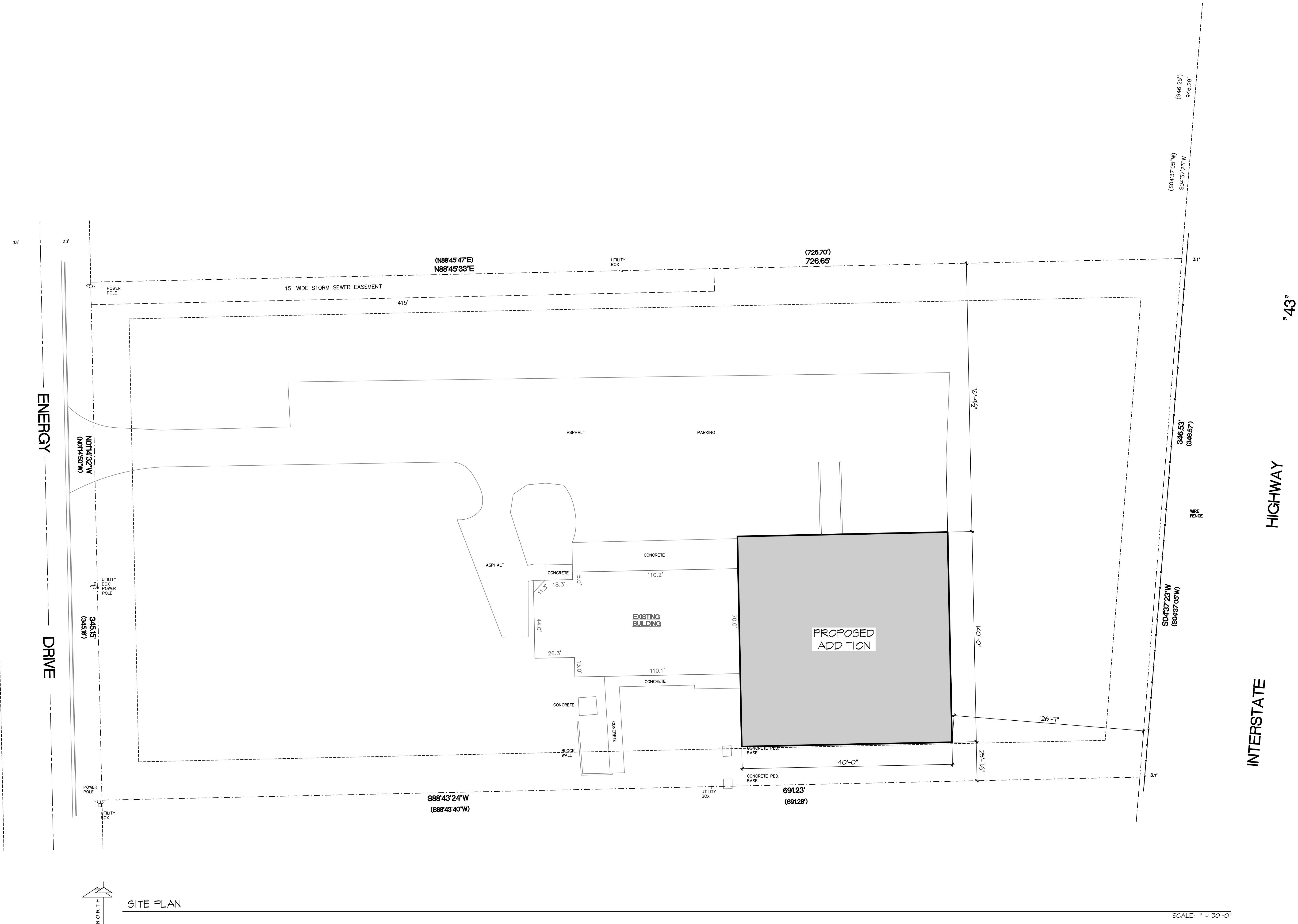
ARCHITECTURAL

PROJECT TEAM:

OWNER:	ARCHITECT:
RP NUTRIENTS	PATERA, LLC
1988 ENERGY DR.	4040 N. CALHOUN RD. SUITE 200
EAST TROY, WI	BROOKFIELD, WI 53005
	TEL: (262) 786-6776 ext 106
	email: steve@paterallc.com
	ATTN: Steven M. Esser

REVISIONS:

-	X



SITE PLAN

SCALE: 1" = 30'-0"

REVISIONS:

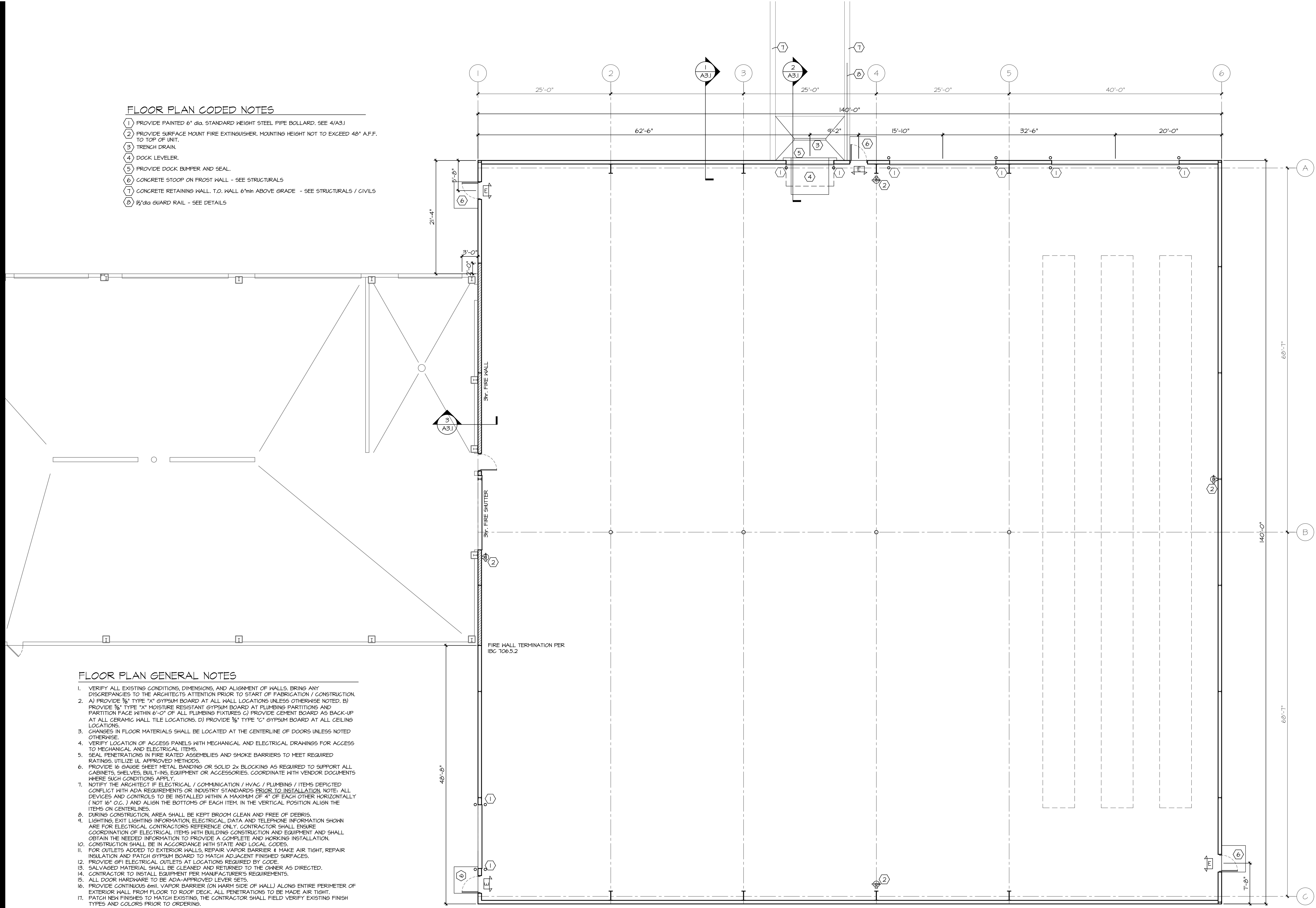
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FLOOR PLAN CODED NOTES

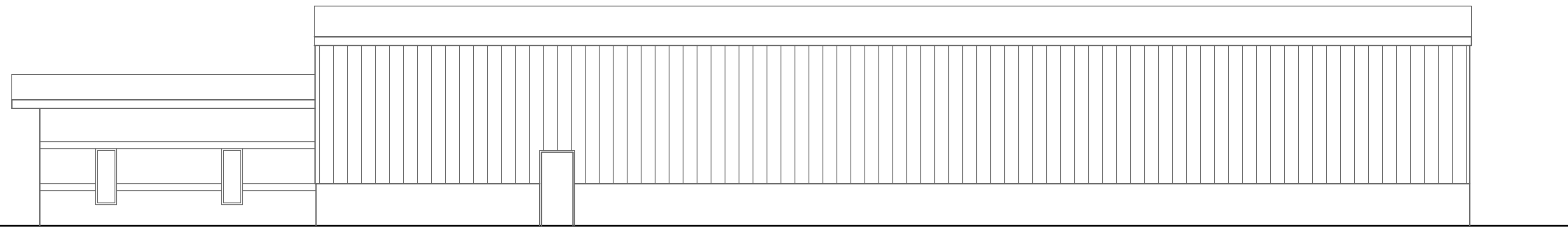
- ① PROVIDE PAINTED 6" dia. STANDARD HEIGHT STEEL PIPE BOLLARD. SEE 4/A3.1
- ② PROVIDE SURFACE MOUNT FIRE EXTINGUISHER. MOUNTING HEIGHT NOT TO EXCEED 48" A.F.F. TO TOP OF UNIT.
- ③ TRENCH DRAIN.
- ④ DOCK LEVELER.
- ⑤ PROVIDE DOCK BUMPER AND SEAL.
- ⑥ CONCRETE STOOP ON FROST WALL - SEE STRUCTURALS
- ⑦ CONCRETE RETAINING WALL. T.O. WALL 6"min ABOVE GRADE - SEE STRUCTURALS / CIVILS
- ⑧ 1/2" dia GUARD RAIL - SEE DETAILS

FLOOR PLAN GENERAL NOTES

1. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO START OF FABRICATION / CONSTRUCTION.
2. A) PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT ALL WALL LOCATIONS UNLESS OTHERWISE NOTED. B) PROVIDE 5/8" TYPE "X" MOISTURE RESISTANT GYPSUM BOARD AT PLUMBING PARTITIONS AND PARTITION FACE WITHIN 6'-0" OF ALL PLUMBING FIXTURES. C) PROVIDE CEMENT BOARD AS BACK-UP AT ALL CERAMIC WALL TILE LOCATIONS. D) PROVIDE 5/8" TYPE "C" GYPSUM BOARD AT ALL CEILING LOCATIONS.
3. CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE.
4. VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
5. SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.
6. PROVIDE 16 GAUGE SHEET METAL BANDING OR SOLID 2x BLOCKING AS REQUIRED TO SUPPORT ALL CABINETS, SHELVES, BUILT-INS, EQUIPMENT OR ACCESSORIES. COORDINATE WITH VENDOR DOCUMENTS WHERE SUCH CONDITIONS APPLY.
7. NOTIFY THE ARCHITECT IF ELECTRICAL / COMMUNICATION / HVAC / PLUMBING / ITEMS DEPICTED CONFLICT WITH ADA REQUIREMENTS OR INDUSTRY STANDARDS PRIOR TO INSTALLATION. NOTE: ALL DEVICES AND CONTROLS TO BE INSTALLED WITHIN A MAXIMUM OF 4" OF EACH OTHER HORIZONTALLY (NOT 16" O.C.) AND ALIGN THE BOTTOMS OF EACH ITEM. IN THE VERTICAL POSITION ALIGN THE ITEMS ON CENTERLINES.
8. DURING CONSTRUCTION, AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS.
9. LIGHTING, EXIT LIGHTING INFORMATION, ELECTRICAL, DATA AND TELEPHONE INFORMATION SHOWN ARE FOR ELECTRICAL CONTRACTORS REFERENCE ONLY. CONTRACTOR SHALL ENSURE COORDINATION OF ELECTRICAL ITEMS WITH BUILDING CONSTRUCTION AND EQUIPMENT AND SHALL OBTAIN THE NEEDED INFORMATION TO PROVIDE A COMPLETE AND WORKING INSTALLATION.
10. CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
11. FOR OUTLETS ADDED TO EXTERIOR WALLS, REPAIR VAPOR BARRIER & MAKE AIR TIGHT, REPAIR INSULATION AND PATCH GYPSUM BOARD TO MATCH ADJACENT FINISHED SURFACES.
12. PROVIDE 6FI ELECTRICAL OUTLETS AT LOCATIONS REQUIRED BY CODE.
13. SALVAGED MATERIAL SHALL BE CLEANED AND RETURNED TO THE OWNER AS DIRECTED.
14. CONTRACTOR TO INSTALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.
15. ALL DOOR HARDWARE TO BE ADA-APPROVED LEVER SETS.
16. PROVIDE CONTINUOUS 6mil VAPOR BARRIER (ON WARM SIDE OF WALL) ALONG ENTIRE PERIMETER OF EXTERIOR WALL FROM FLOOR TO ROOF DECK. ALL PENETRATIONS TO BE MADE AIR TIGHT.
17. PATCH NEW FINISHES TO MATCH EXISTING. THE CONTRACTOR SHALL FIELD VERIFY EXISTING FINISH TYPES AND COLORS PRIOR TO ORDERING.

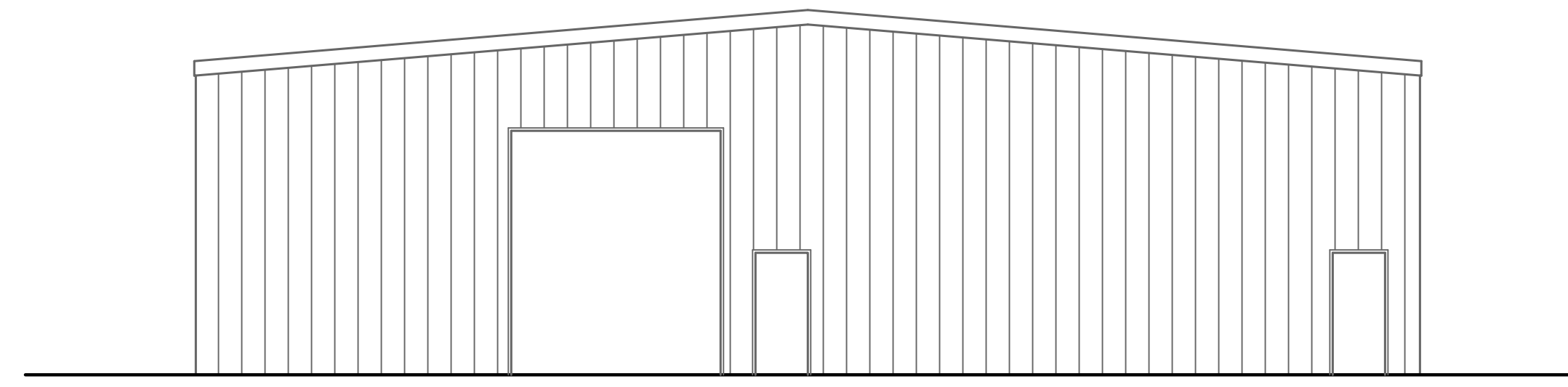


SCALE: 1/8" = 1'-0"



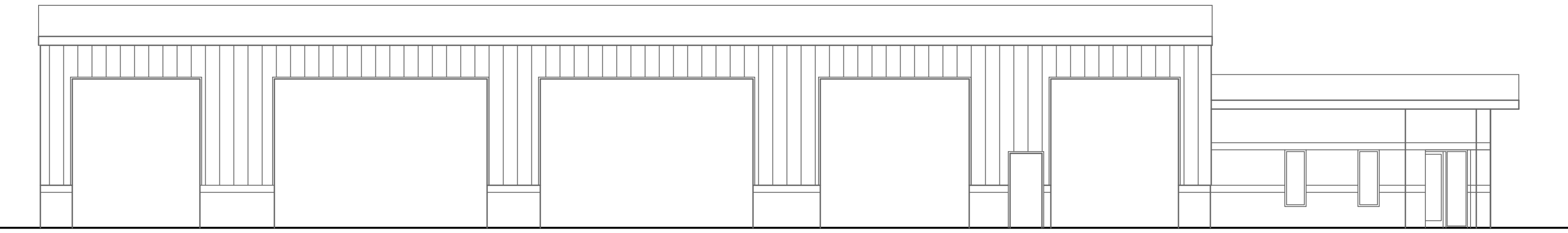
1 EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



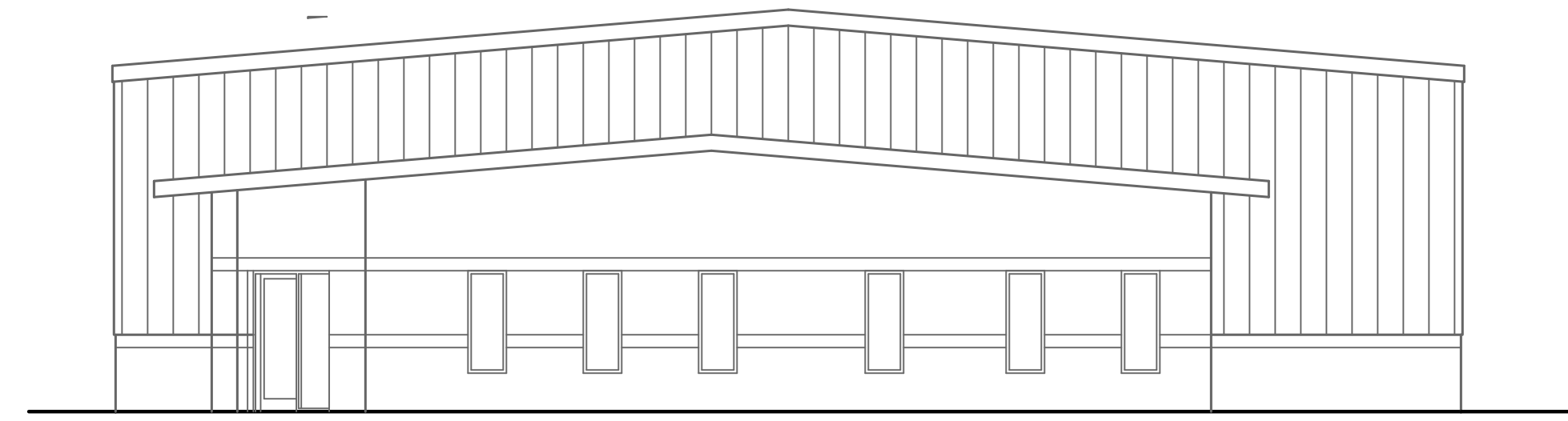
2 EXISTING EAST ELEVATION

SCALE: 1/8" = 1'-0"



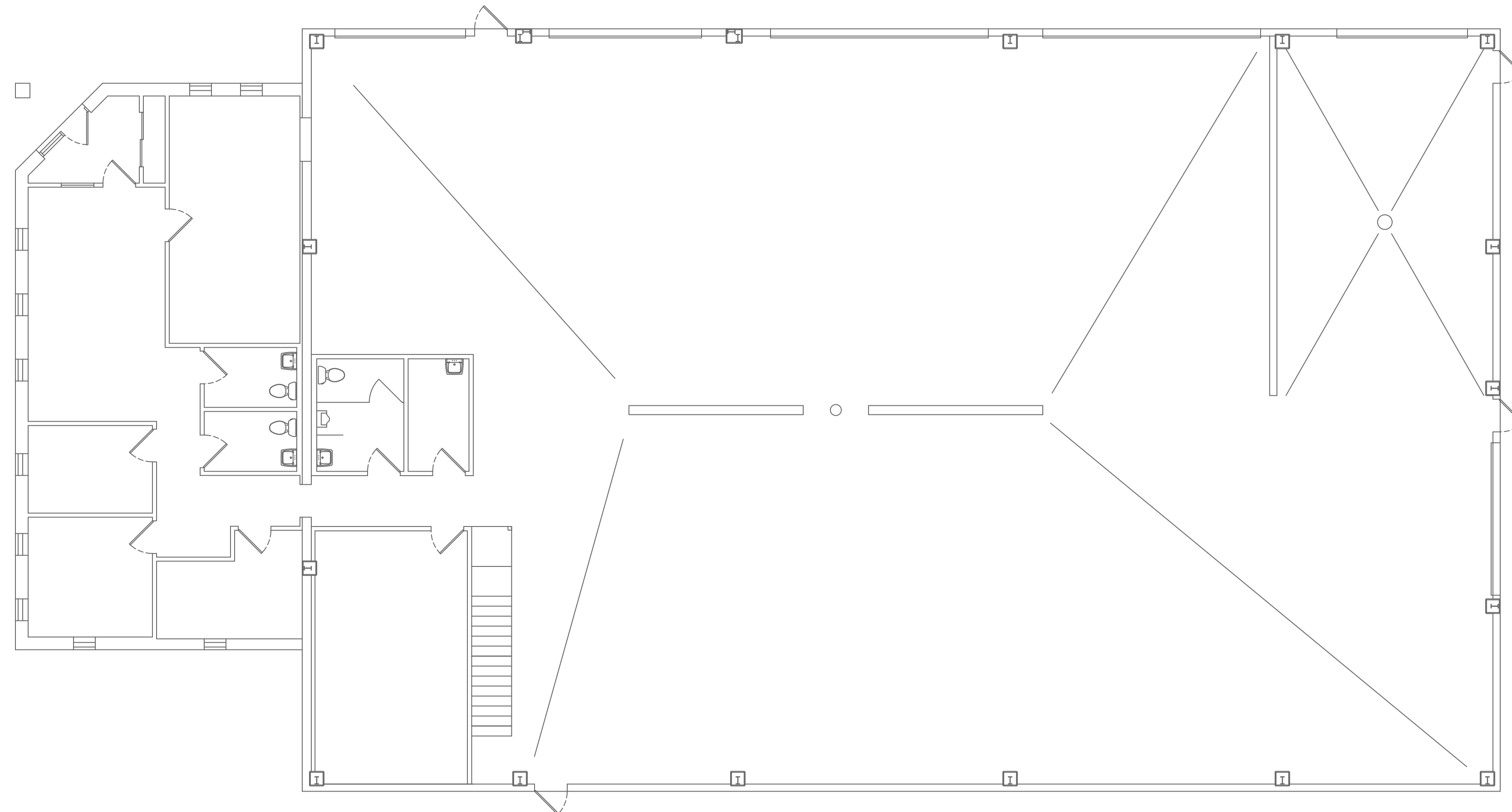
3 EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0"



4 EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"



5 EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

REVISIONS:

-	X

PROGRESS DRAWING - NOT FOR CONSTRUCTION

RP NUTRIENTS

1988 ENERGY DRIVE
EAST TROY, WI 53120

SHEET TITLE:
ELEVATIONS

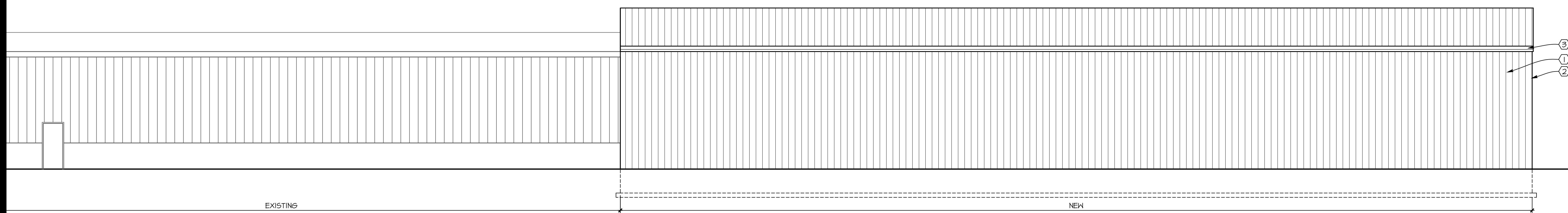
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DATE: X

PROJECT NUMBER: 24-308

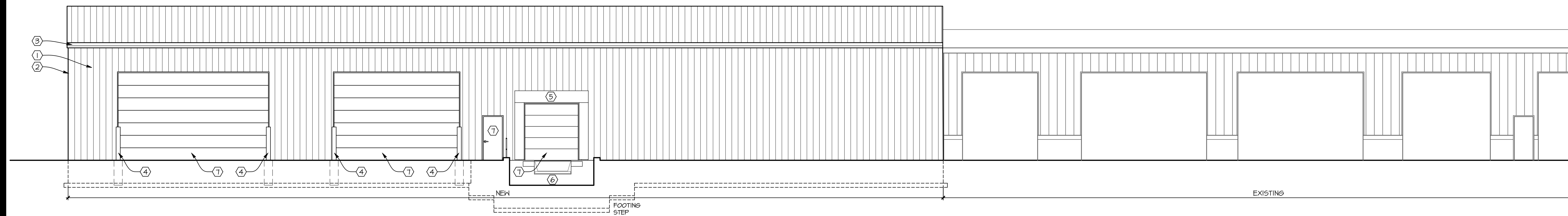
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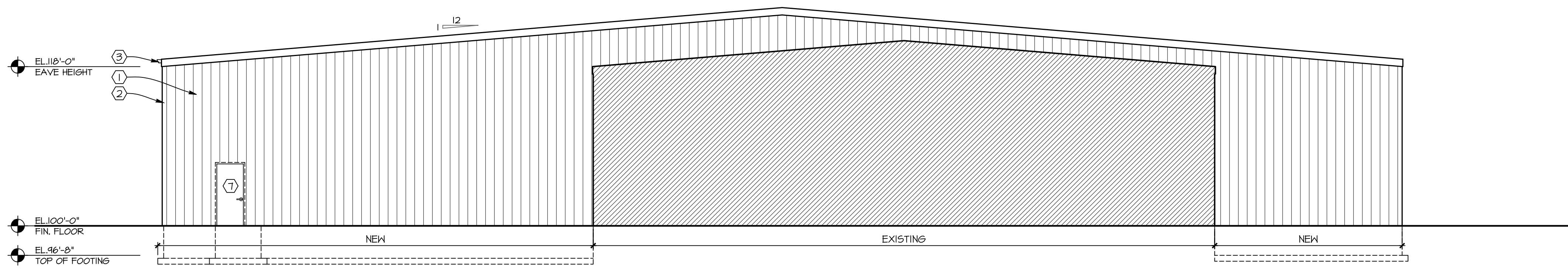
4 PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



3 PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"



2 PROPOSED EAST ELEVATION

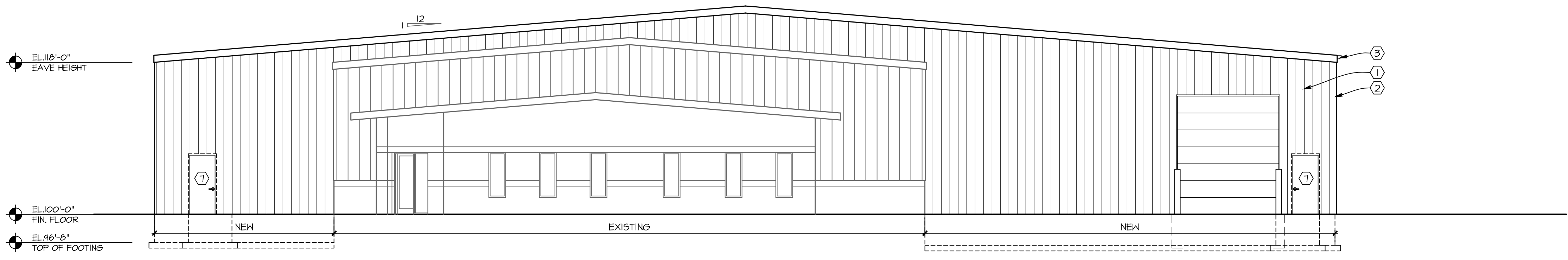
SCALE: 1/8" = 1'-0"

ELEVATION CODED NOTES:

- ① METAL WALL PANELS - COLOR TO MATCH EXISTING
- ② PRE FINISHED METAL TRIM - COLOR TO MATCH EXISTING
- ③ PRE FINISHED METAL GUTTER AND DOWNSPOUT.
- ④ 6" CONCRETE FILLED PIPE BOLLARD. SEE 1/A1.2
- ⑤ DOCK SEAL
- ⑥ RECESSED LOADING DOCK
- ⑦ INSULATED METAL DOOR - COLOR TO MATCH EXISTING

EXTERIOR ELEVATION GENERAL NOTES

- 1. CONTRACTOR TO FIELD VERIFY ALL ROUGH OPENINGS.
- 2. ALL EXTERIOR MATERIALS TO BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
- 3. ALL MASONRY, MASONRY VENEER, EIFS, etc. SHALL HAVE CONTROL JOINTS SPACED PER INSTITUTE MINIMUM STANDARDS. CONTACT ARCHITECT FOR LOCATIONS NOT INDICATED ON THE PLANS.



1 PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"

PROGRESS DRAWING - NOT FOR CONSTRUCTION

RP NUTRIENTS

1988 ENERGY DRIVE
 EAST TROY, WI 53120

SHEET TITLE:
ELEVATIONS

A2.2

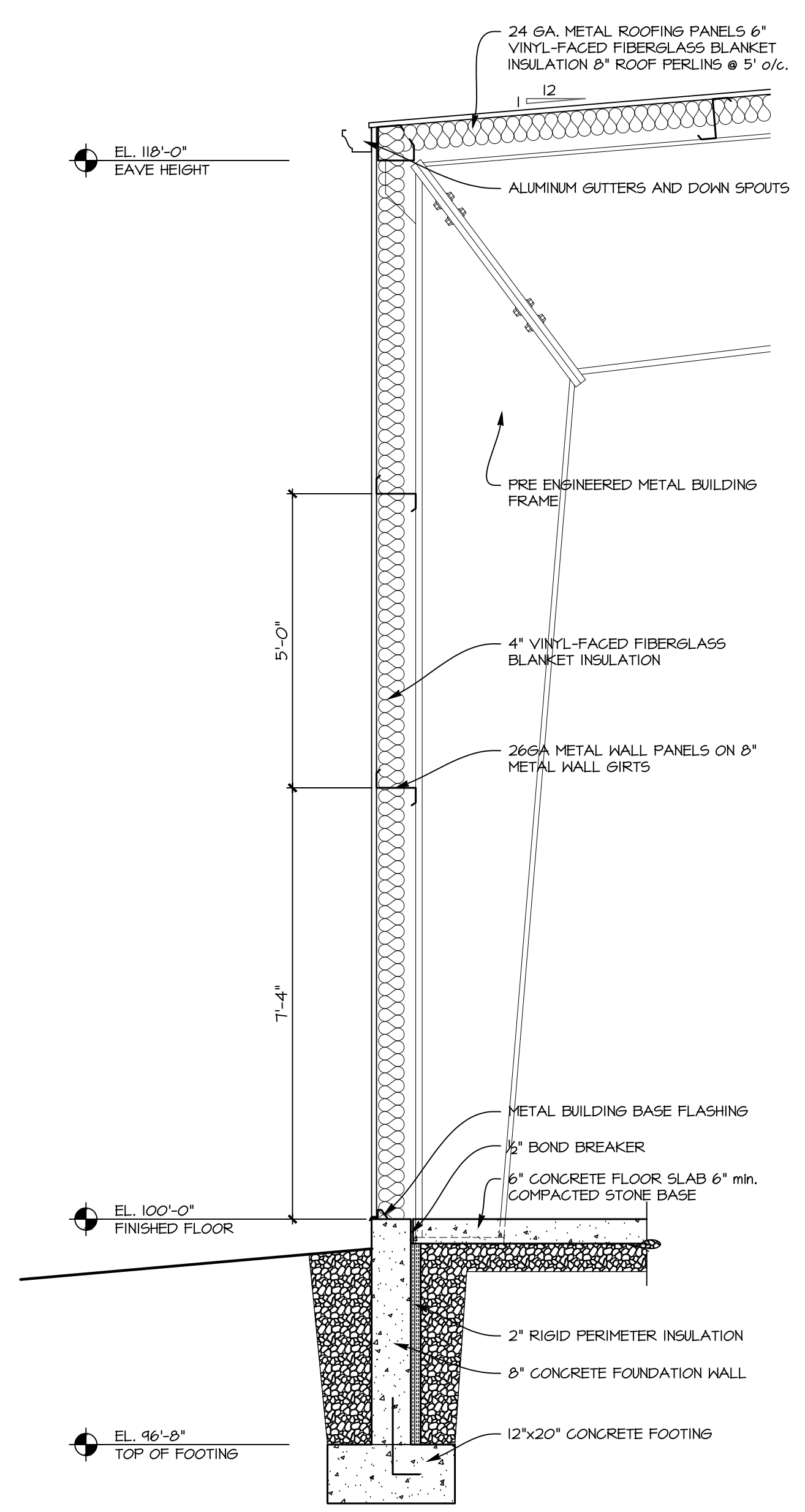
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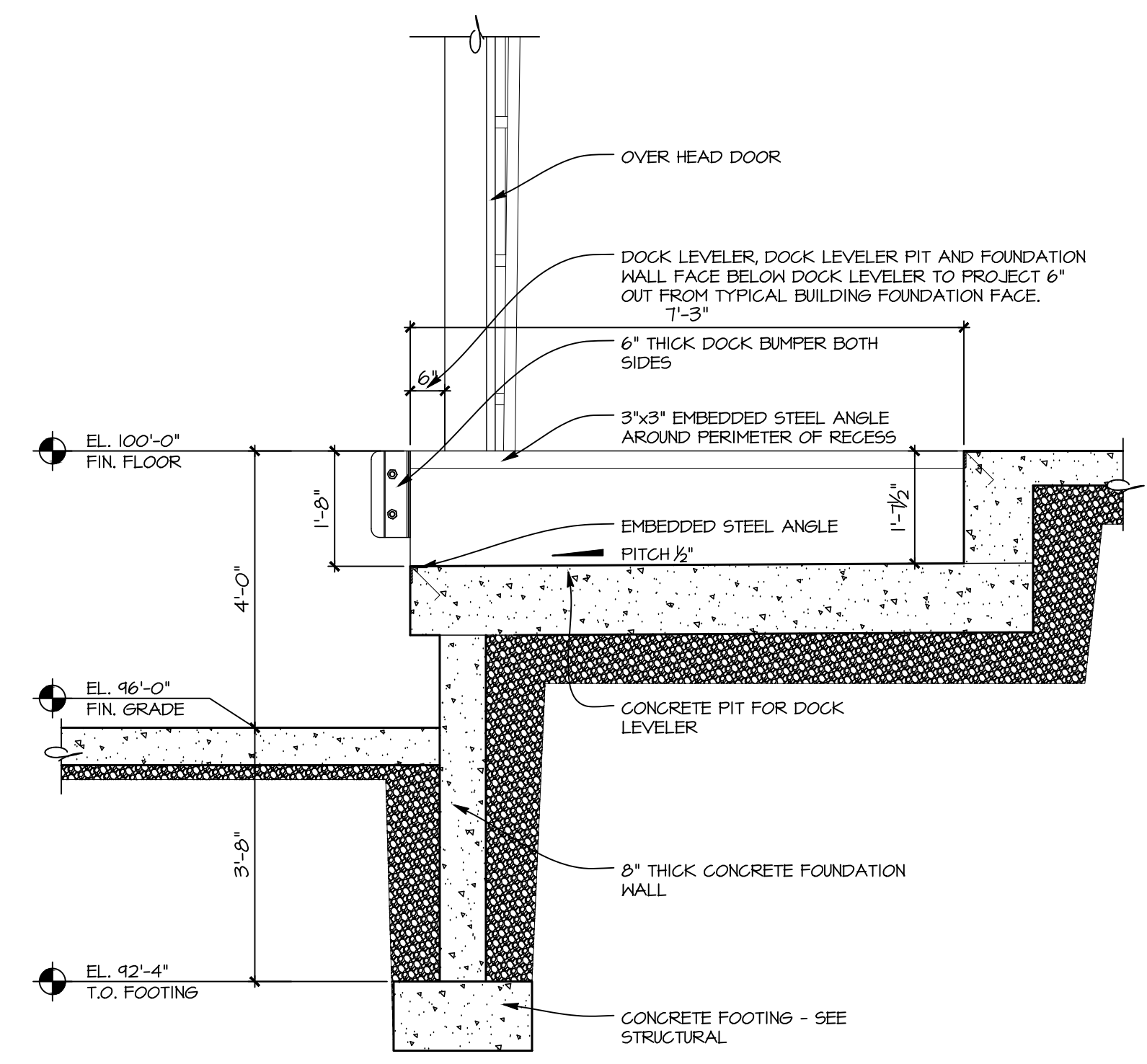
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REVISIONS:

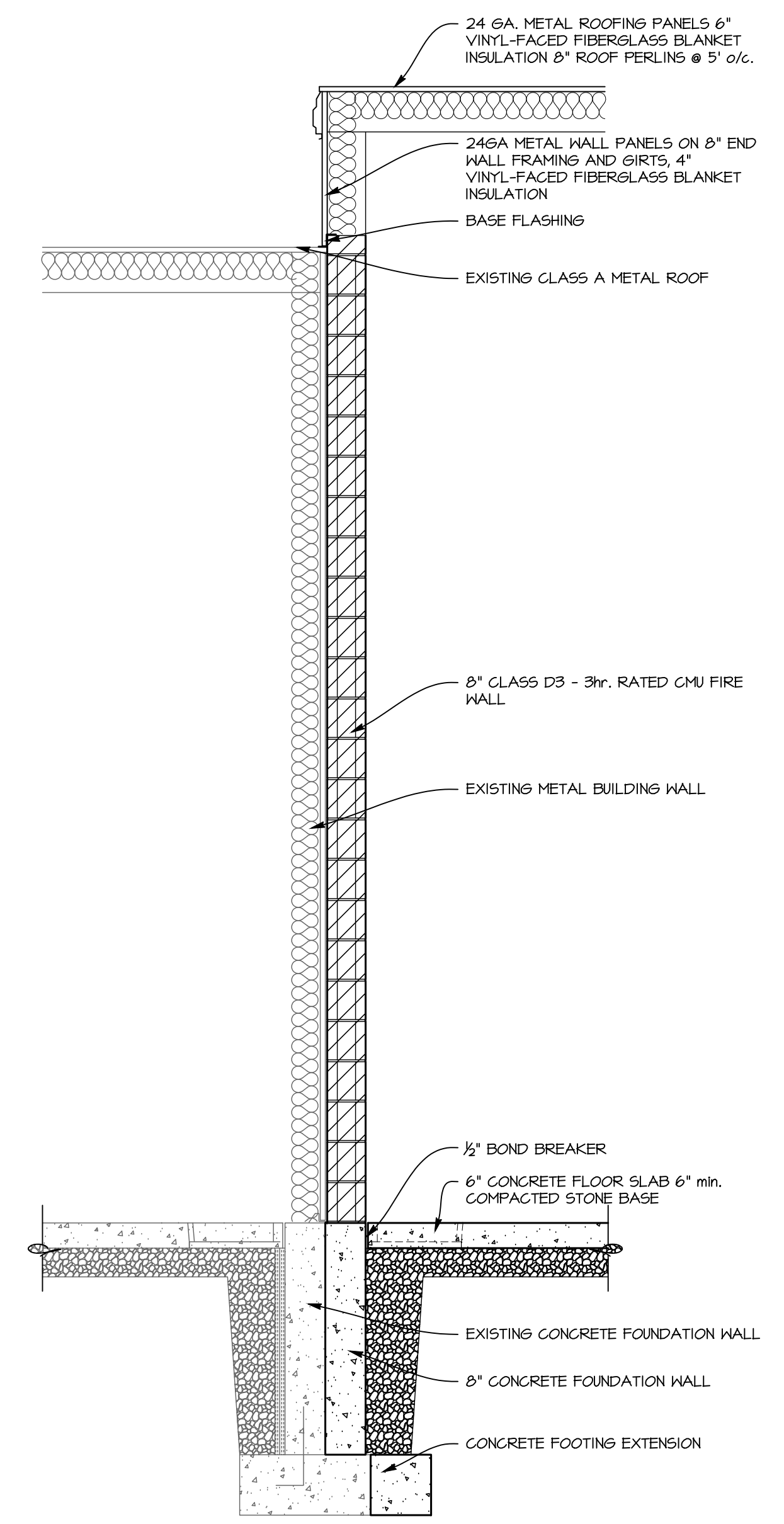
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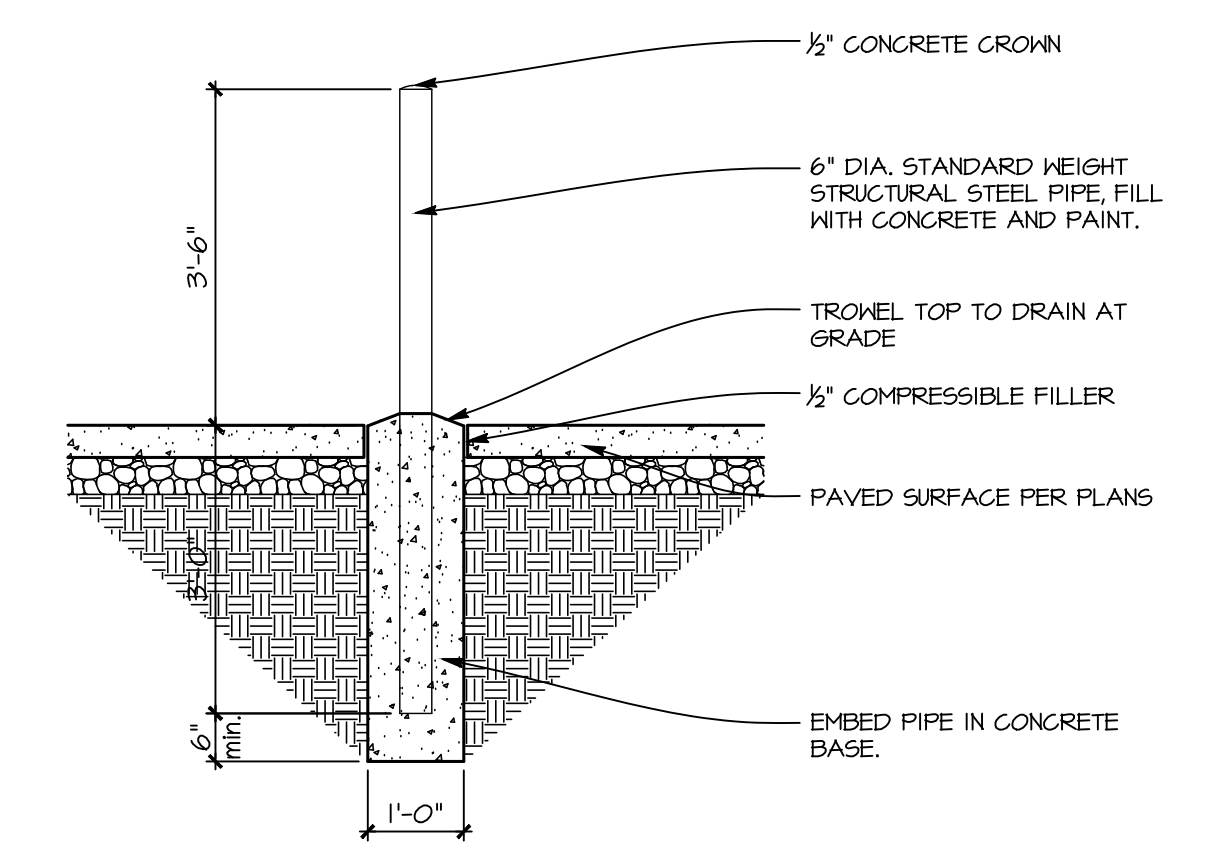
1 BUILDING SECTION SCALE: 1/8" = 1'-0"



2 INTERNAL DOCK SECTION SCALE: 1/2" = 1'-0"



3 FIRE WALL SECTION SCALE: 1/2" = 1'-0"



4 PIPE BOLLARD DETAIL SCALE: 1/2" = 1'-0"