



**Zoning Permit Application**  
Town of Mukwonago

Version: December 28, 2020

Town of Mukwonago  
W320 S8315 Beulah Road  
Mukwonago, WI 53149

**OFFICE USE ONLY**

Application Number: \_\_\_\_\_ Fee Paid: \$ 55 Fee Received By: K. Mueller Date Received: 4/9/24

Parcel Number: \_\_\_\_\_ Property Address: \_\_\_\_\_

Property Owner		Agent (if any)
Name	<u>Kendall McCann</u>	_____
Street address	<u>W308 S10630 GREENHILLS</u>	_____
City, state, zip code	<u>MUKWONAGO, WI 53149</u>	_____
Daytime telephone	<u>414-852-7161</u>	_____
Email address	<u>Kcdelivery LLC @YAHOO.COM</u>	_____

**General description of proposed project:**

12x12 SHED 144sf

**Zoning Information**

**Zoning District(s)** (check all that apply)

- C-1 Conservancy
- A-1 Agricultural
- RH Rural home
- SE Suburban estates
- R-1 Residential
- R-2 Residential
- B-2 Local business
- P-1 Public
- PUD: \_\_\_\_\_
- EC Environmental corridor (overlay)
- HS Hydric soils (overlay)

**Setbacks and Offsets**

Front-yard setback: \_\_\_\_\_ feet from building foundation to base setback line (road right-of-way)  
 Side-yard offset: \_\_\_\_\_ feet from building foundation to \_\_\_\_\_ property boundary line  
 Side-yard offset: \_\_\_\_\_ feet from building foundation to \_\_\_\_\_ property boundary line  
 Rear-yard offset: \_\_\_\_\_ feet from building foundation to \_\_\_\_\_ property boundary line  
 EC setback: \_\_\_\_\_ feet from building foundation to Environmental Corridor District (if any)  
 C-1 setback: \_\_\_\_\_ feet from building foundation to Conservancy District (if any)

For assistance in the zoning districts please visit: <https://townofmukwonago.zoninghub.com/home.aspx>

**Floor Area of Buildings** (in square feet from exterior wall to exterior wall)

	Existing	Proposed
Principal building (first floor)	<u>1900</u>	_____
Principal building (second floor)	<u>-</u>	_____
Attached garage	<u>24x24</u>	_____
Detached building (#1)	<u>4x8 32</u>	_____
Detached building (#2)	_____	<u>12x12 144sf</u>
Total	_____	_____

R-1  
720sf  
allowed

Sanitary Permit No. (Buildings requiring sanitation only): \_\_\_\_\_

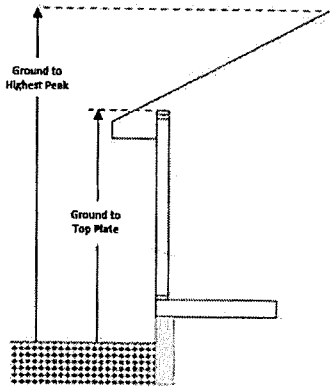
**New Building with a Basement**

Elevation of top of foundation \_\_\_\_\_ (This should be shown on the grading plan.)  
 Elevation of top of basement floor \_\_\_\_\_ (This should be shown on the grading plan.)  
 Elevation of top of footing \_\_\_\_\_ (This should be shown on the grading plan.)  
 Elevation of seasonal high-water table \_\_\_\_\_ (This is listed in the Seasonal High Groundwater Determination Report.)

**Note:** The top of the basement floor must be one foot or more above the seasonal high-water table.

Height of Proposed Building(s)

	Building 1		Building 2		Building 3	
	Ground to Top Plate	Ground to Highest Peak	Ground to Top Plate	Ground to Highest Peak	Ground to Top Plate	Ground to Highest Peak
Front						
Left						
Right						
Rear						



**Applicant certification**

- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the Zoning Administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner Signature(s):

*[Handwritten Signature]*

Date:

4-8-24

Application Number: \_\_\_\_\_

Decision: Approved

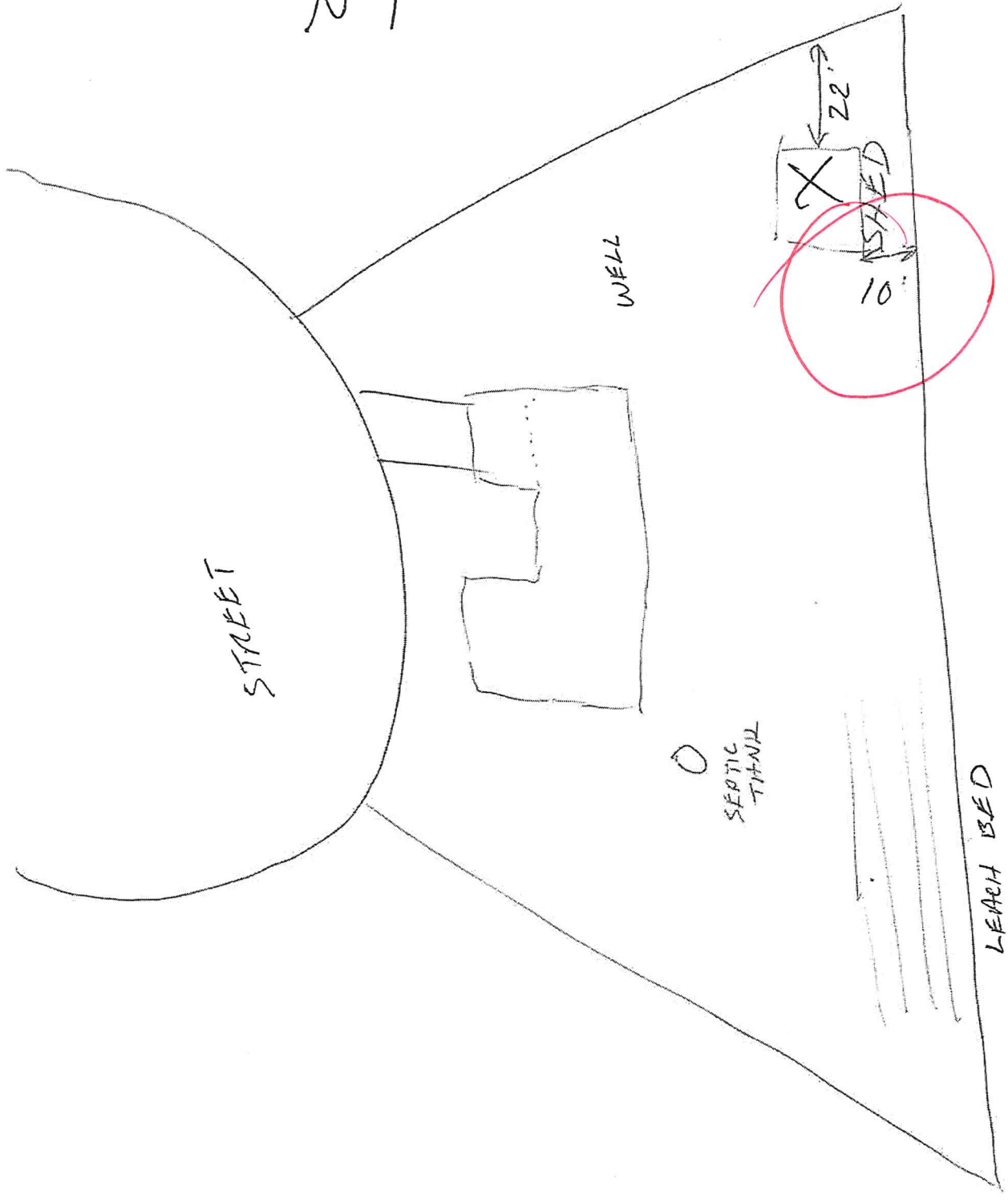
Zoning Administrator: \_\_\_\_\_ Date: \_\_\_\_\_

**Terms and Conditions of Approval** The terms and conditions indicated below apply to this approval.

- Expiration** This approval will expire without any further action if the proposed construction project does not commence within 6 months of date of this approval, or the project is not completed within 18 months of date of this approval. The Zoning Administrator may allow a one-time extension of 12 months provided the property owner submits the request in writing before the above-mentioned time periods and the project still complies with all applicable zoning requirements.
- Administrative appeal** A person may appeal this approval within 30 days of the decision date (noted above) by filing an administrative appeal with the Zoning Board of Appeals. If the Town receives an appeal within this timeframe, we will notify you. All work should cease if an appeal has been submitted.
- Strict compliance** All work performed, improvements constructed, and use of the property shall be according to the submitted application materials, the Town of Mukwonago municipal code, and all other applicable ordinances, regulations, and permits.
- Stormwater drainage** No improvement or use of the property shall adversely affect drainage on surrounding properties.
- Grade.** The property owner is solely responsible for establishing the final yard grade and building elevation, including walkout basements and partially exposed basements, and windows/doors near the ground surface.
- Private covenants** The property owner is solely responsible to ensure the proposed project complies with any private restrictions (e.g., subdivision covenants) that may apply to the subject property.
- Building permit is required** The Town's building inspector must approve all applicable building plans for the project.
- Building permit is not required** A building permit is not required.
- Certification of location by surveyor** A surveyor must certify compliance as part of the footing inspection and the foundation inspection. The form to be completed is attached.
- Certification of location by owner** The property owner must provide a sight line for the property boundary line to ensure the building complies with offset requirements or provide a survey by a surveyor.
- Driveway** As part of the building permit review process, the building inspector will ensure the proposed driveway complies with Section 14-118 of the municipal code including slope and placement on the lot, turnouts on long driveways, and vertical and side clearance.  
[https://library.municode.com/wi/mukwonago\\_waukesha\\_co/codes/code\\_of\\_ordinances?nodeld=COOR\\_CH14BUBURE\\_ARTIVCUDR\\_S14-118NEDR](https://library.municode.com/wi/mukwonago_waukesha_co/codes/code_of_ordinances?nodeld=COOR_CH14BUBURE_ARTIVCUDR_S14-118NEDR)
- Culvert permit for Town Road** The property owner must obtain a culvert permit for the driveway from the Town's building inspector. The application fee is \$75.
- Culvert permit for County Highway** The property owner must obtain a culvert permit for the driveway from Waukesha County. Contact Jason Mayer at 262-548-7749, [JMayer@WaukeshaCounty.gov](mailto:JMayer@WaukeshaCounty.gov)
- Culvert permit for State Highway** The property owner must obtain a culvert permit for the driveway from Wisconsin Department of Transportation, Southeast Region. Contact Kevin Koehnke, [Kevin.Koehnke@dot.wi.gov](mailto:Kevin.Koehnke@dot.wi.gov)
- Limitation on impervious surfaces** The subject property is located in a subdivision that is subject to limitations on impervious surface. Impervious surface includes any hard surface such as buildings and decks, driveways, patios, sidewalks, patios, and gravel areas. You must contact the Town when you add any additional impervious surface to this property.
- Related approval(s)** (if any)  
This approval is issued subject to a \_\_\_\_\_ granted by the Town of Mukwonago on \_\_\_\_\_.  
This approval is issued subject to a \_\_\_\_\_ granted by the Town of Mukwonago on \_\_\_\_\_.
- Other**  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4-8-2024  
Km

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Waukesha County  
Department of Parks and  
Land Use

Dale R. Shaver  
Director

Pg. 2  
McCann  
April 22, 2024

April 22, 2024



Kendall McCann  
W308S10630 Greenhill Ct. S.  
Mukwonago, WI 53149

Re: Preliminary Site Evaluation  
Outbuilding  
W308S10630 Greenhill Ct.S.  
Town of Mukwonago

Dear Kendall McCann:

On April 19, 2024, a preliminary site evaluation was conducted on the above referenced premise. The purpose for this evaluation was to determine the operating condition of your private sewage system, the approximate location of this system and whether the improvement to your property could have a detrimental effect on the continued operation of your existing system.

Based on the site evaluation, it is this Department's Position that the proposed improvement on your property would not have an adverse effect on the operation of your private sewage system, therefore, this Department would not object to the improvement as requested. A building permit from the local building inspector is required prior to construction of the above referenced improvement.

The following comments are being made to you regarding the evaluation of your private sewage system.

This premise is served by a conventional private sewage system. Our records show the private sewage system was installed on July 26, 1979, by Arthur Gaffney, plumber number 898, and consists of a 1,000 gallon septic tank and a 18 ft. by 45 ft. seepage area.

This private sewage system was for a residence having no more than 3 bedrooms.

At the time of our visit there was no evidence of sewage accumulating on the surface of the ground nor was there effluent in the vent/observation pipe. The private sewage system showed no visible evidence of failure or malfunction. At this time there is no known method to accurately predict how long a private sewage system will last.

Environmental Health Division  
515 W. Moreland Blvd., AC 250  
Waukesha, Wisconsin 53188  
Phone: (262) 896-8300 Non-Metro: 1-800-567-2386 • Fax: (262) 896-8298  
www.waukeshacounty.gov/eh

The tank manhole terminated above grade. It is our Department's recommendation that the cover be provided with an effective locking device for safety reasons. This is a requirement for all tanks installed as of June 21, 1980.

These observations are for information only and in no way guarantees the future operation of the private sewage system.

If you have any questions concerning this letter, please feel free to call our Department at (262)-896-8300.

Sincerely,

Luke Sosalla  
Environmental Health Sanitarian

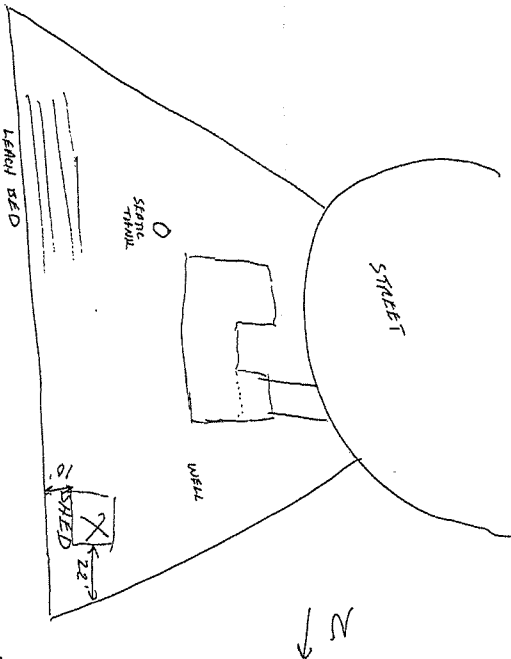
cc: Town Planner

RS

Apr 22/2024 8:58:28 AM

RECEIVED 04/09/2024 06:58AM  
USPS - Milwaukee, WI 414-270-2374

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mm  
4-22-24