

Date: July 29, 2024

To: Town of Mukwonago Plan Commission and Town Board

From: Ben Greenberg, Town Planner

Subject: Site plan/plan of operation for storage building (3,150 sf) associated with the Mukwonago School District, located at S93W30575 County Hwy NN (MUKT1959993007), Town of Mukwonago - Recreation Department, applicant

Application: 2024-12; <https://s.zoninghub.com/RSOPMWCGRM>

Meeting: August 7, 2024, Plan Commission and Town Board meeting

General Description. The Mukwonago School District has applied to construct a storage building adjacent to an existing storage building on the parcel. The property, which is next to the Mukwonago High School is zoned P-1 Public District.



Jurisdiction. The subject property is located in the Town's zoning jurisdiction.

Overview. The subject parcel, which is just over 14 acres in size, is immediately west of the Mukwonago High School on land also owned and utilized by the school district. The Hillside Community Church is located directly across the county highway and there is a single-family neighborhood to the west.

The property contains an accessory building, that is accessible from Hwy NN. This building appears to be the last remaining building from an old farm consolidation. No building or site landscaping is proposed; however, there is significant existing vegetation that currently screens a lot of the site from adjacent properties. The parcel is not served by a septic system.

The applicants are proposing to construct an additional building to be used for equipment storage and light maintenance. The building size will be 42' x 75' with a stated ceiling height of 13.5 ft. and peak roof height of 22 ft, which complies with the 60 ft. accessory building height limitation of the Public District. There are overhead service doors proposed on the south and east sides of the building. No service doors will face the road.

The roof and sidewalls of the wood framed building will be constructed from 26-gauge metal. The building colors will be blue and grey to match the storage building at the high school track. The building plans will require approval from the State. The building will be connected to the existing access drive. The building will be serviced by electricity, but there is no plan to extend plumbing.

Section 36-678 states that: "*Generally*. No accessory building shall be constructed until the principal building is completed or is being constructed." Therefore, the Plan Commission will need to consider if this provision is being complied with.

The existing or proposed accessory building on the lot could be considered principal to the use, given the purpose and intent of the Public District is intended to accommodate publicly owned facilities which serve a public use, such as education, recreation, medical care, or government. This would appear similar to the determination in 2021 to approve a site plan for a storage building in Oak Ridge Park (Oak Ridge Meadows), also zoned P-1. If considered the principal structure, the proposed accessory building would still comply with all dimensional requirements of the zoning district.

Alternatively, because this use in practical terms is accessory to the adjacent school but sits on a separate lot in a different municipality, the Town could consider the High School as the principal building/use. It should be noted that s. 36-678 does not explicitly state the buildings need to be on the same lot of record. Mukwonago Park would be an example of a Public District use that occupies multiple lots of record, some with only small accessory building on lots separated from the main park facilities.

Building location. The building is proposed to be 51 ft. from the nearest (west) lot line and 80 ft. from the road right-of-way. The setback and offset provided comply with the 50-foot offset and setback requirements of the district.

Review procedure. The Plan Commission makes the final decision regarding site plans/plans of operation.

Notice requirements. Aside from being shown on the meeting agenda, no other public notice is required.

Basis of decision. In reviewing the site plan request, the following general considerations set forth in s. 36-495, of the zoning code must be considered:

[It should be noted that this section requires additional design standards be met for any business or manufacturing uses. Those standards are not included below since the proposed use is for public purposes and not to serve a business or commercial interest.]

- (1) Effects of the project on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;
- (2) Effects of the project on the natural environment;
- (3) Effects of the project on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;
- (4) Compliance with the site design principles and architectural standards enumerated in

division 8 of article VI;

- a) Buildings and especially those within a largely developed area should fit into the context in which they occur.
- b) The scale of the building shall be compatible with the overall massing and the individual parts of adjacent buildings, especially existing and anticipated residential buildings in a residential zoning district or in an agricultural zoning district that is designated for future residential development in an adopted comprehensive plan.
- c) Windows, doors, and other openings must form a unified composition in proportion to the building elevation.
- d) Overhead doors shall not face a public street. Overhead doors shall not face a public street.

The proposed overhead doors will not face any public streets.

- (5) Compliance with other applicable requirements in this chapter; and
- (6) Any other factor that relates to the purposes of this chapter as set forth in section 36-5 or as allowed by state law.
- (7) In addition to the above noted general considerations, all supplemental standards of Appendix B – s. 13.01 for Non-Residential Accessory Buildings, also listed below, must be met.

- a) **Number and floor area.** The number of nonresidential accessory buildings and the floor area must comply with the standards set forth in Appendix C.

The P-I District does not limit the number or square footage of accessory buildings.

- b) **Type of construction.** A garage shall be of conventional wood-frame, metal-frame, or masonry construction. Soft-sided structures and canopies are specifically prohibited.

The proposed wood framed building is considered an acceptable type of construction.

- c) **Exterior materials** shall be the same as, or substantially the same as, those used on the principal building.

The building colors will match buildings with similar uses on the school grounds, see comments above regarding principal structure determination.

Imposition of conditions. The plan commission may impose one or more conditions of approval as may be necessary to grant approval. Such conditions and restrictions may relate to the establishment, location, construction, maintenance, operation of the use, off-site impacts, and any other aspect of the use that impacts the public health, safety, morals, comfort, or general welfare. If an approval includes one or more condition of approval, the property owner must sign the decision notice to acknowledge the terms of the approval and return the same to the zoning administrator within six months of the decision.

Required Conditions:

1. This approval will automatically expire 12 months after the date of approval unless substantial work as authorized by the approval has commenced and continues in good faith to completion and that the zoning administrator may, with cause, grant a one-time extension not to exceed 12 months;
2. The property owner must sign the decision notice to acknowledge the terms of the approval and return the same to the zoning administrator within six months of the decision.

Recommended Conditions.

1. The property owner must obtain a zoning permit within 6 months of this date.
2. The property owner must obtain a building permit for the approved building within 9 months of this date and complete the authorized work within one year of obtaining the permit.
3. If a Stormwater Permit from the Waukesha County Land Resources Division is required, it shall be obtained prior to any land disturbance and the applicant shall provide a copy of said permit to the Town Planner, prior to the issuance of a zoning permit.
4. **Professional Fees.** Petitioner shall, on demand, reimburse the Town for all costs and expenses of any type that the Town incurs in connection with this development, including the cost of consulting fees) for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in this conditional approval due to a violation of these conditions.
5. **Payment of Charges.** Any unpaid bills owed to the Town by the subject property owner or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Town; shall be placed upon the tax roll for the subject property if not paid within thirty (30) days of the billing by the Town, pursuant to Section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional approval that is subject to all remedies available to the Town, including possible cause for termination of the conditional approval.

Motion by Plan Commission for approval: Approve the site plan/plan of operation as set forth in the petitioner's application.

Potential Plan Commission motion for approval. Approve the site plan/plan of operation as set forth in the petitioner's application

Attachments:

1. Application materials



Town of Mukwonago Waukesha County

*

W320 S8315 Beulah Road • Mukwonago, WI 53149
Phone: (262) 363-4555 • Fax: (262) 363-8377

SUBMIT TO:

Tim Schwecke, Town Planner

DEADLINE, *By noon on Tuesday*

Returning Applicants, please have application materials in three weeks prior to Plan Commission Meeting which is on the first Wednesday of the month. *New* Applicants, please have application materials in four weeks prior to Plan Commission Meeting which is on the first Wednesday of the month

**CALL FOR AN APPOINTMENT
(262) 363-4555**

APPLICATION

TOWN OF MUKWONAGO PLANNING COMMISSION AGENDA

OWNER: Mukwonago Area School District AGENT: Andy Wegner

PROPERTY ADDRESS: S93W30575 Hwy NN

LEGAL DESCRIPTION School Grounds TAX KEY # MUKT1959993007

DAYTIME PHONE NUMBER 262-363-6300 x 24300 FAX: 262-363-6272

SPECIFIC REQUEST (Please check appropriate item)

- | | |
|---|---|
| <input type="checkbox"/> Certified Survey Map | <input type="checkbox"/> Conditional Use |
| <input type="checkbox"/> Lot NOT Abutting Public Road | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Site Plan & Plan of Operation | <input checked="" type="checkbox"/> Other |
| <input type="checkbox"/> Subdivision Plat | |

DETAILS OF PROPOSAL:

See enclosed description. 42' x 75' x 13'-6" Maintenance Storage Building

I, the undersigned, have been advised that pursuant to the Town of Mukwonago Code of Ordinance to utilize Section 66.60 (16), Wisconsin Statutes, if the Town Attorney, Town Engineer or any other Town professional provides services to the Town as a result of my activities, whether at my request or at the request of the Town, I shall be responsible for the fees incurred by the Town. Also, I have been advised that pursuant to the Town of Mukwonago Code of Ordinances, certain other fees, costs, and charges are my responsibility.



Signature of Property Owner

385. E. Veterans Way Mukwonago, WI 53149

Address of Property Owner

Signature of Responsible Party

Address of Responsible Party

Planner approves this request on agenda

Received by Town Representative / Date



Dear Town of Mukwonago Planning Commission,

Mukwonago schools is proposing to build a storage building at the location of S93W30575 County Rd NN, Mukwonago, WI 53149. It is a 14.27 acre lot.

The purpose of the building will be for equipment storage and light maintenance of equipment.

Building size will be 42' x 75' with a 13'-6" ceiling height. Roof and sidewalls will be 26 gauge metal. Colors are gray and blue to match the storage building at the high school track. There are 4 windows with shutters facing the street to add curb appeal. Doors are located on the sides away from the street. The building will be engineer stamped and built to the State of Wisconsin commercial specifications, wind load and snow loads. Peak height of building is 22' and roof pitch is 4/12.

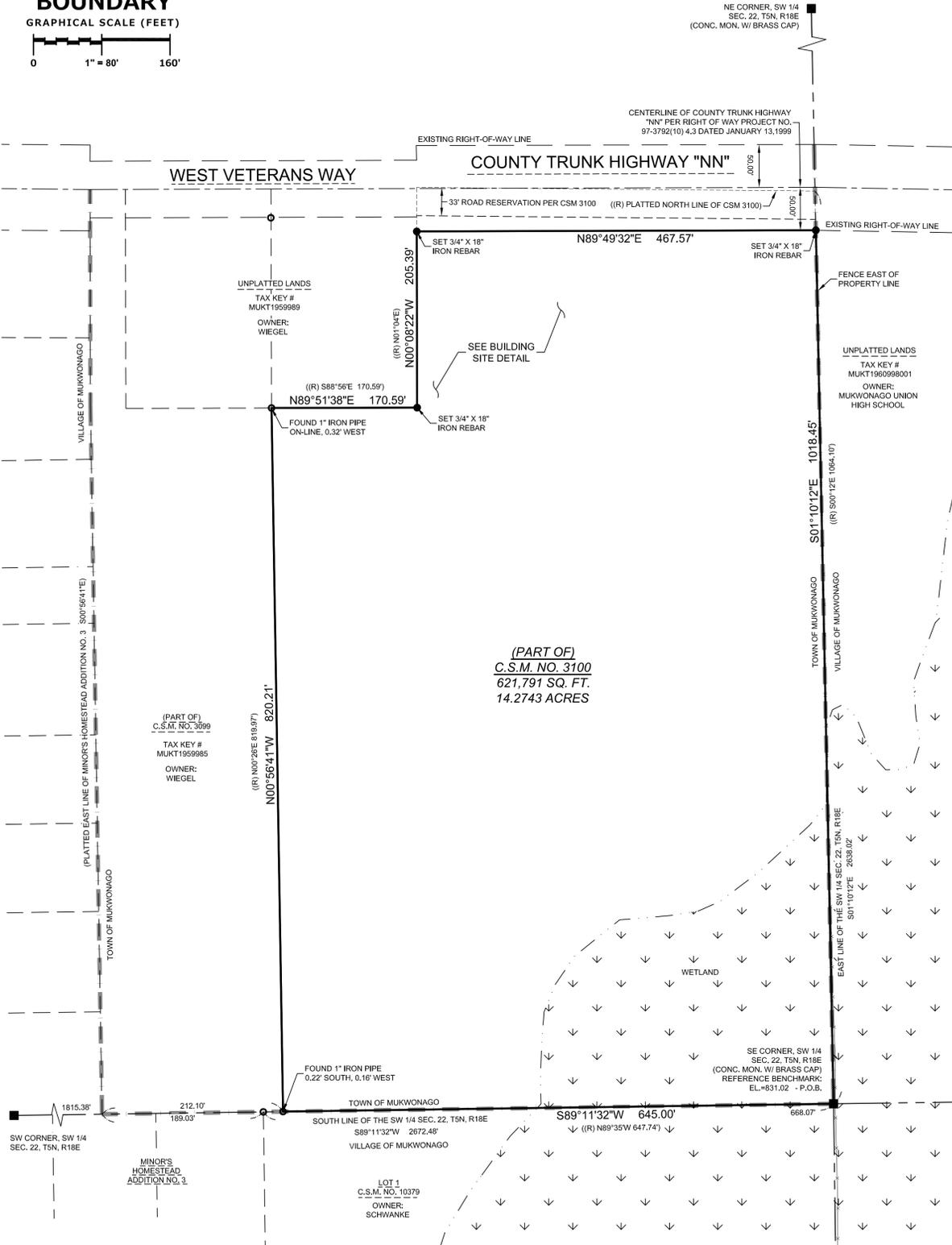
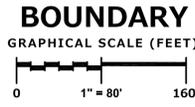
Building will be serviced by electricity with gutters and downspouts directing water away from the building. Survey and building drawings are submitted.

Thank you for your consideration,

Bill Canfield



Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (NAD 1927). The south line of the Southwest 1/4 of Section 22, Township 5 North, Range 18 East has a bearing of S89°11'32"W.



LEGAL DESCRIPTION:

Certified Survey Map No. 3100, as recorded in the Register of Deeds office for Waukesha County as Document No. 1019923, being a parcel of land in the Southwest 1/4 of Section 22, Township 5 North, Range 18 East, Town of Mukwonago, Waukesha County, Wisconsin.

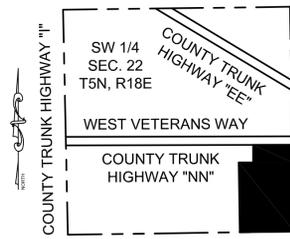
TAX KEY NO.: MUKT1959993007

MORE PARTICULARLY DESCRIBED AS:

Being a part of Certified Survey Map No. 3100, as recorded in the Register of Deeds office for Waukesha County as Document No. 1019923, being a parcel of land in the Southwest 1/4 of Section 22, Township 5 North, Range 18 East, Town of Mukwonago, Waukesha County, Wisconsin, described as:

Beginning at the southeast corner of the Southwest 1/4 of said Section 22 and the southeast east corner of said Certified Survey Map; thence South 89°11'32" West along the south line of said Southwest 1/4, 645.00 feet; thence North 00°56'41" West, 820.21 feet; thence North 89°51'38" East, 170.59 feet; thence North 00°08'22" West, 205.39 feet to the south right of way line of West Veterans Way - County Trunk Highway "NN"; thence North 89°49'32" East along said south right of way line, 467.57 feet to the east line of the aforesaid Southwest 1/4 and the east line of Certified Survey Map No. 3100; thence South 01°10'12" East along said east line, 1018.45 feet to the Point of Beginning.

VICINITY MAP
SCALE 1"=1000'



GENERAL NOTES

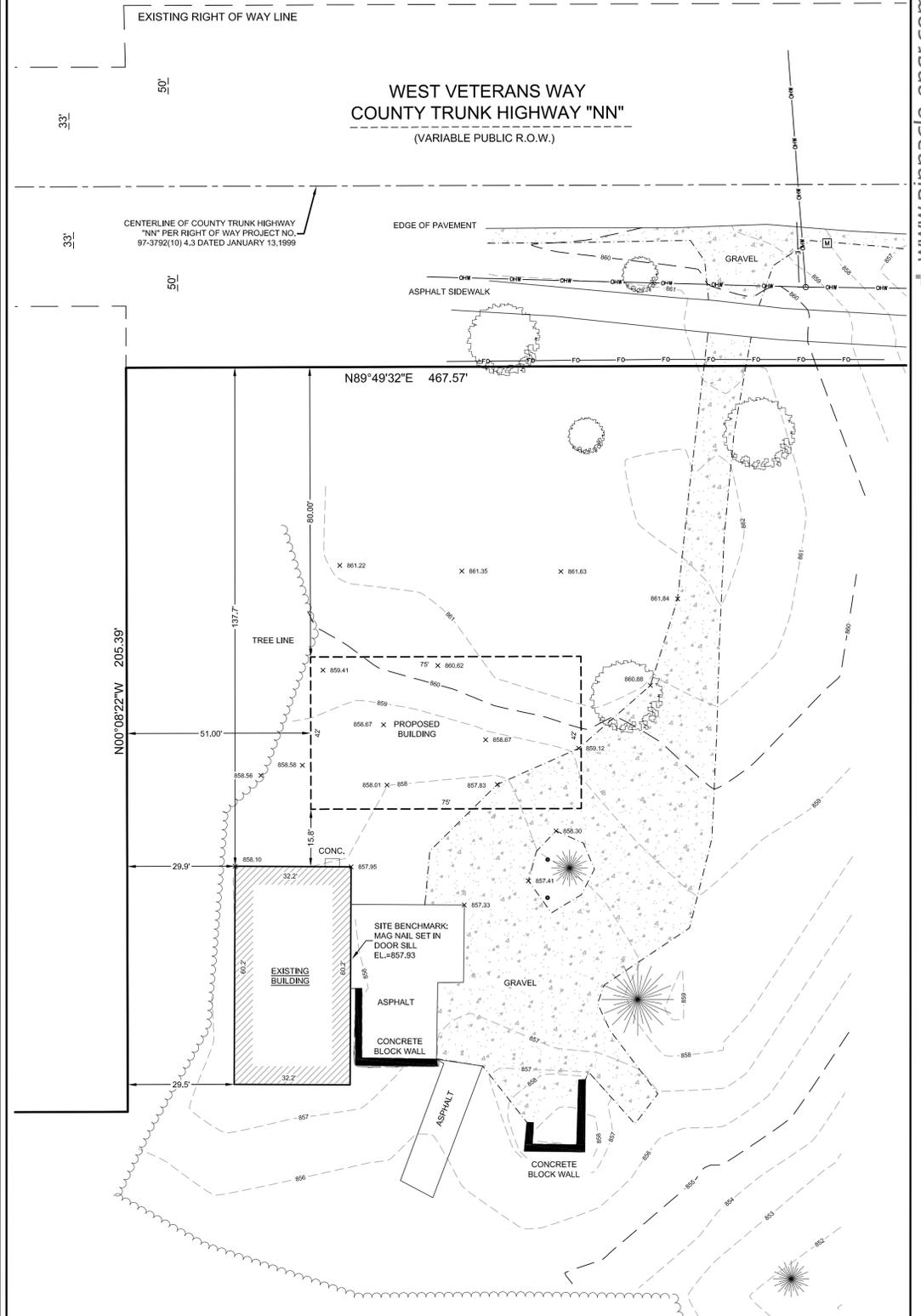
- 1. Survey prepared for: Mukwonago School District
- 2. Field work completed on JANUARY 14, 2019
- 3. No title or letter report was provided for this survey.
- 4. Existing improvements graphically shown on this survey are limited to a predefined "Project Area" specified by the Owner/Client, Pinnacle Engineering Group, LLC takes no responsibility for improvements outside of this "Project Area".
- 5. Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. Reference Benchmark: Concrete monument with brass cap at the southeast corner of the Southwest 1/4 Section 22, Town 5 North, Range 18 East, Elevation = 831.02.
- 6. Underground utility locations shown are based on field location markings by Digger's Hotline ticket #20190102773 with a clear date of JANUARY 08, 2019. The location and size of underground structures and utilities shown hereon have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC, does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.
- 7. No wetlands were delineated in the process of conducting the fieldwork. Wetlands shown on the subject property per the Department of Natural Resources 2010 Wisconsin Wetland Inventory as depicted on the Waukesha County GIS View website.

LEGEND OF SYMBOLS & ABBREVIATIONS

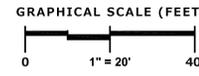
Sanitary Manhole	Fiber Optic Marker	Sign
Storm Manhole	Fiber Optic Manhole/Vault	Mail Box
Storm Inlet	Telephone Pedestal	Flag Pole
Cleanout	Telephone Manhole/Vault	Basketball Hoop
Catch Basin	Telephone Marker	Bollard
Lateral	Transformer	Cross Cut
Unknown Manhole	Electric Meter/Pedestal	Iron Pipe
Well	Electric Manhole/Vault	Iron Rebar/Rod
Hydrant	Cable TV Riser/Box	Mag Nail
Water Valve	Cable TV Manhole/Vault	Section Monument
Down Spout	Gas Valve	Bench Mark
Sprinkler Valve	Gas Meter	Conifer Tree
Water Shut Off	Gas Marker	Deciduous Tree
Standpipe	Air Conditioning Unit	Bush
Water Manhole	Vent	Wetland Symbol
Flood Light	Directional Arrow	CL = CENTERLINE
Light Pole	Dumpster	CONC. = CONCRETE
Traffic Signal	Handicap Stall	EL. = ELEVATION
Utility Pole	Spot Elevation	EXT. = EXISTING
Guy Wire	Sanitary Sewer	INV. = INVERT
	Storm Sewer	MON. = MONUMENT
	Water Main	P.O.B. = POINT OF BEGINNING
	Fiber Optic Line	P.O.C. = POINT OF COMMENCEMENT
	Telephone Line	R.O.W. = RIGHT OF WAY
	Electric Line	SEC. = SECTION
	Overhead Wires	SQ. FT. = SQUARE FEET
	Cable Television	WI. = WIDTH
	Gas Main	(R) = RECORDED AS
	Wetlands	(D) = DEEDED AS
	Tree Line	
	No Access	

I, John P. Konopacki, Professional Land Surveyor, hereby certify that this survey map is correct to the best of my knowledge and belief with the information provided and complies with requirements of Chapter A-E 7 s.35.93 of the Wisconsin State Statutes.

SIGNED: JOHN P. KONOPACKI
PROFESSIONAL LAND SURVEYOR S-2461



BUILDING SITE DETAIL



S93W30575 COUNTY TRUNK HIGHWAY "NN"
C.S.M. NO. 3100, BEING PART OF THE SW 1/4 OF THE SW 1/4 OF SEC. 22, T5N, R18E, TOWN OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

PLAT OF SURVEY

REVISIONS		SHEET
NO.	DESCRIPTION	
1	PROPOSED BUILDING	1
		1
		1

REG. JOB NO.: 7033-10
REG. PM: N/A
DATE: 07/01/19
SCALE: N/A

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

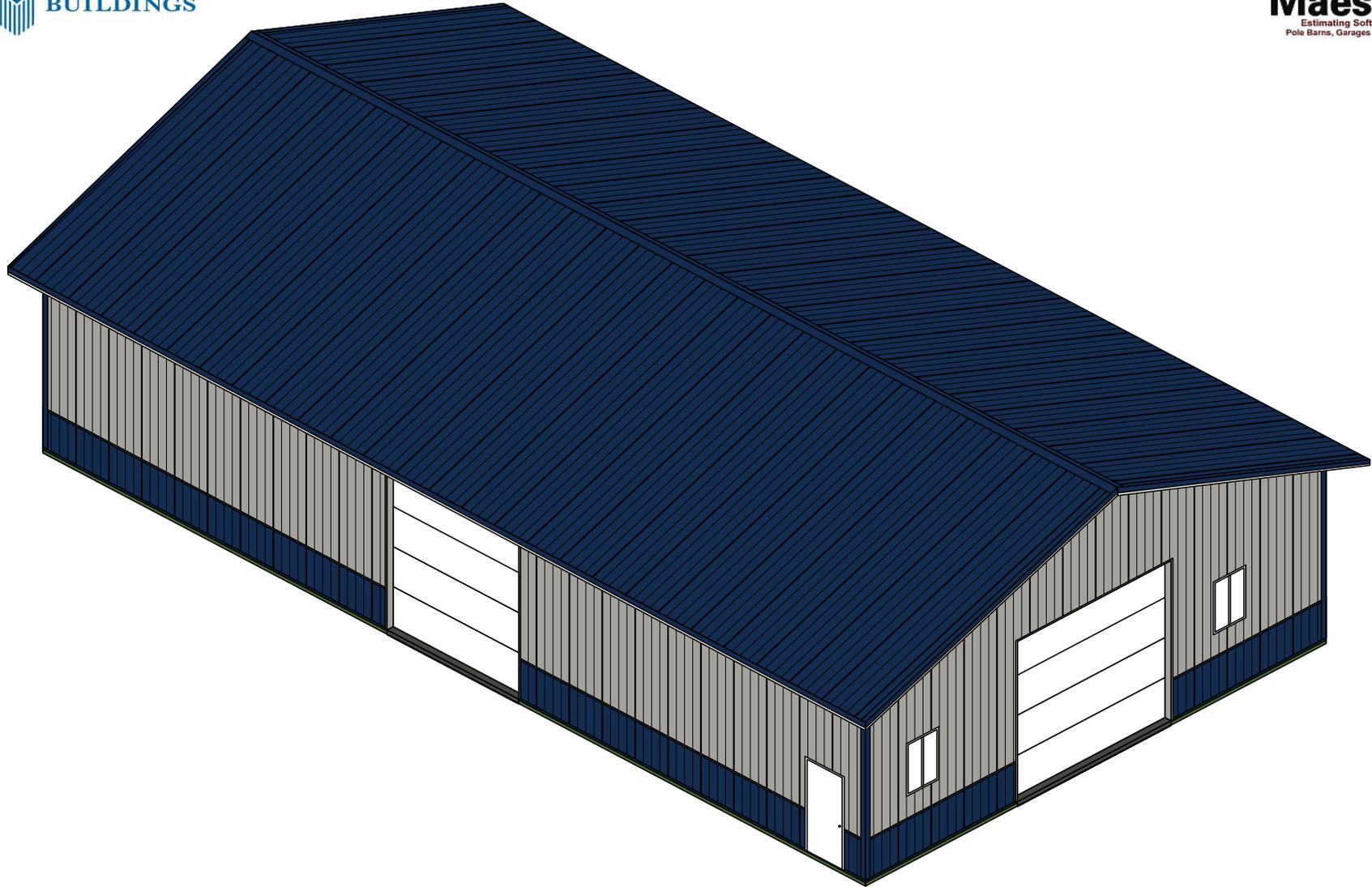
PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
20725 WATERTOWN ROAD SUITE 100
BROOKFIELD, WI 53106
(262) 754-8888

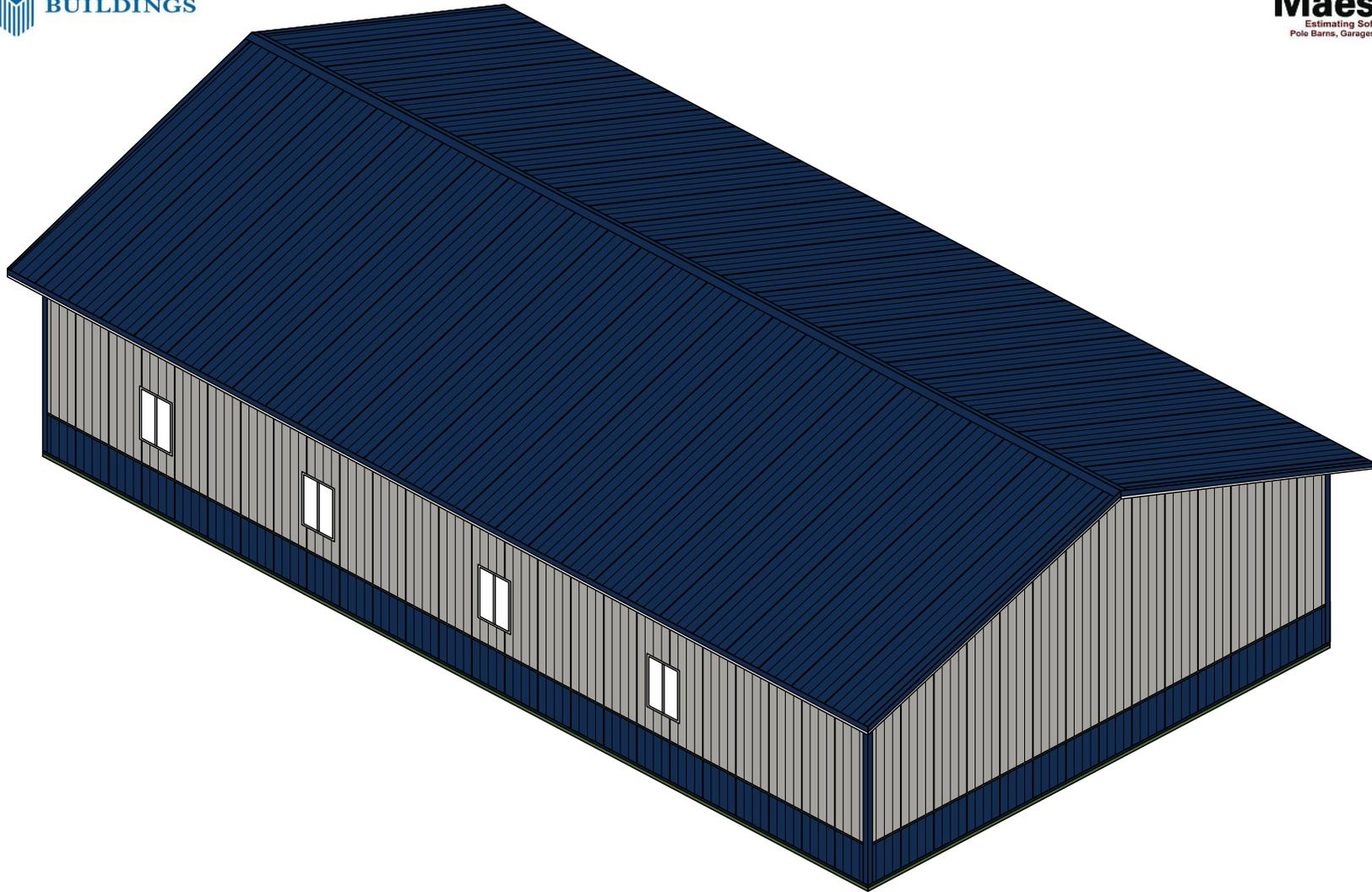
CHICAGO | MILWAUKEE | NATIONWIDE

DESIGNED: ST
DRAFTED: BK
REVIEWED: PK
THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

www.pinnacle-engr.com



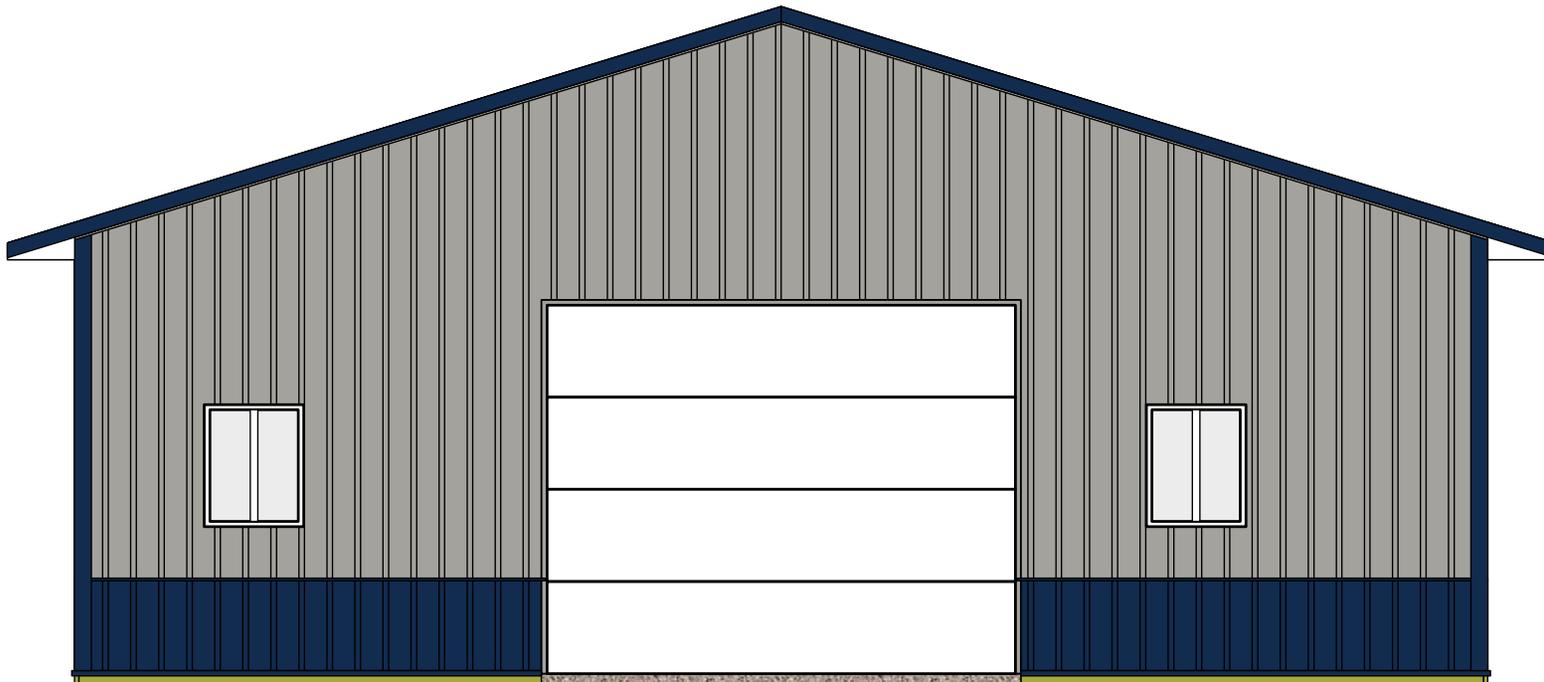
"Mukwonago Schools Storage
Estimate Number: 428
5/6/2024"



"Mukwonago Schools Storage
Estimate Number: 428
5/6/2024"

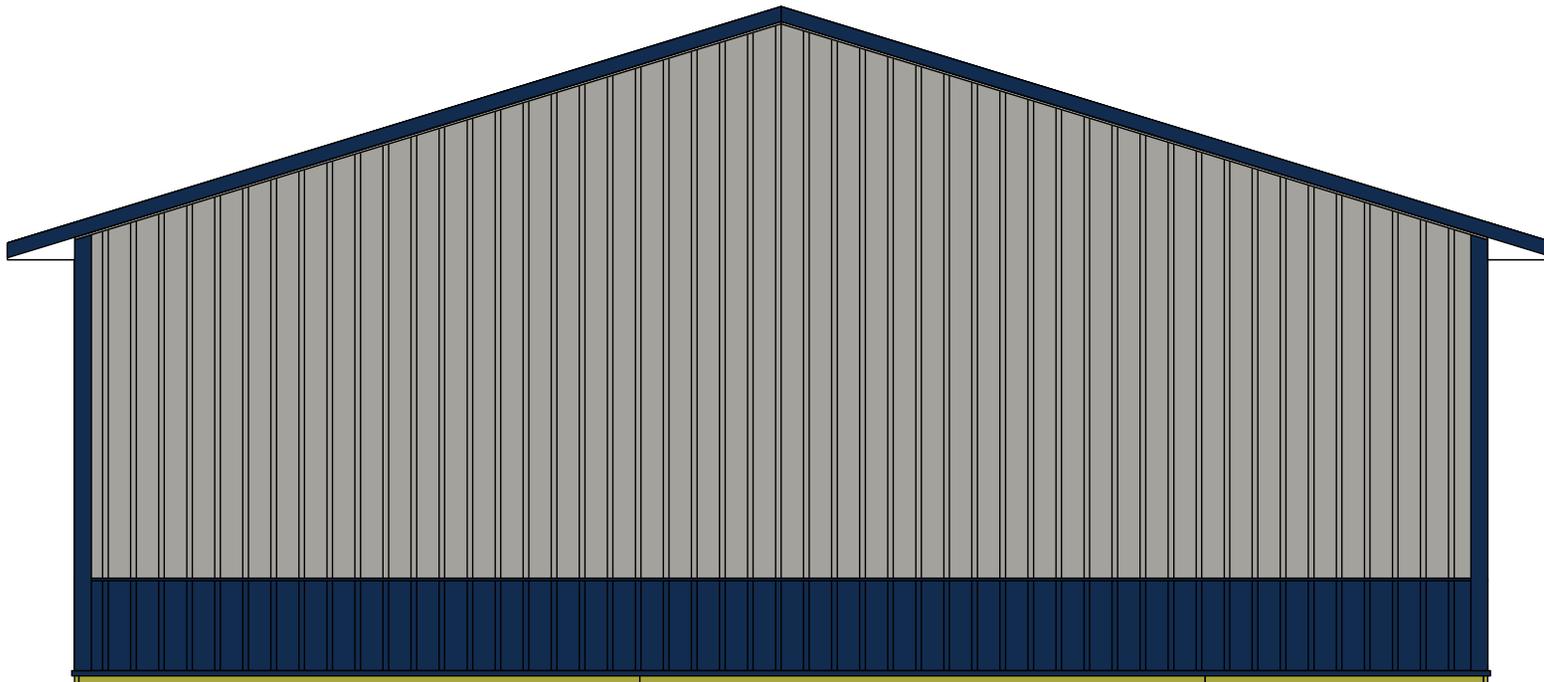


EAST SIDE-GABLE SIDE 1 ELEVATION





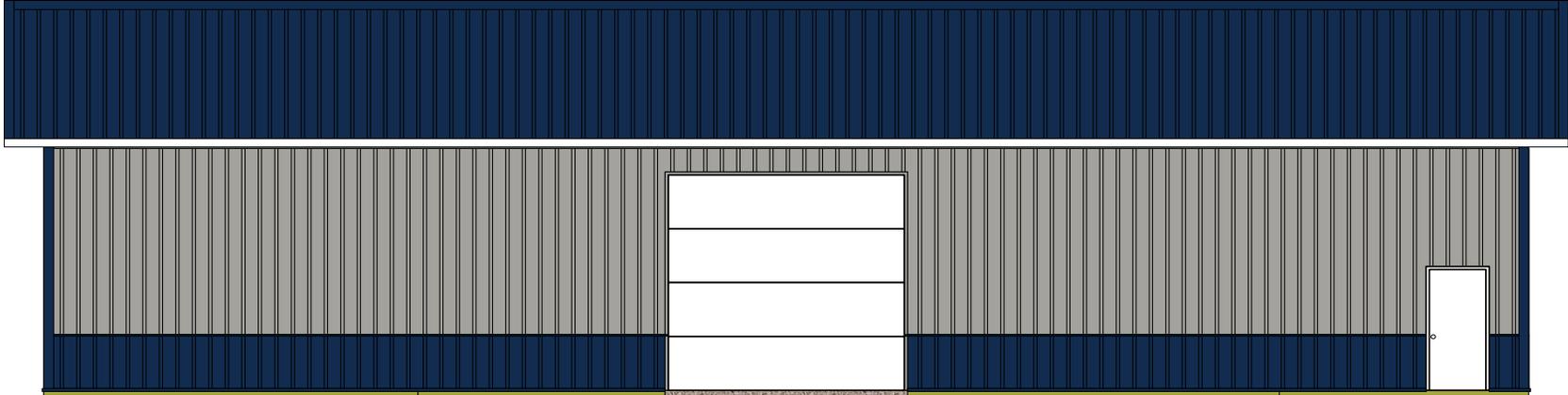
WEST SIDE-GABLE SIDE 2 ELEVATION



"Mukwonago Schools Storage
Estimate Number: 428
5/6/2024"



SOUTH SIDE-EAVE SIDE 1 ELEVATION





NORTH SIDE-EAVE SIDE 2 ELEVATION





GABLE2 CROSS SECTION

ROOF LAYER 1: GALLERY PANEL-LOC PLUS - CENTRAL
GUARD STEEL PANEL

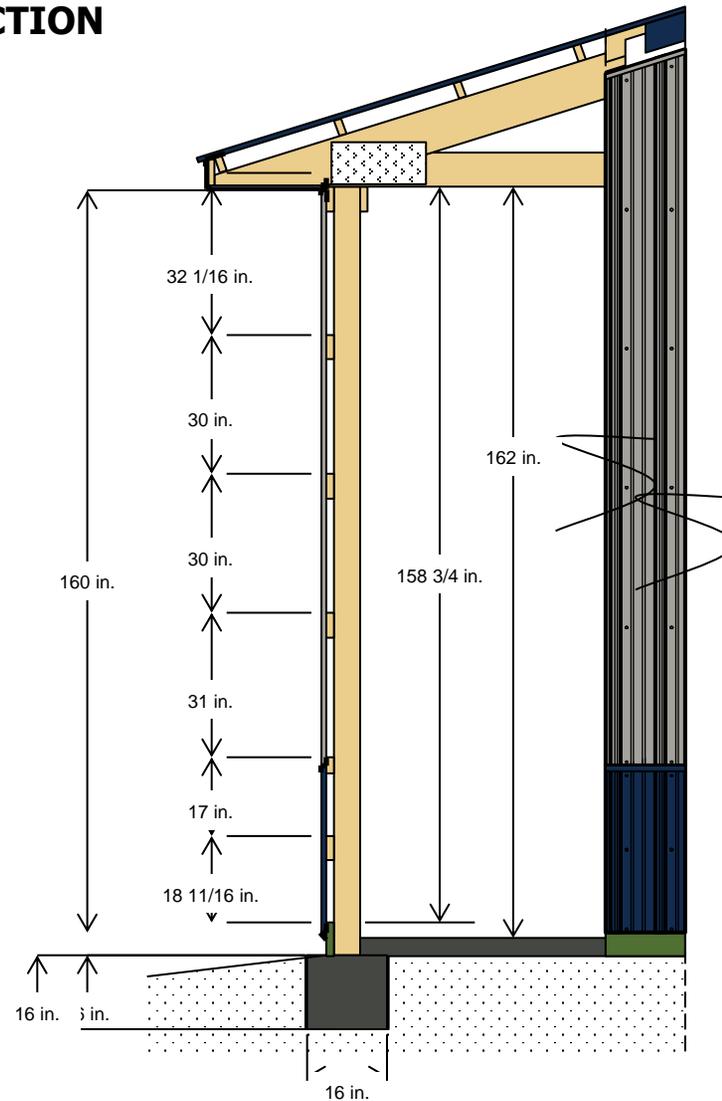
PURLINS: 2 X 4 CONSTRUCTION GRADE FASTENED
UPRIGHT ON EDGE
SUB FACIA: 2 X 6 CONSTRUCTION GRADE
FACIA COVERING: OCEAN BLUE STEEL POST TRIM 6 IN
X 10 FT 2 IN
UNDEREAVE: OCEAN SOLID ALUMINUM SOFFIT 12 IN X
16 FT 0 IN

CORNER POSTS: TIMBER TECHNOLOGIES 3 PLY 4.5 X
5.25
INTERMEDIATE POSTS: TIMBER TECHNOLOGIES 3 PLY
4.5 X 5.25 SPACING 7.5 FT O.C.
EXTERIOR CARRIER: CONSTRUCTION GRADE 2 X 6
INTERIOR CARRIER: CONSTRUCTION GRADE 2 X 6
EXTERIOR WALL GIRTS: CONSTRUCTION GRADE 2 X 6
WALL LAYER 1: GRAY PANEL-LOC PLUS - CENTRAL
GUARD STEEL PANEL

EXTERIOR SKIRT BOARD: TREATED 2 X 8

SIDING BEGINS 2 IN. BELOW THE TOP OF SKIRT
BOARD

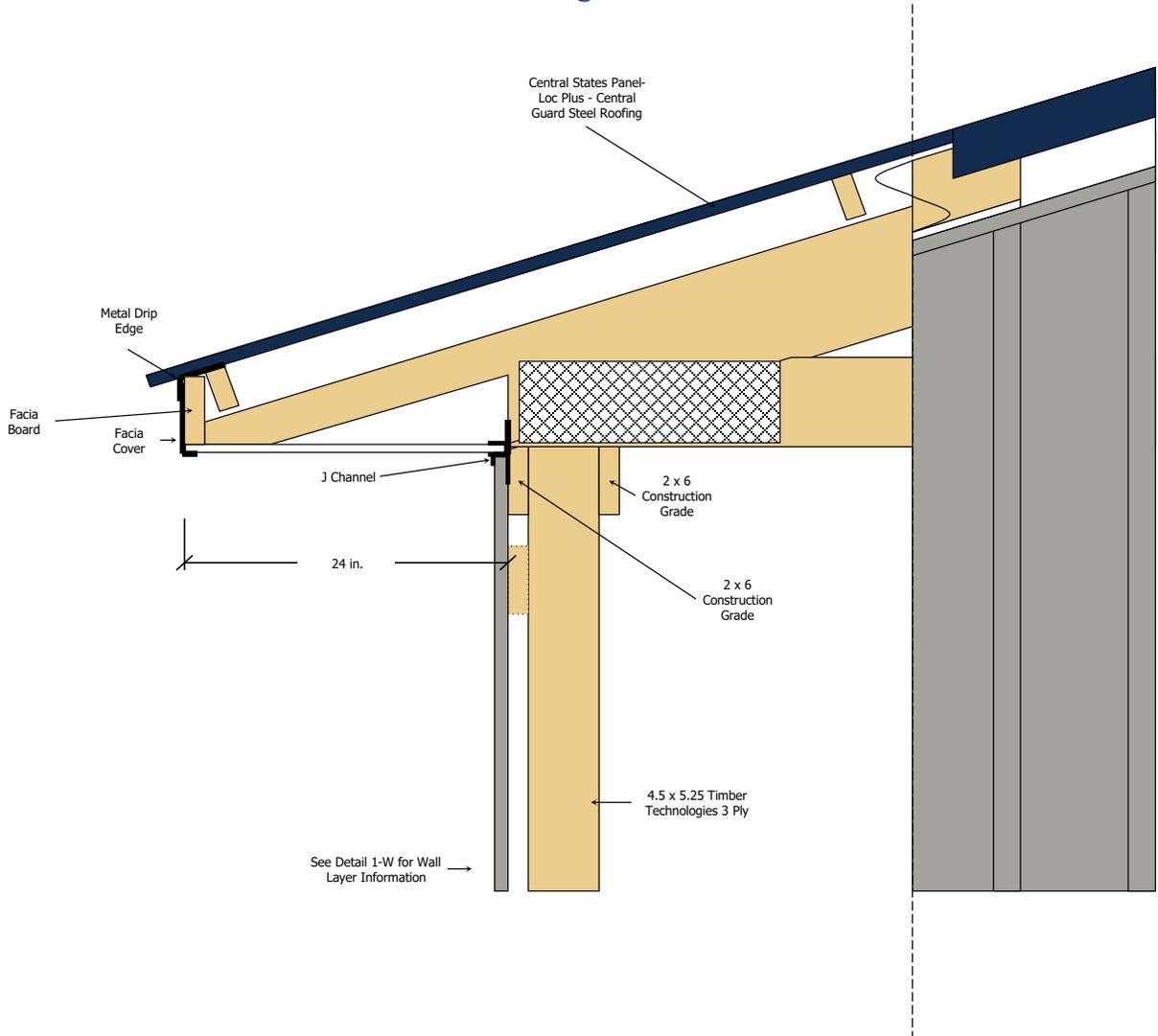
EARTH GRADE BEGINS 7 IN. BELOW THE TOP OF SKIRT
BOARD



4/12 PITCH TRUSS SYSTEM WITH A STANDARD HEEL
(HEEL HEIGHT: 0-10-0 OR 10 IN.)
TRUSS SPACING: 90 IN. O.C.
TRUSS LOADING INFORMATION:
TCLL/TCDL/BCLL/BCDL 47-7-0-10
TOTAL TRUSS LOADING = 64 P.S.F.
BRACE PER TRUSS MANUFACTURER'S
RECOMMENDATIONS

INTERIOR FINISHED FLOOR HT. WILL BE 3 1/4 in.
BELOW THE TOP OF THE SKIRT BOARD
4 IN. CONCRETE FLOOR W/STRUCTURAL STRENGTH -
3500 P.S.I.
UNDISTURBED SOIL OR COMPACTED SAND FILL
BACKFILL 0 IN. HOLE WITH SAND/GRAVEL FILL &
COMPACT
NO CONCRETE PIER FOOTING/PAD USED

Overhang Detail





POLE LAYOUT
Commercial Use, 3150 sq. ft.



Eave 1

