



Zoning Permit Application
Town of Mukwonago

Version: December 28, 2020

Town of Mukwonago
W320 S8315 Beulah Road
Mukwonago, WI 53149

OFFICE USE ONLY

Application Number: _____ Fee Paid: \$ _____ Fee Received By: _____ Date Received: _____

Parcel Number: MUKT 1944049 Property Address: W328 S8375 S. Oak Tree Dr.

Property Owner	Agent (if any)
Name <u>Peyton & Daniella Paquin Revocable Living Trust</u>	<u>Peyton Paquin</u>
Street address <u>W328 S8375 S. Oak Tree Dr.</u>	
City, state, zip code <u>Mukwonago, WI 53149</u>	
Daytime telephone <u>262-879-4284</u>	<u>608-516-3179</u>
Email address <u>peyton.paquin@gmail.com</u>	

General description of proposed project: Construction of a new 1,280 SF Detached Garage.

Zoning Information

Zoning District(s) (check all that apply)

- C-1 Conservancy
- A-1 Agricultural
- RH Rural home
- SE Suburban estates
- R-1 Residential
- R-2 Residential
- B-2 Local business
- P-1 Public
- PUD: _____
- EC Environmental corridor (overlay)
- HS Hydric soils (overlay)

Setbacks and Offsets

Front-yard setback: 50 feet from building foundation to base setback line (road right-of-way)
 Side-yard offset: 30 feet from building foundation to North property boundary line
 Side-yard offset: 30 feet from building foundation to South property boundary line
 Rear-yard offset: 30 feet from building foundation to West property boundary line
 EC setback: 50 feet from building foundation to Environmental Corridor District (if any)
 C-1 setback: 75 feet from building foundation to Conservancy District (if any)

For assistance in the zoning districts please visit: <https://townofmukwonago.zoninghub.com/home.aspx>

Floor Area of Buildings (in square feet from exterior wall to exterior wall)

	Existing	Proposed
Principal building (first floor)	<u>2,175 SF</u>	<u>—</u>
Principal building (second floor)	<u>—</u>	<u>—</u>
Attached garage	<u>—</u>	<u>—</u>
Detached building (#1)	<u>—</u>	<u>1,280 SF</u>
Detached building (#2)	<u>—</u>	<u>N/A</u>
Total		<u>1,280 SF</u>

Sanitary Permit No. (Buildings requiring sanitation only): N/A

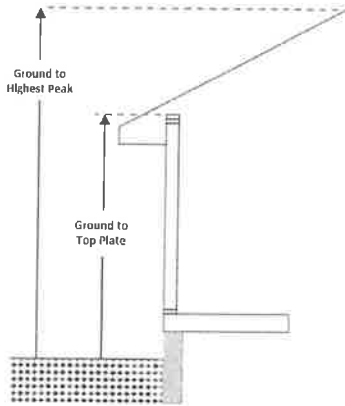
New Building with a Basement

Elevation of top of foundation N/A (This should be shown on the grading plan.)
 Elevation of top of basement floor N/A (This should be shown on the grading plan.)
 Elevation of top of footing N/A (This should be shown on the grading plan.)
 Elevation of seasonal high-water table N/A (This is listed in the Seasonal High Groundwater Determination Report.)

Note: The top of the basement floor must be one foot or more above the seasonal high-water table.

Height of Proposed Building(s)

	Building 1		Building 2		Building 3	
	Ground to Top Plate	Ground to Highest Peak	Ground to Top Plate	Ground to Highest Peak	Ground to Top Plate	Ground to Highest Peak
Front	16' 8 10'	23' 2"				
Left	16' 8 10'	23' 2"				
Right	16' 8 10'	23' 2"				
Rear	16' 8 10'	23' 2"				



Applicant certification

- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the Zoning Administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner Signature(s):

[Handwritten Signature]

Date:

6-17-24