



CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891

715-373-6160
715-373-6161
FAX 715-373-6148

**CITY OF WASHBURN
NOTICE OF PUBLIC HEARING**

A Public Hearing will be held by the Plan Commission on, Thursday, May 16, 2024 at 5:30 P.M. at City Hall, 119 Washington Avenue, for public comment on the following issue:

Conditional Use Permit Application:

Request for Expansion of Indoor Boat Storage Building in the (M) Marina Zone – To construct at 5,250 square foot expansion of the existing structure located at 75 Marina Drive. Madeline Island Water Co., Inc., Petitioner

The property (Tax ID 32606) is zoned M - Marina. Residents unable to attend the public hearing may provide written comment to the Zoning Administrator prior to the hearing.

Scott J. Kluver
Zoning Administrator

As required by ordinance, copy mailed to property owners within 150 feet of the subject property.

NOTICES MAILED FIRST CLASS MAIL 04/24/2024

AMERICAN HOTEL ASSOCIATION LLC
2052 85TH AVE
DRESSER, WI 54009

WWS LLC
7490 NORTH ROAD
EAU CLAIRE, W, 54701

WASHBURN MARINA
PO BOX 482
WASHBURN, WI 54891

CITY OF WASHBURN
CONDITIONAL USE PERMIT

A Conditional Use Permit is hereby granted, pursuant to Title 13, Chapter 1, Article 7, Division 3 of the City of Washburn Zoning Ordinance to Madeline Island Water Co. Inc. (hereinafter User), in respect to property currently zoned M- Marina, herein referred to as Subject Property, described as:

Street Address: 75 Marina Drive

Legal Description: PAR IN LOT 5 CSM V.3 P.240; V.638 P.22 & PAR LOT 5 CSM V.3 P.240 & PAR LOT 7 CSM V.3 P.243 V.420 P.50 BOTH LOCATED IN GOVT LOTS 1 & 2

Tax ID: 32606 **PIN:** 04-291-2-48-04-05-1 05-001-10000

This Conditional Use Permit is granted for the purpose of permitting the User, and only the User, to engage in the permitted use set forth immediately below:

1. To expand and operate an indoor boat storage facility located at 75 Marina Drive, in the M - Marina in accordance with Section 13-1-8-452 of the City of Washburn Zoning Code.

This Conditional Use Permit is subject to the following special conditions:

1. This Conditional Use Permit is issued exclusively to the User, does not run with the land for which it is issued, and may not be sold, conveyed, assigned or otherwise transferred to any other person or entity. This permit will be effective once all conditions are complied with as specified in ordinance.
2. Issuance of a Conditional Use Permit does not indicate that the City of Washburn has certified the above referenced dwelling nor has it inspected the building, nor does it ensure that it meets local, state, federal, or professional requirements or standards related to the subject use.
3. The User must comply with Title 8, Chapter 3 of the City of Washburn ordinances regarding the placement and use of waste and recycling facilities.
4. All conditional uses referred to above may be carried out upon the Subject Property during times that are allowable by the City's noise ordinance (11-2-6).
5. This permit shall remain in effect so long as the permit holder complies with all conditions of this permit and applicable City of Washburn ordinances.



Statement on the nature of the approval:

In approving this Conditional Use Permit, the Plan Commission confirmed the size of the parcel was not an issue, the use is compatible, the location of the use on the property is not a concern, traffic safety should not be a problem, it is a suitable additional use, there are no negative impacts on the environment known of, concerns with impacts on the neighbors were discussed and it would not impede the normal development. The Common Council adopts these findings.

Appeal rights for applicant and other aggrieved persons:

Within 30 days of the decision date, a written appeal, including the reasons for the appeal, must be received by the City Clerk. The appeal process will follow the procedure outlined in 13-1-7-23 of the zoning ordinance.

David Dahlquist, Madeline Island Water Co. Inc.

Date

Personally came before me this ____ day of _____, 2024, the above-named David Dahlquist, to me known to be the person who executed for the foregoing instrument and acknowledge the same.

Notary Public, Bayfield County, Wisconsin

My commission expires: _____

Mary D. Motiff, Mayor
City of Washburn

Date

Personally came before me this ____ day of _____, 2024, the above-named Mary D. Motiff, known to be the person who executed for the foregoing instrument and acknowledge the same.

Notary Public, Bayfield County, Wisconsin

My commission expires: _____



Scott J. Kluver, Zoning Administrator
City of Washburn

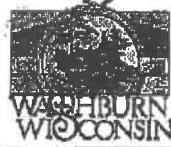
Date

Personally came before me this ____ day of _____, 2024, the above-named Scott J. Kluver, known to be the person who executed for the foregoing instrument and acknowledge the same.

Notary Public, Bayfield County, Wisconsin

My commission expires: _____





Conditional Use
City of Washburn

Version: May 25, 2017

WASHBURN CITY HALL
119 Washington Avenue
Washburn, WI 54891

Overview: The City's zoning code identifies land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. The Plan Commission conducts a public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Plan Commission serves in an advisory capacity to the Common Council, which makes the final decision. The recommendation of the Plan Commission and the decision of the Common Council are based on the evidence and testimony received as part of the application and through the public hearing process.

Governing regulations: The procedures and standards governing the review of this application are found in Article 7 of the City's zoning code.

General instructions: Complete this application and submit one copy to the City Clerk at the mailing address shown above. Before you formally submit your application, you may meet with the City Administrator who can answer any questions you may have. You may also ask the City Administrator to review your application before it is formally submitted to determine if it is complete and provides enough information to describe the circumstances related to this application. If you have any questions, do not hesitate to contact the City Administrator at (715) 373-6160 ext. 4 or via e-mail at washburnadmin@cityofwashburn.org.

Office Use Only
Date Received: _____ Received By: _____ Fee Paid: _____

1. Applicant and agent information include the names of the agent, if any, that helped prepare this application including the supplemental information. Examples include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Applicant	Agent
Name	Madelina Island Water Co.	Greiner Coast,
Street address	c/o Northland Aluminum Products Inc	
City, state, zip code	5005 County Road 25	
Daytime telephone	ST. LOUIS Park, MN 55416	
E-mail address	952-924-8526 DAVIDDALQUIST@NORDICWARE.COM	

2. Type of application (select one)

- New conditional use
- An amendment of a previously approved conditional use

3. Proposed use. Describe the proposed conditional use or amendment in detail.

Seasonal Boat Storage

A 70 feet wide by 75 foot deep expansion to the rear (northwest side) of an existing boat storage

4. Subject property information

Physical address 75 MARINA DRIVE

Tax key number(s) 32606

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the City Clerk.

Is the subject property currently in violation of the City's zoning code as determined by the zoning administrator?

- No
- Yes

If yes, please explain.

[Empty text box for explanation]

Comment: Pursuant to Section 6-10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, or other required payment that are specifically related to the subject property?

- No
- Yes

If yes, please explain.

[Empty text box for explanation]

Comment: Pursuant to Section 6-11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, assessments, or other required payments are delinquent and due.

Are there any buildings on the subject property?

- No
- Yes

Will the proposed conditional use be located in an existing building or a new building?

- Existing building
- Proposed building
- NA

If the conditional use will be in an existing building, is that building classified as "conforming" or "nonconforming"? A nonconforming building does not meet the dimensional requirements for the district in which it is located.

- Conforming building
- Nonconforming building

If nonconforming, please explain.

See information at end of application

Has the City approved a variance or special exception for the subject property?

- No
- Yes

If yes, provide the year of issuance and a short description for each one.

[Empty text box for explanation]

5. Zoning information. The subject property is located in the following zoning district(s). (check all that apply)

- R-1 Rural residential
- R-2 Suburban residential
- R-5 Mixed residential
- R-7 Waterfront residential
- C-1 Cottage commercial
- C-2 General commercial
- C-3 Downtown commercial
- MUW Mixed-use waterfront
- L-1 Lakefront
- M Marina
- I Industrial

6. Adjoining land uses and zoning

	Zoning classification	Current uses
North	MARINA A	MARINA STORAGE
South	"	"
East	"	"
West	"	"

7. Evaluation criteria. The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur

0.68 acres- See Site Data on Plan Sheet C2-1

2. The presence of and compatibility with other uses on the subject property, if any

SAME AS EXISTING USE
 The proposed use is an expansion of an existing boat storage facility. The surrounding uses are zoned Marina or Mixed Use Waterfront which are compatible with the current and propose building. The property to the north (northeast) is similar boat storage facility. The users to the south (southwest) and east (southeast) are marina use and/or boat storage. The property to the north (northwest) is owned by the City of Washburn

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses)

75' Foot extension To Existing Storage building
 The proposed building will be the same width of the existing building. It will be placed 8.9 feet from the south property line and 40.8 feet from the north property line. The existing building to the north is approximately 10 feet north of the property line providing 50.8 feet of separation between the buildings. The building is 64.8 feet setback from the rear property line which is vacant property owned by the city. The property to the east is Marina property owned by the city and has a 50 foot Ingress and Egress easement. The property to the south (southwest) is currently open space/outdoor boat storage which has a 50 foot drainage and utility easement that will limit construction of building within 50 feet of the south property line.

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site

NONE

6. The suitability of the subject property for the proposed use

IDEAL

Article 8-Land Use, Exhibit 81- Land-Use Matrix in heading 14-General Storage subpart 14.02 Indoor Boat Storage is allowed as a Conditional Use in the Marina zoning district.

6. Effects of the proposed use on the natural environment

NONE

The grading limits for the project disturbs 0.30 acres of the site. The building is being designed with foundation walls from finished floor to close to existing grade to minimize disturbance to the site and surrounding areas. The tree removal is limited to one 6" tree and some brush. The impervious area of the site will increase by 0.12 acres. After the project there will be approximately 0.28 acres of impervious surface or approximately 41% of the site and 59% of the site remaining as open space.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances

ADJACENT TO other seasonal boat storage buildings

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts

NONE

9. Any other factor not listed above, but which relates to the public health, safety, or welfare

NONE

Section 4 - Variance Conditions:

The required side yard setback is 10 feet. The southwest side of the existing building was constructed at approximately 8.8 feet from the property line. It is proposed to connect to the existing building corner (not jog it 1.2 feet) to maintain a uniform building. Therefore, the new building would require a 1.2 foot setback variance for the southwest side. On the adjoining property there a watermain and utility easement that would prevent an adjoining building being built within 50 feet of the southwest property line.

The required front setback is 25 feet. The existing building is setback 1.4 feet. There is an existing 50 foot Ingress and Egress easement in front of the building located on City of Washburn property. Therefore, the building has adequate access and meets the intent of the zoning code. The front of the existing building also aligns with the two other buildings to the northeast.

8. Project map. Attach a project map. It can consist of a single page or multiple pages depending on the complexity of the features that need to be depicted.

The following items need to be included as appropriate to the project.

Background Project Information

- Project name
- Applicant name
- Preparation date

Survey Information

- North arrow and graphic scale
- Address of subject property or legal description
- Property boundaries
- Acreage of subject property

Project Development Information

- Easements/rights-of-ways (location, width, purpose, ownership)
- Common areas/conservancy areas (location, purpose, ownership)

Settling

- Property boundaries within 150 feet of the subject property
- Land uses within 150 feet of the subject property
- Zoning district boundaries within 150 feet of the subject property
- Municipal boundaries within 150 feet of the subject property

Site Features (existing and proposed)

- Ground contours when any slope exceeds 10 percent
- Wetlands
- Woodlands
- Wildlife habitat, including critical wildlife habitat
- Environmentally sensitive features
- Water resources (rivers, ponds, etc.)
- Floodplain boundaries
- Environmental and manmade development constraints and hazards including brownfields, contaminated sites, unstable soils, high groundwater, bedrock, and high-pressure natural gas lines

Landscaping Features (existing and proposed)

- Fences, buffers, and berms
- Pervious and impervious surfaces by type
- Existing trees and other prominent vegetation

Transportation Facilities (existing and proposed)

- Streets
- Driveways and road access onto public and private roads
- Sidewalks / trails

Buildings and Outdoor Storage/Activity Areas footprint, use, etc.)

- Existing and proposed
- Existing within 150 feet of subject property

Required Setbacks

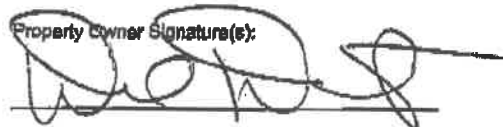
- Yard setbacks (front, side, rear and shore)
- On-site septic systems
- On-site wells and off-site wells within 10 feet of the perimeter of the subject property

9. Attachments. List any attachments included with your application.

10. Other information. You may provide any other information you feel is relevant to the review of your application.

11. Applicant certification

- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes city officials, Plan Commission members, Common Council members, employees, and other designated agents to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner Signature(s):  Date: 4-11-2024

WASHBURN MARINA BUILDING EXPANSION

1 MARINA DRIVE
WASHBURN, WI 54891

WASHBURN MARINA

1 MARINA DRIVE
WASHBURN, WI 54891



PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

3200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
761.424.5500
www.loucks.com

CADD QUALIFICATION

ALL CADD WORK WAS PERFORMED BY JAS. THE DESIGNER HAS REVIEWED AND APPROVED THE CADD WORK. THE DESIGNER HAS REVIEWED AND APPROVED THE CADD WORK. THE DESIGNER HAS REVIEWED AND APPROVED THE CADD WORK.

SUBMITTAL/REVISIONS

02/07/2024 OWNER REVIEW
02/28/24 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

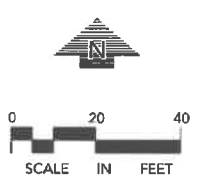
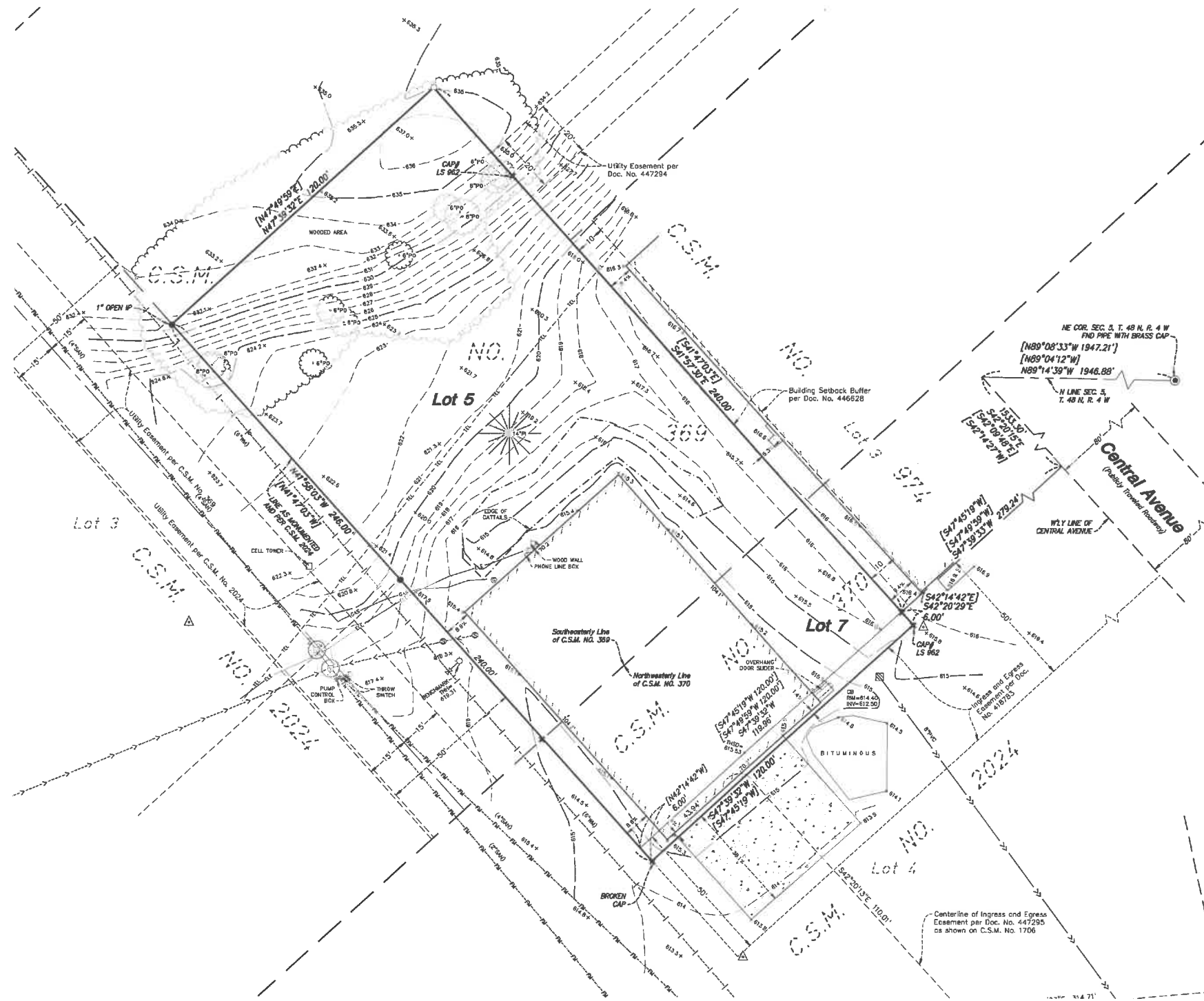


QUALITY CONTROL

Loucks Project No. 23491
Project Lead JAS
Drawn By IWF
Checked By JAS
Review Date 02/27/2024

SHEET INDEX

C1-1 EXISTING CONDITIONS
C2-1 SITE AND UTILITY PLAN
C3-1 GRADING AND EROSION PLAN



EXISTING CONDITIONS
C1-1

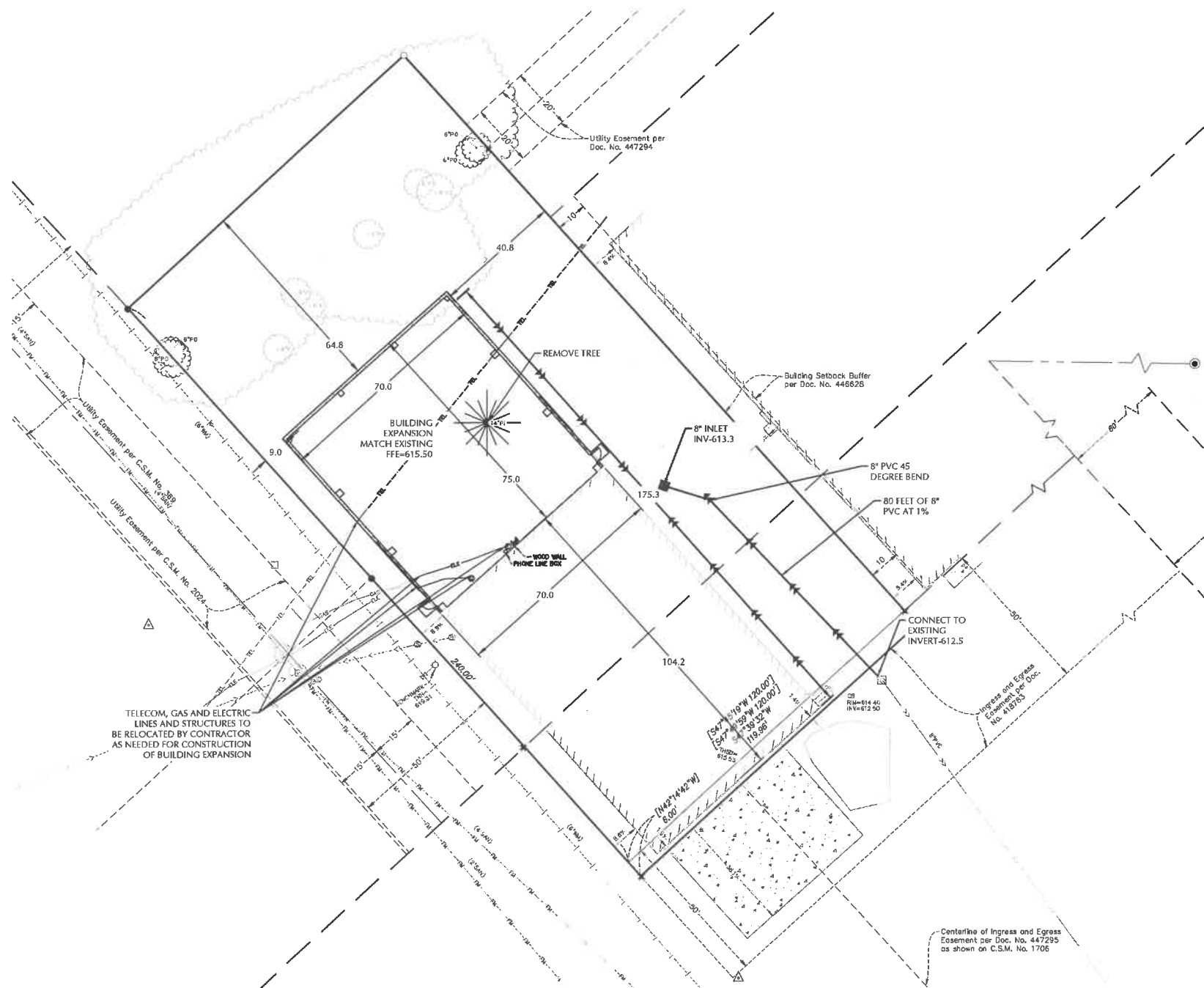
THIS IS A PRELIMINARY PLAN. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE DESIGNER.

SITE NOTES

1. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND APPLICABLE GOVERNING AGENCY REQUIREMENTS.
2. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND APPLICABLE GOVERNING AGENCY REQUIREMENTS.
3. ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
5. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
6. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.
7. REFER TO THE GEOTECHNICAL REPORT PREPARED BY BRAUN INTERTEC, DATED JANUARY 12TH, 2024 FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS INCLUDING BUT NOT LIMITED TO PAVEMENTS AND EXTERIOR SLABS.

SITE DATA

CURRENT ZONING: MARINA (M)
 PROPOSED ZONING: MARINA (M)
 PROPERTY AREA (GROSS): 0.68 ± AC
 RIGHT OF WAY AREA: 0.68 ± AC
 MIN. FRONT LOT SETBACK: 25 FT
 MIN. SIDE LOT SETBACK: 10 FT
 MIN. BACK LOT SETBACK: 25 FT
 DISTURBED AREA: ± AC
 EXISTING IMPERVIOUS AREA: 0.17 ± AC (25%)*
 PROPOSED IMPERVIOUS AREA: 0.28 ± AC (41%)*
 *IMPERVIOUS AREAS BASED ON DISTURBED AREA ONLY



WASHBURN MARINA BUILDING EXPANSION
 1 MARINA DRIVE, WASHBURN, WI 54991

WASHBURN MARINA
 1 MARINA DRIVE, WASHBURN, WI 54991

LOUCKS
 PLANNING, CIVIL ENGINEERING, LAND SURVEYING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL
 7200 Woodcock Lane, Suite 200, Maple Grove, MN 55369
 Tel: 424.8705, www.loucksinc.com

CADD QUALIFICATION

The CADD personnel have been trained and qualified for the preparation of CADD drawings. The CADD personnel have been trained and qualified for the preparation of CADD drawings. The CADD personnel have been trained and qualified for the preparation of CADD drawings.

SUBMITTAL/REVISIONS

02/07/2024	OWNER REVIEW
02/28/2024	CITY SUBMITTAL

PROFESSIONAL SIGNATURE

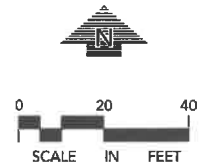


QUALITY CONTROL

Loecks Project No.	23491
Project Lead	JAS
Drawn By	IWF
Checked By	JAS
Review Date	02/27/2024

SHEET INDEX

- C1-1 EXISTING CONDITIONS
- C2-1 SITE AND UTILITY PLAN
- C3-1 GRADING AND EROSION PLAN



SITE AND UTILITY PLAN
C2-1

GRADING, DRAINAGE & EROSION CONTROL NOTES

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT EXCEEDING 2% AND A RUNNING SLOPE NOT EXCEEDING 5%.
- AT TURNING POINTS ALONG THE ACCESSIBLE ROUTE THE PAVEMENT SHALL NOT EXCEED 2% IN ANY DIRECTION FOR AN AREA 60" IN DIAMETER.
- ALL PUBLIC SIDEWALKS SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT EXCEEDING 2% AND A RUNNING SLOPE NOT EXCEEDING 5%.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN CUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- EXISTING SOILS ARE ASSUMED TO BE COARSE-GRAINED SOILS (GW, GP, GM, GC, SW, SP, SM, SC) PER THE UNIFIED SOIL CLASSIFICATION. CONTRACTOR TO NOTIFY ENGINEER IF EXISTING CONDITIONS DIFFER FROM ASSUMED SOIL CONDITIONS.
- GRADING, INCLUDING BUT NOT LIMITED TO EXCAVATION AND BACKFILL OF THE INFILTRATION AREA(S) SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED. NO WHEELED MACHINES SHALL BE USED.
- SOIL BENEATH THE INFILTRATION AREA(S) SHALL BE RIPPED WITH A TOOTHED BUCKET TO REMOVE SOIL INTERFACE PRIOR TO BACKFILL.
- A FLOOD TEST OR DOUBLE RING INFILTRATION TEST SHALL BE COMPLETED FOR THE INFILTRATION SYSTEM TO VERIFY INFILTRATION RATES ARE WITHIN THE ACCEPTABLE RANGE OF X.X IN/HR TO X.X IN/HR.
- CITY AND WATERSHED SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO CONSTRUCTION OF STORMWATER BMPS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. REFER TO THE LANDSCAPE PLANS, DETAILS AND SPECIFICATIONS FOR FINAL SITE STABILIZATION.
- FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GW" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSE(S)).
- FOR SITE STAIRS, "TS" EQUALS SURFACE ELEVATION AT TOP OF STAIRS AND "BS" EQUALS SURFACE ELEVATION AT BOTTOM OF STAIRS. REFER TO SITE PLAN FOR NUMBER OF RISERS AND RISER HEIGHT.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATERMAIN, STORM SEWER, AND SANITARY SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING ELEVATIONS.
- THE CONTRACTOR ALONG WITH THE OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM GOVERNING AUTHORITIES, INCLUDING ANY CITY PERMITS AND THE NPDES PERMIT.
- INSTALL EROSION CONTROL AND TREE PROTECTION MEASURES BEFORE BEGINNING SITE GRADING ACTIVITIES. SOME EROSION CONTROLS SUCH AS BALE CHECKS AND TEMPORARY SILT PONDS MAY BE INSTALLED AS GRADING OCCURS IN SPECIFIC AREAS. MAINTAIN EROSION CONTROLS THROUGHOUT THE GRADING PROCESS AND REMOVE WHEN TURF HAS BEEN ESTABLISHED.
- PER NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM (NPDES/SDS) REQUIREMENTS, THE WASHOUT AND CLEANOUT OF STUCCO, PAINT, CONCRETE, FORM RELEASE OILS, CURING COMPOUNDS, AND OTHER CONSTRUCTION MATERIALS SHALL BE PROPERLY CONTAINED AND DISPOSED OF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND USING APPROVED METHODS OF CONTAINMENT SUCH AS PRE-FABRICATED WASHOUT CONTAINERS, CONCRETE WASHOUT TOTE, READY MIX TRUCKS WITH SELF-CONTAINED CHUTE CLEANOUT, ETC.
- CONTRACTOR SHALL PROVIDE AS-BUILT INFORMATION OF GRADING ACTIVITIES AS NEEDED PER APPLICABLE PERMIT REQUIREMENTS AND/OR DEVELOPMENT AGREEMENTS.

GENERAL LANDSCAPING NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND / OR INTENT OF THE PROJECT'S LAYOUT.

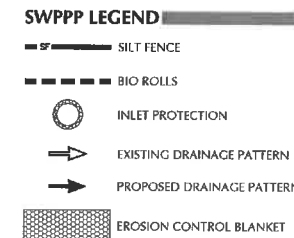
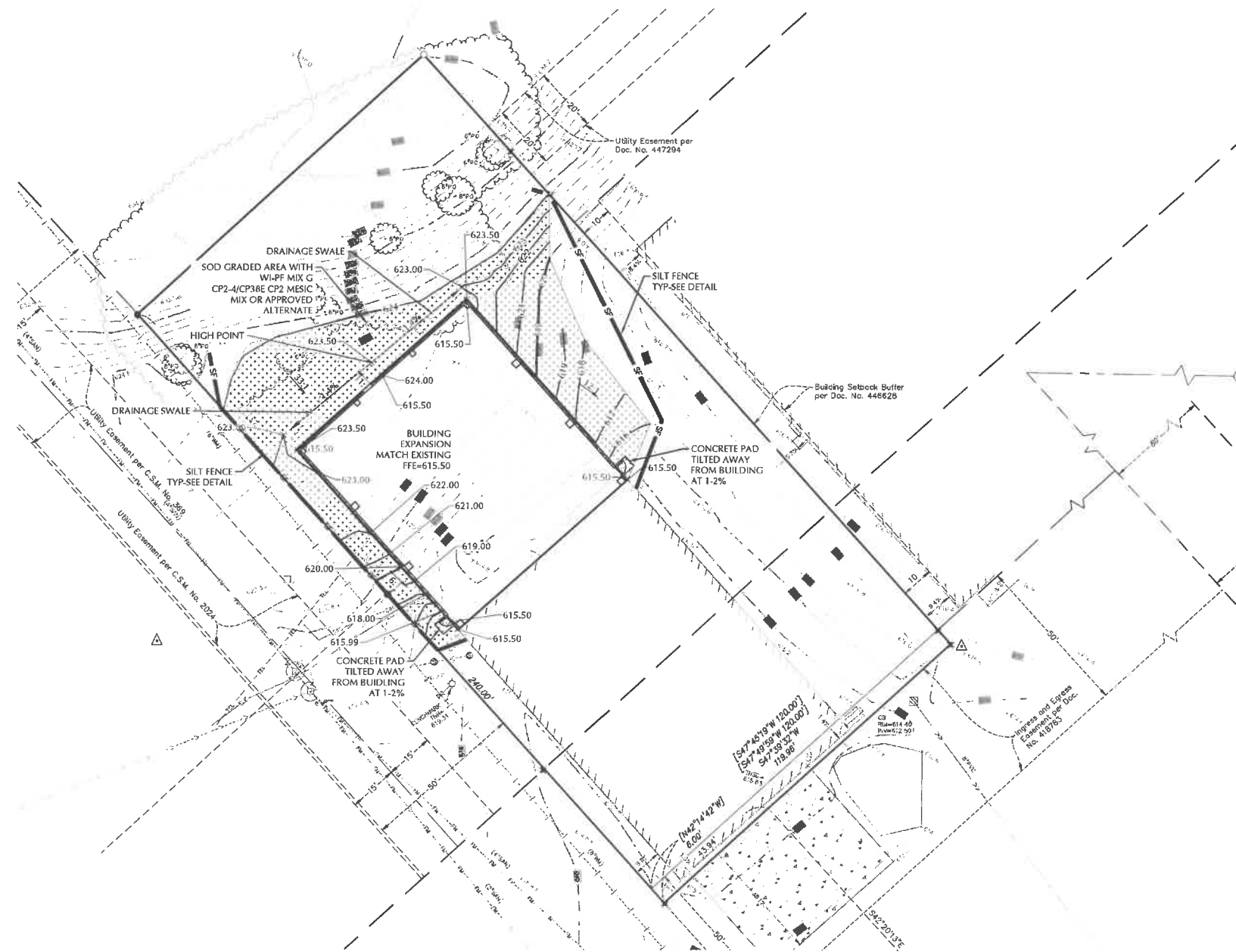
ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS / GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES. CONTRACTOR TO PROVIDE THE NECESSARY PROTECTION FOR THE UTILITIES BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS. CONTRACTOR TO NOTIFY GENERAL CONTRACTOR OF ANY CONCERNS PRIOR TO INSTALLATION OF PLANTINGS.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB / GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND / OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.



WASHBURN MARINA BUILDING EXPANSION
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763.424.1501
www.loucks.com

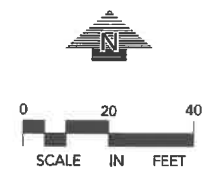
CADD QUALIFICATION
CADD: [Blank]

SUBMITTAL/REVISIONS
02/07/2024 OWNER REVIEW
02/28/2024 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

QUALITY CONTROL
Locks Project No. 23491
Project Lead JAS
Drawn By IWF
Checked By JAS
Review Date 02/27/2024

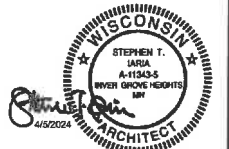
SHEET INDEX
C1-1 EXISTING CONDITIONS
C2-1 SITE AND UTILITY PLAN
C3-1 GRADING AND EROSION PLAN



GRADING AND EROSION PLAN
C3-1

BOAT STORAGE BUILDING MADELINE ISLAND WATER COMPANY

WASHBURN, WI



ABBREVIATIONS:

±	PLUS OR MINUS	INT	INTERIOR
AFF	ABOVE FINISHED FLOOR	INV	INVERT
ACT	ACOUSTICAL CEILING TILE	JAN	JANITOR
ADD	ADDITIONAL	JT	JOINT
ADJ	ADJUSTABLE, ADJACENT	JST	JOIST
AC	AIR CONDITIONING	LAM	LAMINATE
AHU	AIR HANDLING UNIT	LVL	LAMINATED VENEER LUMBER
ALT	ALTERNATE	LAV	LAVATORY
ALUM	ALUMINUM	L	LENGTH
ANOD	ANODIZED	LTG	LIGHTING
AP	ACCESS PANEL	LOC	LOCATION, LOCATE
APPROX	APPROXIMATE	LB	POUND
ARCH	ARCHITECT(URAL)	LBS	POUNDS
AVG	AVERAGE	MFR	MANUFACTURER
BSMT	BASEMENT	MAS	MASONRY
BRG	BEARING	MO	MASONRY OPENING
BIT	BITUMINOUS	MATL	MATERIAL
BLKG	BLOCKING	MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BO	BOTTOM OF	MEMB	MEMBRANE
BLDG	BUILDING	MTL	METAL
BUR	BUILT-UP ROOF	MEZZ	MEZZANINE
CUH	CABINET UNIT HEATER	MIN	MINIMUM
CP	CARPET	MISC	MISCELLANEOUS
CIP	CAST IN PLACE	MTD	MOUNTED
CLG	CEILING	NOM	NOMINAL
CMTBD	CEMENT BOARD	NIC	NOT IN CONTRACT
CTR	CENTER	NTS	NOT TO SCALE
CT	CERAMIC TILE	N/A	NOT APPLICABLE
CLR	CLEAR	OC	ON CENTER
COL	COLUMN	OPG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNIT	OH	OVERHEAD
CONST	CONSTRUCTION	OSCI	OWNER SUPPLIED, OWNER INSTALLED
CONT	CONTINUOUS	P	PAINT
CTRL	CONTROL	PKG	PARKING
CTRL	CONTROL JOINT	PART	PARTITION
COORD	COORDINATION	PATT	PATTERN
CG	CORNER GUARD	PL	PLATE
CTOP	COUNTERTOP	PLAM	PLASTIC LAMINATE
DEMO	DEMOLISH, DEMOLITION	PVC	POLYVINYL CHLORIDE
DTL	DETAIL	PT	PORCELAIN TILE
DIA	DIAMETER	PV	POST INDICATOR VALVE
DIM	DIMENSION	PRV	POWER ROOF VENTILATOR
DN	DOWN	PC	PRECAST CONCRETE
DWG	DRAWING	PREFIN	PREFINISHED
DF	DRINKING FOUNTAIN	PROP	PROPERTY
EA	EACH	QTY	QUANTITY
EW	EACH WAY	QT	QUARRY TILE
EWC	ELECTRIC WATER COOLER	R	RADIUS, RISER
ELEC	ELECTRIC(AL)	RWL	RAIN WATER LEADER
EP	ELECTRICAL PANEL	REF	REFERENCE, REFRIGERATOR
EL	ELEVATION	RCP	REFLECTED CEILING PLAN
ELEV	ELEVATOR	REINF	REINFORCED
EMER	EMERGENCY	REQD	REQUIRED
ENG	ENGINEER	REV	REVERSE(D), REVISED
EQ	EQUAL	RD	ROOF DRAIN
EQUIP	EQUIPMENT	RM	ROOM
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	RO	ROUGH OPENING
EF	EXHAUST FAN	RB	RUBBER BASE
EXIST	EXISTING	RT	RUBBER TILE
EJ	EXPANSION JOINT	SAN	SANITARY
EXT	EXTERIOR	SCHD	SCHEDULE
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SLNT	SLANT
FAB	FABRICATE	SV	SHEET VINYL
FCC	FACE OF CONCRETE	SHWR	SHOWER
FCF	FACE OF FINISH	SIM	SIMILAR
FOM	FACE OF MASONRY	SC	SOLID CORE
FOS	FACE OF STUDS	SS	SOLID SURFACE
FT	FEET OR FOOT	STC	SOUND TRANSMISSION CLASS
FRP	FIBER REINFORCED PLASTIC PANEL	SPEC	SPECIFICATION(S)
FIN	FINISH	SQ	SQUARE
FFE	FINISHED FLOOR ELEVATION	SF	SQUARE FEET
FA	FIRE ALARM	SSTL	STAINLESS STEEL
FE	FIRE EXTINGUISHER	STD	STANDARD
FEC	FIRE EXTINGUISHER CABINET	STL	STEEL
FIXT	FIXTURE	STR	STRUCTURAL
FF&E	FIXTURES, FURNISHINGS, EQUIPMENT	SUSP	SUSPENDED
FLOR	FLUORESCENT	TERR	TERRAZZO
FLR	FLOOR	T	TREAD
FD	FLOOR DRAIN	TOC	TOP OF CONCRETE
FTG	FOOTING	TOF	TOP OF FOOTING
FNDN	FOUNDATION	TOM	TOP OF MASONRY
FURN	FURNITURE	TOS	TOP OF STEEL
GALV	GALVANIZED	TOW	TOP OF WALL
GA	GAGE	T&G	TONGUE AND GROOVE
GC	GENERAL CONTRACTOR	TEMP	TEMPERED, TEMPORARY
GL	GLASS	TOPO	TOPOGRAPHY
GLAZ	GLAZING	TYP	TYPICAL
GFI	GROUND FAULT INTERRUPTER	UNO	UNLESS NOTED OTHERWISE
GBD	GYPSON BOARD	VERT	VERTICAL
HC	HOLLOW CORE	VIF	VERIFY IN FIELD
HDWR	HARDWARE	VB	VINYL BASE
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VCT	VINYL COMPOSITION TILE
HT	HEIGHT	WSC	WAINSCOT
HM	HOLLOW METAL	WC	WATER CLOSET
HORZ	HORIZONTAL	WH	WATER HEATER
HB	HOSE BIB	WT	WEIGHT
HR	HOUR	WWF	WELDED WIRE FABRIC
HYD	HYDRANT	WDW	WINDOW
IN	INCH(ES)	W/	WITH
INCL	INCLUDE(D), INCLUDING	W/O	WITHOUT
ID	IDENTIFICATION	WD	WOOD
INSL	INSULATE, INSULATION	WRB	WATER RESISTIVE BARRIER

ROSTER:

OWNER:	MADELINE ISLAND WATER COMPANY BOAT STORAGE BUILDING 75 MARINA DRIVE WASHBURN, WI 54891 ATTN: DAVID DALQUIST DAVIDDALQUIST@NORDICWARE.COM
GENERAL CONTRACTOR:	GREINER CONSTRUCTION 121 S. 8TH STREET, SUITE 1200 MINNEAPOLIS, MN 55402 ATTN: TRAVIS SUTHERLAND 763-213-2886 TSUTHERLAND@GREINERCONSTRUCTION.COM
ARCHITECT:	KOMA 2051 KILLEBREW DRIVE, SUITE 680 BLOOMINGTON, MN 55425 651-451-4127 PHONE WWW.KOMAINC.COM ATTN: STEVE JARIA SJARIA@KOMAINC.COM
STRUCTURAL ENGINEER:	KOMA 2051 KILLEBREW DRIVE, SUITE 680 BLOOMINGTON, MN 55425 651-451-4123 PHONE WWW.KOMAINC.COM ATTN: MIKE LISOWSKI MLISOWSKI@KOMAINC.COM

SHEET SCHEDULE

SHEET NUMBER	SHEET NAME
ARCHITECTURAL	
A1	TITLE SHEET
A2	CODE DATA PLAN
A3	DEMOLITION FLOOR PLAN
A4	FLOOR PLAN
A5	ROOF PLAN
A6	REFLECTED CEILING PLAN
A7	EXTERIOR ELEVATIONS
A8	BUILDING SECTIONS
A9	DETAILS
STRUCTURAL	
S01	GENERAL STRUCTURAL NOTES
S02	SPECIAL INSPECTIONS
S10	FOUNDATION PLAN
S20	FOUNDATION DETAILS
S21	FRAMING PLAN & DETAILS

DRAWING SYMBOLS:

	SIM DETAIL NUMBER SHEET WHERE SECTION IS LOCATED		EARTH OR FILL
	SIM BUILDING SECTION NUMBER SHEET WHERE SECTION IS LOCATED		POROUS FILL OR GRAVEL
	SIM ELEMENT SECTION NUMBER SHEET WHERE SECTION IS LOCATED		CMU
	BUILDING ELEVATION NUMBER SHEET WHERE ELEVATION IS LOCATED		CONCRETE
	ELEMENT ELEVATION NUMBER SHEET WHERE ELEVATION IS LOCATED		MORTAR
	CLOUD AROUND REVISION REVISION NUMBER		BITUMINOUS
	ROOM NAME		BRICK
	ROOM NUMBER		GYPSON BOARD
	ROOM WHERE DOOR IS LOCATED		STEEL STUD
	DOOR LETTER		STRUCTURAL WOOD
	WORK POINT, CONTROL POINT OR DATUM POINT		FINISHED WOOD
	GRID REFERENCE		PLYWOOD
	GRID LINE		BATT INSULATION
	EXISTING GRID REFERENCE		RIGID INSULATION EXTRUDED
	WALL TYPE		RIGID INSULATION EXPANDED
	WINDOW		STEEL
	WINDOW / STOREFRONT TAG		
	CENTERLINE SYMBOL		

GENERAL NOTES:

- THE FOLLOWING GENERAL NOTES SHALL APPLY TO DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED.
- THE CONSTRUCTION DOCUMENTS CONSIST OF DRAWINGS.
- THE WORK DELINEATED IN THESE DRAWINGS SHALL CONFORM TO CODES, STANDARDS, AND REGULATIONS THAT HAVE JURISDICTION IN THE STATE OF WISCONSIN AND THE CITY OF WASHBURN.
- THE GENERAL CONTRACTOR AND ALL SUB CONTRACTORS SHALL COMPLY WITH THE APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES. SHALL BE RESPONSIBLE FOR FILING FOR AND SECURING NECESSARY PERMITS AND APPROVALS FOR ALL TRADES, AND SHALL COMPLY WITH THE INSTRUCTIONS OF THE CONSTRUCTION DOCUMENTS.
- COMPARE FIELD CONDITIONS WITH ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE DIRECTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO FABRICATION AND/OR CONSTRUCTION. SUBMIT ALL NECESSARY SHOP DRAWINGS PRIOR TO FABRICATION FOR APPROVAL BY ARCHITECT. NO INFORMATION OR DETAILS ON THESE SHEETS MAY BE USED ON OTHER PROJECTS WITHOUT THE PERMISSION OF THE ARCHITECT.
- THE FOLLOWING SHALL APPLY TO THE DRAWINGS AND GOVERN IN CASE OF AMBIGUITIES, DISCREPANCIES, OR IRREGULARITIES IN THE CONSTRUCTION DOCUMENTS, MANUFACTURER'S INSTRUCTIONS, SITE CONDITIONS, OR APPLICABLE CODES AND STANDARDS; REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING. THE COST OF WORK DONE AS A RESULT OF PROCEEDING WITHOUT OBTAINING CLARIFICATION WILL BE BORNE SOLELY BY THE CONTRACTOR.
- DO NOT SCALE DRAWINGS.
- UNLESS OTHERWISE SHOWN OR NOTED, TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
- SAFETY MEASURES: THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF THE PERSONS AND PROPERTY AND FOR INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEERS JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- ALL WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- WITHIN THESE PLANS, "OWNER" MEANS THE DESIGNATED REPRESENTATIVE(S) OF MADELINE ISLAND WATER COMPANY BOAT STORAGE.
- THE TERM "CONTRACTOR" AND "G.C." REFER TO THE OWNER'S GENERAL CONTRACTOR AND THE GENERAL CONTRACTOR'S SUB-CONTRACTORS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE DIVISION OF WORK AMONG SUB-CONTRACTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
- ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT PRIOR TO ORDER PLACEMENT.
- SIMILAR MATERIALS INDICATED ON DIFFERENT PLANS, SECTIONS AND DETAILS, AND ANNOTATED ON ONE OR MORE PLANS, SECTIONS OR DETAILS SHALL BE CONSIDERED ANNOTATED, NOTED OR LABELED COMPLETELY ON ALL PLANS, SECTIONS & DETAILS.
- CONTRACTORS ARE TO VERIFY SITE INFORMATION BEFORE STARTING CONSTRUCTION. EXISTING SITE CONDITIONS SHOWN ON THE DRAWINGS MAY NOT REPRESENT ALL EXISTING SITE CONDITIONS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES WITH THE DRAWINGS.
- THE LOCATION AND SIZE OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY FOR CONVENIENCE. VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION START.
- REGARDING CONTRACTOR'S USE OF PREMISES, TIME RESTRICTIONS FOR PERFORMING WORK ARE TO BE VERIFIED WITH LANDLORD AND ALL UTILITY OUTAGES AND SHUTDOWNS SHALL BE COORDINATED WITH THE LANDLORD.



TITLE SHEET

**BOAT STORAGE BUILDING
MADELINE ISLAND WATER COMPANY
75 MARINA DRIVE
WASHBURN, WI 54891**

PROJECT: 24021
DRAWN BY: MMC
CHECKED BY: STI
DATE: 4/5/2024

REVISIONS:

PERMIT SET

A1



PROJECT CODE DATA:

NOTE: THIS CODE ANALYSIS DOES NOT DELINEATE DETAILED REQUIREMENTS FOR THE MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS.

CODE CRITERIA

- WISCONSIN SPS 362 (BASED ON 2015 INTERNATIONAL BUILDING CODE)

BUILDING

- USE AND OCCUPANCY CLASSIFICATION (SECTION 302)**
- GROUP S-1: BOAT STORAGE

ALLOWABLE AREA, HEIGHT & NUMBER OF STORIES (SECTION 504 & 506, TABLE 504.3/504.4/506.2)

- ALLOWABLE AREA PER STORY (WITH SPRINKLER INCREASE) = 36,000 SF
- PROVIDED AREA PER STORY = 12,336 SF
- MAX FEET ABOVE GRADE PLANE (WITH SPRINKLER INCREASE) = 60' (ACTUAL = 40')
- MAX STORIES ABOVE GRADE PLANE (WITH SPRINKLER INCREASE) = 2 (ACTUAL = 1 STORIES ABOVE GRADE)

TYPE OF CONSTRUCTION (SECTION 602)

- TYPE V-B; SPRINKLERED

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS); (SECTION 602, TABLE 601)

BUILDING ELEMENT	TYPE V-B
STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS AND TRUSSES	0
BEARING WALLS EXTERIOR INTERIOR	0 0
NON-BEARING WALLS AND PARTITIONS EXTERIOR INTERIOR	0 0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0

AUTOMATIC SPRINKLER SYSTEMS (SECTION 903)

- SPRINKLERS SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13 (SECTION 903.3.1.1)
- ALL CONCEALED SPACES ENCLOSED WHOLLY OR PARTLY BY EXPOSED COMBUSTIBLE CONSTRUCTION SHALL BE PROTECTED BY SPRINKLERS
- CONTRACTOR TO PROVIDE AND INSTALL PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE MARSHAL. CONTRACTOR TO VERIFY LOCATION AND TYPE WITH THE LOCAL FIRE MARSHAL

OCCUPANT LOAD (SECTION 1004)

- TOTAL NUMBER OF OCCUPANTS FOR THE BUILDING = 25 (12,366/500SF/OCC)

MEANS OF EGRESS SIZING (SECTION 1005)

- STAIR CAPACITY: 0.3 INCH PER OCCUPANT
- OTHER EGRESS COMPONENTS: 0.2 INCH PER OCCUPANT

EXIT AND EXIT ACCESS DOORWAYS (SECTION 1006)

- EXITS REQUIRED = 2 EXIT(S), 64" OF EXIT WIDTH
- EXITS PROVIDED = 3 EXIT(S), 96" OF EXIT WIDTH

EXIT SIGNS (SECTION 1013)

- EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. ACCESS TO EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS IN CASES WHERE THE EXIT OR THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR IS MORE THAN 100 FEET FROM THE NEAREST VISIBLE EXIT SIGN, EXCEPT:
- EXIT SIGNS ARE NOT REQUIRED IN ROOMS OR AREAS WHICH REQUIRE ONE EXIT OR EXIT ACCESS

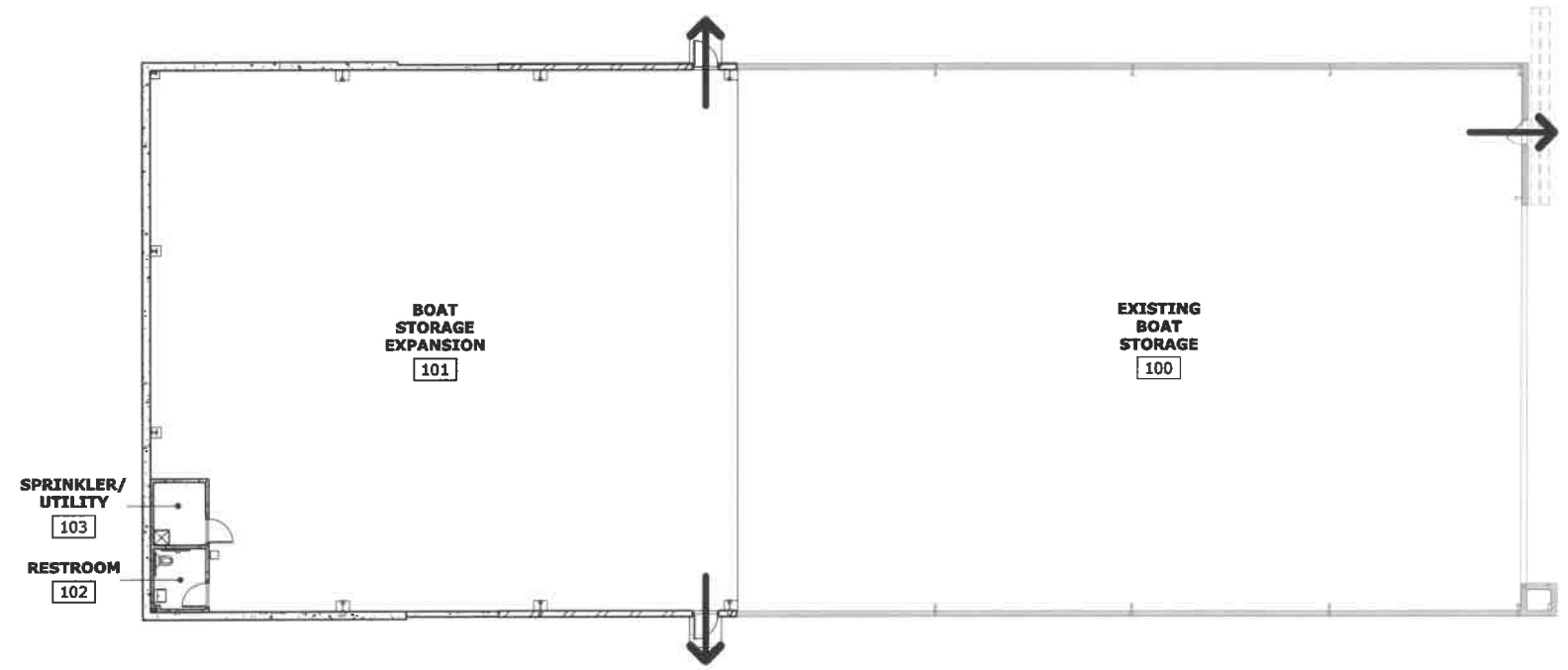
PLUMBING FIXTURES (CHAPTER 29)
 BUILDING OCCUPANT LOAD WAS USED AS THE CALCULATION FOR THE TOTAL PLUMBING DESIGN OCCUPANT LOAD.

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (TABLE 2902.1; SECTION 2902)

OCCUPANCY	WATER CLOSETS	LAVATORIES			SHOWER	DF	SS					
		MALE	FEMALE	RATIO								
USE	LOAD RATIO	MALE	FEMALE	RATIO	MALE	FEMALE	#	RATIO	#			
S-1	25	1/100	0.25	0.25	1/100	0.25	0.25	-	-	1/1,000	0.03	1
TOTALS			0.25	0.25		0.25	0.25				0.03	1

BASED ON THE LIMITED USE OF THIS BUILDING, A SINGLE USER RESTROOM IS BEING PROVIDED

- WC = WATER CLOSET LAV = LAVATORY URL = URINAL
- DF = DRINKING FOUNTAIN SS = SERVICE SINK SHWR = SHOWER



① CODE DATA PLAN
 3/32" = 1'-0"
 TRUE PROJECT NORTH

CODE DATA PLAN





**BOAT STORAGE BUILDING
 MADELINE ISLAND WATER COMPANY
 75 MARINA DRIVE
 WASHBURN, WI 54891**

PROJECT:	24021
DRAWN BY:	MMC
CHECKED BY:	STI
DATE:	4/5/2024
REVISIONS:	

PERMIT SET

A2

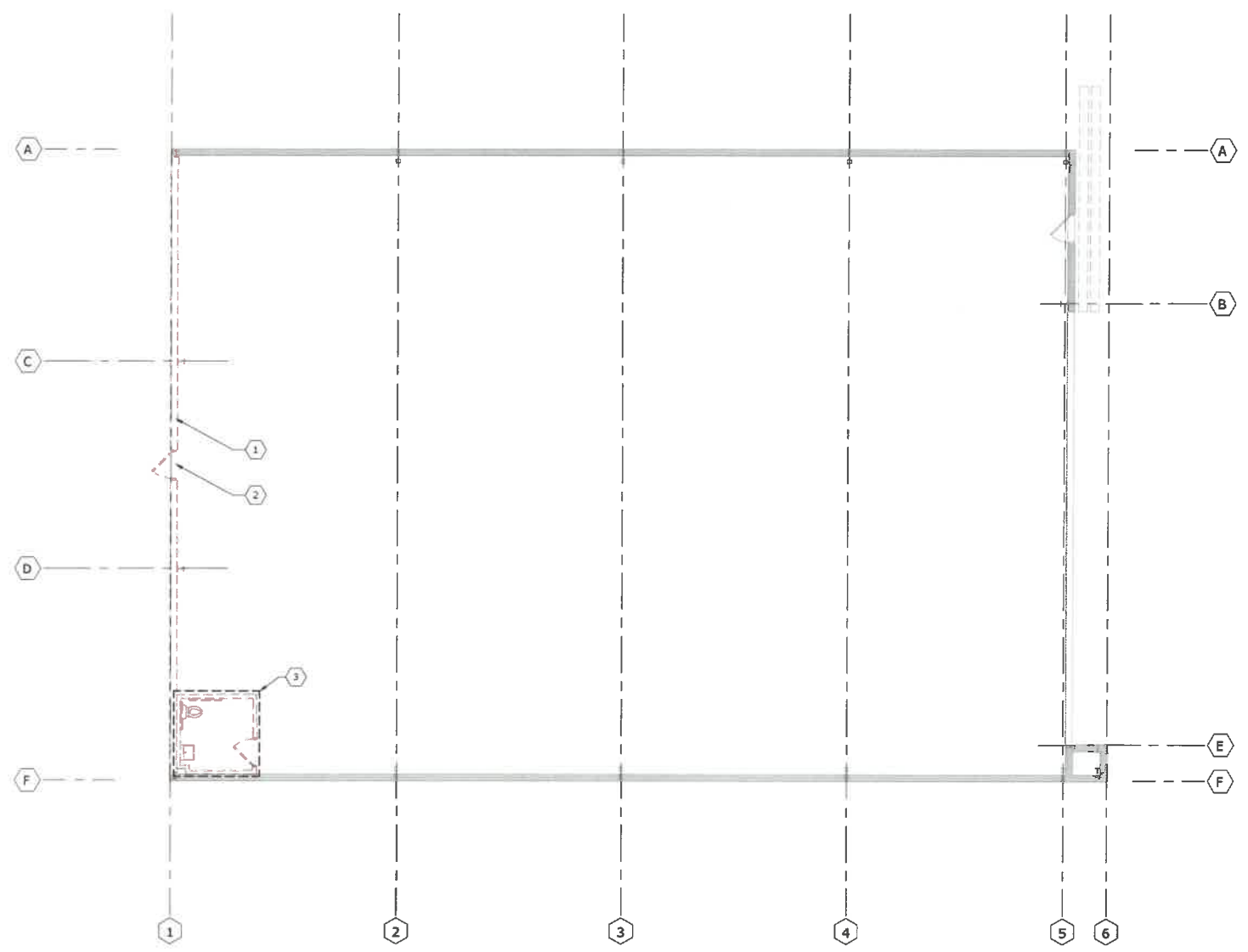
LEGEND - DEMOLITION PLAN:

-  EXISTING MATERIAL DEMOLITION AREA
-  EXISTING MATERIAL DEMOLITION
-  EXISTING TO REMAIN TEMPORARILY; DEMOLISH DURING FUTURE PHASE
-  EXISTING TO REMAIN

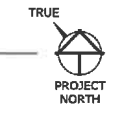
DEMO KEYNOTES

#	NOTE
1	DEMO EXISTING ENDWALL
2	DEMO EXISTING DOOR
3	DEMO EXISTING RESTROOM (VERIFY ACTUAL LOCATION)

KOMA
 ARCHITECTS | DESIGNERS | ENGINEERS
 7151 KILBREW DRIVE, SUITE 600, BLOOMINGTON, WI 55415
 P. 951.551.6652 KOMA-NC.COM



1 DEMOLITION FLOOR PLAN
 1/8" = 1'-0"



DEMOLITION FLOOR PLAN

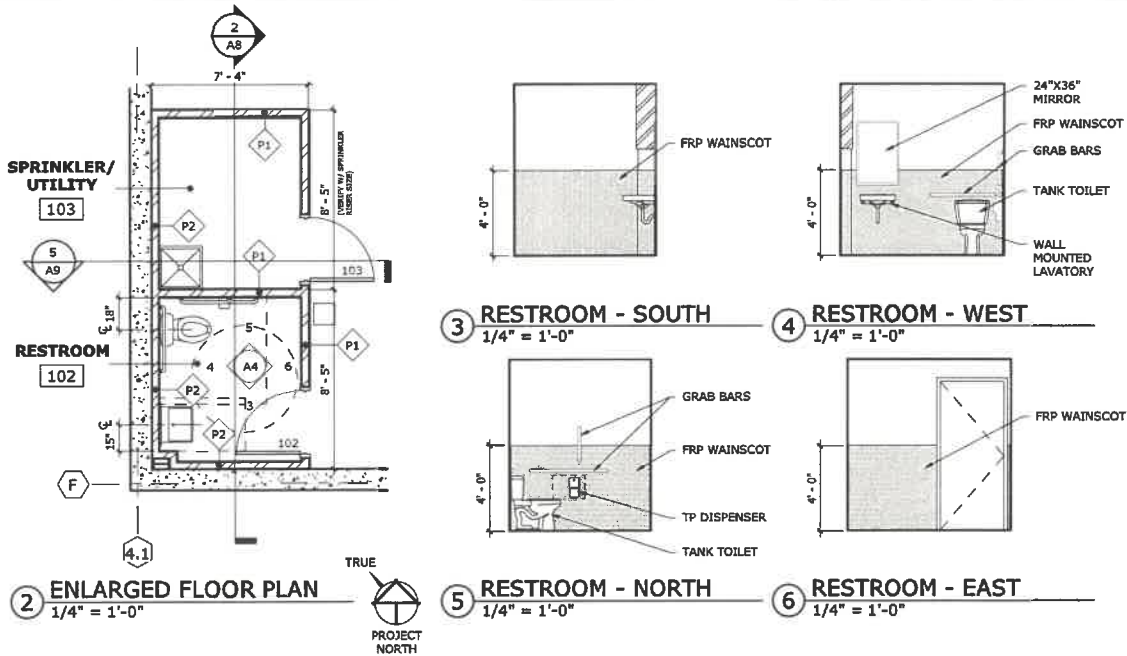
**BOAT STORAGE BUILDING
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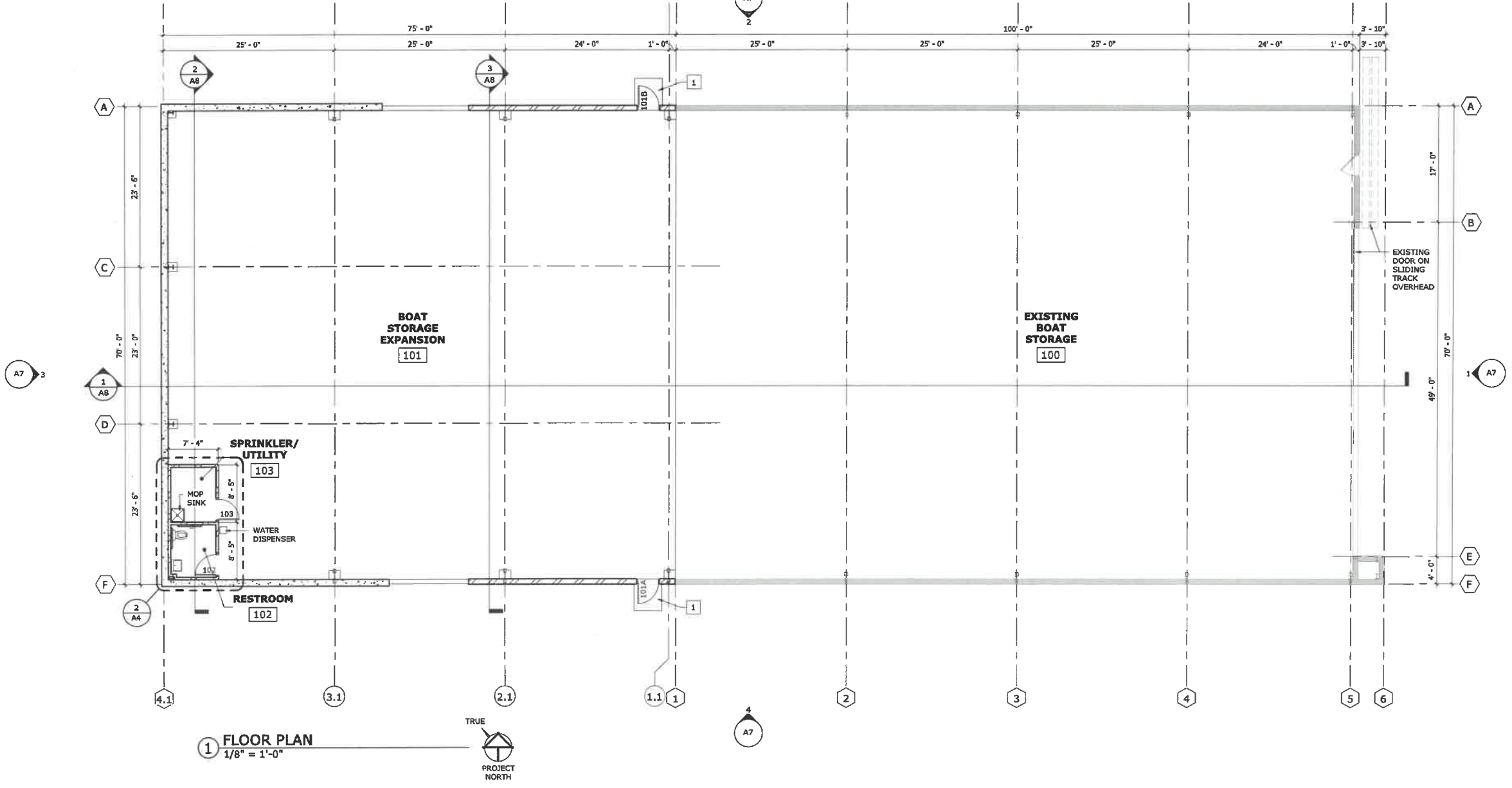
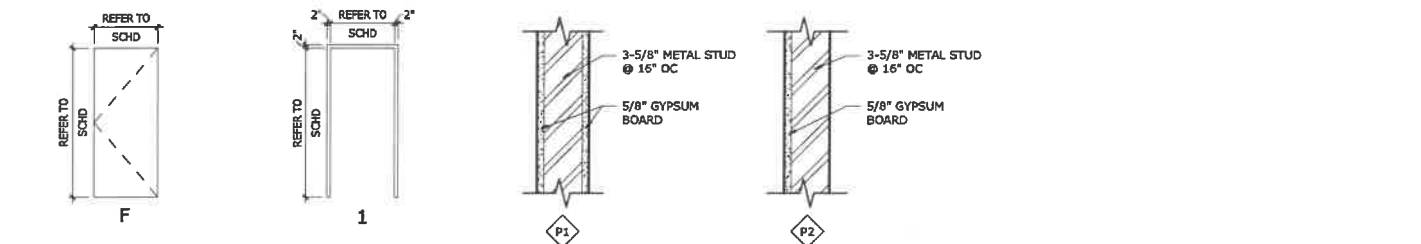
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A3

#	KEYNOTES
MARK	NOTE
1	4'x4' FROST STOOP



DOOR NUMBER	ROOM NAME	TYPE	DOOR					FRAME			FIRE RATING	STC	COMMENTS	
			WIDTH	HEIGHT	THICKNESS	GLASS	MATERIAL	FINISH	TYPE	MATERIAL				FINISH
101A	BOAT STORAGE EXPANSION	F	3'-0"	7'-0"	1 3/4"	-	HM	PAINT	1	HM	PAINT			INSULATED EXTERIOR DOOR AND FRAME
101B	BOAT STORAGE EXPANSION	F	3'-0"	7'-0"	1 3/4"	-	HM	PAINT	1	HM	PAINT			INSULATED EXTERIOR DOOR AND FRAME
102	RESTROOM	F	3'-0"	7'-0"	1 3/4"	-	HM	PAINT	1	HM	PAINT			
103	SPRINKLER/UTILITY	F	3'-0"	7'-0"	1 3/4"	-	HM	PAINT	1	HM	PAINT			



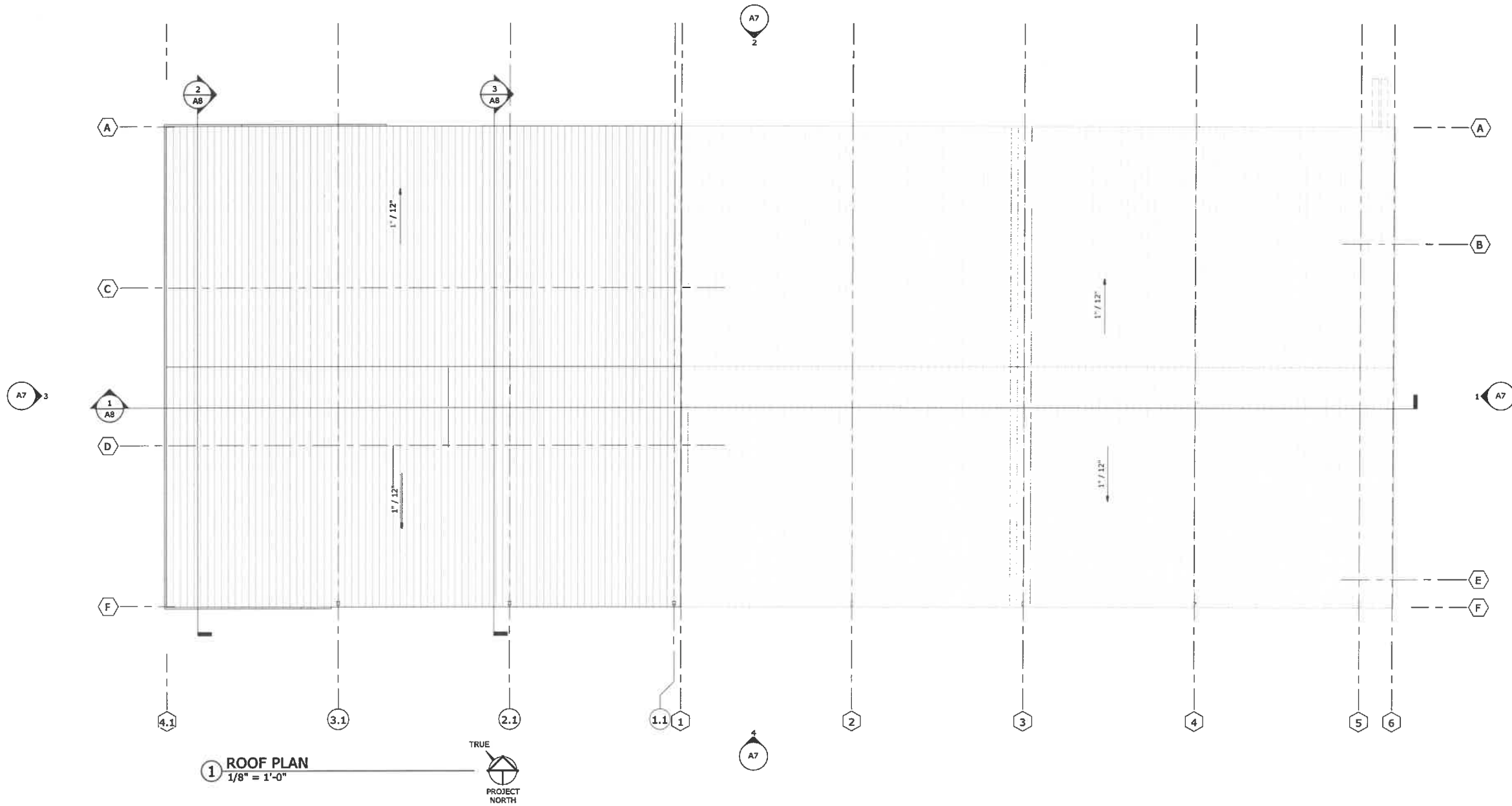
FLOOR PLAN

**BOAT STORAGE BUILDING
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A4



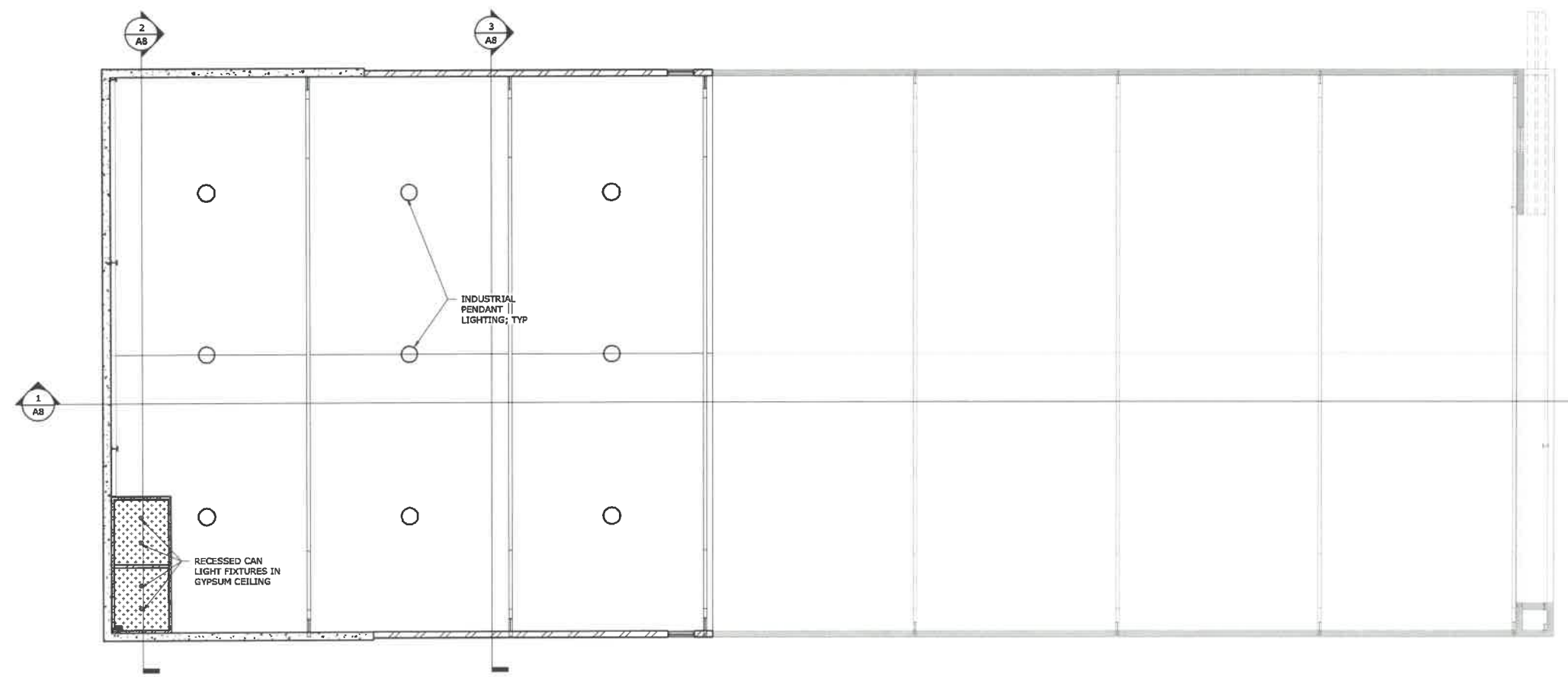
ROOF PLAN

**BOAT STORAGE BUILDING
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CHECKED BY:	STI
DATE:	4/5/2024
REVISIONS:	

PERMIT SET

A5



1 REFLECTED CEILING PLAN
 1/8" = 1'-0"

TRUE
 PROJECT NORTH

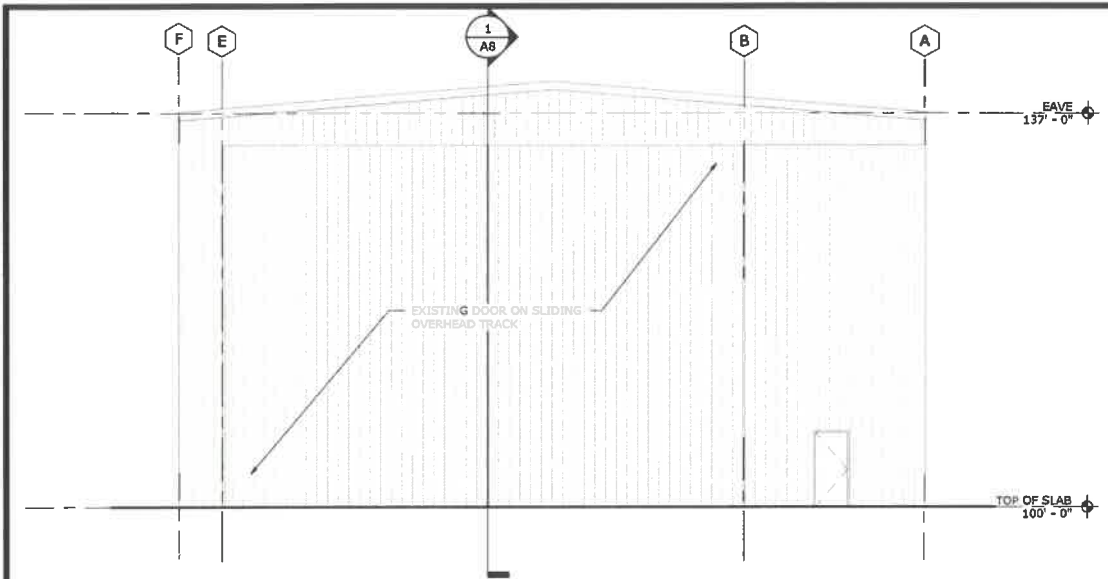
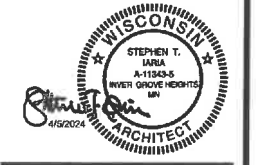
REFLECTED CEILING PLAN

**BOAT STORAGE BUILDING
 MADELINE ISLAND WATER COMPANY
 75 MARINA DRIVE
 WASHBURN, WI 54891**

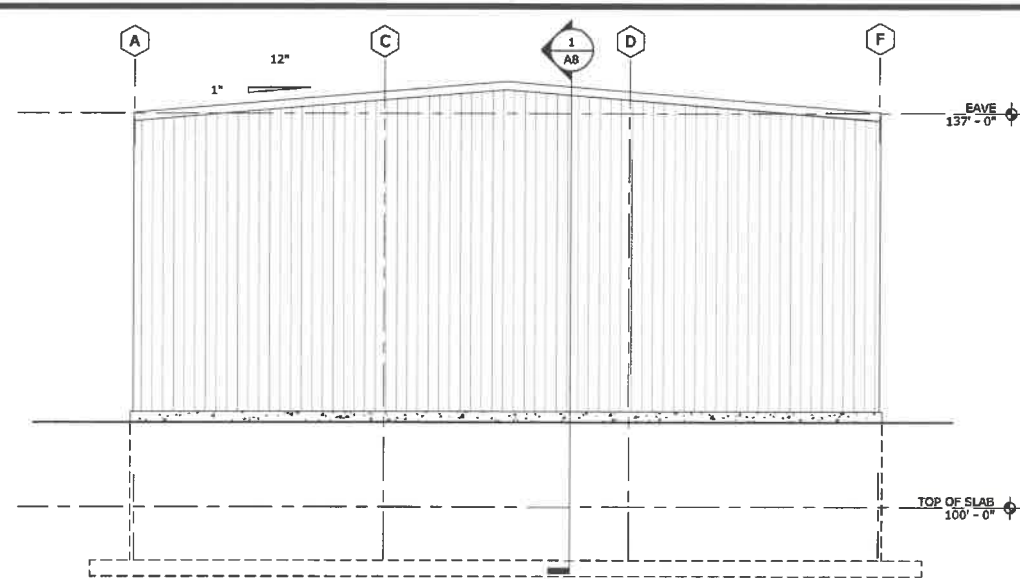
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DATE:	4/5/2024
REVISIONS:	

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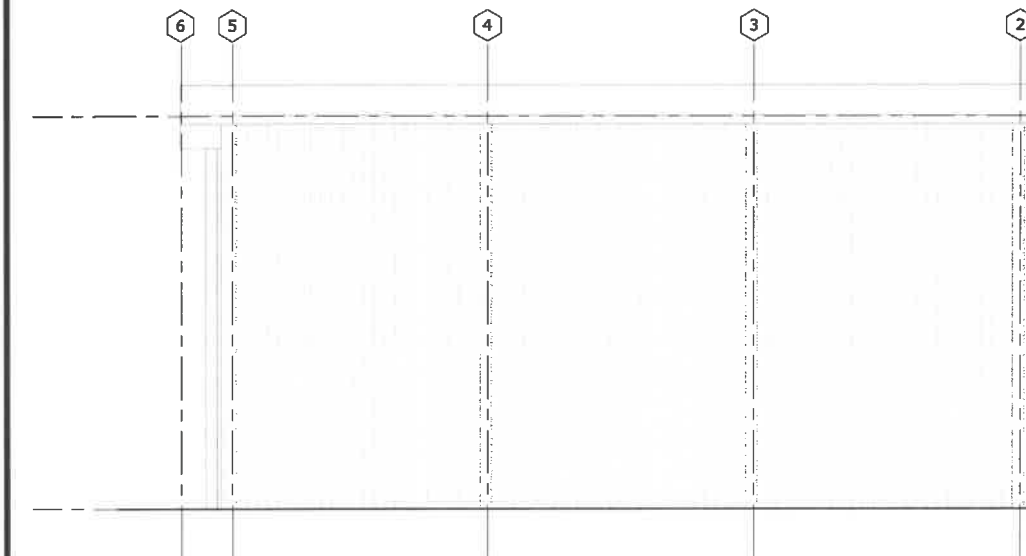
A6



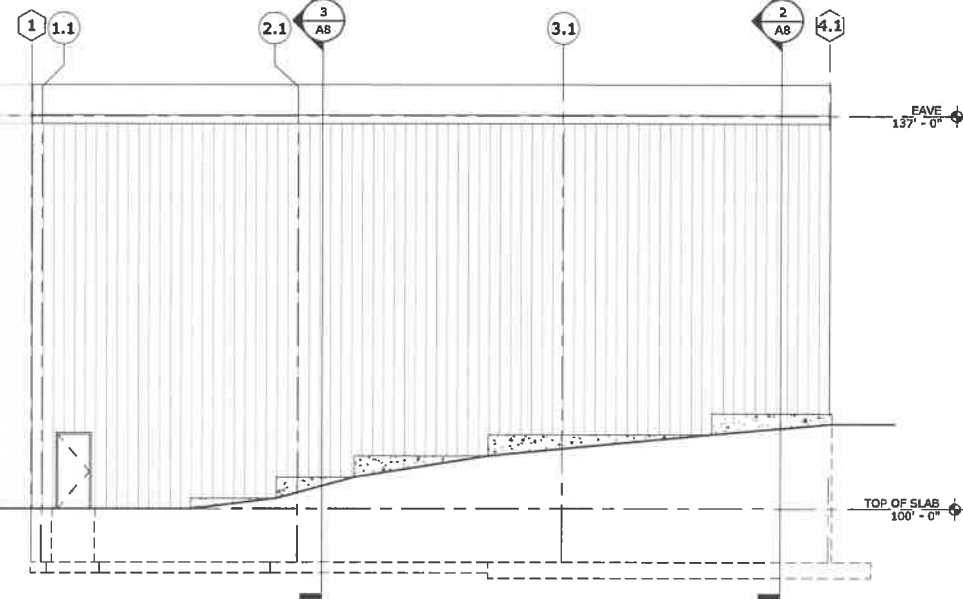
① EAST EXTERIOR ELEVATION
 1/8" = 1'-0"



③ WEST EXTERIOR ELEVATION
 1/8" = 1'-0"



② NORTH EXTERIOR ELEVATION
 1/8" = 1'-0"



④ SOUTH EXTERIOR ELEVATION
 1/8" = 1'-0"

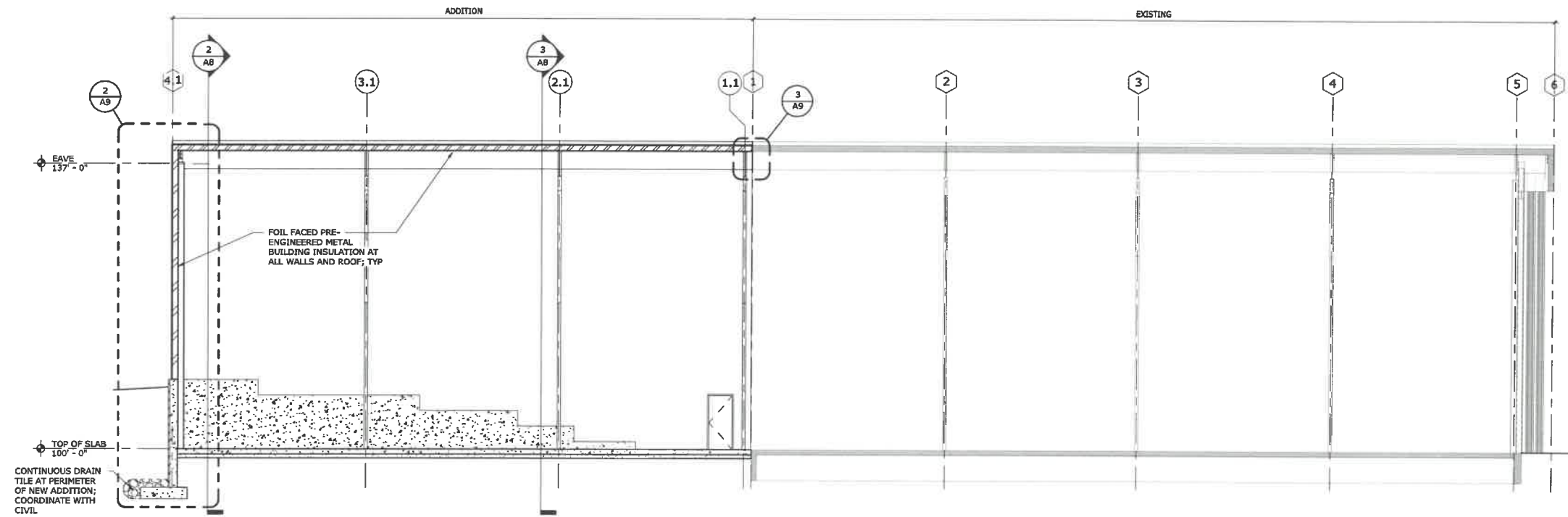
EXTERIOR ELEVATIONS

**BOAT STORAGE BUILDING
 MADELINE ISLAND WATER COMPANY
 75 MARINA DRIVE
 WASHBURN, WI 54891**

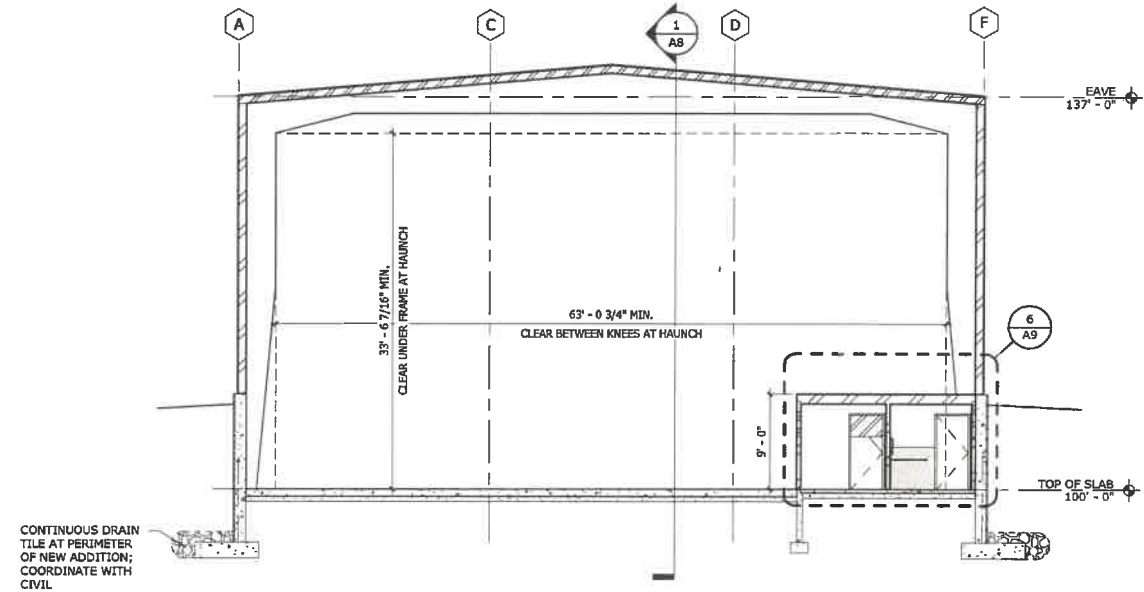
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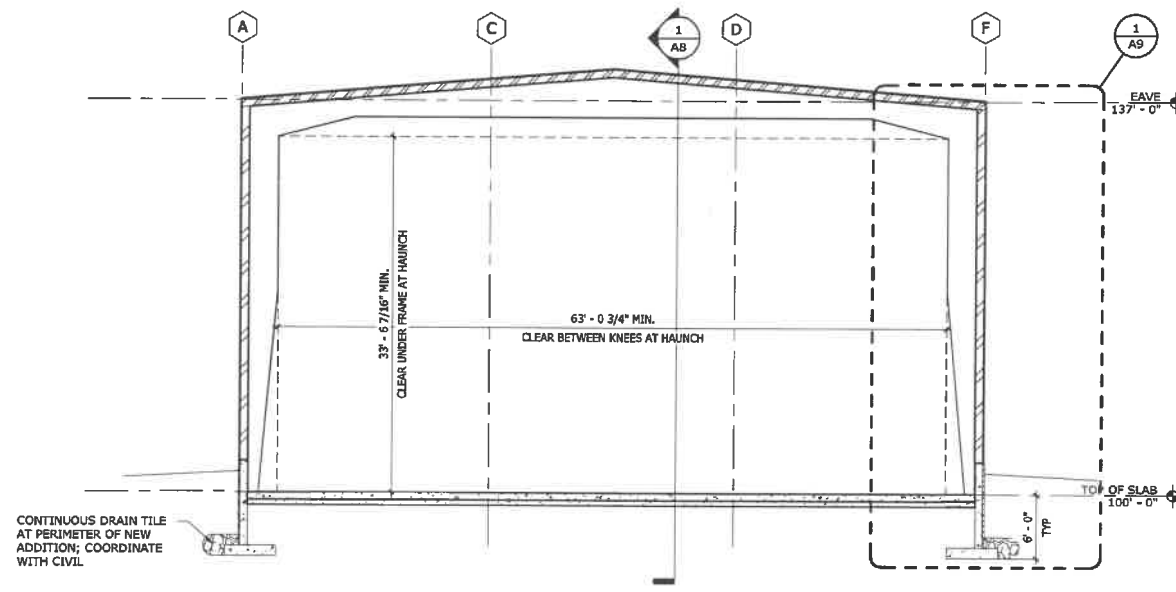
A7



1 BUILDING SECTION 1
 1/8" = 1'-0"



2 BUILDING SECTION 2
 1/8" = 1'-0"



3 BUILDING SECTION 3
 1/8" = 1'-0"

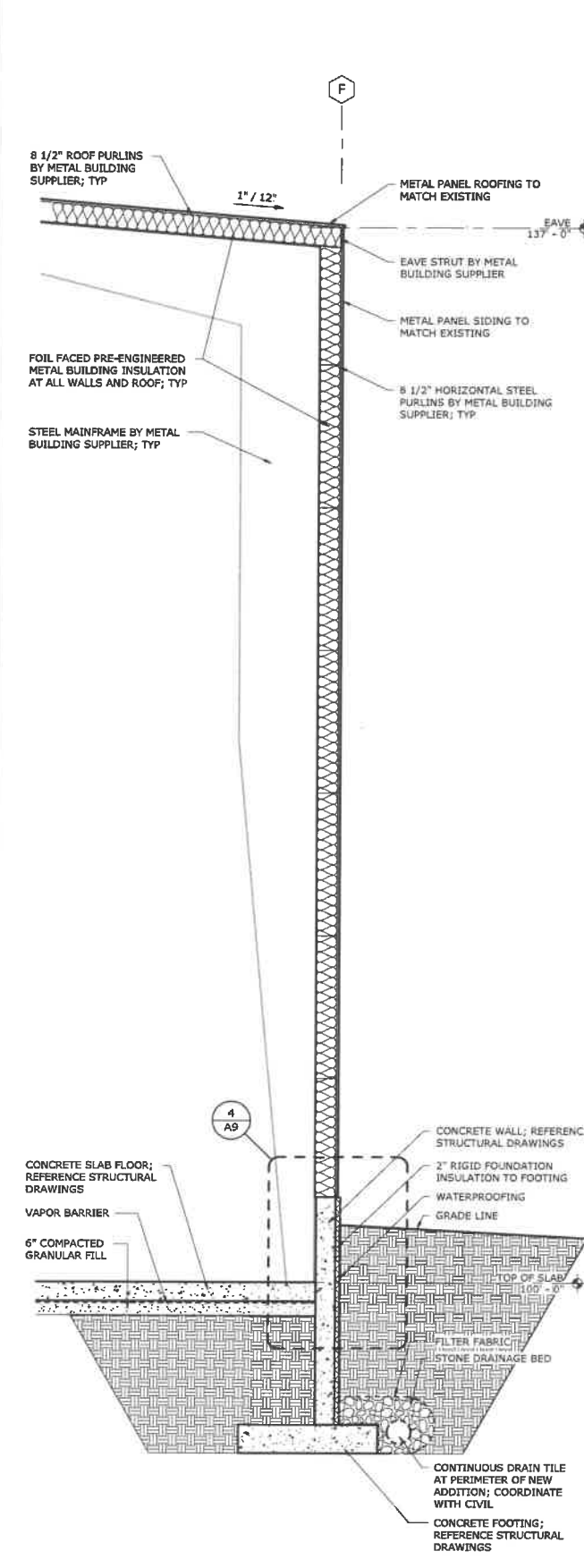
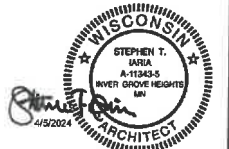
BUILDING SECTIONS

**BOAT STORAGE BUILDING
 MADELINE ISLAND WATER COMPANY
 75 MARINA DRIVE
 WASHBURN, WI 54891**

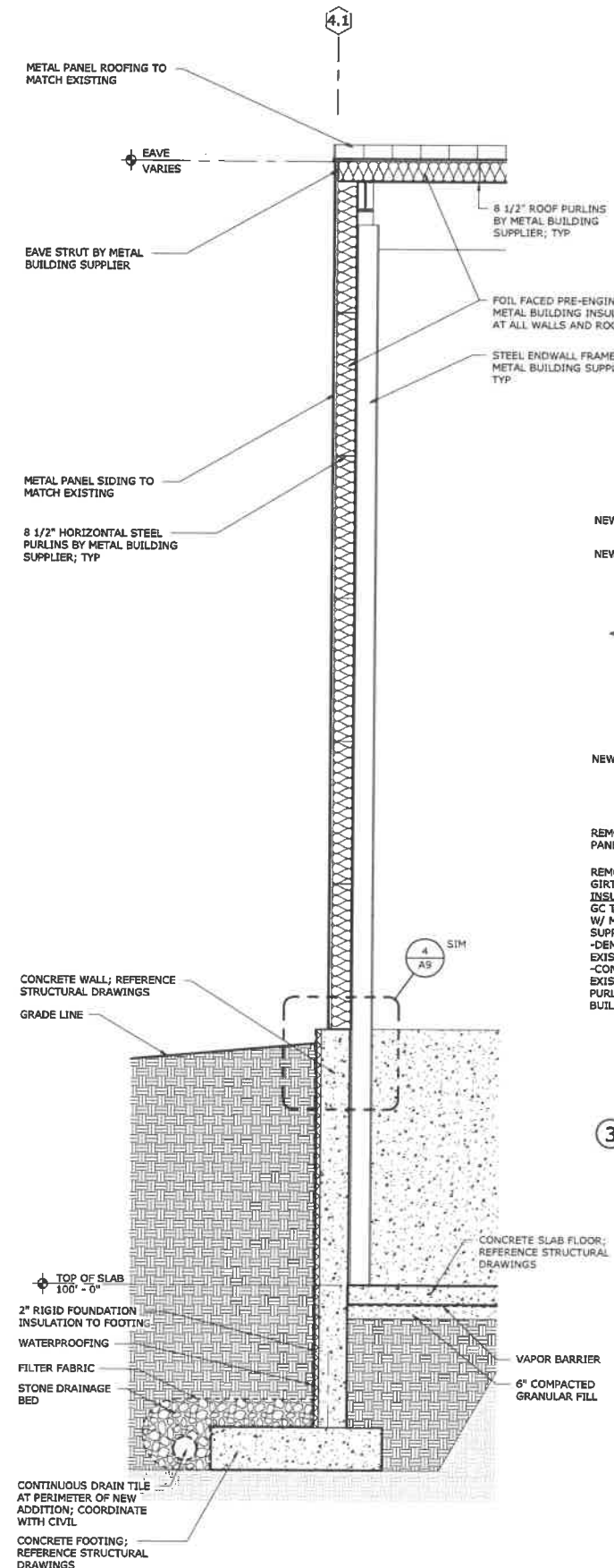
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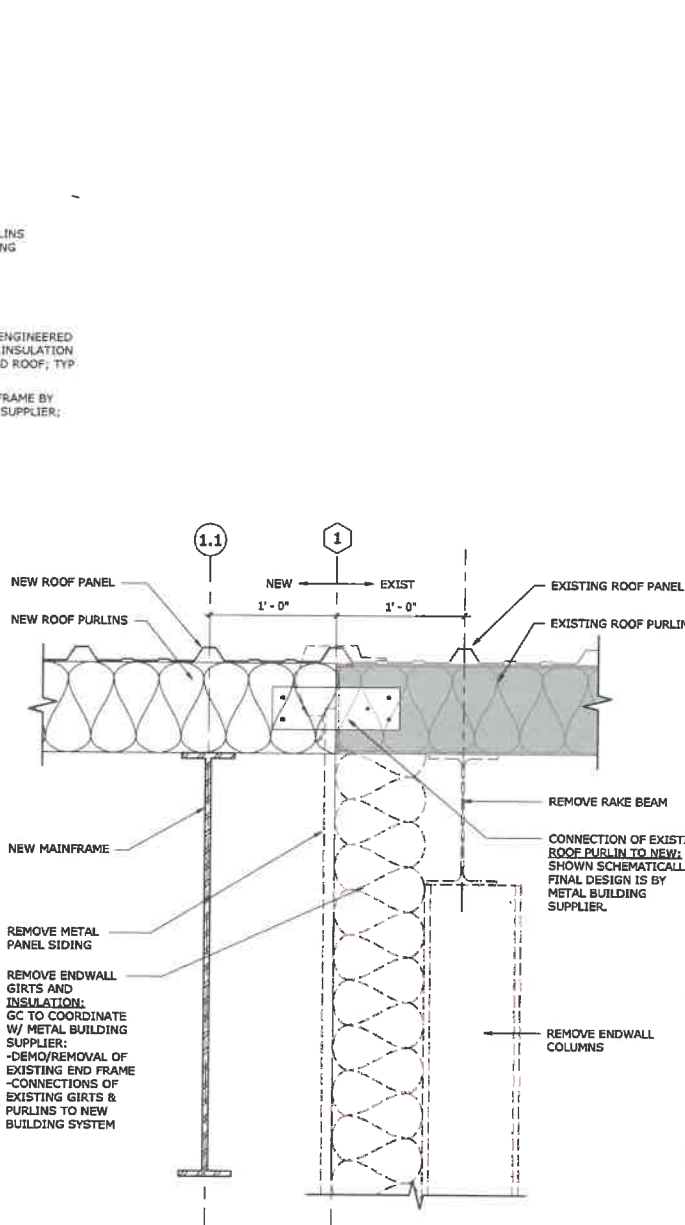
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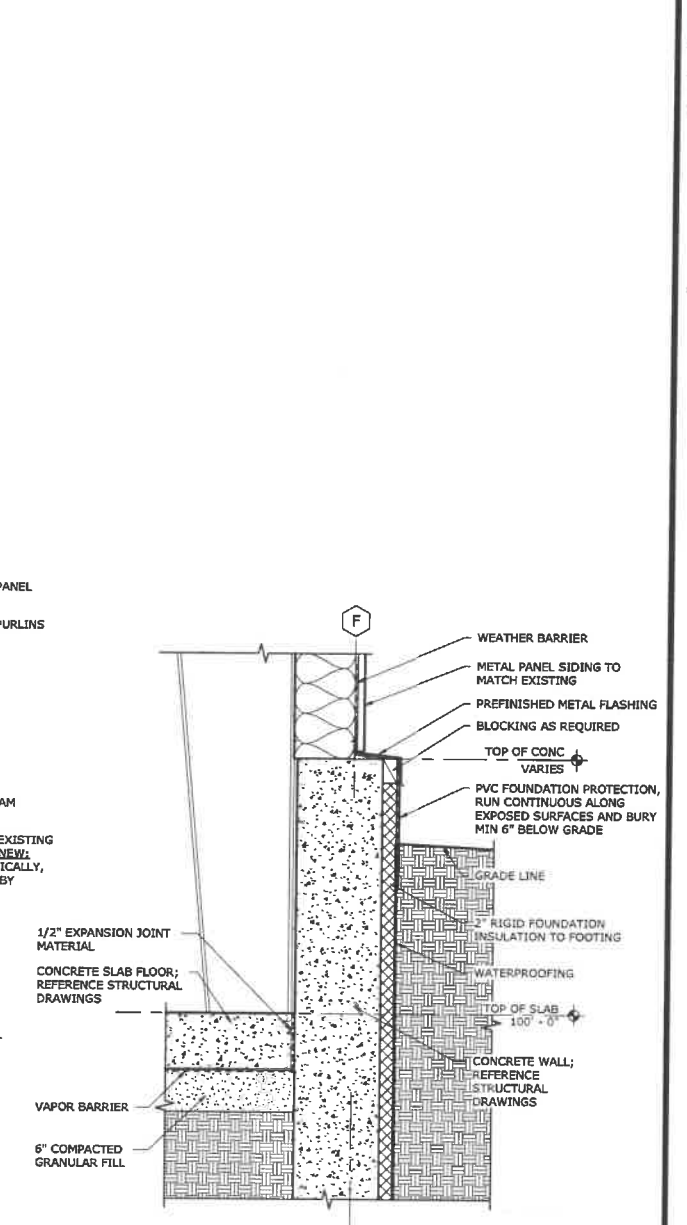
1 WALL SECTION 1
 3/8" = 1'-0"



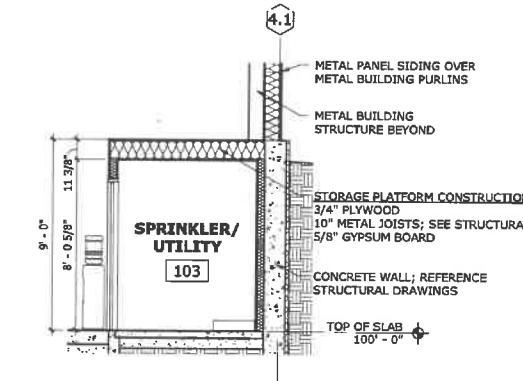
2 WALL SECTION 2
 3/8" = 1'-0"



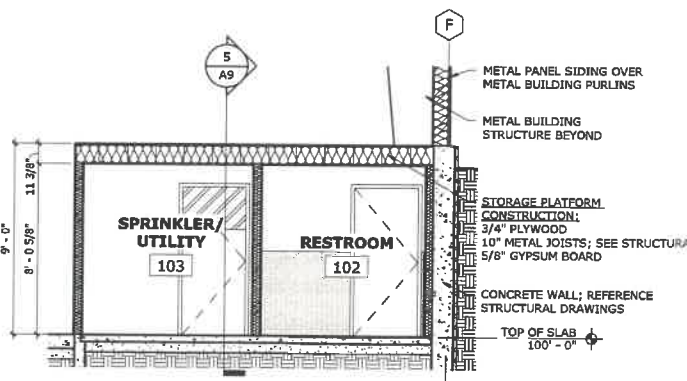
3 ROOF CONNECTION DETAIL
 1 1/2" = 1'-0"



4 WALL BASE DETAIL
 1" = 1'-0"



5 STORAGE PLATFORM SECTION 2
 1/4" = 1'-0"



6 STORAGE PLATFORM SECTION 1
 1/4" = 1'-0"

DETAILS

BOAT STORAGE BUILDING
MADELINE ISLAND WATER COMPANY
 75 MARINA DRIVE
 WASHBURN, WI 54891

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A9

SPECIAL STRUCTURAL TESTING & INSPECTION SCHEDULE

VERIFICATION & INSPECTION	TYPE OF INSPECTOR	REPORT FREQUENCY	ASSIGNED FIRM
INSPECTION OF FABRICATORS (SECTION 1704.2)			
WHERE FABRICATION OF STRUCTURAL LOAD-BEARING MEMBERS AND ASSEMBLIES IS BEING PERFORMED ON THE PREMISES OF A FABRICATOR'S SHOP, SPECIAL INSPECTION OF THE FABRICATED ITEMS SHALL BE REQUIRED BY THIS SECTION AND AS REQUIRED ELSEWHERE IN THIS CODE, INCLUDING PREFABRICATED WOOD STRUCTURAL ELEMENTS AND ASSEMBLIES. SEE SECTION FOR REQUIREMENTS AND EXCEPTIONS.	TECHNICAL	PERIODIC	TA
STRUCTURAL STEEL (SECTION 1705.1)			
1.a. PRIOR TO WELDING: SEE TABLE NS.4-1 IN AISC 360	TECHNICAL	SEE TABLE	TA
1.b. DURING WELDING: SEE TABLE NS.4-2 IN AISC 360	TECHNICAL	SEE TABLE	TA
1.c. AFTER WELDING: SEE TABLE NS.4-3 IN AISC 360	TECHNICAL	SEE TABLE	TA
2.a. PRIOR TO BOLTING: SEE TABLE NS.6-1 IN AISC 360	TECHNICAL	SEE TABLE	TA
2.b. DURING BOLTING: SEE TABLE NS.6-2 IN AISC 360	TECHNICAL	SEE TABLE	TA
2.c. AFTER BOLTING: SEE TABLE NS.6-3 IN AISC 360	TECHNICAL	SEE TABLE	TA
3. STEEL ELEMENTS OF COMPOSITE CONSTRUCTION: PRIOR TO CONCRETE PLACEMENT; SEE TABLE NS.6.1 IN AISC 360	TECHNICAL	SEE TABLE	TA
CONCRETE CONSTRUCTION (SECTION 1705.3)			
1. INSPECTION OF REINFORCING STEEL, INCLUDING PRESTRESSING TENDONS, AND PLACEMENT	TECHNICAL	PERIODIC	TA
3. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USED	TECHNICAL	PERIODIC	TA
4. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS	TECHNICAL	PERIODIC	TA
5. VERIFYING USE OF REQUIRED DESIGN MIX	TECHNICAL	PERIODIC	TA
6. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE	TECHNICAL	CONTINUOUS	TA
7. INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES	TECHNICAL	CONTINUOUS	TA
8. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES	TECHNICAL	PERIODIC	TA
11. VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS	TECHNICAL	PERIODIC	TA
12. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED	TECHNICAL	PERIODIC	TA
SOILS (SECTION 1705.6)			
1. VERIFY MATERIALS BELOW SHALLOW FOOTINGS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY, AND HAVE REACHED PROPER MATERIAL.	TECHNICAL	PERIODIC	TA
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	TECHNICAL	PERIODIC	TA
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS	TECHNICAL	PERIODIC	TA
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL	TECHNICAL	CONTINUOUS	TA
5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT THE SITE HAS BEEN PREPARED PROPERLY	TECHNICAL	PERIODIC	TA
LEGEND: SER = STRUCTURAL ENGINEER OF RECORD F = FABRICATOR SI-T = SPECIAL INSPECTOR-TECHNICAL TA = TESTING AGENCY SI-S = SPECIAL INSPECTOR-STRUCTURAL			
NOTE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL INSPECTIONS BY THE LOCAL BUILDING DEPARTMENT, SPECIAL INSPECTIONS AND STRUCTURAL OBSERVATIONS. ARRANGEMENTS FOR THESE SITE VISITS ARE TO BE MADE WITH ADEQUATE ADVANCE NOTICE TO ENSURE THAT ALL INSPECTIONS AND OBSERVATIONS ARE PERFORMED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS.			



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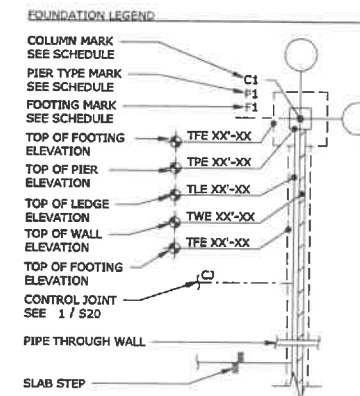
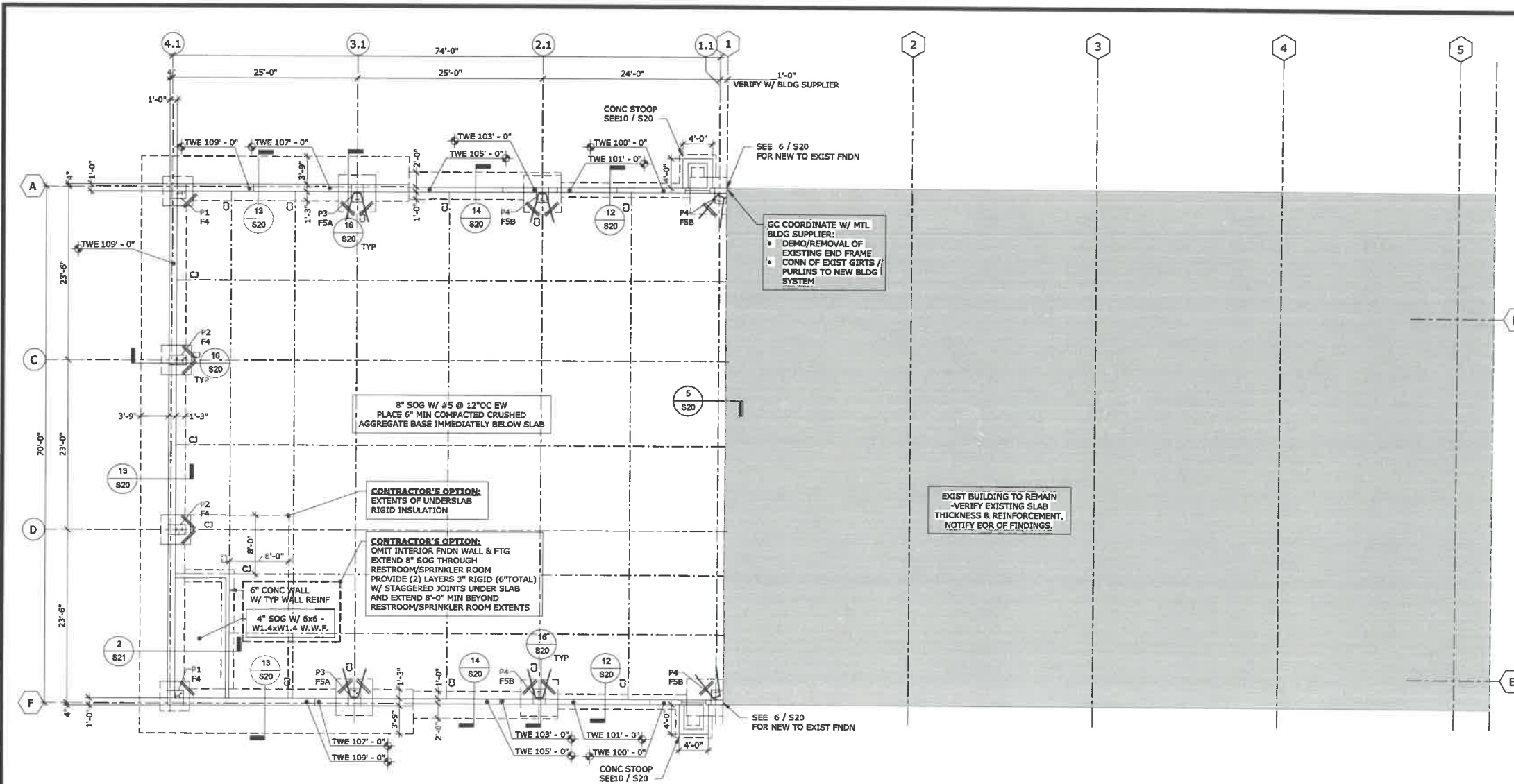
SPECIAL INSPECTIONS

**BOAT STORAGE BUILDING
MADELINE ISLAND WATER COMPANY
75 MARINA DRIVE
WASHBURN, WI 54891**

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S02



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1 FOUNDATION PLAN
1/8" = 1'-0"

PLAN NOTES

- SEE 1 / S20 FOR TYPICAL SLAB CONTROL JOINT DETAIL.
- SEE 2 / S20 FOR TYPICAL SLAB CONSTRUCTION JOINT DETAIL.
- SEE 7 / S20 & 9 / S20 FOR TYPICAL CORNER REINFORCING AT WALLS AND FOOTINGS.
- SEE 11 / S20 FOR TYPICAL REINFORCING AT WALL INTERSECTIONS.
- SEE 3 / S20 FOR TYPICAL WALL CONSTRUCTION JOINT DETAIL.
- SEE 4 / S20 FOR TYPICAL WALL CONTROL JOINT DETAIL.
- SEE 8 / S20 FOR TYPICAL RE-ENTRANT CORNER SLAB REINFORCEMENT AT PIERS.
- ON PLAN INDICATES HAIRPIN TIE, SEE PLAN & DETAILS FOR SIZE & LENGTH.
- TYPICAL TOP OF FOOTING ELEVATION (TFE) = 95'-0" UNO ON PLAN.
- TOP OF CONCRETE ELEVATION (TCE) = 100'-0" UNO (DATUM ELEVATION = 615.5', VERIFY WITH CIVIL), MATCH EXISTING TCE.
- TYPICAL TOP OF PIER ELEVATION (TPE) = 100'-0" UNO ON PLAN.
- TYPICAL FOUNDATION WALL SHALL BE 8" CONCRETE REINFORCED WITH #4 @ 12" OC EACH WAY, UNO ON PLAN.
- TYPICAL FOUNDATION WALL FOOTING SHALL BE 2'-0"W x 1'-0"D REINFORCED WITH (2) #5 BOTTOM CONTINUOUS UNO ON PLAN.
- CONTRACTOR TO VERIFY TOP OF WALL ELEVATIONS AND STEP LOCATIONS WITH FINAL GRADES.
- SEE ARCH FOR CONCRETE SLAB FLOOR FINISH INFORMATION.

PIER SCHEDULE			
MARK	SIZE	REINFORCING	REMARKS
P1	24x26	(12) #6 VERT BARS W/ STD HOOK INTO FTG	SEE PLAN FOR PIER DETAILS
P2	16x28	(10) #6 VERT BARS W/ STD HOOK INTO FTG	SEE PLAN FOR PIER DETAILS
P3	20 x 28	(10) #6 VERT BARS W/ STD HOOK INTO FTG	SEE PLAN FOR PIER DETAILS
P4	20 x 24	(10) #6 VERT BARS W/ STD HOOK INTO FTG	SEE PLAN FOR PIER DETAILS

PIER SCHEDULE NOTES:

- SEE 17 / S20 FOR TYPICAL PIER REINFORCEMENT LAYOUT DETAILS.

FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F4	4'-0"x4'-0"x1'-6"	#6
FSA	5'-0"x5'-0"x1'-6"	#6
FSB	5'-0"x5'-0"x1'-0"	(5) #6 BOTT EA WAY

* EXTEND WALL FOOTING REINFORCEMENT INTO SPREAD FOOTING.

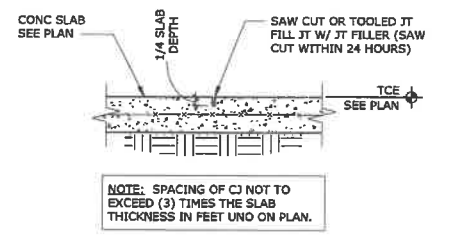
FOUNDATION PLAN

**BOAT STORAGE BUILDING
MADELINE ISLAND WATER COMPANY
75 MARINA DRIVE
WASHBURN, WI 54891**

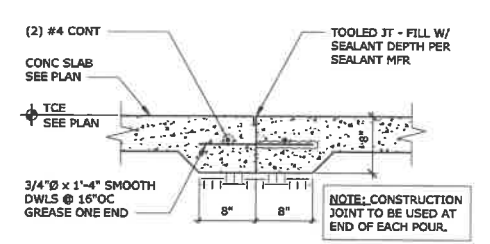
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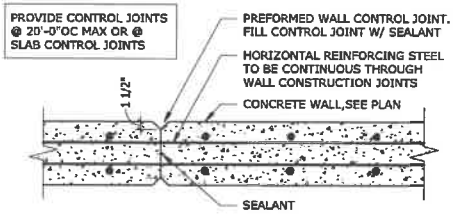
S10



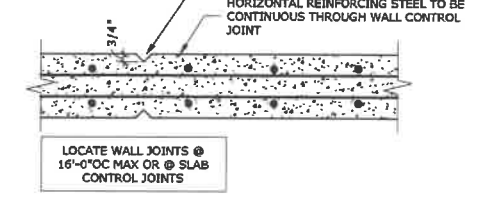
1 TYPICAL CONTROL JOINT
NTS



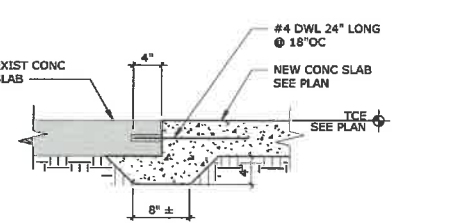
2 TYPICAL CONSTRUCTION JOINT
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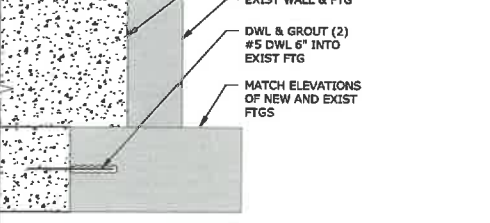
3 TYPICAL WALL CONSTRUCTION JOINT
NTS



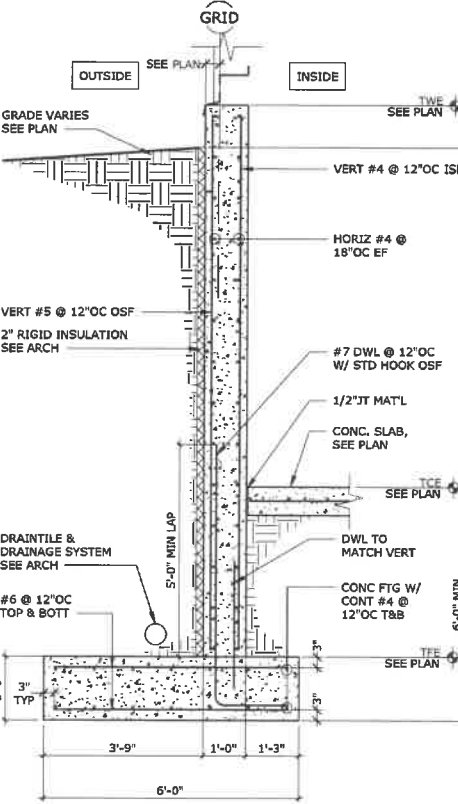
4 TYPICAL WALL CONTROL JOINT
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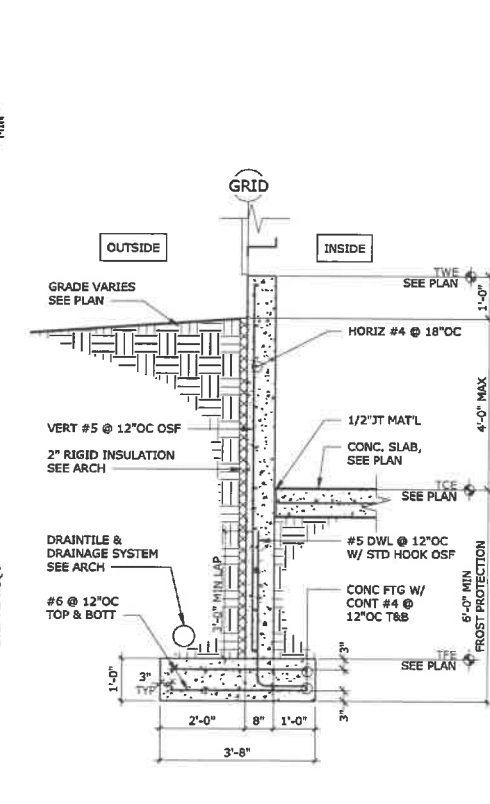
5 EXIST TO NEW SOG CONN
NTS



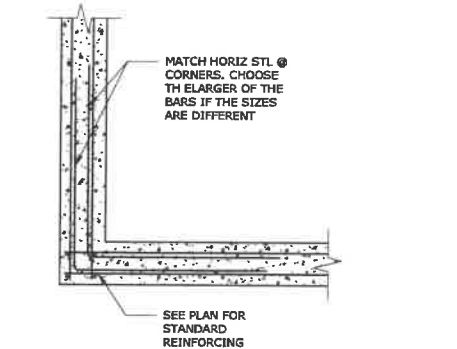
6 NEW TO EXIST FTG
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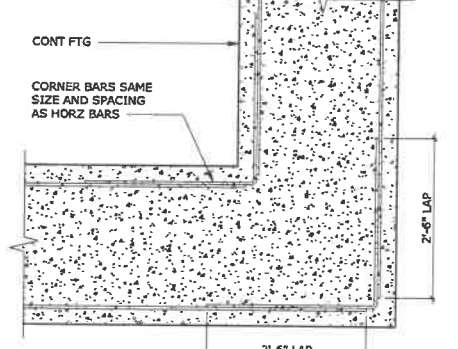
13 RETAINING WALL SECTION
1/2" = 1'-0"



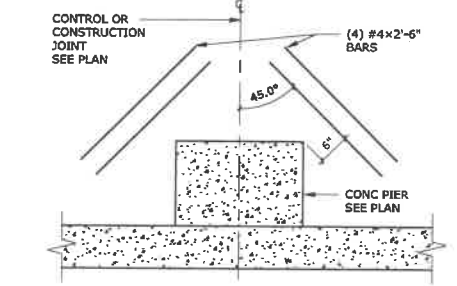
14 RETAINING WALL SECTION
1/2" = 1'-0"



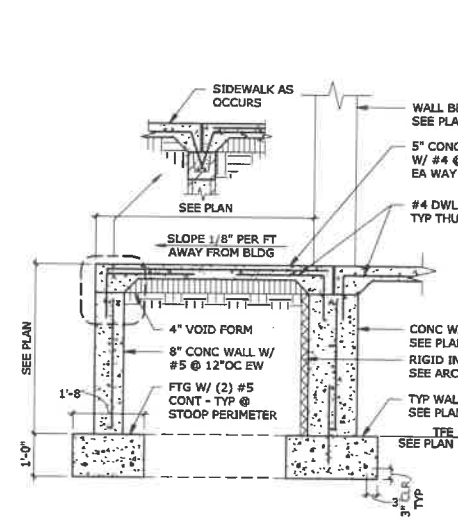
7 WALL CORNER DETAIL
NTS



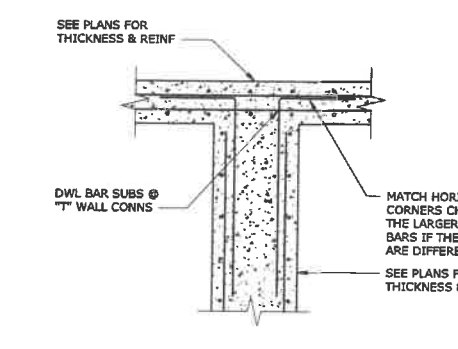
9 CORNER REINFORCING
NTS



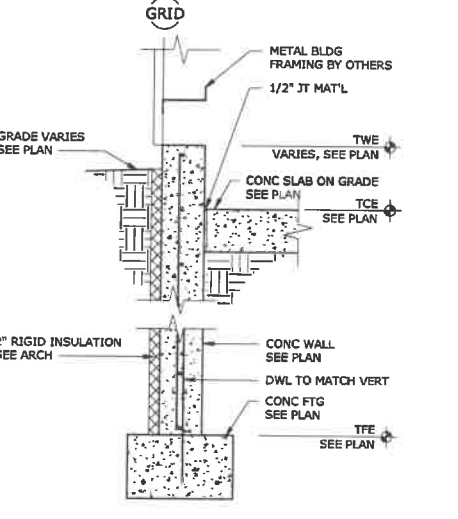
8 SLAB REINF. @ PIER
NTS



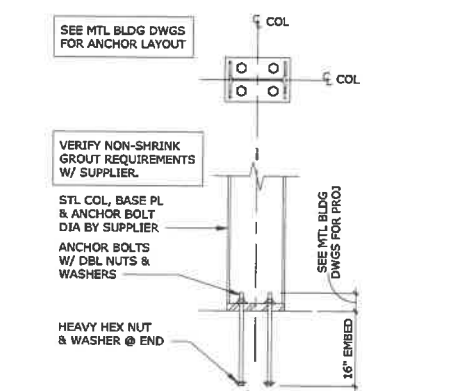
10 SECTION @ STOOP
1/2" = 1'-0"



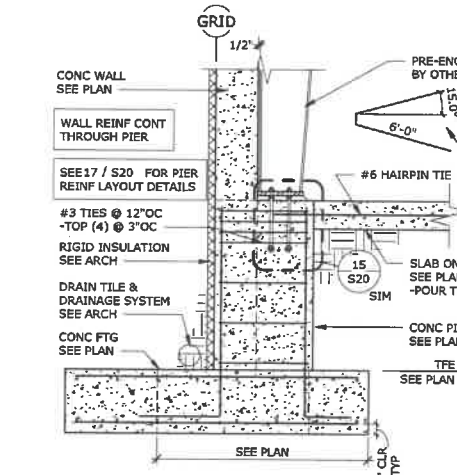
11 TYPICAL WALL CORNER REINFORCING
NTS



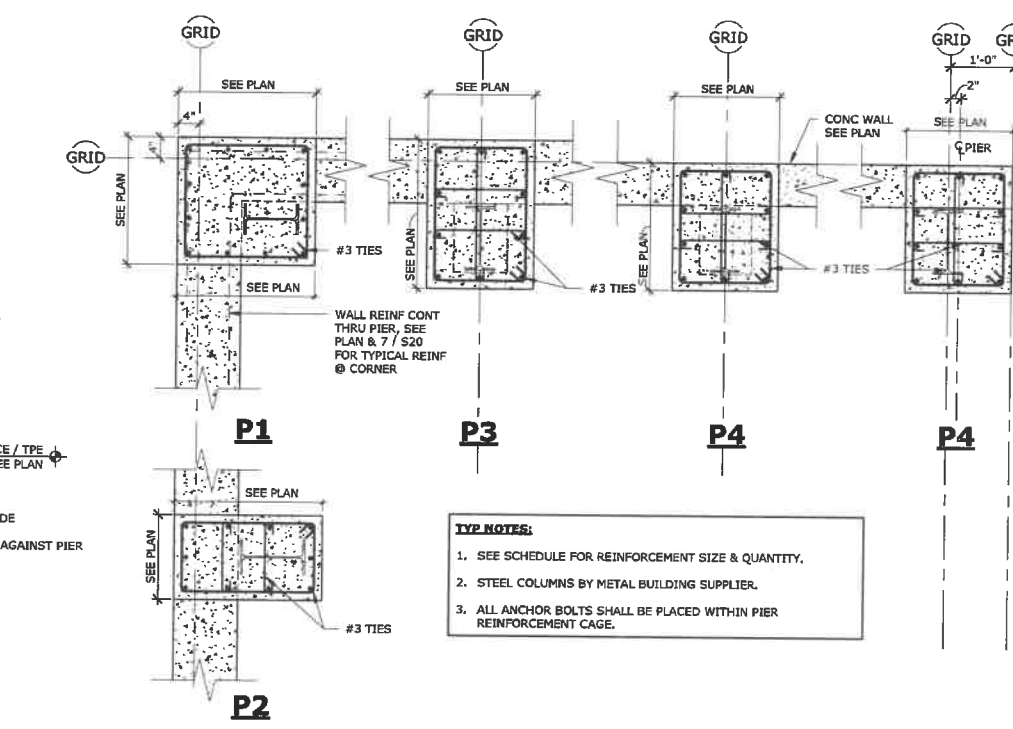
12 TYPICAL FDN WALL DETAIL
3/4" = 1'-0"



15 PRE-ENG ANCHOR DETAIL
1" = 1'-0"



16 PIER DETAIL
1/2" = 1'-0"



17 PIER REINFORCEMENT LAYOUTS
3/4" = 1'-0"

TYP. NOTES:
1. SEE SCHEDULE FOR REINFORCEMENT SIZE & QUANTITY.
2. STEEL COLUMNS BY METAL BUILDING SUPPLIER.
3. ALL ANCHOR BOLTS SHALL BE PLACED WITHIN PIER REINFORCEMENT CAGE.

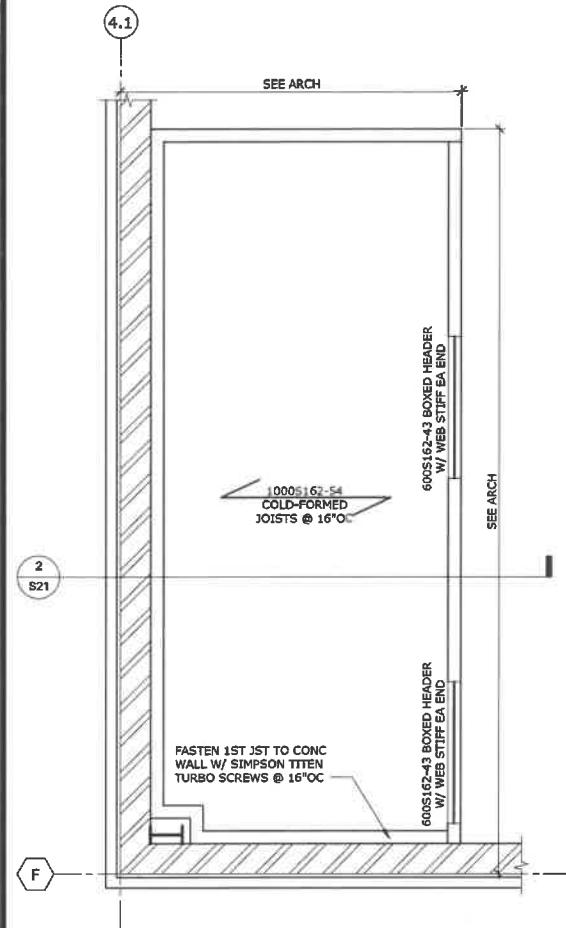
FOUDNATION DETAILS

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MADELINE ISLAND WATER COMPANY
75 MARINA DRIVE
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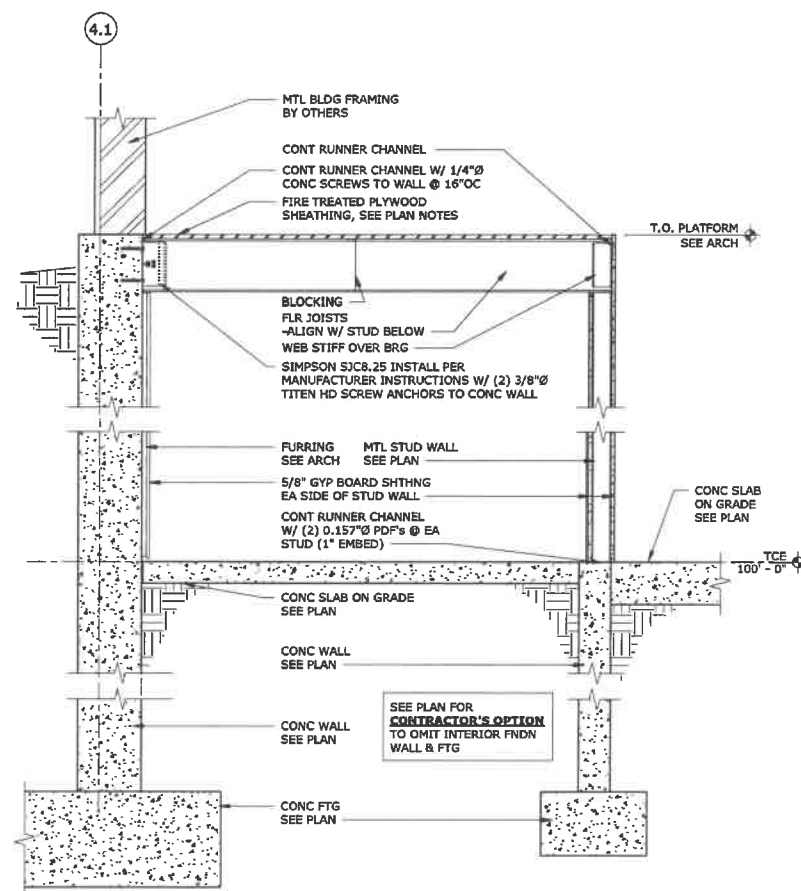
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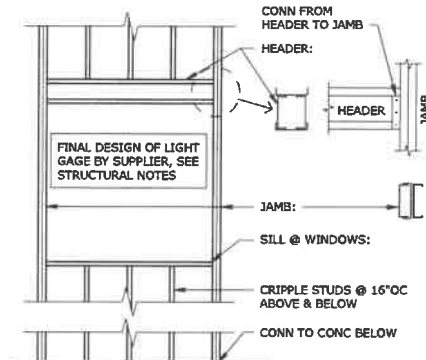
S20



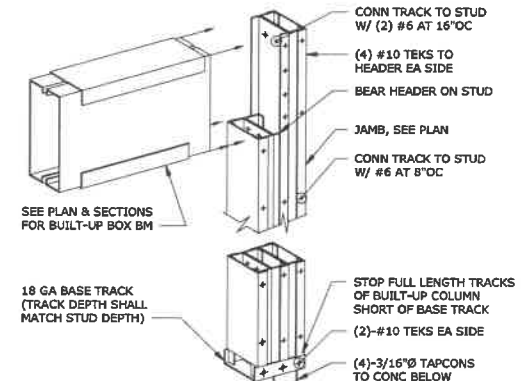
1 RESTROOM FRAMING PLAN
1/2" = 1'-0"



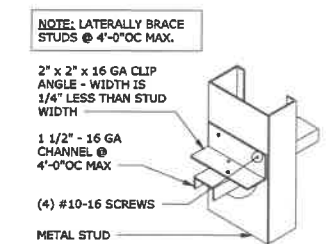
2 SECTION
3/4" = 1'-0"



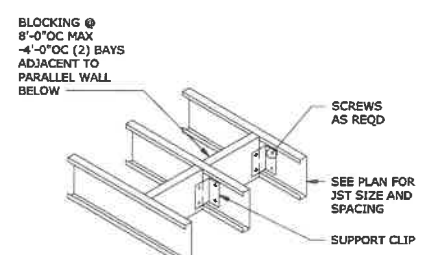
3 LIGHT GAGE FRAMING @ PUNCHED OPENING
3/8" = 1'-0"



5 LIGHT GAGE FRAMING DETAIL
1 1/2" = 1'-0"



4 TYPICAL LATERAL BRACING
1 1/2" = 1'-0"



6 JOIST BLOCKING DETAIL
1/2" = 1'-0"

- PLAN NOTES:**
- ← INDICATES FLOOR DIRECTION. THE FLOOR CONSTRUCTION SHALL BE FIRE TREATED 48/24 (23/32") APA RATED WOOD SHEATHING. ATTACH SHEATHING TO FLOOR JOISTS W/ #6 TYPE S BUGLEHEAD SCREWS @ 6"OC EDGE, 12"OC FIELD, TYP. SHEATHING SCREWS SHALL HAVE A MINIMUM 0.292" HEAD W/ SUFFICIENT LENGTH TO PENETRATE THROUGH THE STEEL BY AT LEAST (3) EXPOSED THREADS.
 - TYPICAL METAL STUD WALL SHALL BE 3625162-43 @ 16"OC.
 - TYPICAL JAMB AT WALL OPENINGS SHALL CONSIST OF (2) 16GA (1 5/8" FLANGE) METAL STUD TRIMMERS & (1) 16GA (1 5/8" FLANGE) METAL KING STUD. STUD DEPTH SHALL MATCH WALL STUD DEPTH.
 - SEE DETAIL 3 / S21 FOR FRAMING @ PUNCHED OPENINGS & 4 / S21 FOR LATERAL BRACING.
 - SEE DETAIL 5 / S21 FOR BOXED HEADER FRAMING @ JAMB.
 - SEE DETAIL 6 / S21 FOR TYPICAL JOIST BLOCKING DETAIL.
 - SEE ARCHITECTURAL DRAWING FOR THE SIZE AND LOCATION OF ALL WALL OPENINGS.
 - ALL METAL POSTS & TRIMMERS TO BE CONTINUOUS TO FOUNDATION BELOW.
 - COORDINATE ALL OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.



FRAMING PLAN & DETAILS

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75 MARINA DRIVE
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