



Zoning Permit Application
Town of Mukwonago

Version: December 28, 2020

Town of Mukwonago
W320 S8315 Beulah Road
Mukwonago, WI 53149

OFFICE USE ONLY **Z24-23** **check #1681**

Application Number: _____ Fee Paid: \$ **60** Fee Received By: _____ clerk's office, 6/18/24
Date Received: _____

Parcel Number: **MUKT1944049** Property Address: **W328 S8375 S. Oak Tree Dr.**

xref:
SE 2024-15

Property Owner	Agent (if any)
Name Payton & Danielle Paquin Revocable Living Trust	Payton Paquin
Street address W328 S8375 S. Oak Tree Dr.	
City, state, zip code Mukwonago, WI 53149	
Daytime telephone 262-879-4284	608-516-3179
Email address payton.paquin@gmail.com	

General description of proposed project: **Construction of a new 1,280 SF Detached Garage.**

Zoning Information

Zoning District(s) (check all that apply)

- C-1 Conservancy
- A-1 Agricultural
- RH Rural home
- SE Suburban estates
- R-1 Residential
- R-2 Residential
- B-2 Local business
- P-1 Public
- PUD: _____
- EC Environmental corridor (overlay)
- HS Hydric soils (overlay)

Setbacks and Offsets

Front-yard setback: **50** feet from building foundation to base setback line (road right-of-way)
 Side-yard offset: **30** feet from building foundation to **North** property boundary line
 Side-yard offset: **78.5'** **30** feet from building foundation to **South** property boundary line
 Rear-yard offset: **30** feet from building foundation to **West** property boundary line
 EC setback: **50** feet from building foundation to Environmental Corridor District (if any)
 C-1 setback: **75** feet from building foundation to Conservancy District (if any)

For assistance in the zoning districts please visit: <https://townofmukwonago.zoninghub.com/home.aspx>

Floor Area of Buildings (in square feet from exterior wall to exterior wall)

	Existing	Proposed
Principal building (first floor)	2,175 SF	—
Principal building (second floor)	—	—
Attached garage	—	—
Detached building (#1)	—	1,280 SF
Detached building (#2)	—	N/A
Total		1,280 SF

Sanitary Permit No. (Buildings requiring sanitation only): **N/A**

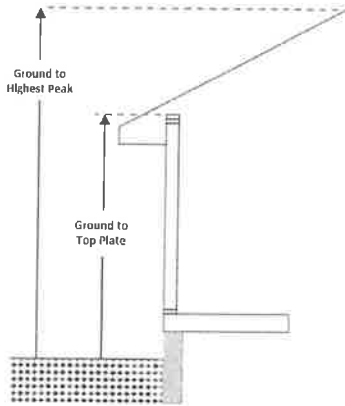
New Building with a Basement

- Elevation of top of foundation **N/A** (This should be shown on the grading plan.)
- Elevation of top of basement floor **N/A** (This should be shown on the grading plan.)
- Elevation of top of footing **N/A** (This should be shown on the grading plan.)
- Elevation of seasonal high-water table **N/A** (This is listed in the Seasonal High Groundwater Determination Report.)

Note: The top of the basement floor must be one foot or more above the seasonal high-water table.

Height of Proposed Building(s)

	Building 1		Building 2		Building 3	
	Ground to Top Plate	Ground to Highest Peak	Ground to Top Plate	Ground to Highest Peak	Ground to Top Plate	Ground to Highest Peak
Front	16' 8 10'	23' 2"				
Left	16' 8 10'	23' 2"				
Right	16' 8 10'	23' 2"				
Rear	16' 8 10'	23' 2"				



Applicant certification

- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the Zoning Administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner Signature(s):


[Handwritten Signature]

Date:

6-17-24

Application Number: 224-23

Decision: Approved

Zoning Administrator:  Date: 08/19/2024

Terms and Conditions of Approval The terms and conditions indicated below apply to this approval.

Expiration This approval will expire without any further action if the proposed construction project does not commence within 6 months of date of this approval, or the project is not completed within 18 months of date of this approval. The Zoning Administrator may allow a one-time extension of 12 months provided the property owner submits the request in writing before the above-mentioned time periods and the project still complies with all applicable zoning requirements.

Administrative appeal A person may appeal this approval within 30 days of the decision date (noted above) by filing an administrative appeal with the Zoning Board of Appeals. If the Town receives an appeal within this timeframe, we will notify you. All work should cease if an appeal has been submitted.

Strict compliance All work performed, improvements constructed, and use of the property shall be according to the submitted application materials, the Town of Mukwonago municipal code, and all other applicable ordinances, regulations, and permits.

Stormwater drainage No improvement or use of the property shall adversely affect drainage on surrounding properties.

Grade. The property owner is solely responsible for establishing the final yard grade and building elevation, including walkout basements and partially exposed basements, and windows/doors near the ground surface.

Private covenants The property owner is solely responsible to ensure the proposed project complies with any private restrictions (e.g., subdivision covenants) that may apply to the subject property.

Building permit is required The Town's building inspector must approve all applicable building plans for the project.

Building permit is not required A building permit is not required.

Certification of location by surveyor A surveyor must certify compliance as part of the footing inspection and the foundation inspection. The form to be completed is attached.

Certification of location by owner The property owner must provide a sight line for the property boundary line to ensure the building complies with offset requirements or provide a survey by a surveyor.

Driveway As part of the building permit review process, the building inspector will ensure the proposed driveway complies with Section 14-118 of the municipal code including slope and placement on the lot, turnouts on long driveways, and vertical and side clearance. https://library.municode.com/wi/mukwonago_waukesha_co/codes/code_of_ordinances?nodemd=COOR_CH14BUBURE_ARTIVCUDR_S14-118NEDR

Culvert permit for Town Road The property owner must obtain a culvert permit for the driveway from the Town's building inspector. The application fee is \$75.

Culvert permit for County Highway The property owner must obtain a culvert permit for the driveway from Waukesha County. Contact Jason Mayer at 262-548-7749, JMayer@WaukeshaCounty.gov

Culvert permit for State Highway The property owner must obtain a culvert permit for the driveway from Wisconsin Department of Transportation, Southeast Region. Contact Kevin Koehnke, Kevin.Koehnke@dot.wi.gov

Limitation on impervious surfaces The subject property is located in a subdivision that is subject to limitations on impervious surface. Impervious surface includes any hard surface such as buildings and decks, driveways, patios, sidewalks, patios, and gravel areas. You must contact the Town when you add any additional impervious surface to this property.

Related approval(s) (if any)

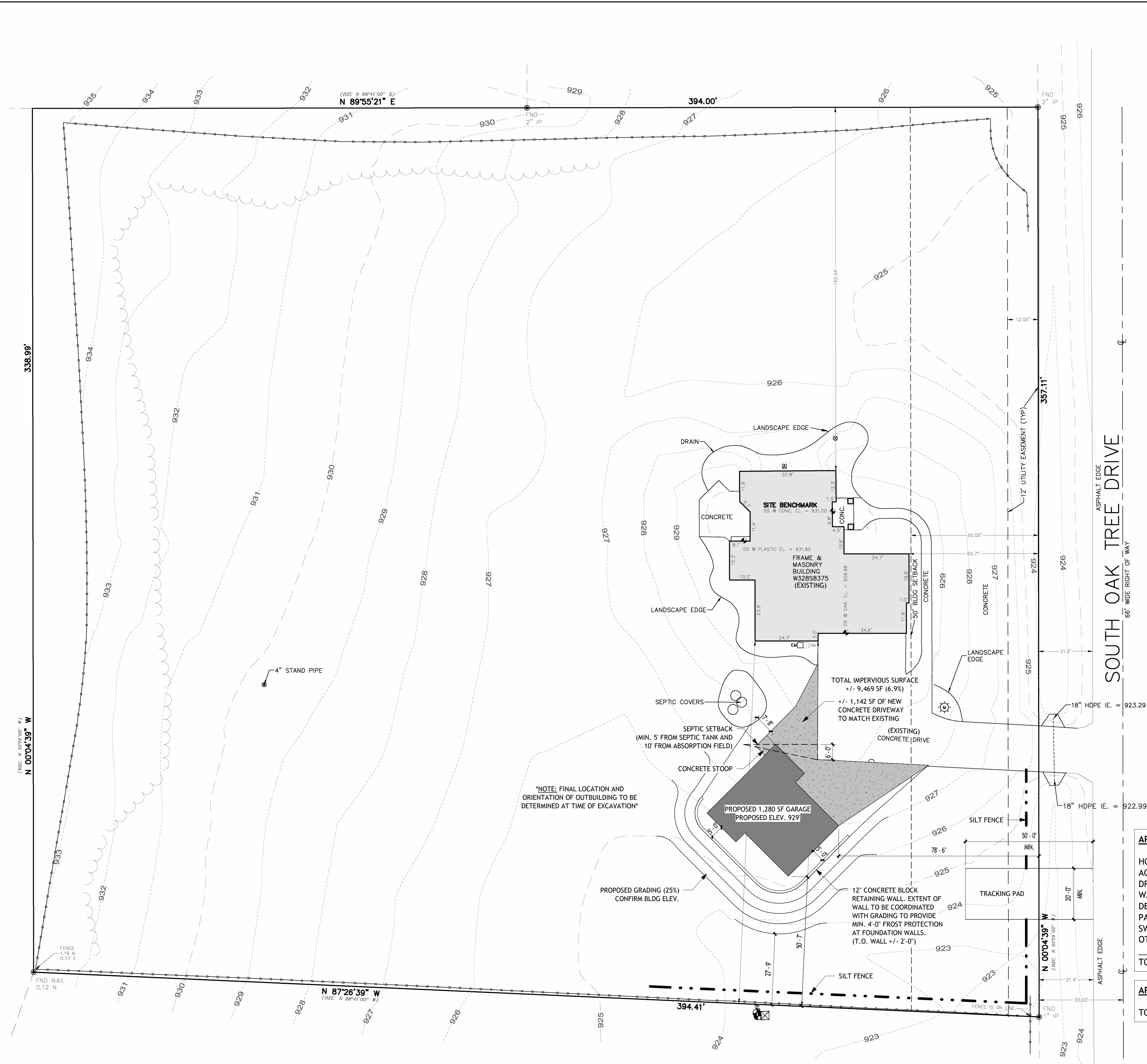
This approval is issued subject to a Special Exception (2024-15) granted by the Town of Mukwonago on 8.7.24.

This approval is issued subject to a _____ granted by the Town of Mukwonago on _____.

Other



CAPITOL SURVEY ENTERPRISES
 220 REGENCY CT. STE. 210
 BROOKFIELD, WI 53005
 PH: (262) 786-6600
 FAX: (414) 786-6608
 WWW.CAPITOLSURVEY.COM



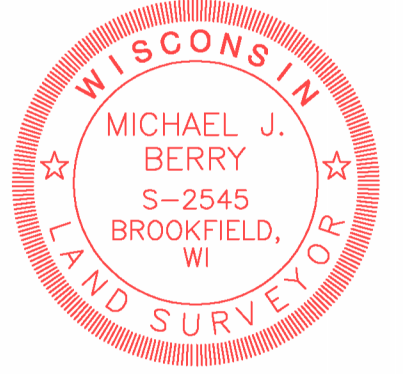
LEGAL DESCRIPTION:
 LOT 82 IN STONE BROOK ADDITION NO. 1, PART OF THE NW 1/4 AND SW 1/4 OF THE SW 1/4 OF SECTION 17 AND PART OF THE NE 1/4 AND SE 1/4 OF THE SE 1/4 OF SECTION 18 AND PART OF THE NE 1/4 AND SE 1/4 OF THE NE 1/4 OF SECTION 19 AND PART OF THE NW 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 20, ALL IN TOWNSHIP 5 NORTH, RANGE 18 EAST, TOWN OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN
 CONTAINING: 137,129 SQUARE FEET OR 3.15 ACRES.

NOTES
 1. LEGAL DESCRIPTION FROM SUBDIVISION PLAT.
 2. SUBJECT PROPERTY ZONED: A-1 - AGRICULTURAL.
 3. SETBACKS BASED ON TOWN OF MUKWONAGO ZONING CODE AND ARE AS FOLLOWS:
 CONSERVANCY DISTRICT, MINIMUM 75 FEET ENVIRONMENTAL CORRIDOR, MINIMUM 50 FEET SIDE AND REAR OFFSET, MINIMUM 30 FEET FRONT SETBACK, MINIMUM 50 FEET
 4. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 5. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION 'X'. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C0294G, WITH A DATE OF IDENTIFICATION OF NOVEMBER 5, 2014, IN COMMUNITY NO. 550476, WAUKESHA COUNTY, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
 6. SITE BENCHMARK - CONCRETE DOOR SILL AT THE EAST SIDE OF THE FRAME DWELLING #W328 58375 E.L. - 931.00.
 7. SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WAUKESHA COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)), NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83(2012)), USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WISCORS & GEOID 12A).

I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.
 THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.

AUGUST 25, 2023
 DATE

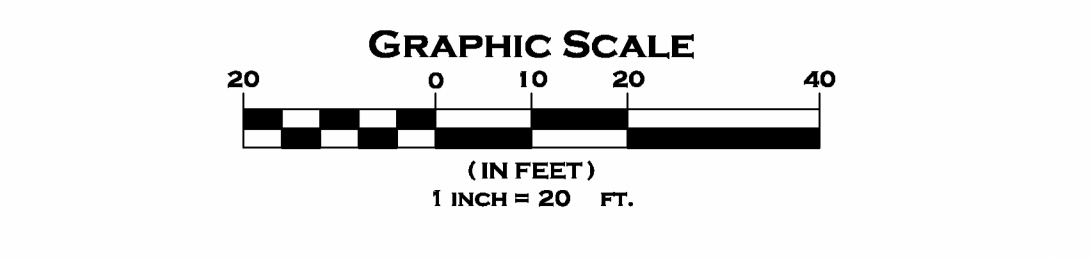
Michael J. Berry
 MICHAEL J. BERRY, S.L.S.
 REGISTERED LAND SURVEYOR S-2545



LEGEND	
— SAN	SANITARY SEWER
— SSW	STORM SEWER
— W	WATER MAIN
— TEL	TELEPHONE PEDestal
— TEL	BURIED TELEPHONE LINE
— TEL	BURIED TELEPHONE BOX AT GRADE
— TEL	TELEPHONE PEDESTAL
— TEL	TV PEDESTAL
— TEL	BURIED ELECTRIC LINE
— TEL	BURIED FIBER OPTIC LINE
— TEL	OVERHEAD UTILITY LINES
— TEL	BURIED CABLE TELEVISION LINES
— COMB	COMBINATION SEWER
— WOOD	WOOD FENCE
— METAL	METAL FENCE
— BRUSH	EDGE OF TREES AND BRUSH
— 1994-2015	DOOR SILL ELEVATION
— 1994-2015	FIRE DEPARTMENT CONNECTION
— HYDANT	HYDANT
— WATER VALVE	WATER VALVE
— GAS VALVE	GAS VALVE
— MANHOLE	MANHOLE
— STORM MANHOLE	STORM MANHOLE
— CATCH BASIN	CATCH BASIN
— CURB INLET	CURB INLET
— METAL LIGHT POLE	METAL LIGHT POLE
— CONCRETE LIGHT POLE	CONCRETE LIGHT POLE
— WOOD LIGHT POLE	WOOD LIGHT POLE
— MIAL BOX	MIAL BOX
— CH	CHICK OPTIC MARKERS
— ST	STAINLESS STEEL

www.Diggers-Hotline.com

 DIAL 811 OR (800) 242-8511



APPROXIMATE IMPERVIOUS AREAS

HOUSE (W/ ATTACHED GARAGE)	3,286 SF
ACCESSORY BUILDING(S)	1,280 SF
DRIVEWAY	4,038 SF
WALKWAYS	415 SF
DECKS	N/A
PATIOS	450 SF
SWIMMING POOLS	N/A
OTHER	N/A
TOTAL	9,469 SF

APPROXIMATE LAND DISTURBANCE AREA

TOTAL	5,541 SF
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PLAT OF SURVEY WITH TOPOGRAPHY FOR PAQUIN RESIDENCE

PAQUIN RESIDENCE
 W32858375 S OAK TREE DR
 MUKWONAGO, WI

DRAWN BY: DM	DATE: AUG. 14, 2023
CHECKED BY: MJB	DRAWING NO. P-0
CSE JOB NO.: 23-079	SHEET 1 OF 1

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No.	Description	Date

PEYTON PAQUIN
PAQUIN RESIDENCE
Architectural Site Plan

Project Number: ----
 Date: 07-25-2024
 Drawn By: NS
 Checked By: PP

A101

Scale: 1" = 20'-0"

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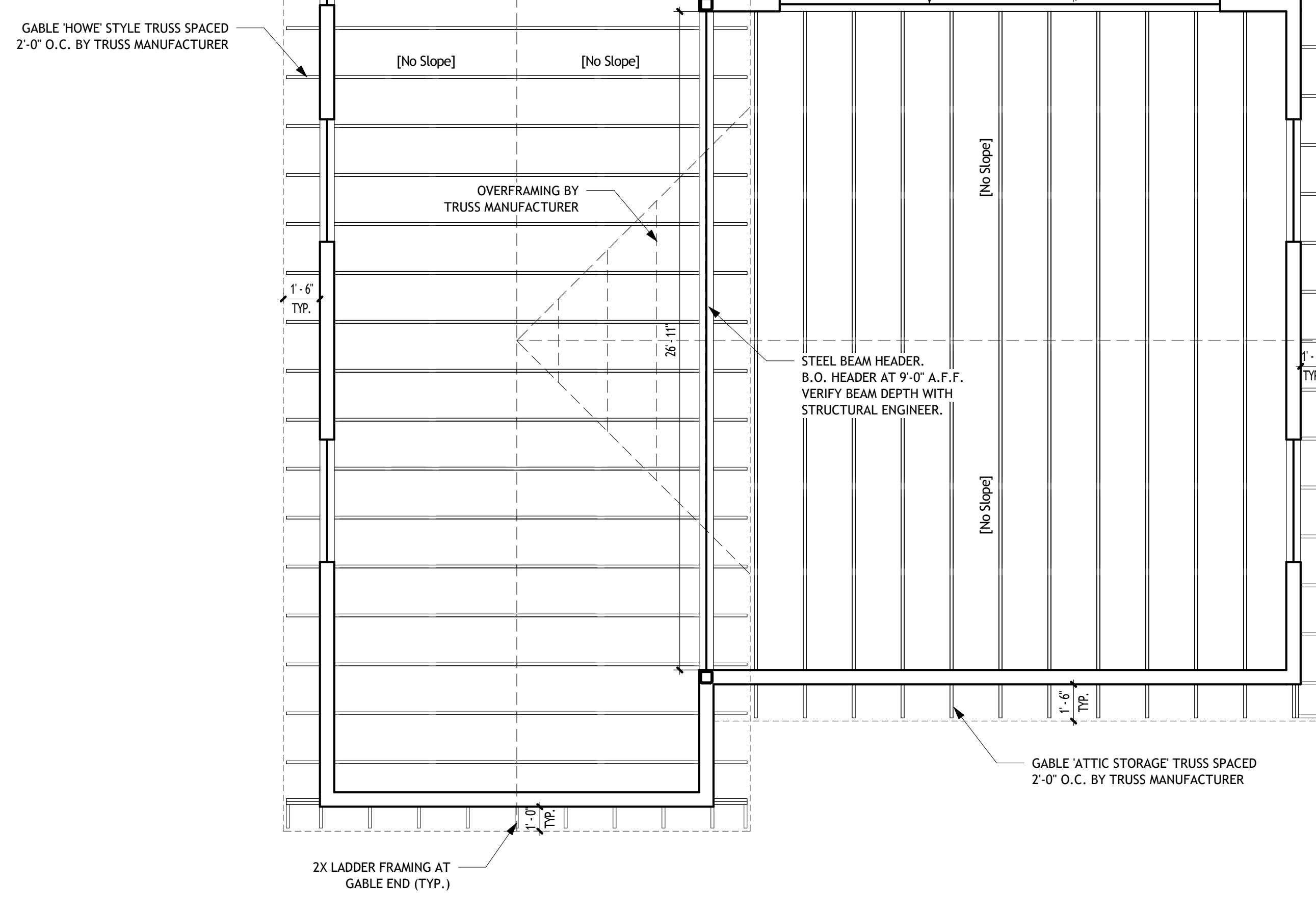
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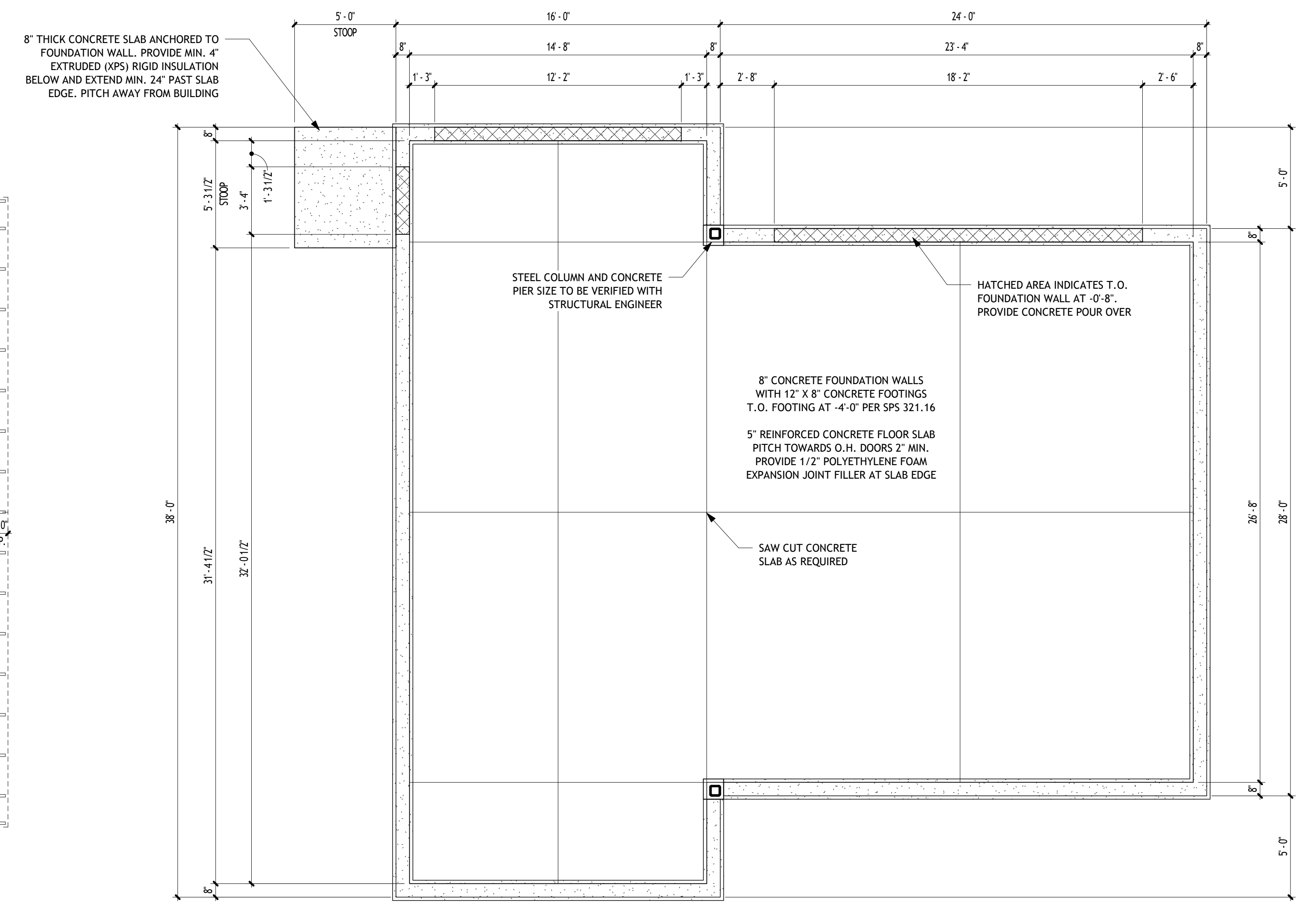
No.	Description	Date

PEYTON PAQUIN
PAQUIN RESIDENCE
Architectural Floor Plans

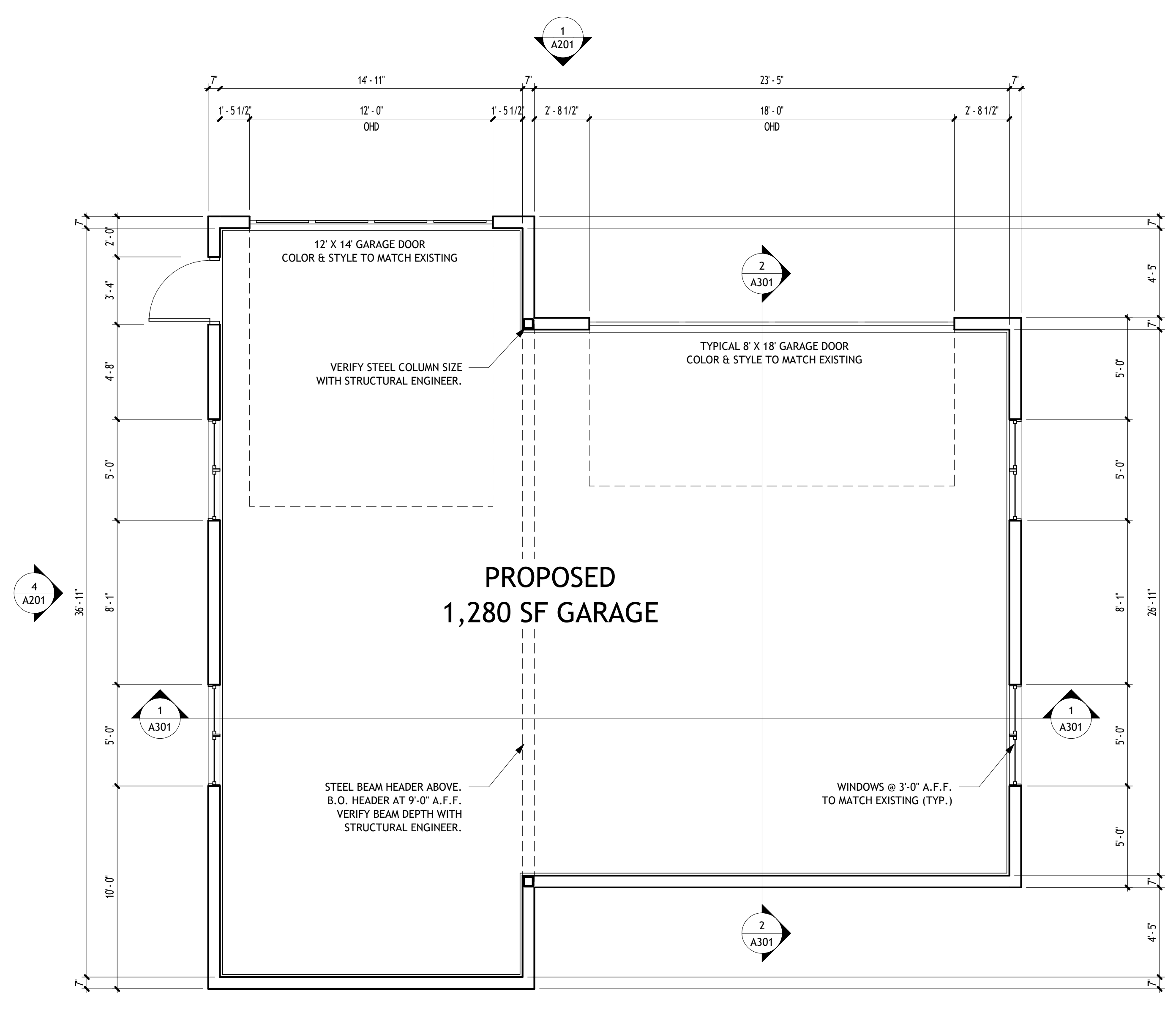
Project Number: ----
 Date: 07-25-2024
 Drawn By: NS
 Checked By: PP
A102
 Scale: 1/4" = 1'-0"



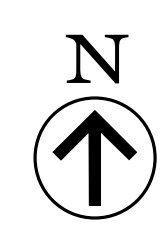
③ Roof Framing Plan
1/4" = 1'-0"



② Foundation Plan
1/4" = 1'-0"



① Overall Floor Plan
1/4" = 1'-0"



7/25/2024 9:00:11 PM

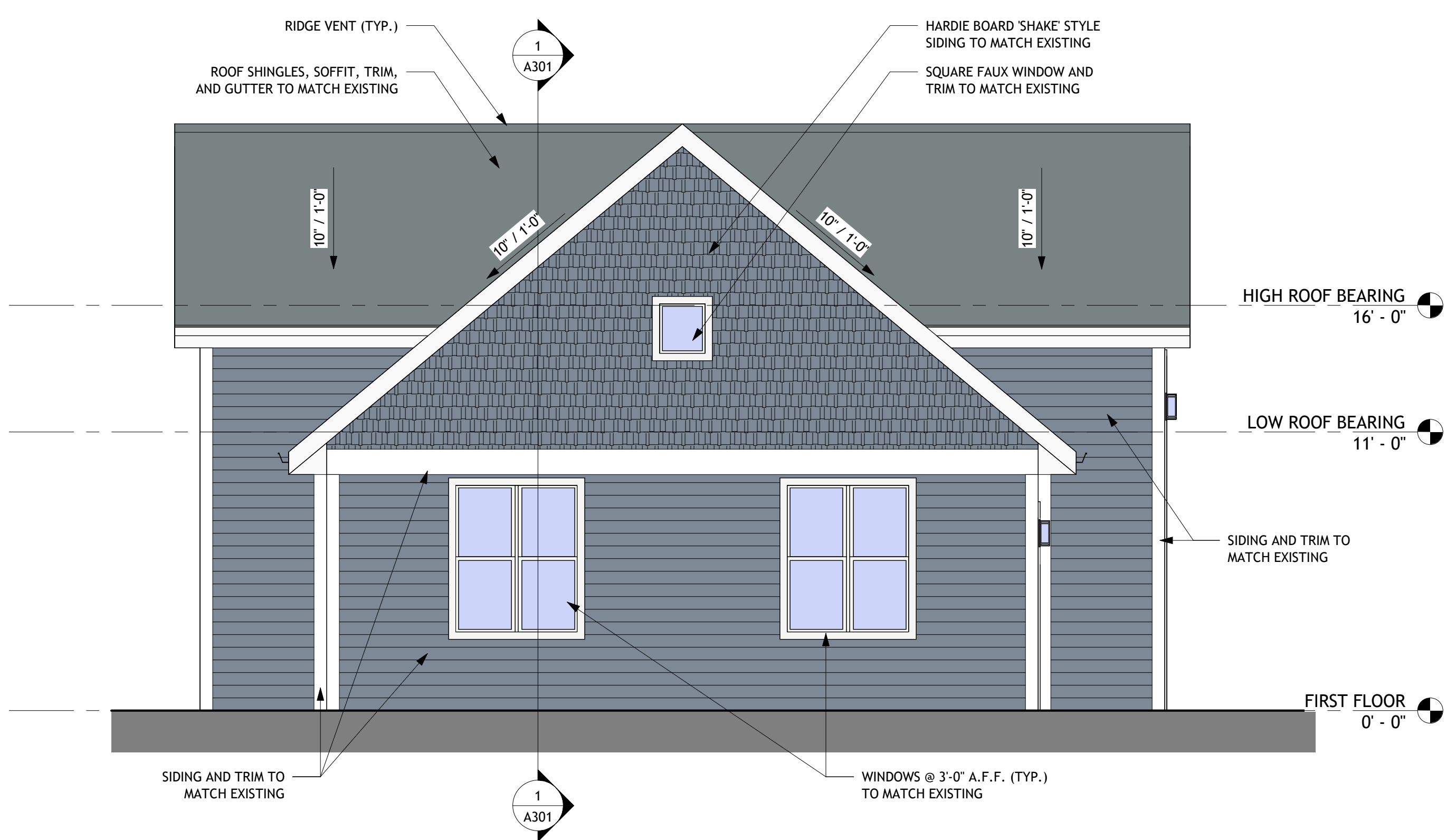
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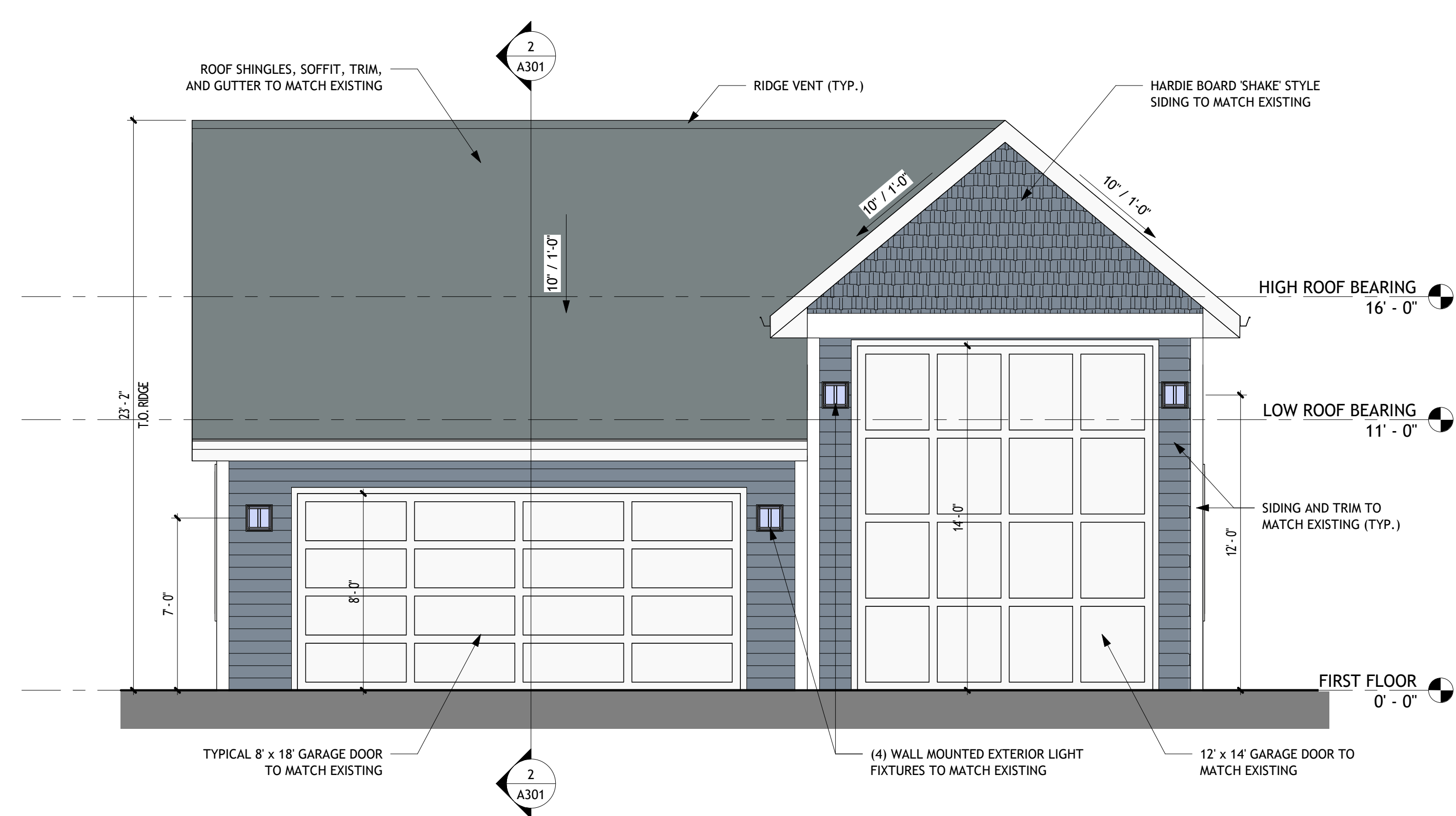
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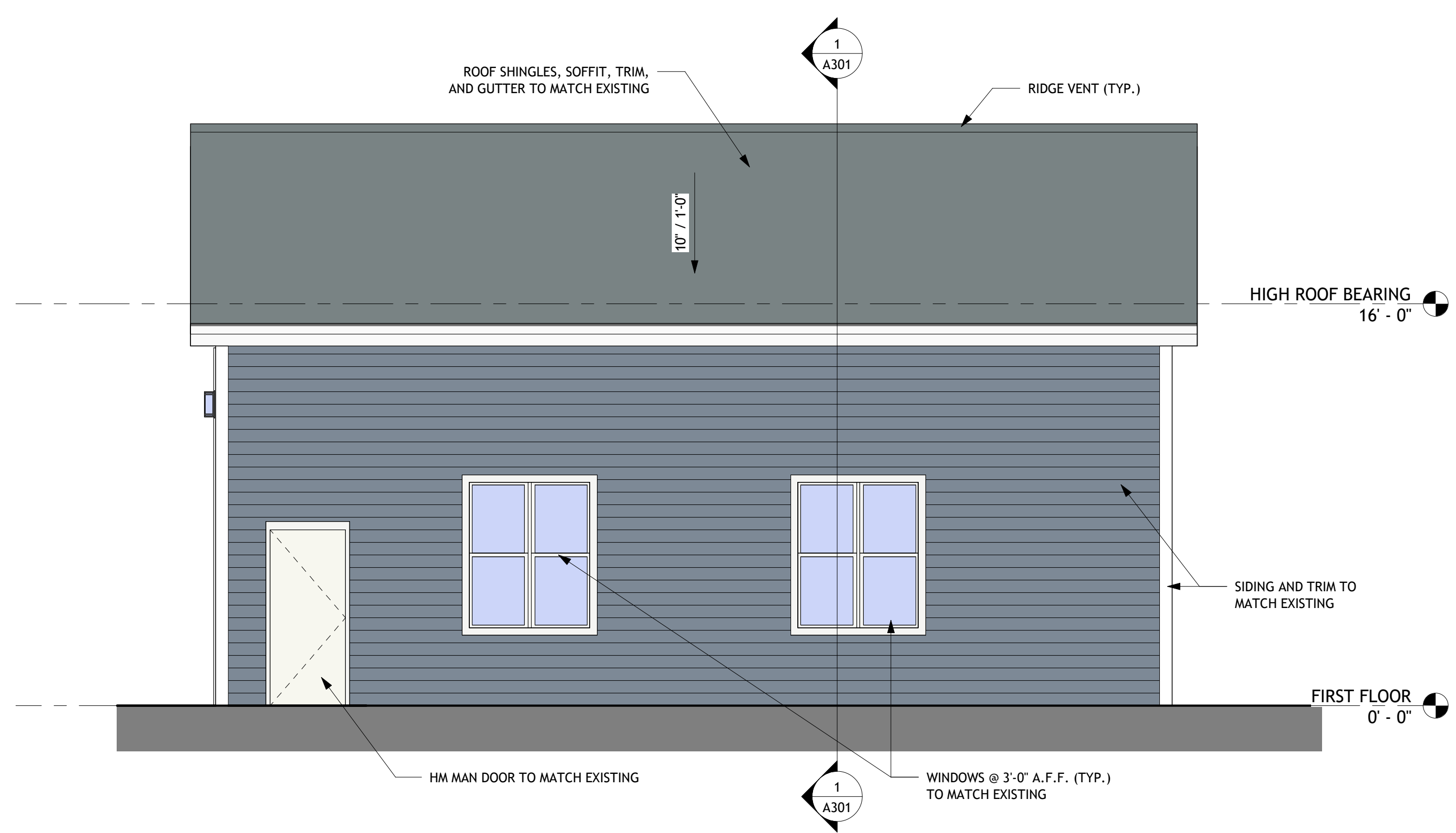
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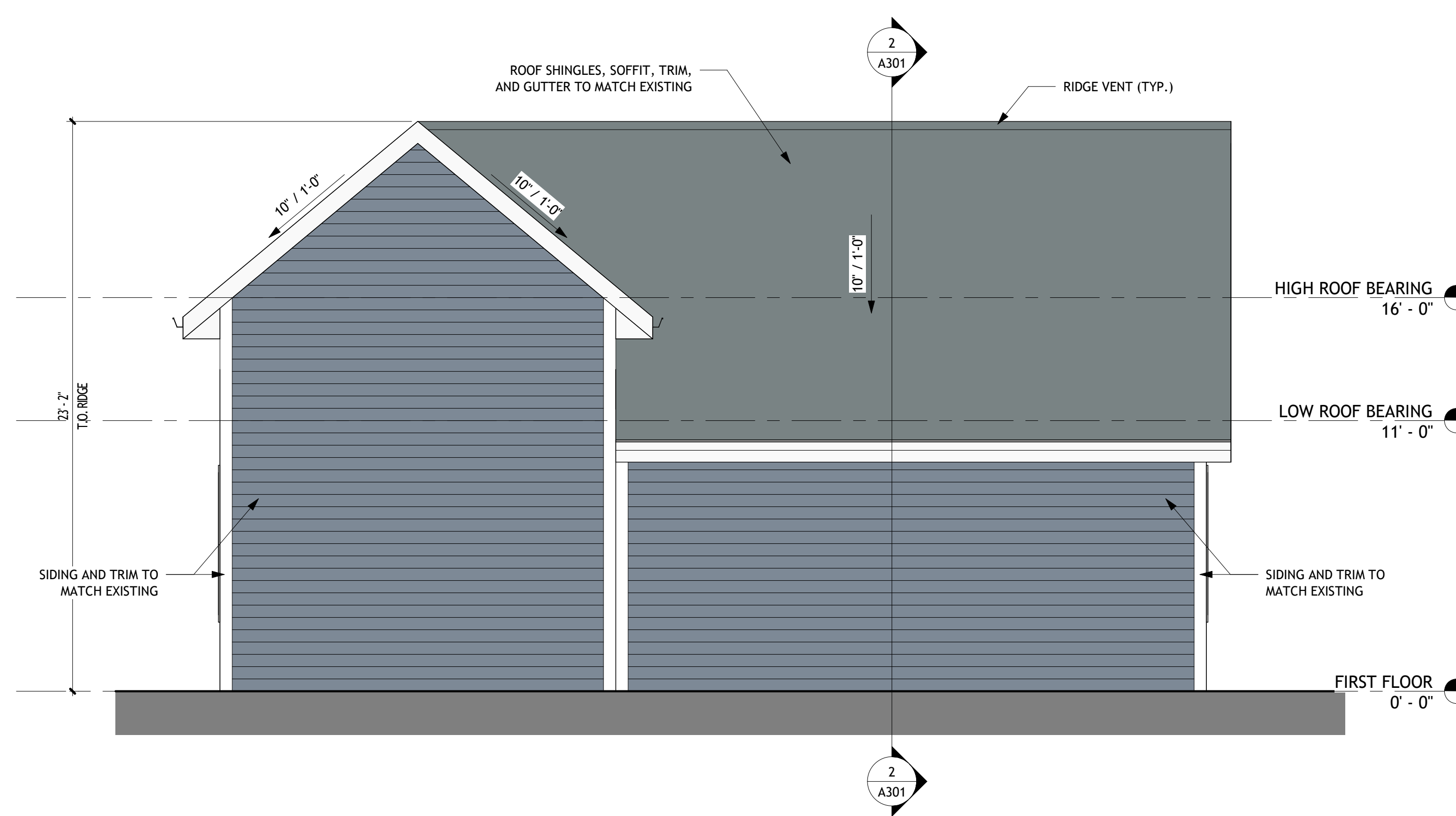
② East Architectural Building Elevation
1/4" = 1'-0"



① North Architectural Building Elevation
1/4" = 1'-0"



④ West Architectural Building Elevation
1/4" = 1'-0"



③ South Architectural Building Elevation
1/4" = 1'-0"

No.	Description	Date

PEYTON PAQUIN
PAQUIN RESIDENCE
Architectural
Building Elevations

Project Number **----**
Date **07-25-2024**
Drawn By **NS**
Checked By **PP**

A201
Scale **1/4" = 1'-0"**

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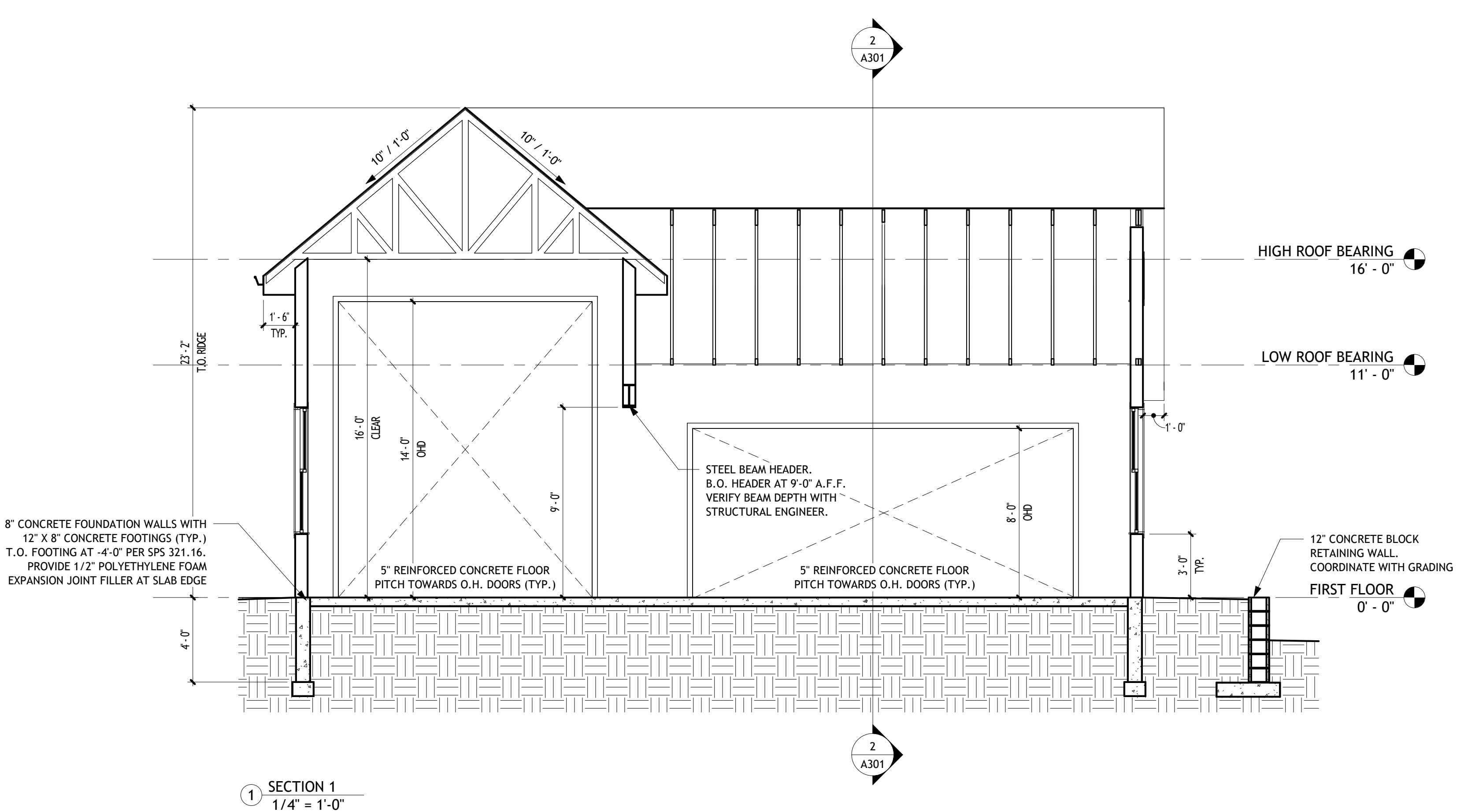
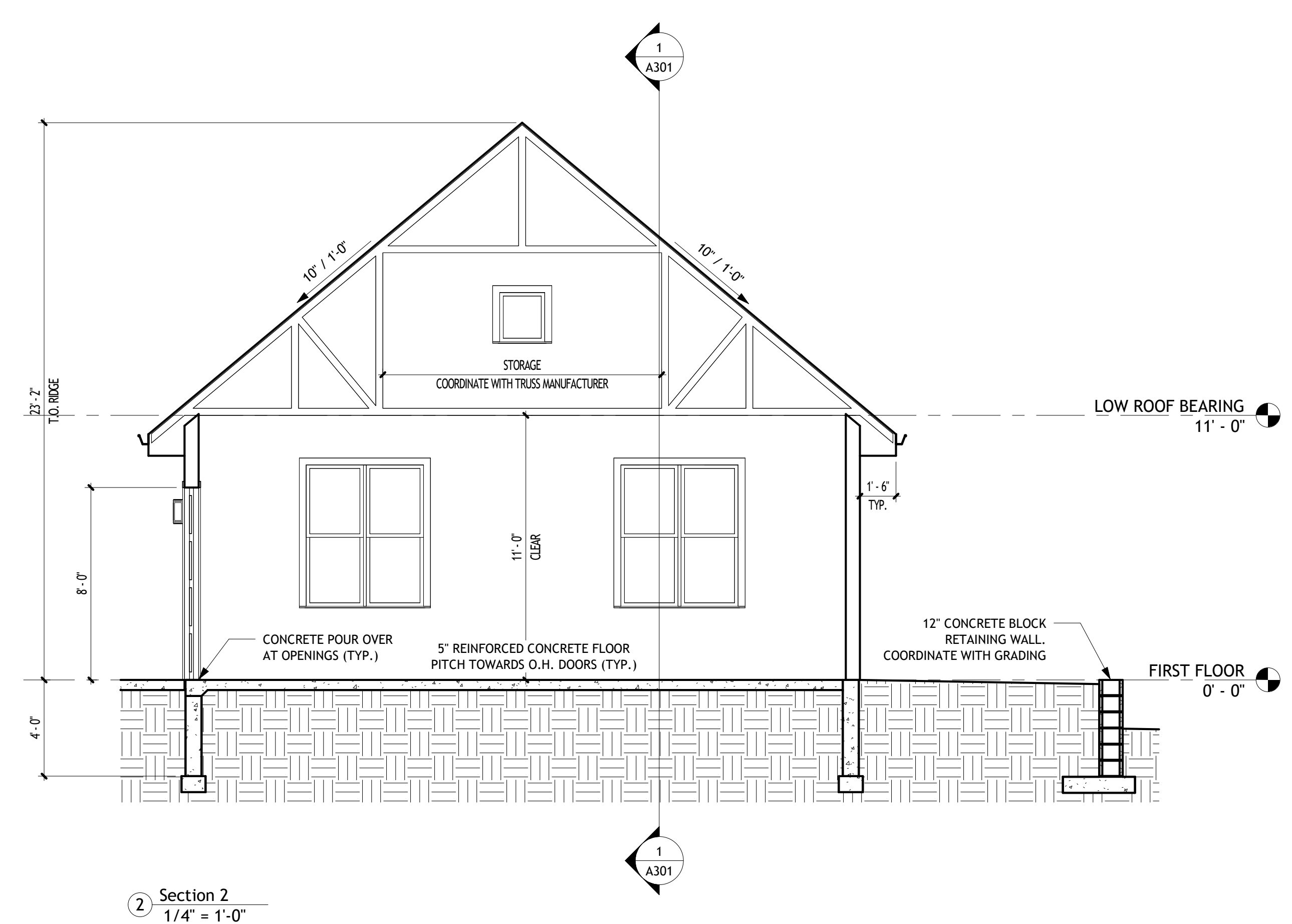
Consultant
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No.	Description	Date

PEYTON PAQUIN
PAQUIN RESIDENCE
Architectural
Building Sections

Project Number
Date 07-25-2024
Drawn By NS
Checked By PP

A301
Scale 1/4" = 1'-0"



Stormwater Permit

Permit # 601592

Permit Expiration Date: 6/15/25

This permit has been issued pursuant to the Waukesha County Stormwater Management and Erosion Control Ordinance (Chapter 14 Code of Ordinances).

Project Type & Name: Paquin Outbuilding

Permit Holders Name: Paquin

Project Location:
Survey Township of Mukwonago, Section 17, 1/4 Section NW
Address (if available): _____

Issued by (staff name): Jim Rose Date Issued: 8/6/24

Waukesha County Department of Parks and Land Use
Land Resources Division
Administration Center
515 W. Moreland Blvd., Room AC 260
Waukesha, WI 53188
Phone: 262-896-8300

- Post this permit on premises in clear view from road -



Waukesha County

Department of Parks and Land Use

August 6, 2024

Peyton Paquin

Re: **Stormwater Permit #601592**
Paquin Outbuilding
Section 17, Town of Mukwonago

Peyton,

The Waukesha County Department of Parks and Land Use – Land Resources Division (“LRD”) has reviewed and approved your application and plans submitted for a small site erosion control only stormwater permit.

Waukesha County staff will be conducting periodic compliance inspections. Any additional erosion control measures that our staff deems necessary based on field observations must be installed promptly. A permit placard has been provided; please ensure it is posted in clear view.

If you have any questions, you can reach me by telephone at (262) 896-8308.

Sincerely,

A handwritten signature in black ink that reads "Jim Rose".

Jim Rose
Sr. Conservation Specialist
Land Resources Division

cc: Ben Greenberg

Waukesha County
*Department of Parks and
Land Use*



July 10, 2024

Peyton Paquin
W328S8375 S. Oak Tree Dr.
Mukwonago, WI 53149

Re: Preliminary Site Evaluation
Garage
W328S8375 S. Oak Tree Dr.
Town of Mukwonago

Dear Peyton Paquin:

On July 8, 2024, a preliminary site evaluation was conducted on the above referenced premise. The purpose for this evaluation was to determine the operating condition of your private sewage system, the approximate location of this system and whether the improvement to your property could have a detrimental effect on the continued operation of your existing system.

Based on the site evaluation, it is this Department's Position that the proposed improvement on your property would not have an adverse effect on the operation of your private sewage system, therefore, this Department would not object to the improvement as requested. A building permit from the local building inspector is required prior to construction of the above referenced improvement.

The following comments are being made to you regarding the evaluation of your private sewage system.

This premise is served by a conventional private sewage system. Our records show the private sewage system was installed on September 2, 2017, by Jason Kmiecik, plumber number 963965, and consists of a three compartment system with a 1,360 gallon septic capacity, a 890 gallon lift capacity, and two 3 ft. by 124 ft. seepage areas.

In addition a sewage filter is located inside your septic tank. Filters are designed to remove suspended matter which would otherwise exit the septic tank and enter the soil absorption system causing clogging to occur. Compared to routine tank pumping, filter maintenance may be necessary at more frequent intervals to prevent clogging. Filter maintenance is usually done by a sewage hauler or homeowner.

This private sewage system was for a residence having no more than 4 bedrooms.

At the time of our visit there was no evidence of sewage accumulating on the surface of the ground. Effluent was observed in the vent/observation pipe which may indicate that the private sewage system is operating in a saturated condition. Saturation is the condition which occurs in the soil absorption area of the private sewage system due to one or more of the following reasons:

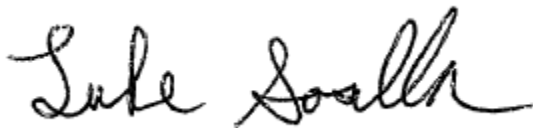
1. The natural aging process in which the soil pores of older filter systems become clogged, thereby decreasing the soil absorption ability,
2. The installation of a soil absorption area within the zones of saturation, as defined by the fluctuation of the seasonal high ground water table,
3. Excessive or improper use of the private sewage system.

A saturated private sewage system may require more frequent pumping and water conservation to maintain the system in a sanitary and nuisance-free condition. While the private sewage system showed no visible evidence of failure or malfunction, at this time there is no known method to accurately predict how long a private sewage system will last.

These observations are for information only and in no way guarantees the future operation of the private sewage system.

If you have any questions concerning this letter, please feel free to call our Department at (262)-896-8300.

Sincerely,

A handwritten signature in black ink that reads "Luke Sosalla". The signature is written in a cursive, flowing style.

Luke Sosalla
Environmental Health Sanitarian

cc: Building Inspector

4779418

REGISTER OF DEEDS
WAUKESHA COUNTY, WI
RECORDED ON

August 14, 2024 11:58 AM
James R Behrend
Register of Deeds

2 PGS
TOTAL FEE:\$30.00
TRANS FEE:\$0.00

Book Page -



Return to:

Ben Greenberg, Town Planner
Cedar Corporation
W61 N497 Washington Ave.
Cedarburg, WI 53012

Parcel No.: MUKT 1944.049

Declaration of Restrictions

WHEREAS, the undersigned own the real property located at W328 S8375 S. Oak Tree Dr., in the Town of Mukwonago, Waukesha County, Wisconsin, ("subject property") more particularly described as follows:

Lot 82 Stone Brook Hollow Addition No. 1, Part of the SE 1/4 of Section 18 & NW 1/4 Section 20 & SW 1/4 Section 17 & NE 1/4 Section 19 T5N R18E

WHEREAS, the undersigned submitted a petition [2024-15] for a special exception to exceed the allowable height of a detached accessory building pursuant to Section 36-421 of the Town's zoning code; and

WHEREAS, the Town Plan Commission reviewed the request and approved the same at their meeting on August 7, 2024; and

WHEREAS, Section 36-425 of the Town's zoning code authorizes the Town Plan Commission to impose conditions deemed necessary to further the intent and purposes of the Town's zoning code; and

WHEREAS, one of the conditions of approval requires that the undersigned record this declaration of restriction; and

WHEREAS, the undersigned, by signing and recording this document, is in agreement with the restrictions herein imposed.

NOW, THEREFORE, In consideration of the granting of the aforementioned special exception by the Town Plan Commission, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the undersigned hereby executes this declaration of restrictions, intending to be bound and to impose this declaration as a covenant and restriction upon the subject property, which will run with the land and shall be binding upon the undersigned and their successors in title and interest to the subject property.

RESTRICTIONS IMPOSED

1. The building shall only be used for personal use and shall not be used for any type of commercial or industrial purposes unless otherwise permitted by the Municipal Code of the Town of Mukwonago.
2. The size and shape of the subject property existing on this date shall not be modified without the written approval of the Town of Mukwonago Town Board.
3. This instrument shall not be amended or repealed without prior written permission of the Town of Mukwonago Town Board.
4. The Town of Mukwonago Town Board shall have the authority, but not the obligation, to enforce this deed restriction.

Return to:

Ben Greenberg, Town Planner
Cedar Corporation
W61 N497 Washington Ave.
Cedarburg, WI 53012

Parcel No.: MUKT 1944.049

The remainder of this page left intentionally blank

Dated this ____ of _____, 2024

Representative of Peyton and Danielle Paquin Revocable Living Trust

Printed Name

STATE OF WISCONSIN)

SS

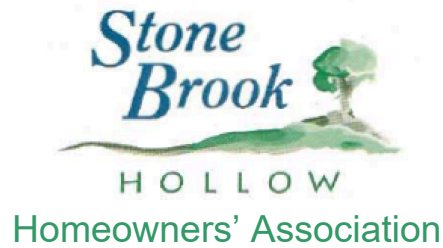
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 2024, the above named owner(s) of lands described above, _____ to be known to be the person(s) who executed the foregoing instrument and acknowledged the same.

NOTARY PUBLIC

My Commission Expires:

This instrument was drafted by Ben Greenberg, Town Planner, Town of Mukwonago, at the request of the property owner.



June 25th, 2024

Mr. and Mrs. Paquin
Lot 82, South Oak Tree Dr.
Mukwonago, WI 53149

Dear Mr. and Mrs. Paquin,

The Architectural review board of Stone Brook Hollow HOA, has reviewed your Accessory/Garage plans as submitted. Your plans have been approved as submitted based on the conditions noted on the submitted plans, and the conditions outlined in this letter pursuant to the Stone Brook Hollow Articles Covenant building requirements of your new home.

After final approval, any changes to the plan must be submitted and approved in writing by the SBH Architectural Committee.

Key Actions and Information:

Time to complete construction: Allowed no more than 1 year to complete construction from the date the ground was broken.

Landscaping as required by the SBH Covenants – All covenant required landscaping must be completed within 1 year of the owner occupancy from the Town of Mukwonago. A landscaping plan, not submitted at the time of the construction plans, must be submitted no later than 6 months prior and approved by the Architectural Committee. The Architectural Committee and the SBH Board of Directors is not responsible for improper planning on behalf of the resident or weather-related issues. The resident must plan accordingly to meet the deadlines.

- Landscaping shall include planting beds (with mulch) and shrubs, bushes, grasses immediately in front of and on each side of the dwelling that faces the neighbors view or road view from the front of the street so that a pleasing "park like" appearance shall ultimately be accomplished.

Any questions can be directed to Greg Cholka, President Stone Brook Hollow at 262-903-9119.

Sincerely,
Dan Klappa, Tony Van Lennep, Greg Cholka
Stone Brook Hollow, Review Board