

SITE PLAN & CONDITIONAL USE PERMIT (CUP) APPLICATIONS

4/8/28 Plan Commission Meeting

Crew Carwash / Nomies Investments LLC

Staff Report & Recommendation

Germantown, Wisconsin

Summary

Crew Carwash, agent for Nomies Investments LLC, property owner, is requesting Site Plan approval and a Conditional Use Permit (CUP) to allow the construction and operation of a 4,512 sqft self-serve carwash facility located at N96 W17500 County Line Road.

Property Location: N96 W17500 County Line Road (existing BP Station)

Agent/

Property Owner: Katherine Rayner
Crew Carwash
11700 Exit 5 Pkwy
Fishers, IN

Nomies Investments LLC
N96 W17500 County Line Road
Germantown, WI

Current Zoning: B-5: Highway Business

Adjacent Land Uses		Zoning
North	Highway Business	B-5
South	Highway Business	B-5
East	Highway Business	B-5
West	Highway Business	B-5



Background/Proposal

Crew Carwash, agent for Nomies Investments LLC, property owner, is requesting Site Plan approval and a Conditional Use Permit (CUP) to allow the construction and operation of a 4,512 sqft self-serve carwash facility located at N96 W17500 County Line Road.

As presented on their website, Crew Carwash is a multi-generational, family-owned business founded in 1948 and based in Fiskers, Indiana. <https://crewcarwash.com/the-crew-story/>. Crew Carwash currently has 45 locations in Indiana and Minnesota. The proposed site in Germantown is one of a few leading their expansion into Wisconsin.

Conditional Use Permit (CUP)

Within the B-5 District, a self-serve carwash requires a Conditional Use Permit (CUP). The proposed Germantown facility and operation has the following components:

- 4,512 sqft self-serve carwash building w/ 345 sqft kiosk
- Business operations Sunday to Saturday from 7:00a to 9:00p with 2-3 shifts per day
- 25 Total Employees (2-5 employees per shift)

Site Plan

As indicated in the applications and February 12 project narrative, the proposed development includes a complete demolition and replacement of the existing BP gasoline station and carwash. The new Crew Carwash will have the following features:

- 4,512 sqft single-story carwash building 20' height w/ tower feature to 35' height
- 345 sqft single-story kiosk 13' height w/ 4-lane canopy (vehicle entry point)
- Masonry walls comprised of ground (smooth) face concrete masonry units color red with a knee-high wall and upper banding of limestone split-face concrete units with a buff color
- Tower feature comprised of architectural wall panel color pewter
- Aluminum-framed storefront and glazing system color clear anodized w/ overhead supported canopies above all windows
- Flat roof w/ exposed RTU's
- Paved curb & gutter parking area w/ 5 vehicle parking stalls for employees (1 ADA compliant) & 9 stalls with self-serve vacuum bays
- 20 vehicle staging area w/ 4 lanes wide
- New lighting & landscaping

Parking, Access & Traffic Circulation

Access will remain the same with two (2) driveways to Emmer Road on the southeast side of the property. The Village's parking guidelines do not include carwashes, but the number of stalls provided for employees (5) appears sufficient.

Storm Water Management

This 1.0-acre site is a re-development site with 90% of the area expected to be disturbed. A total of 30,506 sqft (70%) of impervious surfaces are proposed as part of the new development leaving 13,052 sqft or 30% in open/green space. Stormwater facilities include storm sewer, roof drains and grading to convey run-off from the building, staging, vacuum, and parking areas to on-site catch basins and storm sewer located through the middle of the site to an existing concrete pipe south the site in the Emmer Road ROW and to a new “green infrastructure” rain garden feature in the southeast corner of the site.

Utilities

Sanitary and water utilities will be upgraded and replace the existing in easements running north across the hotel property to existing laterals.

Landscaping & Buffering

Existing established landscaping along the north property line is going to be removed and replaced with a 1'-2' high retaining wall. A very large deciduous shade tree is going to be removed along the east property line and replaced with sod for a snow storage area. Minimal landscaping is provided along or within the curbed areas internal to the site. Decorative stone “mulch” is placed around the plantings across the site.

Lighting

Exterior lighting of the site and building includes:

- (4) 50W 4,000 lumens @ 5700K (cool white) LED recessed canopy lights mounted at a height of 10' under the kiosk canopy;
- (1) 131W 20,900 lumen @ 3000K (bright white) LED cut-off style pole-mounted fixtures mounted at overall 23' height on a pole near the south driveways;
- (6) 131W 13,175 lumen @ 3000K (bright white) LED cut-off style pole-mounted fixtures mounted at overall 23' height on poles around the parking and building;

Signage

A total of (21) permanent signs are proposed for the site, including:

- (1) Refacing the exiting monument sign in the SE corner of the site with the brick base painted black (see sign rendering EC-01; sheet 1 of 15 w/ no date);
- (1) Refacing the existing 50'+ pylon sign in the NE corner of the site with the pylon support structure to be painted black (see sign rendering EC-02; sheet 2 of 15 w/ no date)
- (3) internally lit wall-mounted signs on the tower structure w/ “Crew Carwash” lettering translucent white (see sign rendering EC-03; sheet 3 of 15 w/ no date)
- (1) internally lit wall-mounted sign above the exit door on the south end of the building w/ “Crew Carwash” lettering translucent white (see sign rendering EC-04; sheet 4 of 15 w/ no date)
- (1) internally lit monument sign w/ digital menu board mounted on a painted aluminum panel base located north of the kiosk on the north side of the property (see sign rendering EC-05; sheet 5 of 15 w/ no date)
- (2) internally lit directional signs installed at the driveway entrances on the south

side of the property w/ both saying "Open" and "Enter" (see sign rendering EC-06; sheet 6 of 15 w/ no date)

- (2) non-illuminated letter sets installed on south side of the kiosk canopy above the drive lanes indicating "Unlimited Club" (see sign rendering EC-07; sheet 7 of 15 w/ no date)
- (2) non-illuminated letter sets installed on south side of the kiosk canopy above the drive lanes indicating "Cashier" (see sign rendering EC-08; sheet 8 of 15 w/ no date)
- (4) non-illuminated framed menu panels installed on the columns of the kiosk lanes (see sign rendering EC-09; sheet 9 of 15 w/ no date)
- (1) non-illuminated letter sets installed on south side of the building above the exit door indicating "Clean Car Exit" (see sign rendering EC-11; sheet 11 of 15 w/ no date)
- (1) non-illuminated pole-mounted panel sign installed near the north entrance of the building indicating "We Are Responsible For" (see sign rendering EC-12; sheet 12 of 15 w/ no date)
- (2) non-illuminated painted directional signs installed on south side of the building near the exist indicating "'Vacuums" (see sign rendering EC-14; sheet 14 of 15 w/ no date)

Note: There are detail sheets for signs EC-10, EC-13, and EC-15 but they are not included in site map showing where these signs are proposed; It is assumed that they will not be installed at this site.

Staff Comments

Community Development: Planning & Zoning

This property is in the "County Line Road District" under the Village's 2050 Comprehensive Plan and the current zoning is B-5: Highway Business. The property is located within the Village's Sanitary Sewer Service Area (SSSA) and capable of being served with public sewer and water with extensions from existing laterals nearby from the north (water main and sanitary sewer). The proposed carwash use falls under the "desirable" commercial land use.

The amount, type, and location of proposed landscaping is a concern. First, an established deciduous shrub hedge (see views from both sides below) is being removed entirely and replaced with a 1'-2' retaining wall. The area abutting the hotel property to the north will be planted with sod. The property line runs right up against the front of the parking stalls on most of the hotel property, so all of the shrubs will be removed. Something needs to be installed to replace this hedge. There doesn't appear to be adequate area in the minimum required 8' buffer strip because there is a retaining wall proposed in that 8' buffer area.





More landscaping around the perimeter is required. The Village Forester has a similar comment (see below). Also, the large tree along the east side of the property (see below) is proposed to be removed and placed with sod for a snow storage area (see Sheet C1.0). The tree species has not been identified by the developer.



Construction work is required on the adjacent hotel property to the north to install upgraded water & sanitary sewer laterals within "private utility easements" to be obtained by others. Building permits for installation of water & sanitary sewer should not be issued until the easements are obtained and the adjacent property owner agrees with the construction work required to install the utilities and restore the easements to pre-construction conditions.

Signage appears to be excessive for a business model that relies on a recurring customer base (and probably not so much signage for every step of the way through the process). More signs are proposed than trees to be installed. Many of the directional signs exceed the height and area allowances in the sign regulations. Three "Crew Carwash" signs on the tower seem excessive given the re-use of the 50'+ pylon sign and monument sign in the SE corner of the sight. The detail sheets for the sign face replacement signs do not indicate the sign area and refer to a survey being needed. For these reasons, Staff recommend that sign package be re-evaluated in light of the sign regulations with goal of only proposing code-compliant signs that provide the minimum business name notification. A Sign Permit application is also required.

Finally, the photo renderings provided in the application from other Crew Carwash locations show actual wood mulch in the landscaping beds. At this location, the proposal is to install decorative “stone mulch”. Stone does not exactly satisfy the minimum 20% “green space” requirement in the B-5 Zoning District. Wood mulch is recommended.

Community Development: Inspection Services

State agency (DSPS) approved plans and a \$20,000 occupancy bond are required by Inspection Services at the time of building permit application. The Village of Germantown is an authorized delegated agent of DSPS to provide all commercial plan review and inspection services through SAFEBuilt of WI and the Village of Germantown.

Public Works/ Village Engineer

The Village Engineer, Public Works Department and Utility staff have identified several technical issues and plan revisions that need to be resolved or otherwise addressed by the Developer prior to commencing construction activities and issuance of building permits. Nonetheless, Staff is recommending conditional approval of the site development and building plans subject to all the outstanding items and issues identified in the following review memos being resolved and reflected in additional information and/or revised plans submitted to Staff for further review, comment and approval prior to commencing any site construction or issuance of building permits (excluding early start site preparation and footing and foundation installation):

- April 3, 2024, memo from Kevin Driscoll, Village Engineer

Village Forester

The following issues will need to be addressed as part of a revised landscape plan prior to issuance of a building permit:

- Tree planting detail image revision on sheet C1.4: Include that root flare should be left exposed, moss/mulch line should be at or just below top of root ball.
- Recommend substitution of tree options for the two (2) *Acer platanoides* and the two (2) *Pyrus calleryana* ‘Jaczam’. The Village has many Maple (*Acer*) trees and would benefit from an increased species diversity. Also, *Pyrus calleryana* has the potential to establish as an invasive tree species in Wisconsin. Acceptable substitutes: Common Hackberry (*Celtis occidentalis*), Kentucky Coffeetree (seedless) (*Gymnocladus dioica*), London Planetree (*Platanus x acerifolia*), Tulip tree (*Liriodendron tulipifera*), Oak spp. (*Quercus*)
- Per municipal code 17.43(c). Parking lot landscaping: perimeter plantings are required around the parking lot for screening from adjacent properties. This plan does not include perimeter plantings along the east boundary, the northwest, or southwest corners of the property. This is an existing perimeter planting along the property boundary to north (see similar comment above), the street tree plantings along the south side of the property are sufficient.

Fire & Police Departments

No comment. Concerns have been addressed into submitted plan set.

VILLAGE STAFF RECOMMENDATIONS

APPROVE the Conditional Use Permit (CUP) application for Crew Carwash for the construction and operation of a self-serve car wash facility on the property located at N96 W17500 County Line Road subject to the following conditions:

1. The uses and activities allowed on the property shall be limited to those uses and activities specified in the conditional use permit (CUP) application, project narrative dated February 12, 2024, and supporting site plan documents dated January 12, 2024, and February 12, 2024. Days and hours of operation shall be limited to those specified in the CUP application and supporting documents submitted to the Village (Sunday through Saturday 7:00am to 9:00pm).
2. The Owner/Operator is responsible for reporting any significant changes in the type, intensity, amount, or location of the land uses and activities, days and hours of operation, size or location or other operational characteristics of said uses and activities authorized under this CUP to the Village Zoning Administrator.
3. If the use, activities and/or operation subject of this permit falls out of conformity with the conditions herein, or, where there is a change in the nature, character, intensity or extent of the activities or uses which causes problems or harmful effects that were not anticipated at the time of approval of this CUP, the conditional use permit may be modified or terminated by the Village Board by the amendment to or addition of conditions after public hearing thereon.
4. All temporary and permanent exterior signs require a permit and shall comply with all current sign regulations. Off-premises advertising and directional signage is regulated by the Village and requires a permit if/when allowed.
5. All future site improvements, including all building, parking area, landscaping, storm water management facilities, signage, exterior lighting, and any other improvements made to or on the property that are necessary for the land uses and activities authorized under this CUP shall be submitted for review and approval by the Village through the Zoning Permit or Site Plan application process as determined by the Village Zoning Administrator. If required, Site Plan review and approval will include Plan Commission review and approval.
6. Building permits and commercial building code plan approval are required for the planned demolition of existing structures on the site and the proposed building and kiosk. Contact SAFEbuilt staff in Inspection Services at Village Hall prior to any work for information about required permits and/or plan approvals.

APPROVE the site development and building plans submitted by Crew Carwash for a 4,512 sqft self-serve carwash facility w/ 345 sqft kiosk & canopy located at N96 W17500 County Line Road subject to the following conditions:

1. This approval is for the various plan sheets that comprise the site plan set as noted below and is subject to compliance with all the conditions and requirements set forth herein and subsequently adopted and/or revised by the Plan Commission. Approval is granted for the following unless superseded by subsequent plan sheets approved by Village Staff pursuant to revisions required herein and/or by the Plan Commission:
 - a. *Architectural plans dated January 12, 2024;*
 - b. *Civil Engineering plans dated February 12, 2024;*
 - c. *Landscaping plans dated February 12, 2024;*
 - d. *Lighting plans (photometric plan) dated February 12, 2024;*

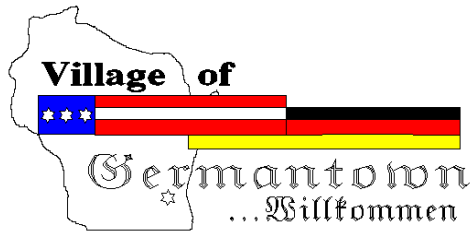
If revised plan sheets are necessary, each revised sheet shall contain the date of said revision clearly stamped in the lower right corner.

2. Additional landscaping shall be shown in a revised landscape plan review and approved by the Village Forester, including:
 - a. along the north property to reasonably replace the existing screen hedge.
 - b. Per municipal code 17.43(c) around the perimeter of the site with plantings along the east boundary, the northwest, or southwest corners of the property.
3. The mulch in the landscaping beds shall be wood mulch and not decorative stone.
4. Tree planting detail on sheet C1.4 shall be revised to include that root flare should be left exposed, moss/mulch line should be at or just below top of root ball.
5. The following tree species shall be substituted for the two (2) *Acer platanoides* and the two (2) *Pyrus calleryana* 'Jaczam'. The Village has many Maple (*Acer*) trees and would benefit from an increased species diversity. Also, *Pyrus calleryana* has the potential to establish as an invasive tree species in Wisconsin. Acceptable substitutes: Common Hackberry (*Celtis Occidentalis*), Kentucky Coffeetree (seedless) (*Gymnocladus dioicus*), London Planetree (*Platanus x acerifolia*), Tulip tree (*Liriodendron tulipifera*), Oak spp. (*Quercus*)
6. The technical issues and plan revisions identified in the April 3, 2024 memo from the Village Engineer shall be addressed in revised plan sheets and/or supplemental documents as necessary prior to commencing construction activities and issuance of building permits (excluding site demolition, early

start site preparation, and footing & foundation installation).

7. State agency (DSPS) approved plans and a \$20,000 occupancy bond are required by Inspection Services at the time of building permit application. The Village of Germantown is an authorized delegated agent of DSPS and may be used as an alternative to provide all commercial plan review and inspection services through SAFEBuilt of WI and the Village of Germantown.

TABLE the action on the sign package pending re-submittal of a sign permit application and code-compliant signs



Engineering Department Memorandum

To: Jeff Retzlaff

From: Kevin Driscoll, P.E.

Date: April 3, 2024

Re: Planning Commission Item Review – Crew Carwash
Site Plan Review - N96 W17500 COUNTY LINE RD - Parcel GTNV_334990

Items Reviewed:

1. Civil Plan Set Dated: 02-12-2024
2. Storm Water Management Plan Dated: 02-12-24

General Comments:

1. Please respond to each item below. **A written response addressing each item shall be included in your submittal.**
2. The submitted plans have been reviewed for general conformance with State and Village design guidelines. Additional comments could arise as a result of the plan completion and modifications. The items listed below will need to be fully resolved before the Engineering Dept. can recommend a formal approval of the plans and permit for construction.
3. The project will require DSPS plumbing system review and approval. Please provide a copy of the DSPS approval prior to engineering approval.
4. A professional engineer's original seal is to be affixed, signed and dated on the final set of construction plans.
5. Utility permits and permits for work within the ROW are required. Contact the Village engineering department to obtain permits.
6. As-builts prepared to Village standards shall be prepared and provided to the Village post-construction (for all applicable items).
7. As a guide to the review response: Items in *italics* are resolved or acknowledged, items in regular font are to be addressed yet, items in **Bold** are additional feedback to remaining original comment.

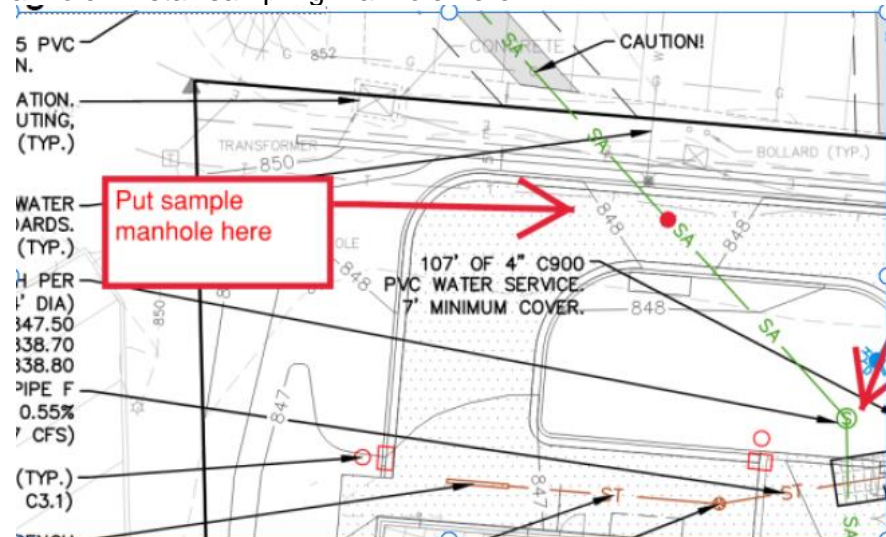
Water Utility Comments

1. Sheet C1.3, Explain the need for a separate sprinkler line. Normal set up is one line and the sprinkler is split off in the mechanical room.
2. Sheet C1.3, describe the dash lines around the sewer and water lines, just making sure this is not a reference for a utility easement.

3. We will require a review of the meter room for adequate space and installation requirements.
4. Call out gate valve to be Mueller onto a 8" x 6" Tapping saddle with a S.S. MJ spigot outlet.
5. Remove existing water lateral from the water main, install a full circumference Hymax repair clamp over CC tap hole. minimum 8" x 20"

Wastewater Utility Comments:

1. Change of direction is not allowed in the sampling manhole. Change sampling manhole to a private manhole. Install sampling manhole here.



2. Connection to existing manhole to be made via outside drop to invert of the manhole.

C1.3 Utility Plan

1. Copies of executed sewer and water easements are required prior to engineering plan approval.
2. Add a trench drain at the exit of the car wash to capture water before draining to the ROW.

Stormwater Management Plan

1. Include disturbance in the ROW and utility installation to the north and confirm the disturbance remains under 1 acre.
2. Drainage area to proposed rain garden exceeds the max allowed per WDNR technical standard 1009. Adjust to meet technical standard requirements or add a piped outlet.



- Fee must accompany application
- ☐ \$700 Minor Addition
 - ☒ \$1,240 Construction <10,000 SF
 - ☐ \$2,095 Construction 10,000 SF to 50,000
 - ☐ \$3,460 Industrial Construction >50,000 SF
 - ☐ \$3,460 Commercial Construction >50,000
 - ☐ \$200 Plan Commission Consultation
 - ☐ \$125 Fire Department Plan Review

PAID _____ DATE _____

SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

1 APPLICANT OR AGENT
Crew Carwash
11700 Exit 5 Pkwy
Fishers, IN 46037

Phone (317) 572-2408
E-Mail katherine.rayner@crewcarwash.com

PROPERTY OWNER
Nomies Investments LLC
N96 W17500 County Line Rd
Germantown, WI 53022

Phone ()
E-Mail _____

2 PROPERTY ADDRESS
N96 W17500 County Line Road

3 NEIGHBORING USES - Specify name and type of use, e.g. Enviro Tech - Industrial, Smith - Residential, etc.

North Super 8-Business/Hotel	South ROW	East Landmark Credit Union- Business/Bank	West McDonald's- Business/Restaurant
---------------------------------	--------------	---	--

4 READ AND INITIAL THE FOLLOWING:
RR I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.
RR I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.
RR I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5 SIGNATURES - ALL APPLICATION MUST BE SIGNED AND DATED

<u>Katherine Rayner</u> 2/9/24	<u>[Signature]</u> 2/9/2024
Applicant	Owner

1A6G429E20BF410...

SITE PLAN REVIEW CHECKLIST

Pursuant to Section 17.43 of the Municipal Code

This checklist provides a summary of requirements found in the Municipal Code. It is intended purely as a guide for developers and should not substitute for a full review of the Code and applicable regulations. (Revised 1/02)

GENERAL INFORMATION

- ☒ Provide Completed Checklist with submittal
- ☒ Names and addresses of owner/developer/designer
- ☒ Graphic scale, north arrow
- ☒ Location sketch
- ☒ Size of site (gross and net acreage)
- ☒ Existing zoning
- ☒ Adjacent zoning and uses
- N/A ☐ Number of residents (subdivisions)
- ☒ Number of employees

EXISTING SITE INFORMATION

- ☒ Dimensions of site and lot lines (pipes found, pipes set, monuments)
- ☒ Existing grades (2' contours minimum)
- ☒ Adjacent property grades (within 10' minimum of property lines)
- ☒ Adjacent structures (within 20' minimum of property lines)
- ☒ Drainage systems and structures
- ☒ Natural features (woods, streams, lakes, ponds, outcroppings)
- N/A ☐ Wetland boundaries (provide date of staking)
- N/A ☐ Floodplain elevation and boundaries
- ☒ Environmental concerns (underground tanks, etc)
- ☒ Roads, curbs, parking lots, pavement areas
- ☒ Structures (location, size)
- ☒ Rights-of-Way (existing/ultimate)
- ☒ Easements (drainage, utility)
- ☒ Existing utilities (sanitary, water, electric, gas, telephone)
- ☒ Benchmark locations and elevations
- ☒ Location of fences, wells, borings, etc

ARCHITECTURAL PLANS

- ☒ Existing building location
- ☒ Existing building elevations/materials
- ☒ Proposed use (use list from Section 17.45)
- ☒ Statement of design intent (narrative)
- ☒ Proposed floor plans (dimension)
- ☒ Square footage (total and individual rooms/stores)
- ☒ Proposed elevations (dimension)
- ☒ Proposed building height

- ☒ Proposed materials and colors (material sample board required for new construction)
- ☒ Proposed signage (elevations, color, square footage, height, construction material, lighting)
- ☒ Details of any special features

PROPOSED SITE PLAN

- ☒ Grading and spot elevations
- ☒ Erosion control measures (silt fencing, hay bales, rip-rap, tracking mat, stockpile locations)
- ☒ Stormwater management
 - stormwater management design report
 - general drainage pattern
 - swales w/ arrows for direction of flow
 - pond design with outfalls
 - culverts (location/size)
- ☒ Utilities (size, invert elevations, length, slope, etc.)
 - sanitary
 - water
 - stormsewer
- ☒ Building location (dimension)
- ☒ Building elevation (finished grade)
- ☒ Location of proposed signage
- ☒ Details of outside storage (including trash receptacles)
- ☒ Setbacks (clearly marked and dimensioned)
- ☒ Vehicular entrances (dimension to centerline of nearest intersection)
- ☒ Streets (dimension and direction for one-ways)
- ☒ Curve radii
- ☒ Sidewalks (dimension)
- ☒ Parking areas (show striping/spot elevations)
- ☒ Parking setback from property line
- ☒ Loading areas (dimension)
- ☒ Lot coverage
 - Square footage total
 - Impervious surfaces total (%)
 - Green space total (%)
 - Percent permitted (over/under %)
- ☒ Municipal utility connections
 - Sanitary sewer (pipe size/elevations)
 - Water (size, valve location, elevations)
 - Location of hydrants
- ☒ Easement for public water mains

LIGHTING PLAN

- ☒ Major improvements for context
- ☒ Location/nature of existing fixtures
- ☒ Location of proposed fixtures
- ☒ Photometric report (to scale on plan)
- ☒ Manufacturers cut-sheets of all fixtures
- ☒ Lighting schedule
 - key to plan
 - number/type of fixtures
 - output (wattage)
- ☒ Installation details as appropriate

LANDSCAPING PLAN

- ☒ Major improvements for context (building, drives, walks)
- ☒ Proposed outdoor amenities (benches, paths, etc.)
- ☒ Existing vegetation
 - Species
 - Size
 - Approximate canopy in plan
- ☒ Vegetation to be destroyed
 - List and show location
- ☒ Proposed method of saving existing vegetation during construction
- ☒ Proposed landscape features (berms, fountains)
- ☒ Existing/proposed lighting
- ☒ Irrigation/watering systems (locate outlets)
- ☒ Plant lists or schedules
 - Keyed to plan
 - Number of each species
 - Size when planted (caliper)
- ☒ Installation details/staking

MODEL SUBMITTAL INCLUDES THE FOLLOWING PLANS:

1. Cover / Title Page
2. Existing Conditions Survey
3. General Site Plan
4. Grading, Paving & Erosion Control Plan
5. Utility Plan
6. Site Details (curbing, catch basins, detention ponds, pavement, erosion control and sign details)
7. Landscape Plan
8. Landscape details (planting schedule, berming cross-sections, method of installation)
9. Lighting Plan
10. Floor Plan
11. Exterior Building Elevations
12. Building Material Sample Board

In addition to the items on this list, Village Staff and/or the Plan Commission may require additional drawings and data to be submitted for approval.

If any public improvements or work is to be done in the Public Right-of-Way, the Village will require that a Developer's Agreement be submitted and approved by the Village Board.



Fee must accompany application

☒ \$1460 Paid _____ Date _____

CONDITIONAL USE PERMIT APPLICATION

Pursuant to Section 17.42 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

1 APPLICANT OR AGENT

Crew Carwash

11700 Exit 5 Pkwy

Fishers, IN 46037

Phone (317) 572-2408

Fax ()

E-Mail katherine.rayner@crewcarwash.com

PROPERTY OWNER

Nomies Investments LLC

N96 W17500 County Line Rd

Germantown, WI 53022

Phone ()

2 TO WHOM SHOULD THE PERMIT BE ISSUED?

Crew Carwash

3 PROPERTY ADDRESS

N96 W17500 County Line Road

TAX KEY NUMBER

334990

4 DESCRIPTION OF EXISTING OPERATION

Briefly describe the use as it exists today, including use, size, number of employees, hours of operation, etc. If this permit involves new construction, describe the current status of the property, e.g. "vacant." Use additional pages as necessary.

Existing BP gas station to be demolished for construction of carwash.

5 DESCRIPTION OF PROPOSED OPERATION

Write the name of the proposed conditional use exactly as it appears in the Municipal Code

Self-Serve Carwash

Describe the proposed use, including size, number of employees, hours of operation and extent of any new construction/alterations

A 4,512 SF self-serve carwash with 346 SF kiosk. Location to staff approximately 20-25 team members with 2-5 team members per shift. Each day operation of the carwash from 7:00am-9:00pm. See narrative for additional information.

6

METES AND BOUNDS LEGAL DESCRIPTION OF PROPERTY – REQUIRED

Attach pages as necessary

See attached.

7

SUPPORTING DOCUMENTATION:

- ☐ Site Plan and elevations for new construction (can be conceptual)
- ☐ Photos of existing use and/or proposed use operating elsewhere
- ☐ _____
- ☐ _____

8

READ AND INITIAL THE FOLLOWING:

- KR* I understand that the Village is under no obligation to issue a Conditional Use Permit and will do so only if the applicant successfully demonstrates that the proposed use is harmonious with the neighborhood and the long range goals of the Village.
- KR* I will notify the Village if any aspects of the conditional use changes. I understand that failure to do so may result in the revocation of the CUP.
- KR* I understand that a Conditional Use Permit is valid only if the conditions and restrictions of the permit are met. I understand that failure to comply with any aspect of the permit may result in revocation.
- KR* I understand that Village Staff is required to post one or more signs along the street frontage of and/or on the property subject of this application that indicate to nearby property owners and the general public that a public hearing of my application will be held before the Village Plan Commission and/or Village Board prior to action being taken on this application; I hereby grant Village Staff permission to enter onto the property for the expressed purpose of installing said sign(s) provided Village Staff is responsible for installing, maintaining and removing said signs in a reasonable manner and timeframe.

9

SIGNATURES – ALL APPLICATIONS MUST BE SIGNED BY OWNER!

Kraymo 2/9/24
 Applicant Date

DocuSigned by:
Dot 2/9/2024
 Owner 1A6C429E20BF410... Date

February 12, 2024

Project Narrative

Project: Crew Carwash
N96 W17500 County Line Road
Germantown, WI 53022

Crew Carwash is requesting Site Plan Review, Architectural Review, and Conditional Use Permit review and approval for a new carwash located at N96 W17500 County Line Road in the Village of Germantown. A BP gas station currently exists on the site and will be demolished as a part of the proposed project. The property is zoned B-5, Highway Business with Highway Interchange Area Overlay and the proposed self-serve carwash use requires Conditional Use Permit approval.

Founded in 1948, Crew Carwash is a family-owned business based in Indiana, currently has 45 locations, and is actively growing. Crew carwashes feature the most advanced technology available, specially formulated detergents, soft cloth, computer-controlled equipment, and special touchless hot air dryers. Crew carwashes utilize 40 percent recycled water and 60 percent fresh water due to water reclamation systems that filter, clean and re-use some of the water in the wash process. At Crew Carwash locations, used water runs directly to a unique collection system that filters the water and removes harmful sediments and oil before it reaches the local sanitary sewer. All cleaning and drying functions are contained inside the facility. The customer remains in the car riding on a conveyor belt the entire way through the tunnel and exits the facility themselves. Self-serve vacuum stations are provided for customers at no charge.

Crew invests approximately six-million dollars per facility and is a community-oriented company. Typically, each location staffs 20 to 25 highly trained and motivated team members with two (2) to five (5) team members per shift and two (2) to three (3) shifts each day operating the carwash from 7 AM to 9 PM. Once all appropriate approvals and permits are granted, the construction timeline is typically six (6) months.

The proposed project will include a proposed carwash building with vehicle queuing located to the far east of the site and vacuum parking stalls located to the east of the carwash facility. The proposed carwash will be 4,512 SF and the proposed kiosk will be 346 SF on a 1.00 acre site with approximately 0.99 acres of site disturbance. Building materials and colors are detailed in the included elevations and will consist of red ground face masonry and buff limestone with an architectural aluminum wall system tower in pewter mica. Clear anodized aluminum storefront and glazing is proposed. Overhead accent canopies above the windows will also be pewter mica in color. The waste enclosure gates will be Trex board in winchester gray, while the gates will consist of brick to match the main building structure.

Proposed drainage patterns will match the existing site drainage patterns. Stormwater will be conveyed via sheet flow to various new inlet structures that will convey stormwater to the same discharge point as the current site condition at the south end of the site. A rain garden green infrastructure BMP will be located at the southeast corner of the site to meet local stormwater management requirements.

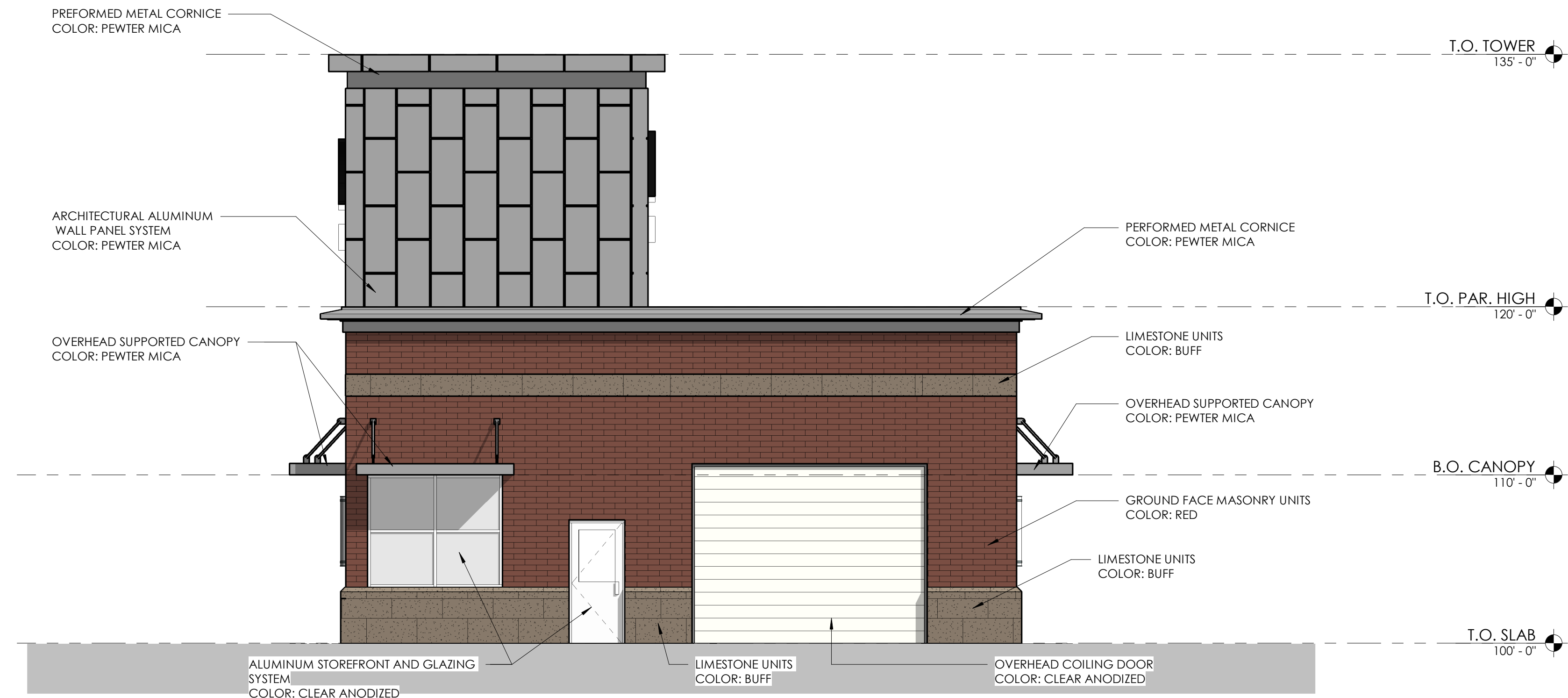
The proposed development will fit in to this existing commercially developed area. The building and site will blend in with and enhance the character of the neighborhood. The property will be transformed into a commercial development that is aesthetically pleasing with high-quality exterior materials on the building along with landscaping designed to ensure species resiliency and complimentary style. Site lighting will be provided in a fashion that provides appropriate foot candles for safety with cut-off fixtures for minimal light trespass and directed inward toward the development. The site layout and internal circulation has been designed to provide adequate on-site customer vehicle queuing and efficient, safe circulation. The building and grounds will be well maintained. No hazards or nuisances to nearby neighbors are anticipated as a result of this project.



NORTH

The logo for Cripe, featuring the word "Cripe" in a bold, black, sans-serif font. A green arc is positioned above the letter "i", and a black arc is positioned below the letter "e". A registered trademark symbol (®) is located to the right of the word.

Solutions by Design Since 1937



NORTHEAST ELEVATION



SOUTHWEST ELEVATION



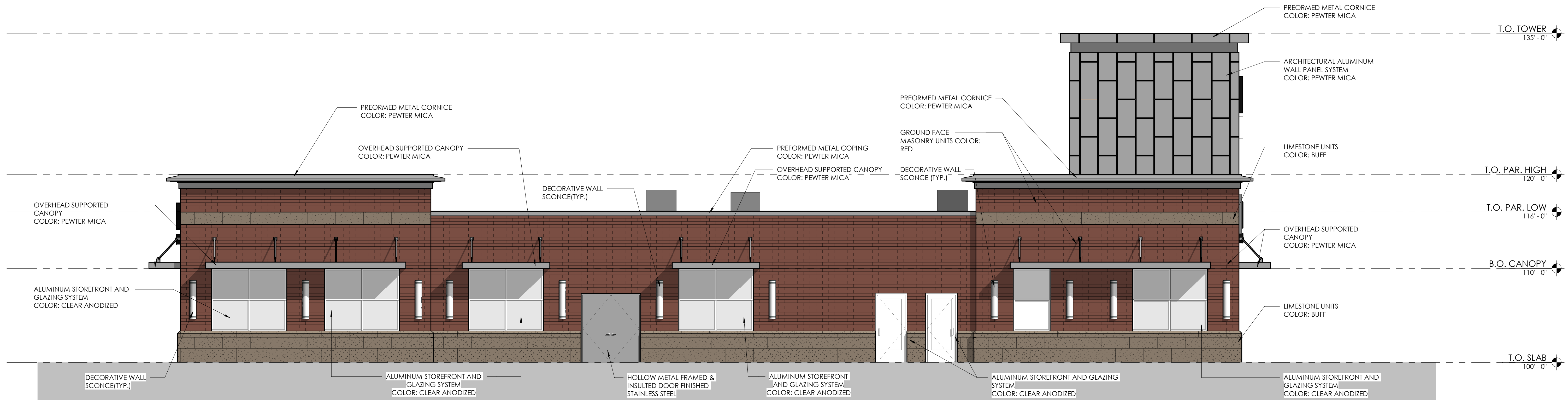
CREW CARWASH - BUILDING ELEVATIONS

CREW CARWASH, INC
N96 W17500 COUNTY LINE RD.
GERMANTOWN, WI 53022

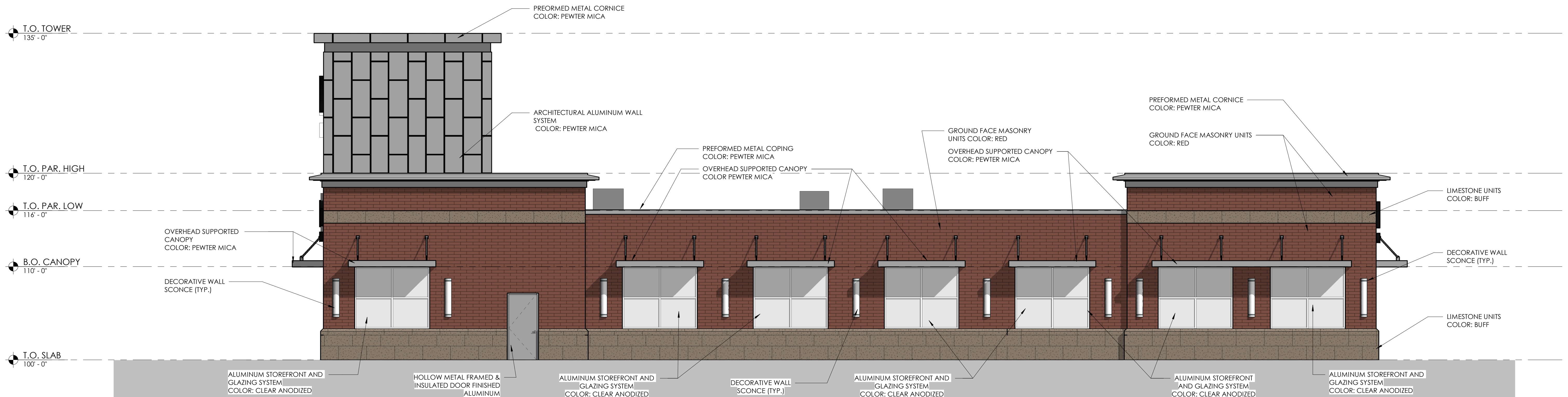
01/12/2024
PRO2024
3/16" = 1'-0"



Solutions by Design Since 1937



SOUTHEAST ELEVATION



NORTHWEST ELEVATION



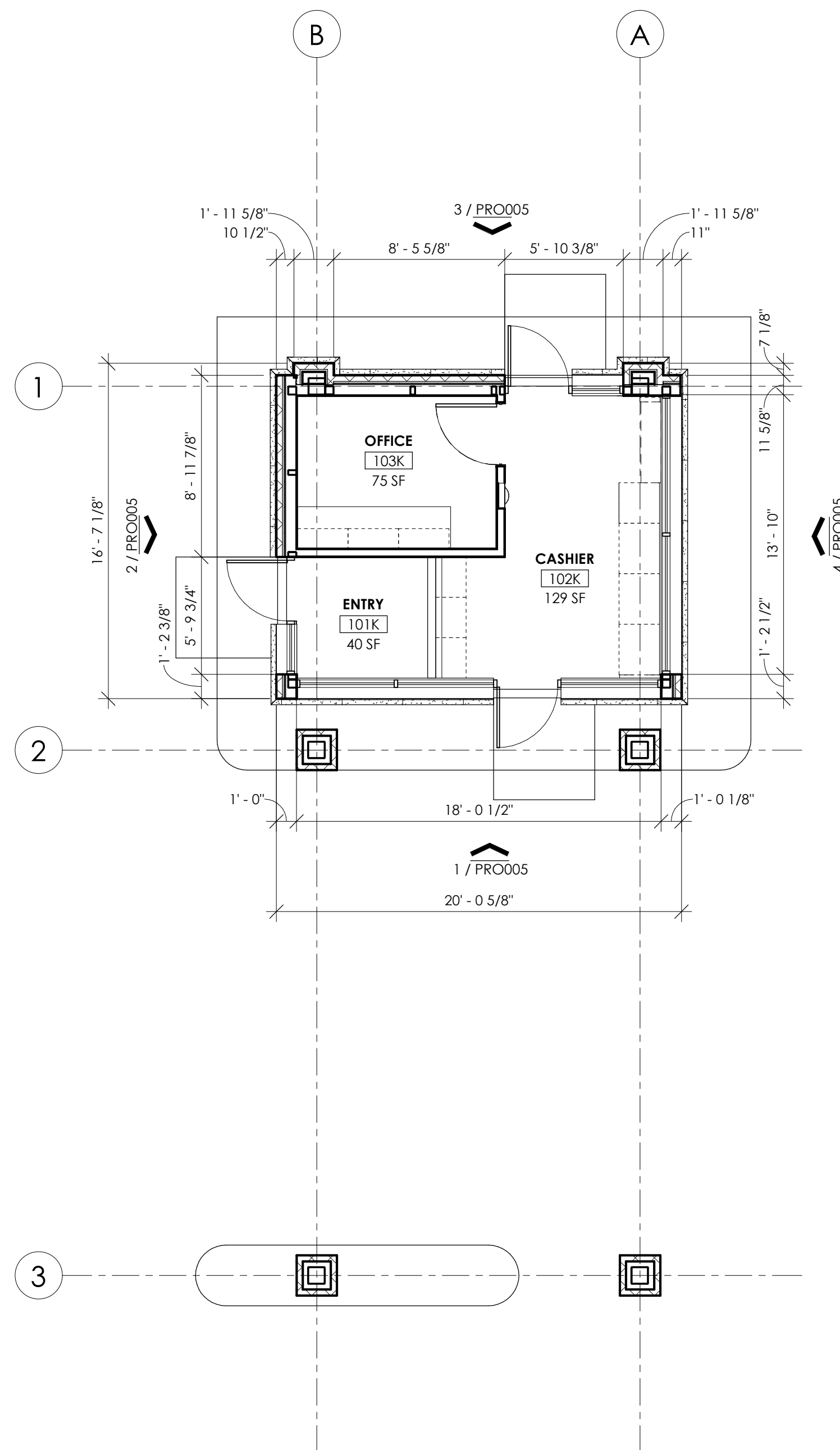
CREW CARWASH - BUILDING ELEVATIONS

CREW CARWASH, INC
N96 W17500 COUNTY LINE RD.
GERMANTOWN, WI 53022

01/12/2024
PRO2024
3/16" = 1'-0"



Solutions by Design Since 1937



CREW CARWASH - KIOSK FLOOR PLAN

CREW CARWASH, INC
N96 W17500 COUNTY LINE RD.
GERMANTOWN, WI 53022

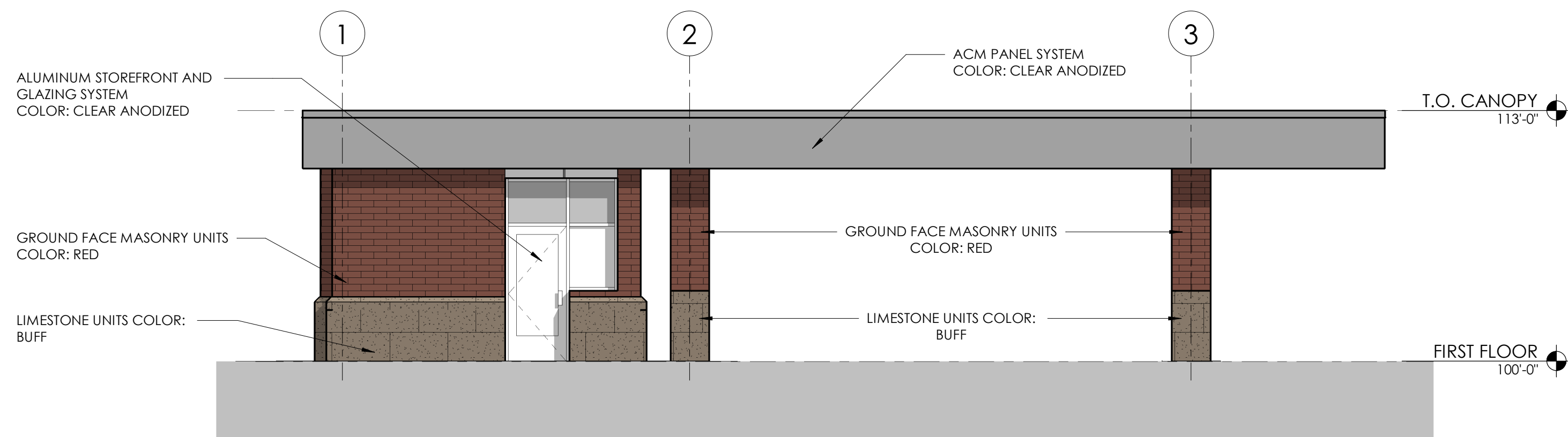


NORTH

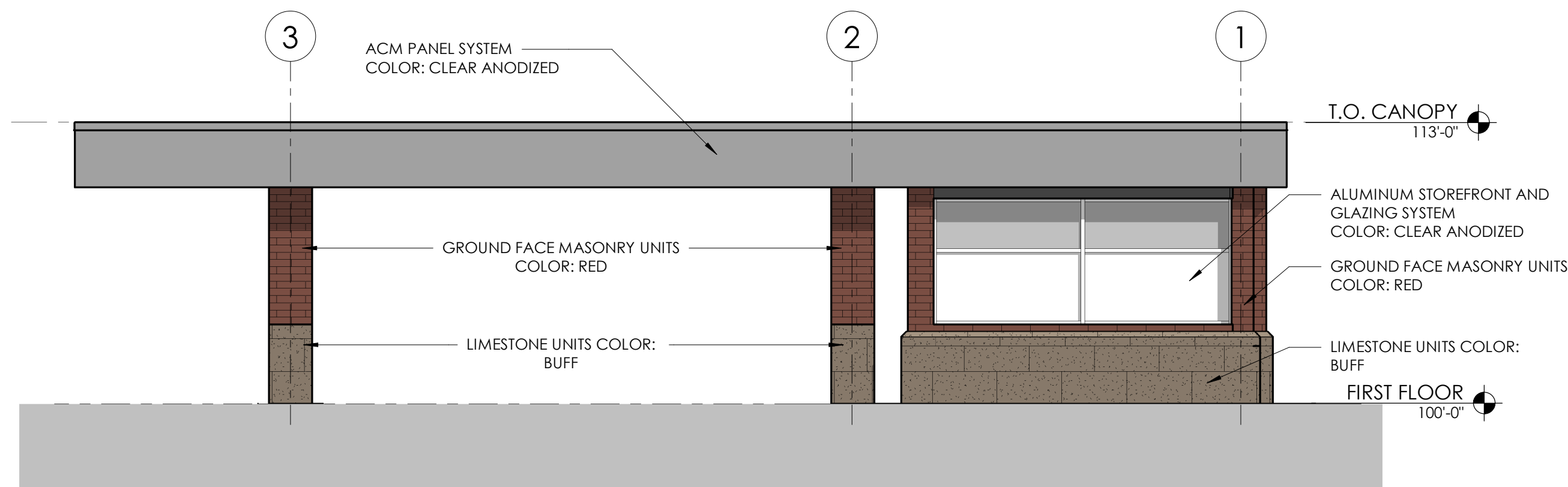
01/12/24
PRO2024
3/16" = 1'-0"



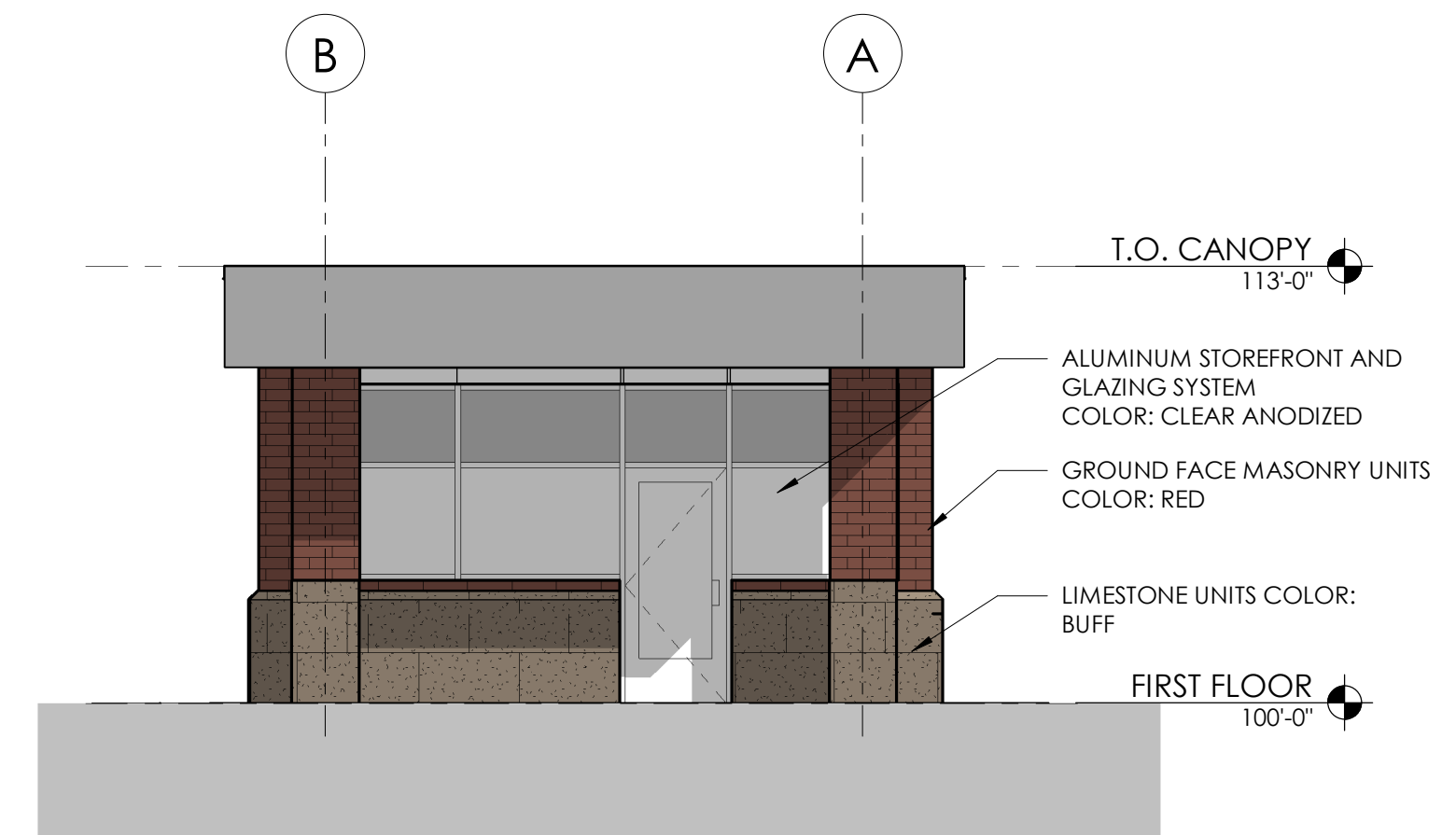
Solutions by Design Since 1937



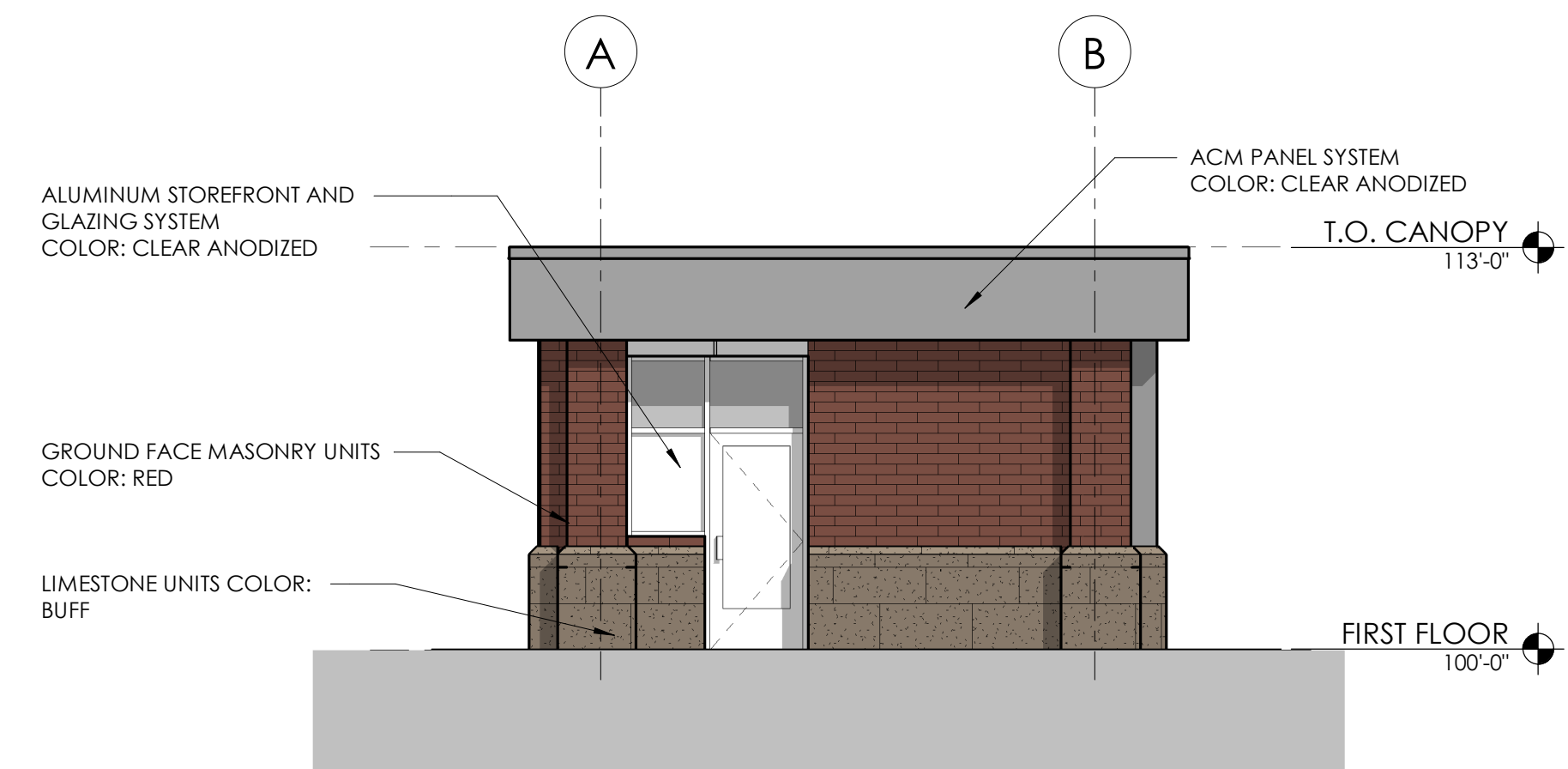
2 KIOSK - ENTRY
3/16" = 1'-0"



4 KIOSK - EXIT
3/16" = 1'-0"



1 KIOSK - SOUTHEAST ELEVATION
3/16" = 1'-0"



3 KIOSK - NORTHWEST ELEVATION
3/16" = 1'-0"



CREW CARWASH - KIOSK ELEVATIONS

CREW CARWASH, INC
N96 W17500 COUNTY LINE RD.
GERMANTOWN, WI 53022

01/12/24
PRO2024
3/16" = 1'-0"



CIVIL SHEET INDEX

SHEET	SHEET TITLE
C0.1	CIVIL COVER AND SPECIFICATION SHEET
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C2.1	DETAILS
C2.2	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS



CONTACTS

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

GENERAL PROJECT NOTES

1. ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
3. CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AS-BUILT SURVEY OF THE STORMWATER MANAGEMENT SYSTEM UPON COMPLETION OF THE WORK.

P: (317) 809-5161
katherine.rayner@crewcarwash.com

P: (920) 926-9800
F: (920) 926-9801
dustin.s@excelengineer.com

C0.1

NOT FOR CONSTRUCTION

C0.1

N96 W17500 COUNTY LINE RD • GERMANTOWN, WI 53022

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED CAR WASH FOR:
CREW CARWASH
N96 W17500 COUNTY LINE RD • GERMANTOWN, WI 53022

PROFESSIONAL SEAL

RELIMINARY DATES

EB. 12, 2024

NOT FOR CONSTRUCTION

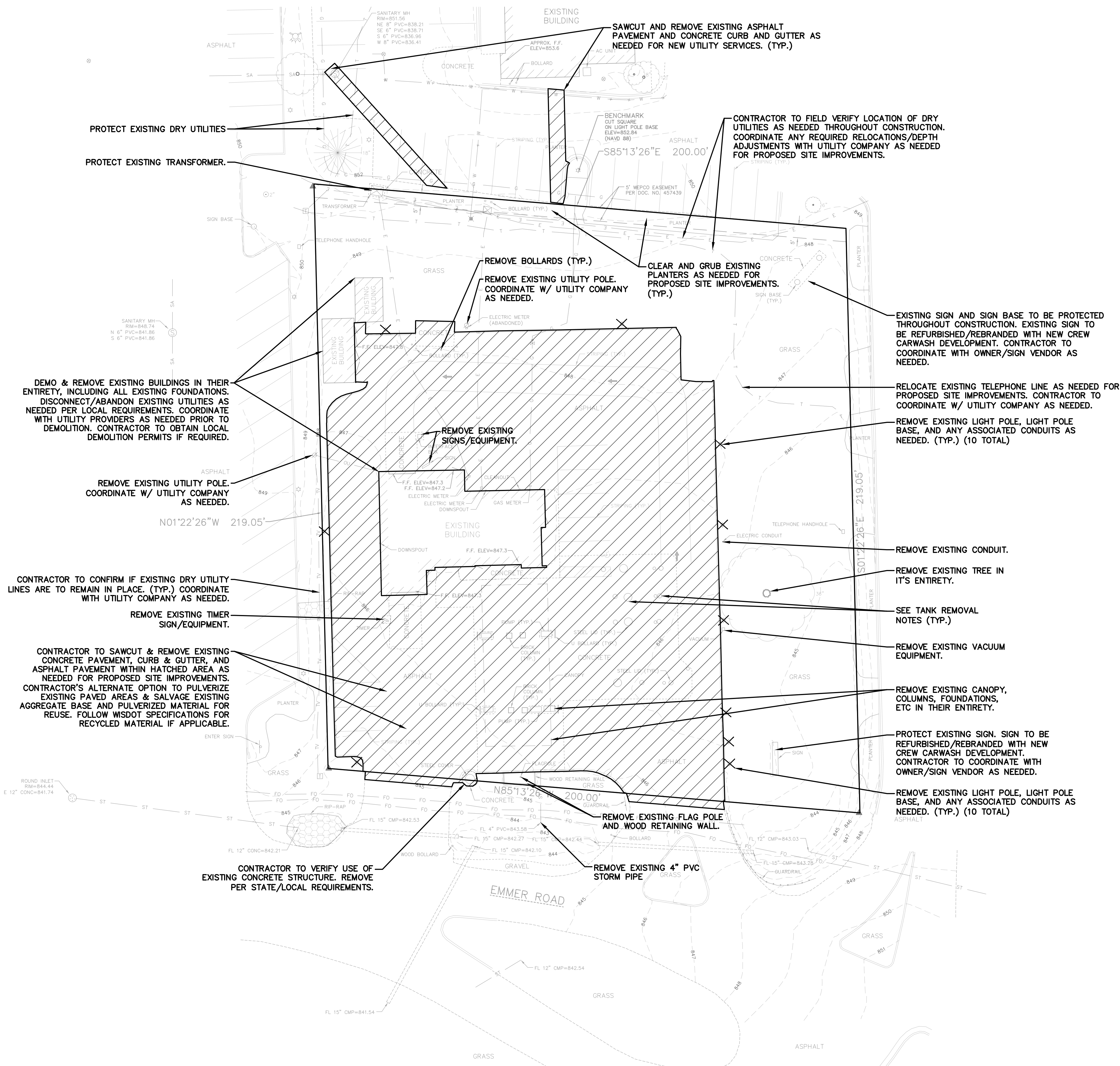
JOB NUMBER

230022600

HEET NUMBER

C1.0

© 2021 EXCEL ENGINEERING, INC.



NOTE: PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT NO. 2237081, BY KNIGHT BARRY TITLE, INC., DATED SEPTEMBER 19, 2023.

NOTE:
SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS PER TICKET NO. 20230306381 AND NO. 20234005120 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

DEMOLITION PLAN NOTES:

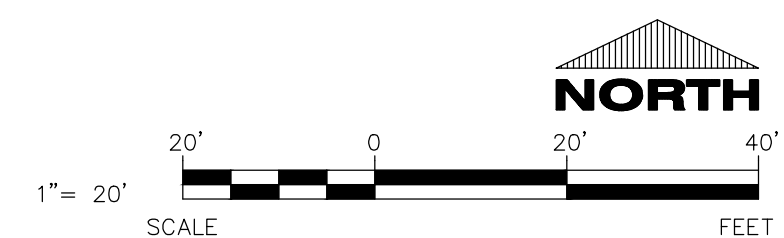
- DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, OR DEMOLISH ITEMS AS NEEDED DURING CONSTRUCTION.
- PRIVATE LOCATE SHALL BE COMPLETED PRIOR TO CONSTRUCTION AND EXISTING UTILITY LOCATIONS AND DEPTHS SHALL BE FIELD VERIFIED AS NEEDED. PROPOSED DOWNSTREAM UTILITY CONNECTIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. NOTIFY DESIGN ENGINEER OF CONFLICTS AND/OR DISCREPANCIES.

TANK REMOVAL NOTE:

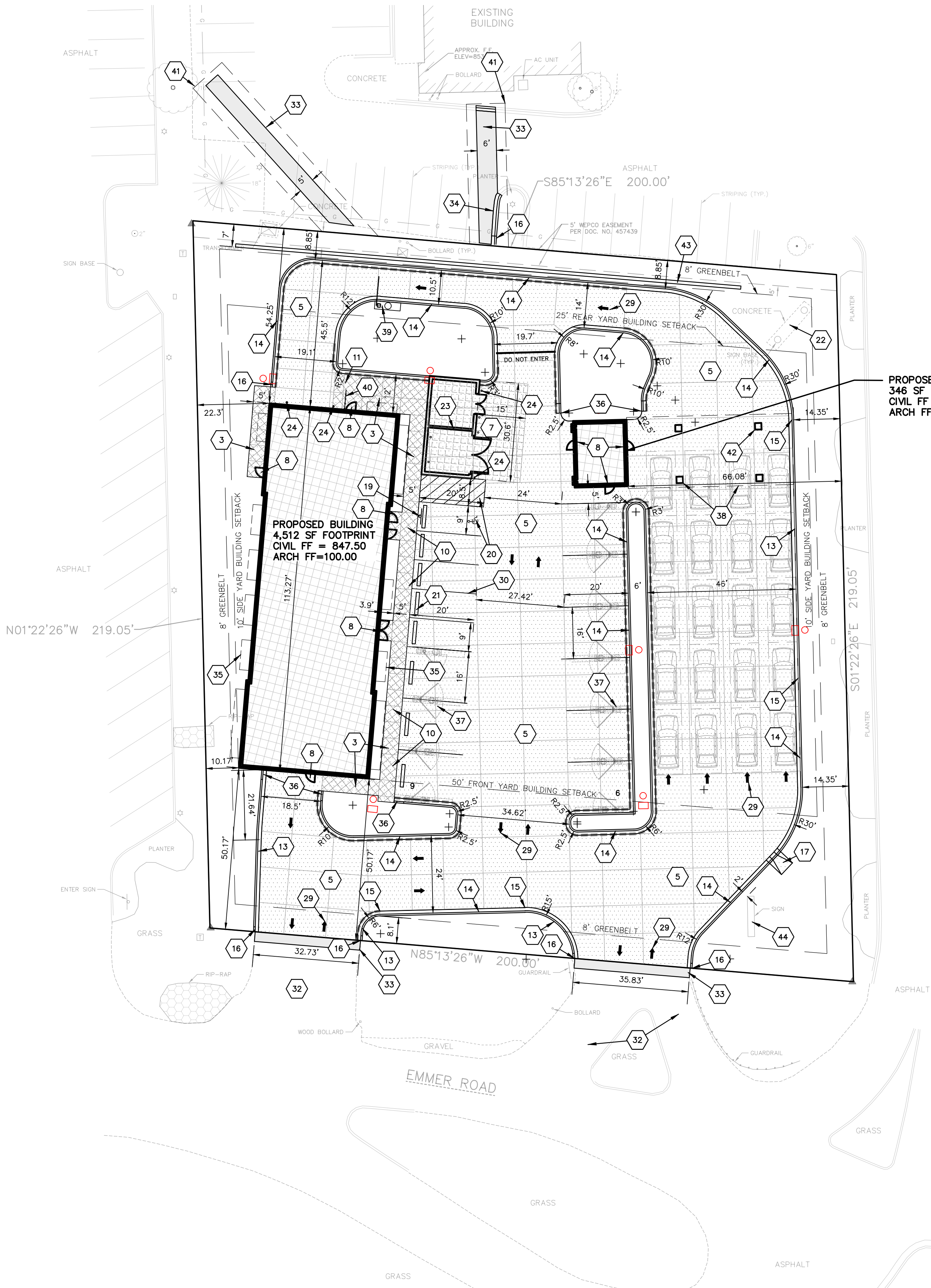
NOTE THAT ALL FUELING EQUIPMENT AND UNDERGROUND FUEL STORAGE TANKS ARE TO BE COMPLETELY REMOVED BY THE SELLER AT THE SELLER'S EXPENSE PRIOR TO CONSTRUCTION OF CREW CARWASH. CONTRACTOR TO COORDINATE WITH OWNER IF ANY UNDERGROUND FUELING TANKS OR EQUIPMENT ARE DISCOVERED DURING CONSTRUCTION.

EXISTING SEWER/WATER LATERAL NOTE:

CONTRACTOR SHALL REMOVE EXISTING SEWER AND WATER SERVICE LATERALS TO THE PROPERTY LINE. CAP/ABANDON PER LOCAL REQUIREMENTS. COORDINATE WITH LOCAL UTILITY DEPARTMENTS AS NEEDED PRIOR TO ABANDONMENT.



CIVIL EXISTING SITE AND DEMOLITION PLAN



PROPOSED BUILDING
346 SF FOOTPRINT
CIVIL FF = 847.30
ARCH FF=100.00

PROPOSED BUILDING
4,512 SF FOOTPRINT
CIVIL FF = 847.50
ARCH FF=100.00

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	1.00	43,558	
BUILDING FLOOR AREA	0.06	2,627	6.0%
PAVEMENT (ASP. & CONC.)	0.50	21,843	50.1%
TOTAL IMPERVIOUS	0.56	24,470	56.2%
LANDSCAPE/ OPEN SPACE	0.44	19,088	43.8%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	1.00	43,558	
BUILDING FLOOR AREA	0.11	4,858	11.2%
PAVEMENT (ASP. & CONC.)	0.59	25,648	58.9%
TOTAL IMPERVIOUS	0.70	30,506	70.0%
LANDSCAPE/ OPEN SPACE	0.30	13,052	30.0%

NOTE:

CONTRACTOR TO COORDINATE WITH OWNER AND MEP PLANS FOR ANY EXTERIOR HEATED CONCRETE SLAB LOCATIONS & REQUIREMENTS.

NOTE:

KNOX BOX TO BE PROVIDED AT PRIMARY ENTRANCE PER LOCAL REQUIREMENTS. CONTRACTOR TO COORDINATE W/ BUILDING INSPECTOR/FIRE DEPARTMENT FOR SPECIFIC REQUIREMENTS.

PAVEMENT HATCH KEY:

	ASPHALT
	HEAVY DUTY CONCRETE
	DUMPSTER PAD CONCRETE
	SIDEWALK CONCRETE
*SEE SHEET C0.1 FOR SECTION REQUIREMENTS	

CURB & GUTTER MARKING KEY:

	INVERTED CURB & GUTTER
	SHEDDING CURB & GUTTER

SITE INFORMATION:

PROPERTY ADDRESS: N96W17500 COUNTY LINE RD, GERMANTOWN WI

PARCEL ID NUMBER: 334990

PROPERTY AREA: 43,558 S.F. (1.00 ACRES).

EXISTING ZONING: B-5 W/ HIGHWAY INTERCHANGE AREA OVERLAY

PROPOSED ZONING: B-5 W/ HIGHWAY INTERCHANGE AREA OVERLAY

ADJACENT PROPERTY ZONING: B-5

PROPOSED USE: CONVEYOR-STYLE CARWASH

AREA OF SITE DISTURBANCE: 43,346 SF (0.995 AC)

SETBACKS: BUILDING: FRONT = 50'
SIDE = 10'
REAR = 25'

PAVEMENT: FRONT = 8'
SIDE = 8'
REAR = 8'

PROPOSED BUILDING HEIGHT: 35' TO TOP OF TOWER (MAX. HEIGHT ALLOWED: 35')

PARKING REQUIRED: NO CODIFIED REQUIREMENT FOR CARWASH USE; ADEQUATE SPACE FOR EMPLOYEES AND CUSTOMERS

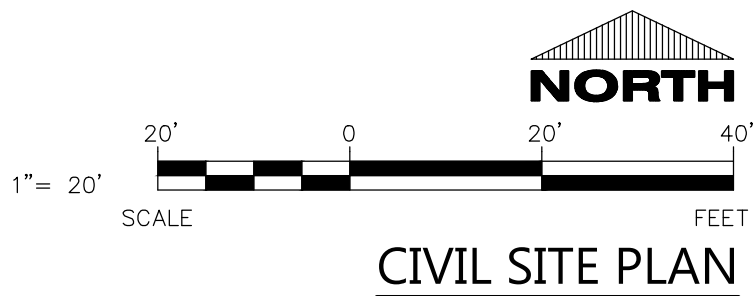
PARKING PROVIDED: 14 TOTAL (5 STANDARD EMPLOYEE SPACES, 9 VACUUM SPACES)

HANDICAP STALLS REQUIRED: 1 REQUIRED, 1 PROVIDED

LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO = 20% OPEN AREA

SITE PLAN KEYNOTES

3	CONCRETE SIDEWALK (TYP.)
5	HEAVY DUTY CONCRETE (TYP.)
7	DUMPSTER PAD/APRON CONCRETE (TYP.)
8	CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
10	FLUSH WALK (TYP.)
11	SIDEWALK RAMP, SEE SHEET C1.2. (TYP.)
13	18" ROLL CURB, 3" CURB HEIGHT (TYP.)
14	18" CURB & GUTTER (TYP.)
15	ROLL CURB/STANDARD CURB TRANSITION. (TYP.)
16	CURB TAPER (TYP.)
17	CURB CUT W/ 5" THICK CONCRETE PAD/FLUME WARPED TO MATCH CURB CUT (TYP.)
19	HANDICAP SIGN (TYP.)
20	HANDICAP STALL & STRIPING PER STATE CODES.
21	PRECAST CONCRETE WHEEL STOP PINNED TO PAVEMENT (9 TYP.)
22	EXISTING PYLON SIGN TO REMAIN AND BE RE-BRANDED. (DETAILS & APPROVAL BY SIGN VENDOR)
23	DUMPSTER/STORAGE ENCLOSURE. ROLL OUT DUMPSTERS REQUIRED FOR SERVICE. (SEE ARCH PLANS FOR DETAILS)
24	6" CONCRETE BOLLARDS (SEE DETAIL)
29	TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING.
30	PAINT STRIPING (TYP.). COLOR TO MATCH PARKING STALL STRIPING.
32	EXISTING DRIVEWAY ENTRANCES TO REMAIN IN PLACE (TYP.)
33	REPLACE EXISTING ASPHALT PAVEMENT PER LOCAL STANDARDS. MATCH EXISTING PAVEMENT SECTION. (TYP.)
34	REPLACE CONCRETE CURB AND GUTTER TO MATCH EXISTING. (TYP.)
35	CANOPY. SEE ARCH PLANS. (TYP.)
36	TAPER CURB TO FLUSH IN 3' (TYP.)
37	OUTDOOR VACUUM EQUIPMENT. CONTRACTOR TO COORDINATE FINAL PRODUCTS, DETAILS, ETC WITH OWNER/DIRECTOR OF PROJECTS. VERIFY CONCRETE SLAB REQUIREMENTS WITH OWNER & EQUIPMENT SUPPLIER PRIOR TO INSTALLATION.
38	ISLAND AND CANOPY TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. CONTRACTOR TO VERIFY FINAL LOCATIONS, DETAILS, EQUIPMENT, ETC WITH OWNER AND EQUIPMENT SUPPLIERS PRIOR TO CONSTRUCTION.
39	BUG GATE (TYP.) CONTRACTOR TO VERIFY FINAL DETAILS AND REQUIREMENTS WITH OWNER AND EQUIPMENT SUPPLIER AS NEEDED.
40	6' OF RAILING/GUARDRAIL. FINAL COLOR/STYLE/DETAIL BY OWNER. (TYP.)
41	PRIVATE UTILITY EASEMENTS TO BE COMPLETED BY OTHERS AS A SEPARATE DOCUMENT. OWNER TO COORDINATE AS NEEDED. SEE SHEET C1.3 FOR UTILITY SERVICE EXTENSIONS.
42	COLUMN (TYP.) COORDINATE FINAL LOCATIONS W/ CANOPY SUPPLIER DRAWINGS.
43	157 LF OF VERSA LOK OR EQUIVALENT LANDSCAPE BLOCK RETAINING WALL. SEE SHEET C1.2 FOR WALL HEIGHTS. FINAL DESIGN DETAILS AND SPECIFICATIONS BY WALL SUPPLIER. CONTRACTOR TO COORDINATE DETAILS W/ WALL SUPPLIER & OWNER AS NEEDED.
44	EXISTING MONUMENT SIGN TO REMAIN AND BE RE-BRANDED. (DETAILS & APPROVAL BY SIGN VENDOR.)



CIVIL SITE PLAN



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED CAR WASH FOR:

CREW CARWASH

N96 W17500 COUNTY LINE RD • GERMANTOWN, WI 53022

PROFESSIONAL SEAL

PRELIMINARY DATES

FEB. 12, 2024

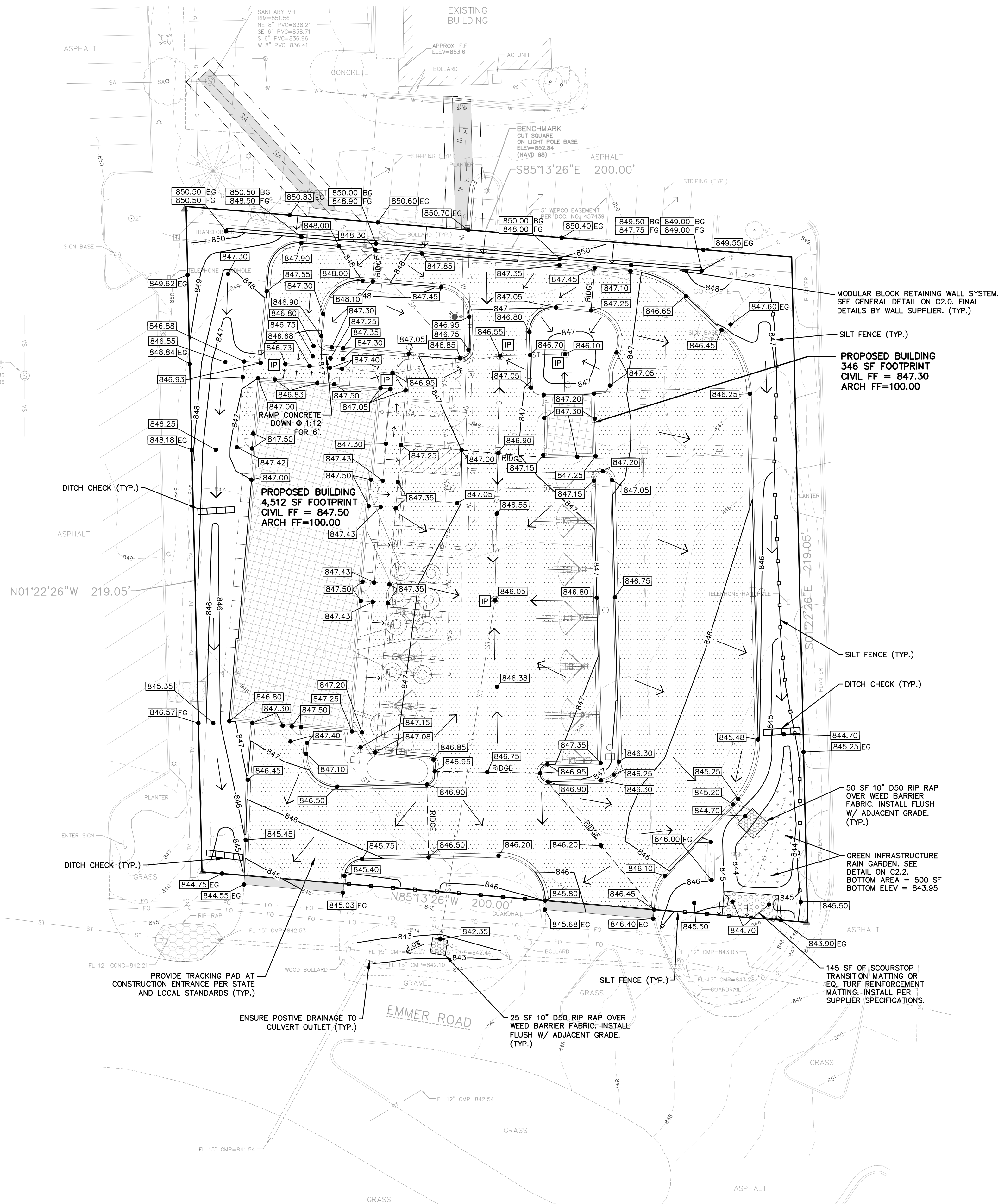
NOT FOR CONSTRUCTION

JOB NUMBER

230022600

SHEET NUMBER

C1.1



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

- NOTES:
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE:

CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

SPOT ELEVATION NOTE:

ALL SPOT ELEVATIONS NOTED ON THE PLAN REPRESENT FLOW LINE OF CURB UNLESS SPECIFICALLY NOTED OTHERWISE.

GRADING NOTE:

CONTRACTOR SHALL COORDINATE PROPOSED SITE GRADING AT PERIMETER OF BUILDING AND AT TUNNEL ENTRANCE/EXIT WITH ARCH/STRUCT PLANS AS NEEDED.

EROSION CONTROL/SWM COST ESTIMATE

(FOR REFERENCE ONLY)
LAND DISTURBANCE APPROX. 0.99 AC

Itemized cost of Erosion Control:

Tracking Pad = \$1500ea. x 1 = \$1500
Inlet Protection = \$75 x 5 = \$375
Silt Fence = 325' x \$2/lin. ft = \$650
Ditch Check = 3 x \$100ea. = \$300
Total Erosion Control Cost Estimate = \$2,825

Itemized cost of Storm Water Management:

Rain Garden/Spillway = \$10,000ea. x 1 = \$10,000
Total Storm Water Cost = \$10,000



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED CAR WASH FOR:
CREW CARWASH
N96 W17500 COUNTY LINE RD • GERMANTOWN, WI 53022

PROFESSIONAL SEAL

PRELIMINARY DATES

FEB. 12, 2024

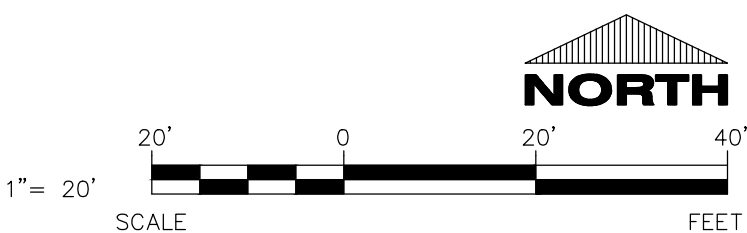
JOB NUMBER

230022600

SHEET NUMBER

C1.2


2021 © EXCEL ENGINEERING, INC.



CIVIL GRADING AND EROSION CONTROL PLAN

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

CLEANOUT NOTE:

 = DENOTES LOCATIONS WHERE
CONTRACTOR SHALL INSTALL CLEANOUTS, SEE
C0.1 FOR SPECIFICATION.

UTILITY NOTE:

CONTRACTOR TO VERIFY FINAL SIZE, DESIGN, AND LOCATIONS OF
ALL EXTERIOR SITE UTILITIES WITH INTERNAL MEP DESIGN AND
OWNER AS NEEDED.

UTILITY NOTE:

CONTRACTOR TO ENSURE ADEQUATE SEPARATION IS PROVIDED
BETWEEN DOMESTIC WATER SERVICE AND SANITARY/STORM SERVICE
PER WI DSPS PLUMBING CODE STANDARDS.

DRY UTILITY SERVICE NOTES:

CONTRACTOR SHALL COORDINATE DRY UTILITY SERVICE ROUTING
FOR ELECTRIC, GAS, ETC WITH APPLICABLE SERVICE PROVIDERS AS
NEEDED

WATER RECLAMATION SYSTEM NOTES (R):

R1. ACCESS RISER AND OPERATING 38" DIAMETER STEEL PLAT LID,
MODEL PER OWNER SPECIFICATIONS. STRUCTURE TOP TO HAVE A
36" DIAMETER OPENING CASTING. LID TO BE ALIGNED WITH LADDER
RUNGS IN MANHOLE.

R2. 8" PVC, SCHEDULE 40, TO RECLAIM PIT.

R3. 8" PVC, SCHEDULE 80 CONVEYOR TRENCH DRAIN. CONVEYOR
TRENCH DRAINS MUST BE RUN IN STRAIGHT LINES WITH NO TURNS.

R4. 8" PVC CONNECTOR TO SLEEVES, REFER TO TABLE FOR
INVERT ELEVATIONS.

R5. 4" PVC CONNECTOR SLEEVES.

GENERAL SYSTEM NOTES:

- CONTRACTOR SHALL VERIFY WATER RECLAMATION SYSTEM
LAYOUT, COMPONENTS, INVERT ELEVATIONS, AND PIPE ROUTING
WITH OWNER AND INTERNAL PLUMBING DESIGNER PRIOR TO
ORDERING MATERIALS.
- CONTRACTOR SHALL READ AND REVIEW GEOTECHNICAL REPORT
PREPARED FOR THE SITE. IF HIGH GROUNDWATER IS NOTED OR
ENCOUNTERED DURING CONSTRUCTION, CONTRACTOR SHALL
REVIEW WITH TANK SUPPLIER & OWNER TO DETERMINE IF
ANTI-BUOYANCY ACTIONS SHALL BE TAKEN.
- CONTRACTOR SHALL INSULATE RECLAMATION SYSTEM
CONNECTOR PIPES W/ POLYSTYRENE INSULATION BOARDS OR
OTHER APPROVED METHOD PER WI DSPS STANDARDS.

WATER RECLAIM SYSTEM (GRIT PIT) STRUCTURE TABLE

FFE = 847.50

STRUCTURE NUMBER	STRUCTURE DIAMETER (IN)	RIM ELEV.	INVERT IN	INVERT OUT	SUMP	SUBGRADE	PROVIDED STORAGE (CU FT)	PROVIDED STORAGE (US GAL)
1	60	847.25	842.00	841.75	833.67	833.17	137.40	1028
2	60	846.87	841.75	841.50	833.67	833.17	132.54	991
3	84	847.22	842.00	841.75	833.67	833.17	298.25	2230
4	72	846.90	841.75	841.50	833.67	833.17	212.06	1586
5	72	846.87	841.50	841.25	833.67	833.17	205.00	1533
6	72	847.25	841.25	841.00	833.67	833.17	197.92	1480
7	60	847.13	842.00	841.75	833.67	833.17	142.35	1065
8	60	846.83	841.75	841.50	833.67	833.17	137.40	1028



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED CAR WASH FOR:

CREW CARWASH

N96 W17500 COUNTY LINE RD • GERMANTOWN, WI 53022

PROFESSIONAL SEAL

PRELIMINARY DATES

FEB. 12, 2024

NOT FOR CONSTRUCTION

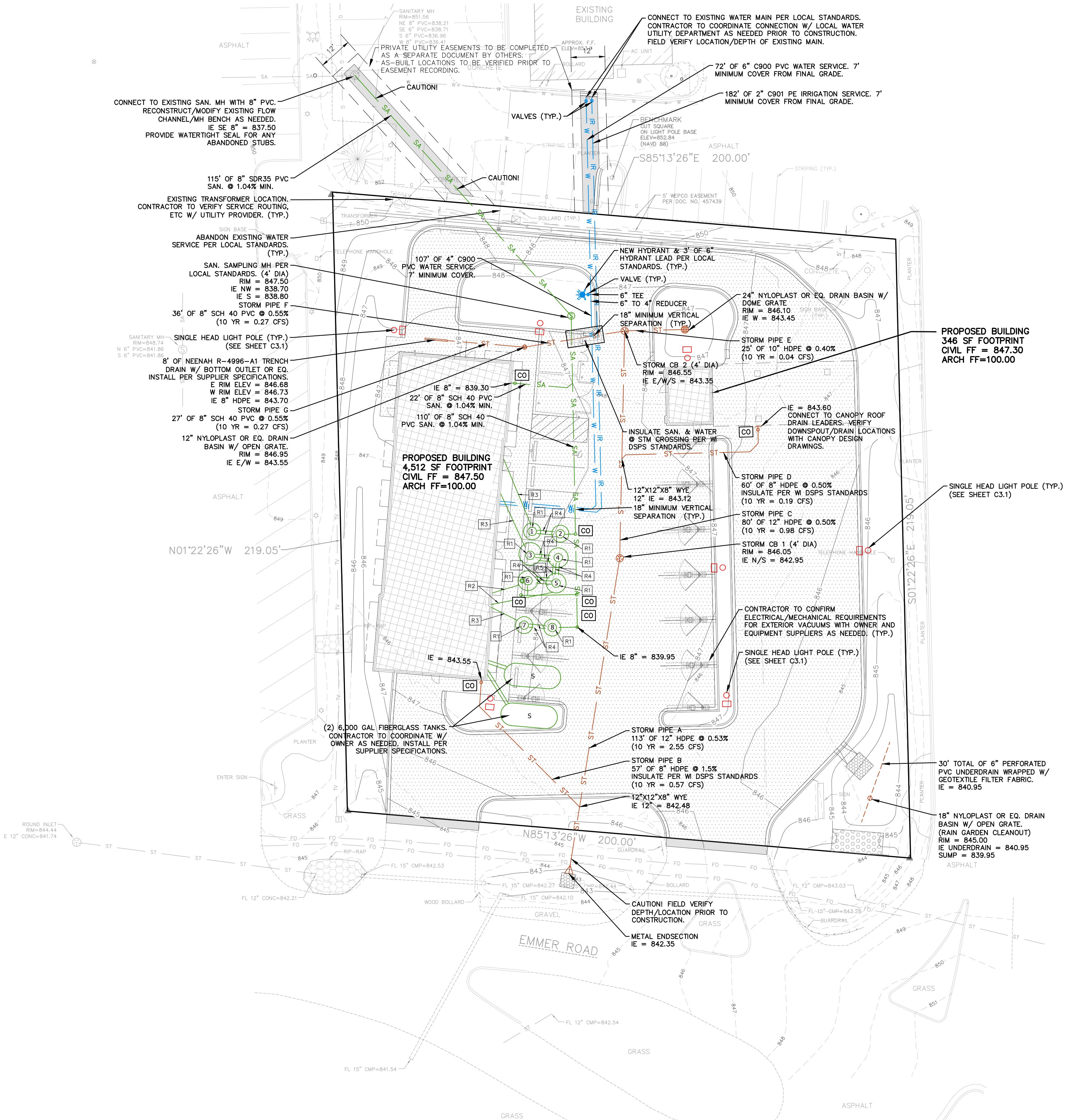
JOB NUMBER

230022600

SHEET NUMBER

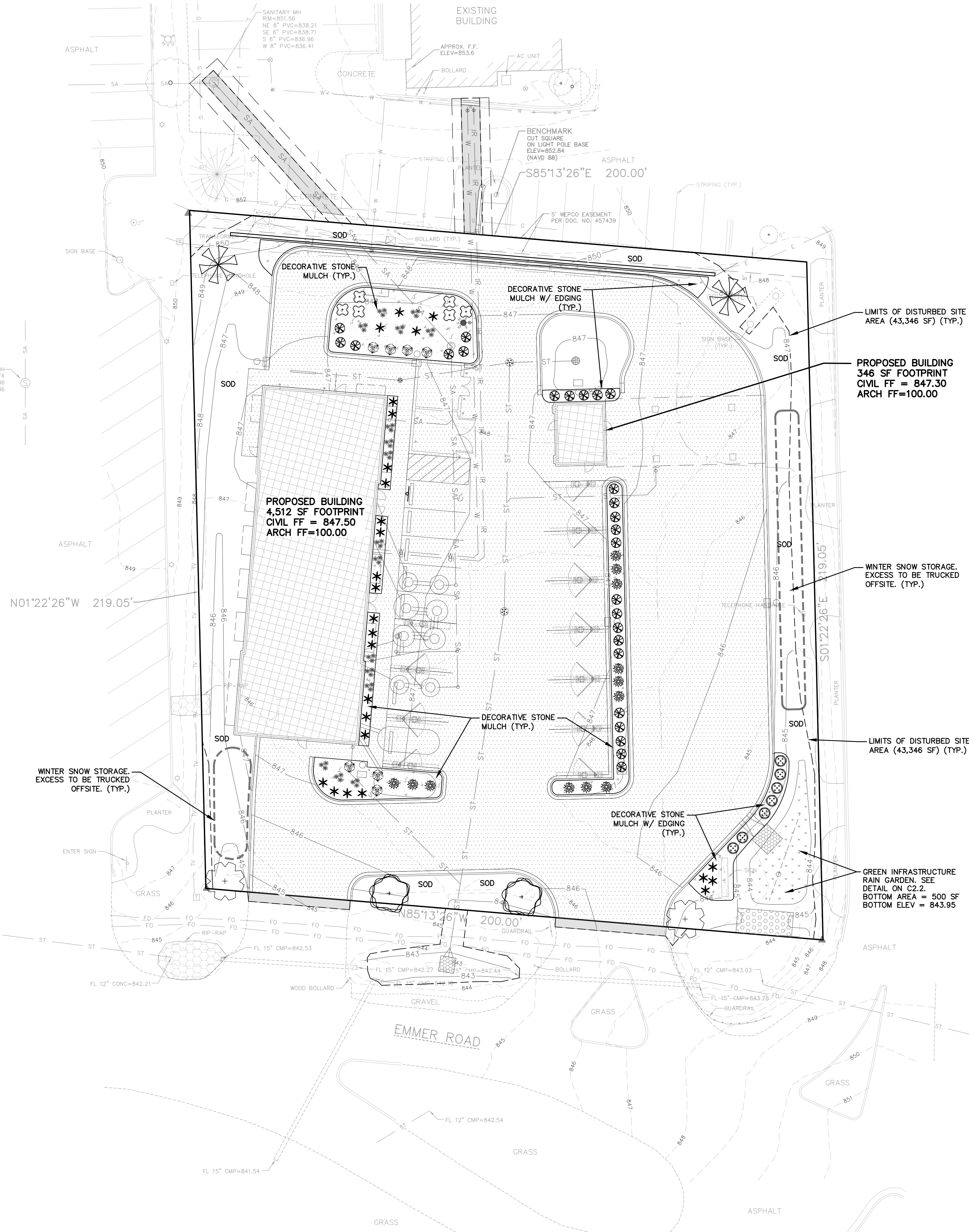
C1.3

2021 © EXCEL ENGINEERING, INC.



1"= 20'
SCALE
20' 0 20' 40'
FEET

CIVIL UTILITY PLAN



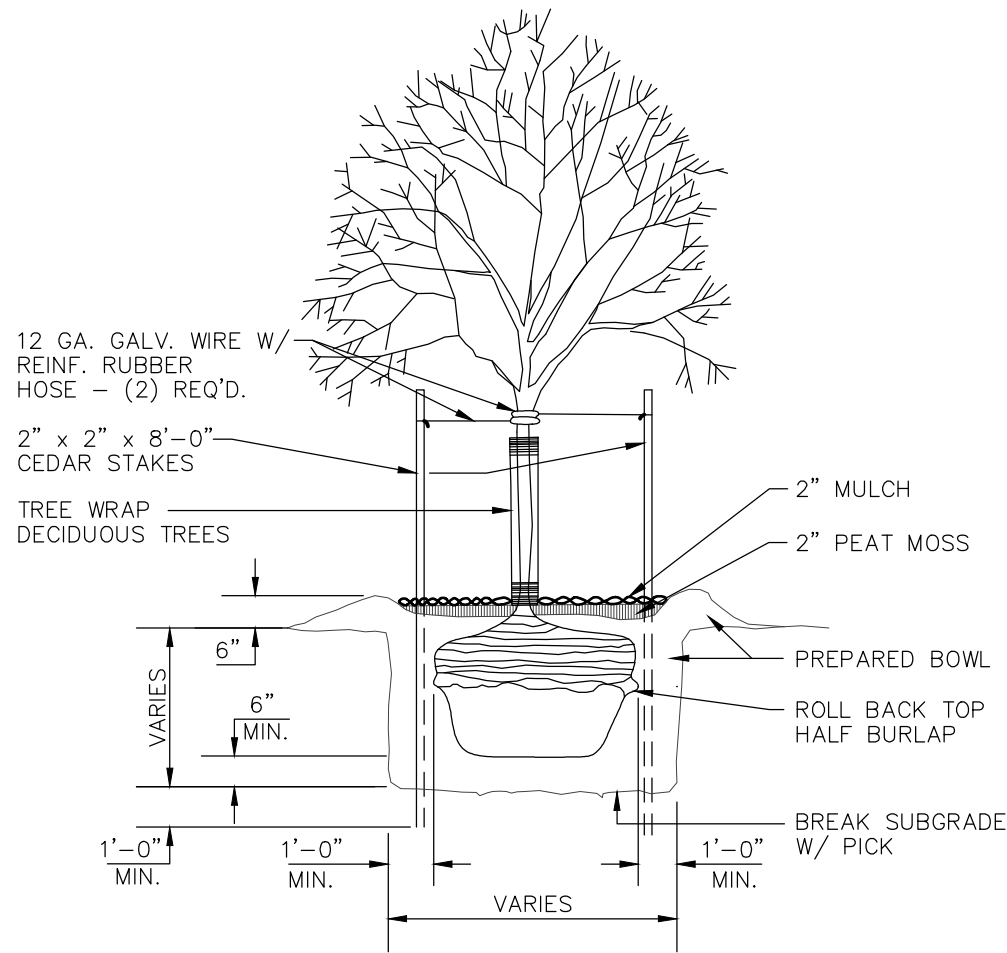
SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
	Princeton Sentry Ginkgo	Ginkgo biloba	3"	2
	Parkway Maple	Acer platanoides	3"	2
	Jack Flowering Pear (Ornamental)	Pyrus calleryana 'Jazzam'	1.5"	2
DECIDUOUS SHRUBS				
	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro Low'	18"	6
	Goldmound Spirea	Spiraea x bumalda 'Goldmound'	15"-18"	12
	Weigela Carnival	Weigela Florida 'courtalor'	24"	7
EVERGREEN SHRUBS				
	Taunton Yew	Tauntonii	24"	26
	Emerald Green Arborvitae	Thuja occidentalis 'Emerald Green'	36"	7
PERENNIALS				
	Daylilies 'Stella de Oro'	Hemerocallis 'Stella de Oro'	1 gal pot	26
	Karl Foerster Reed Grass	Clamagrostis x acutiflora 'Karl Foerster'	1 gal pot	16

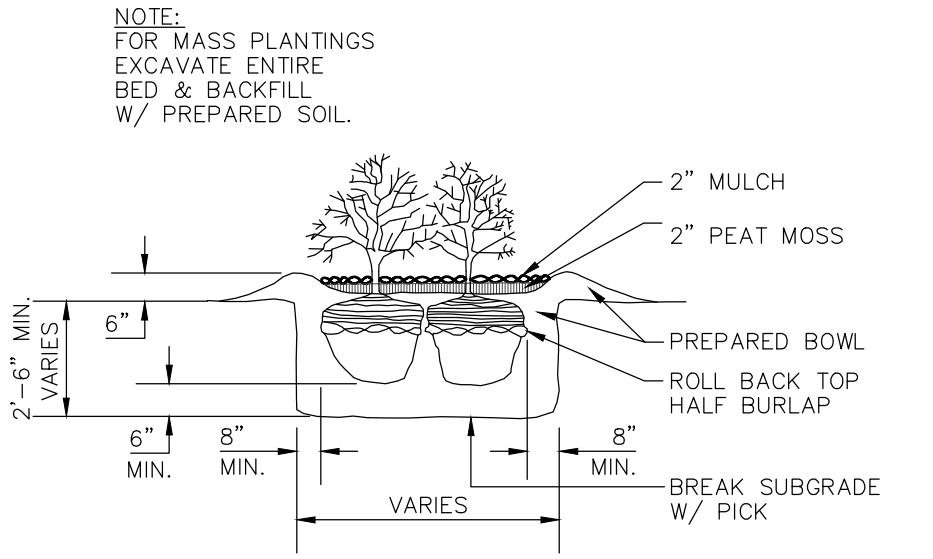
LANDSCAPING CALCULATIONS		
ZONE	REQ. PLANTS	PLANTS PROVIDED
STREET	1 PER 50 LF FRONTAGE 200 LF FRONTAGE = 4 TREES	4 PROVIDED
PARKING	1 TREE PER 10 SPACES 15 SPACES = 2 TREES	2 PROVIDED
TOTAL	6 TOTAL TREES REQ.	6 TOTAL TREES PROVIDED

IRRIGATION NOTE: PROVIDE IRRIGATION FOR ALL LAWN/LANDSCAPED AREAS IN ACCORDANCE WITH PLAN SPECIFICATIONS ON SHEET C0.1. DESIGN-BUILD LANDSCAPE/IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL DESIGN, LAYOUT, AND INSTALLATION. COORDINATE FINAL LAYOUT WITH OWNER/GC AS NEEDED.

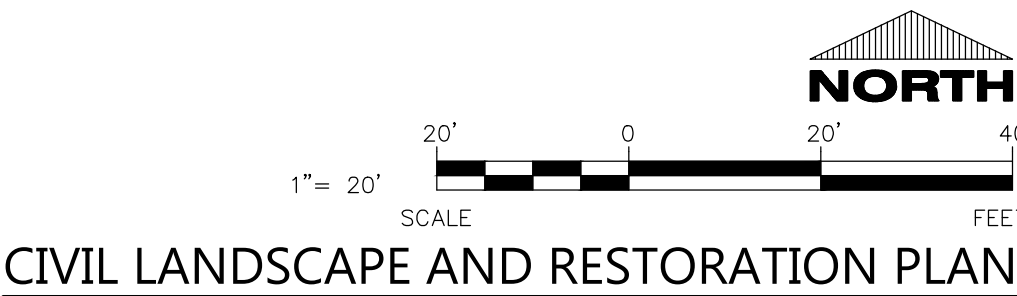
NOTE: LANDSCAPE CONTRACTOR SHALL REVIEW FINAL PLANTING LOCATIONS AND SPECIES WITH OWNER PRIOR TO INSTALLATION.



TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE



PROJECT INFORMATION

PROPOSED CAR WASH FOR:
CREW CARWASH
N96 W17500 COUNTY LINE RD • GERMANTOWN, WI 53022

PROFESSIONAL SEAL

PRELIMINARY DATES
FEB. 12, 2024

JOB NUMBER
230022600

SHEET NUMBER

C1.4



Excel

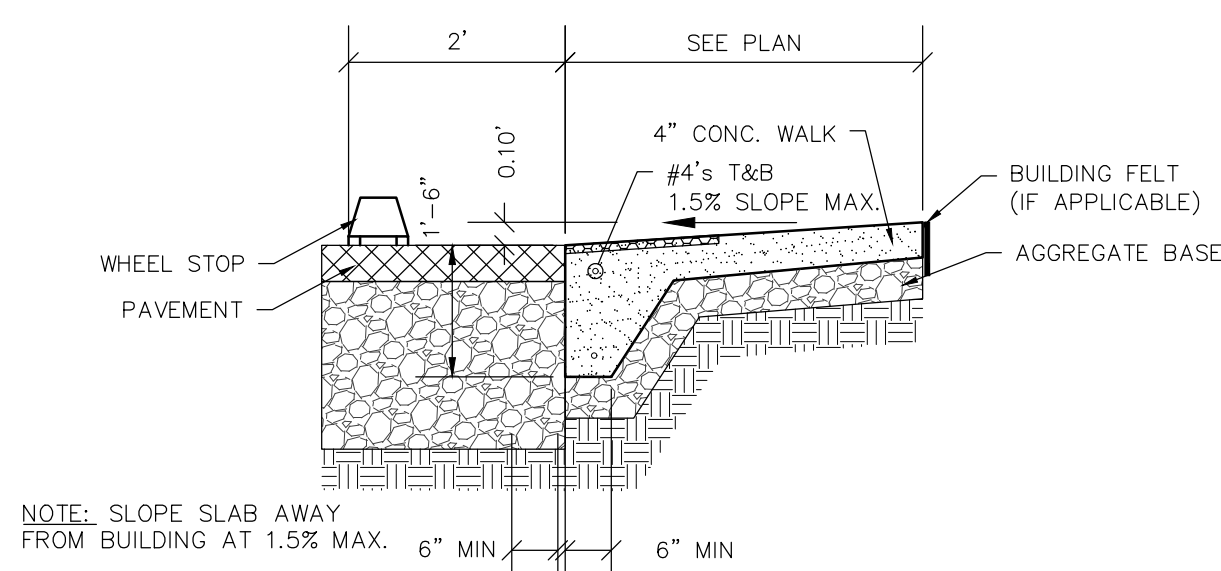
Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

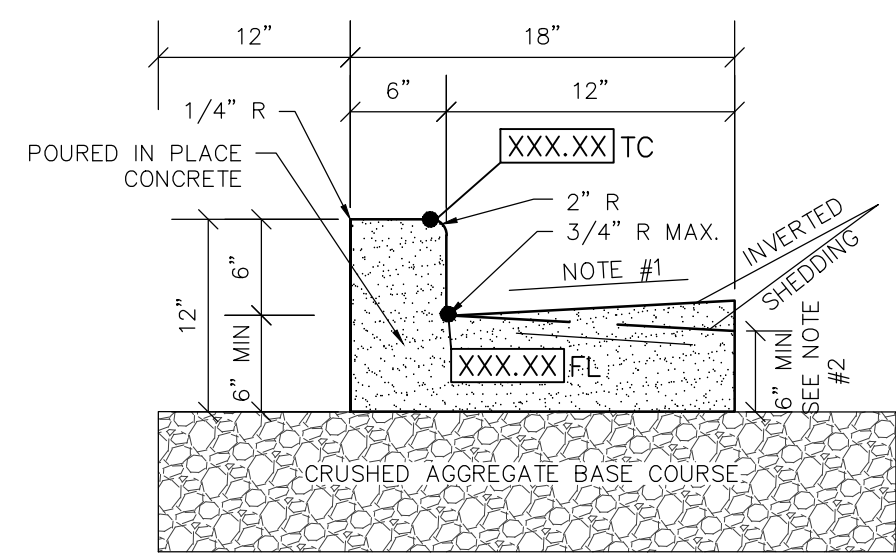
PROPOSED CAR WASH FOR:
CREW CARWASH
N96 W17500 COUNTY LINE RD • GERMANTOWN, WI 53022

[illegible]

A title block for a drawing sheet. It features a rectangular box with a black border. Inside the box, at the top, is a smaller white rectangle with the text "SHEET NUMBER" in black, bold, uppercase letters. To the right of this rectangle is a solid black rectangle. Below these elements, the text "C2.0" is written in a large, bold, black, sans-serif font. At the bottom of the box, the text "2021 © EXCEL ENGINEERING, INC." is written in a smaller, black, sans-serif font.



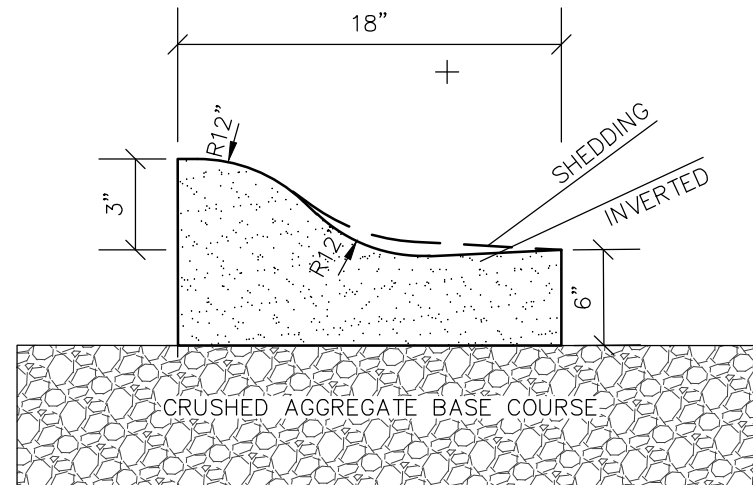
FLUSH WALK DETAIL
NO SCALE



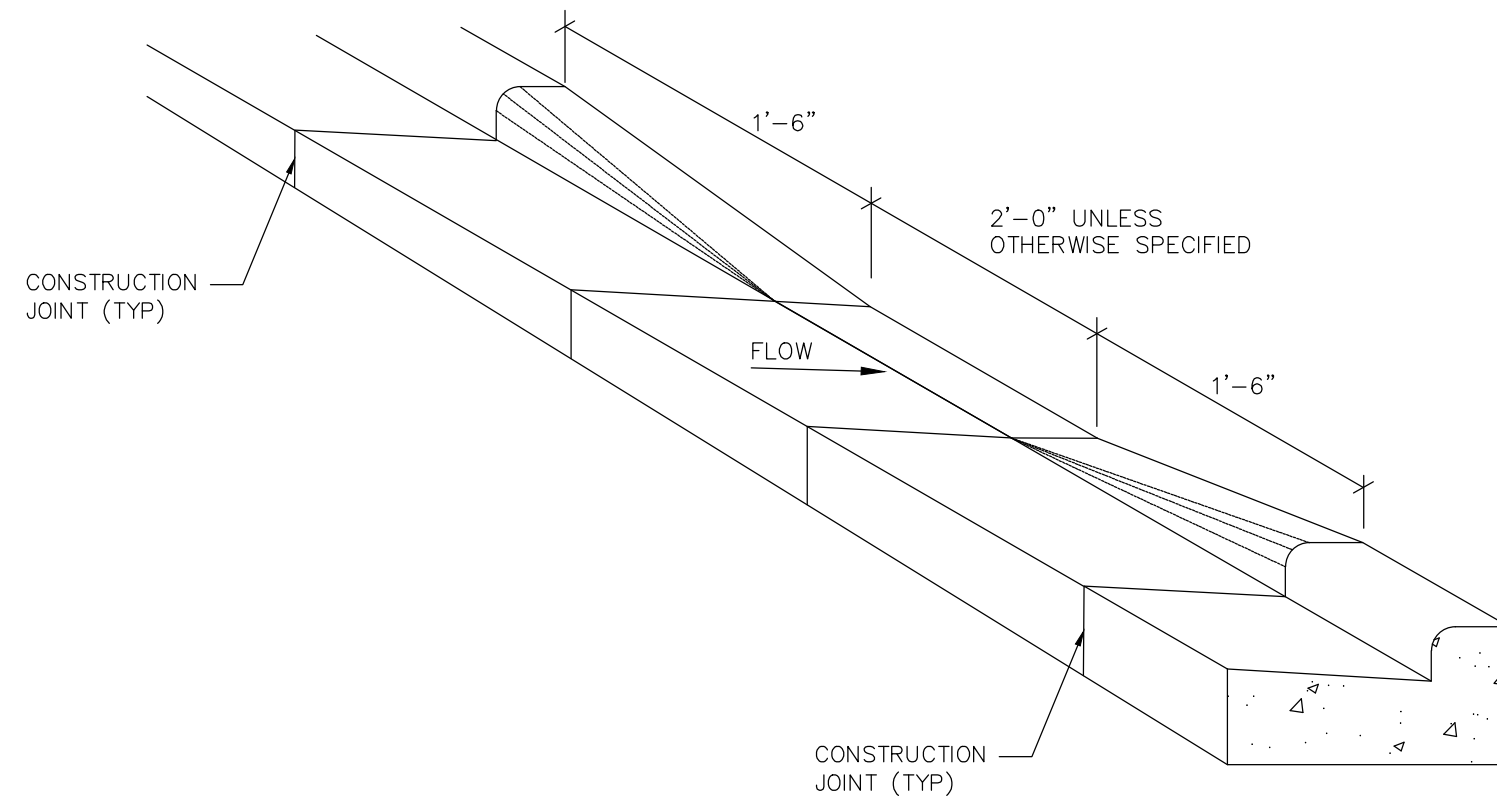
NOTE:

1. USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
2. THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.
3. SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

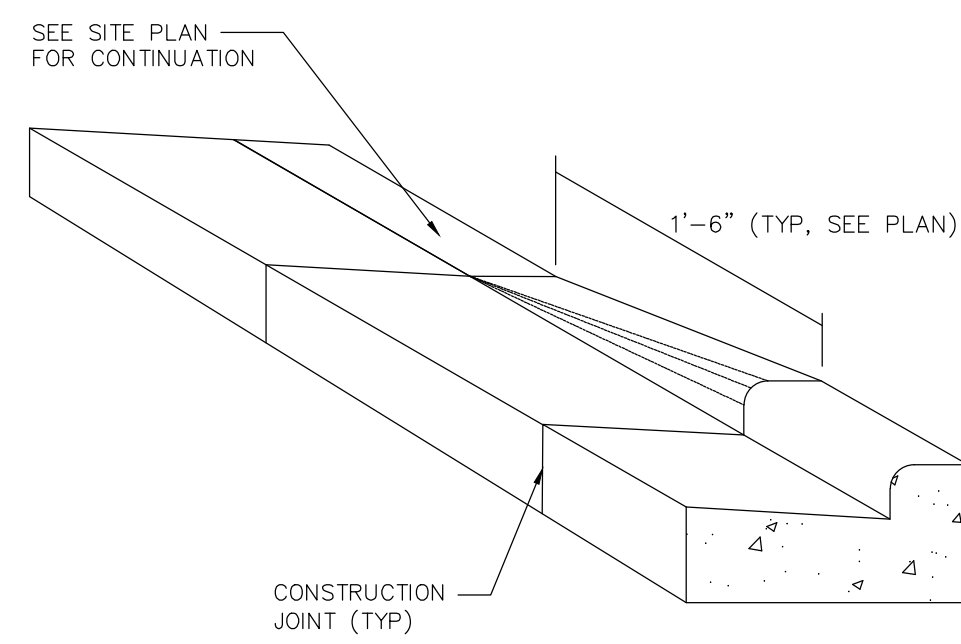
18" CONCRETE CURB & GUTTER DETAIL



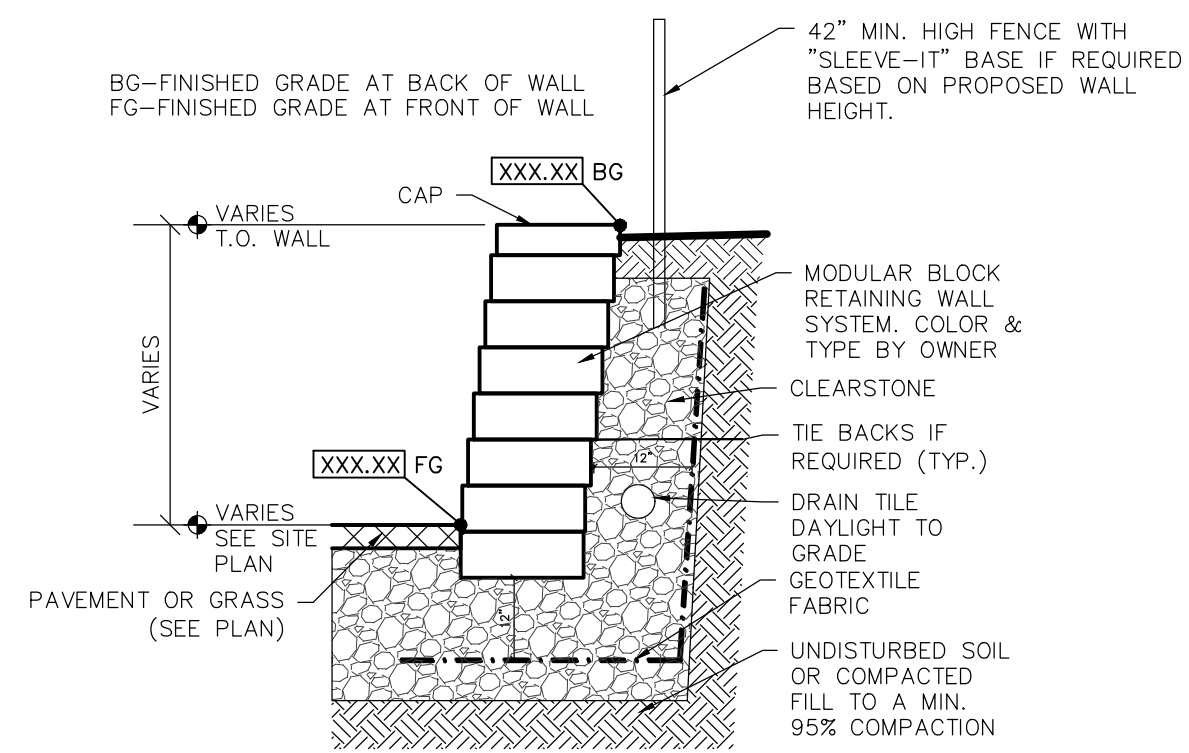
18" ROLLED CURB DETAIL
NO SCALE



CURB CUT DETAIL
NO SCALE



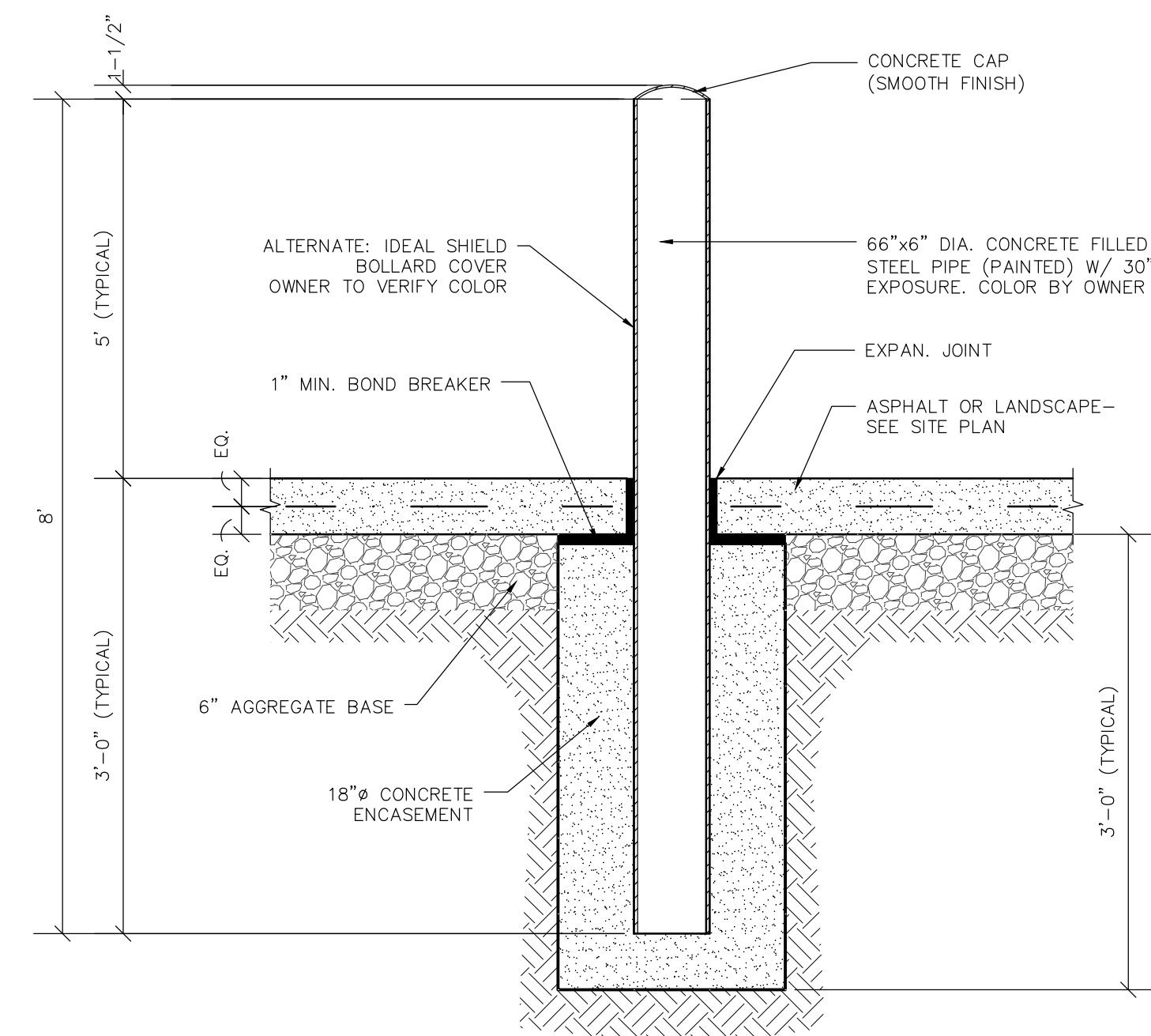
CURB TAPER DETAIL
NO SCALE



NOTE:

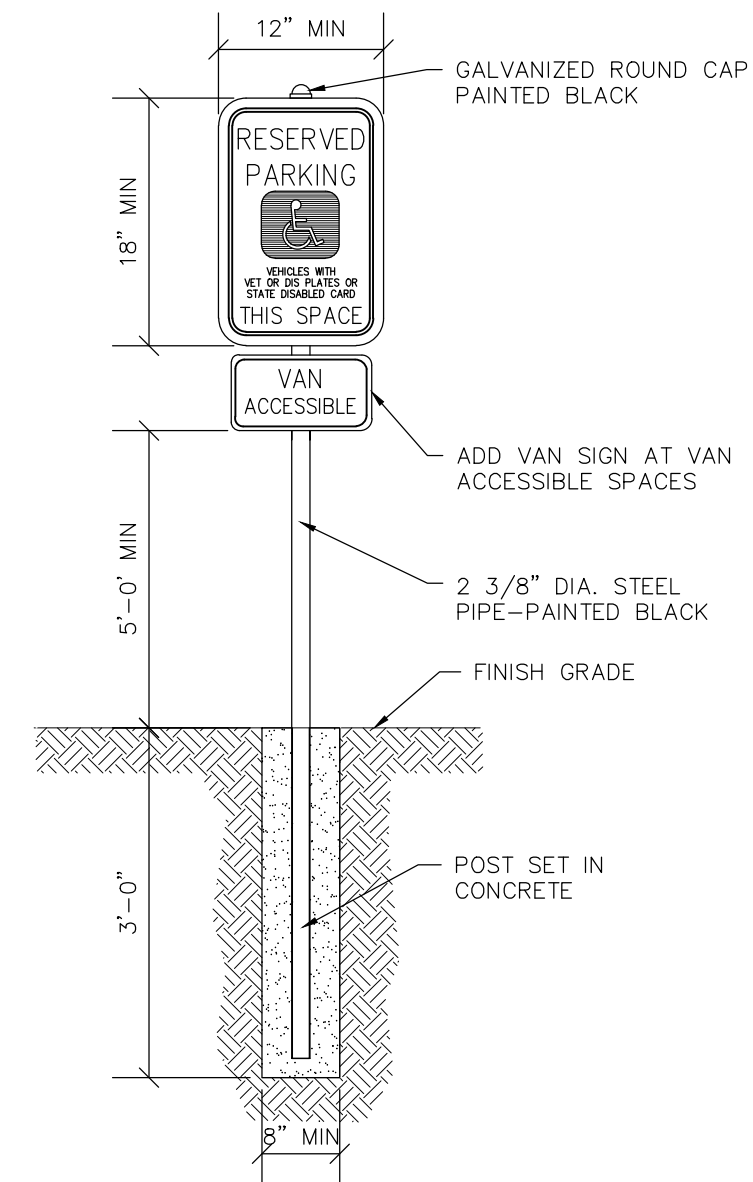
THIS DETAIL IS INFORMATIONAL ONLY AND IS NOT FOR CONSTRUCTION PURPOSES. THE WALL MANUFACTURER/SUPPLIER IS RESPONSIBLE FOR FINAL DESIGN AND CONSTRUCTION DETAILS.

RETAINING WALL DETAIL



6" PIPE BOLLARD DETAIL

NO SCALE



HANDICAP SIGNAGE WITH CONCRETE BASE DETAIL

NO SCALE

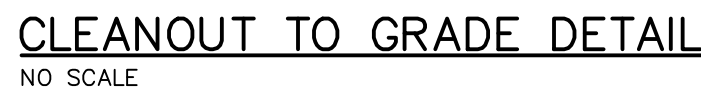
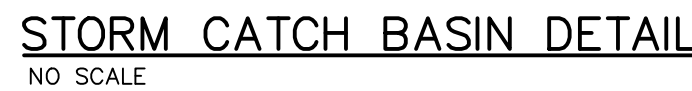
PROPOSED CAR WASH FOR:
CREW CARWASH
N96 W17500 COUNTY LINE RD • GERMANTOWN, WI 53022

PRELIMINARY DATES
EB. 12, 2024

230022600

C2.1

2021 © EXCEL ENGINEERING, INC.



NOT TO SCALE



CIVIL DETAILS

PROJECT INFORMATION

PROPOSED CAR WASH FOR:
CREW CARWASH
N96 W17500 COUNTY LINE RD • GERMANTOWN, WI 53022

PROFESSIONAL SEAL

PRELIMINARY DATES

FEB. 12, 2024

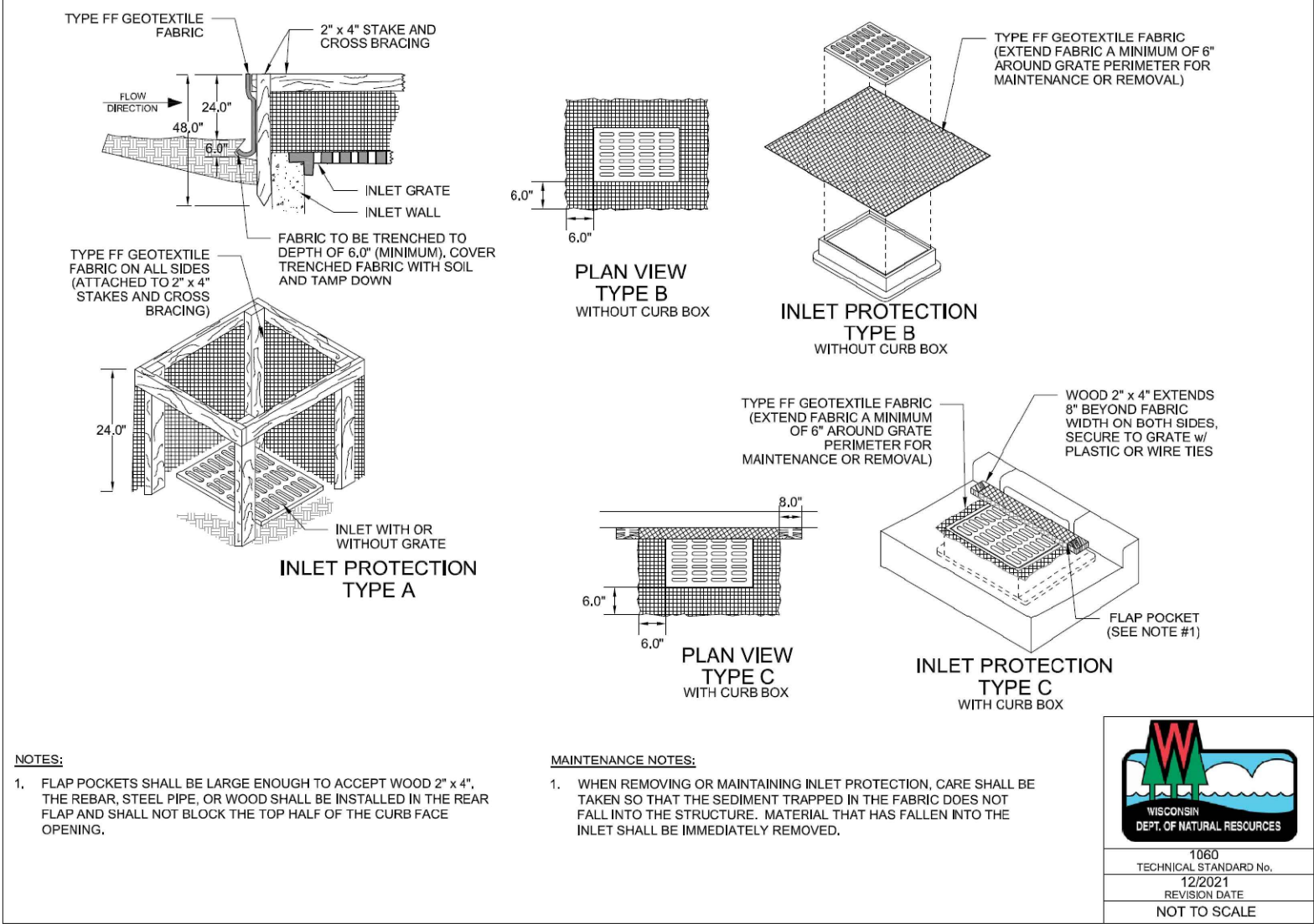
JOB NUMBER

230022600

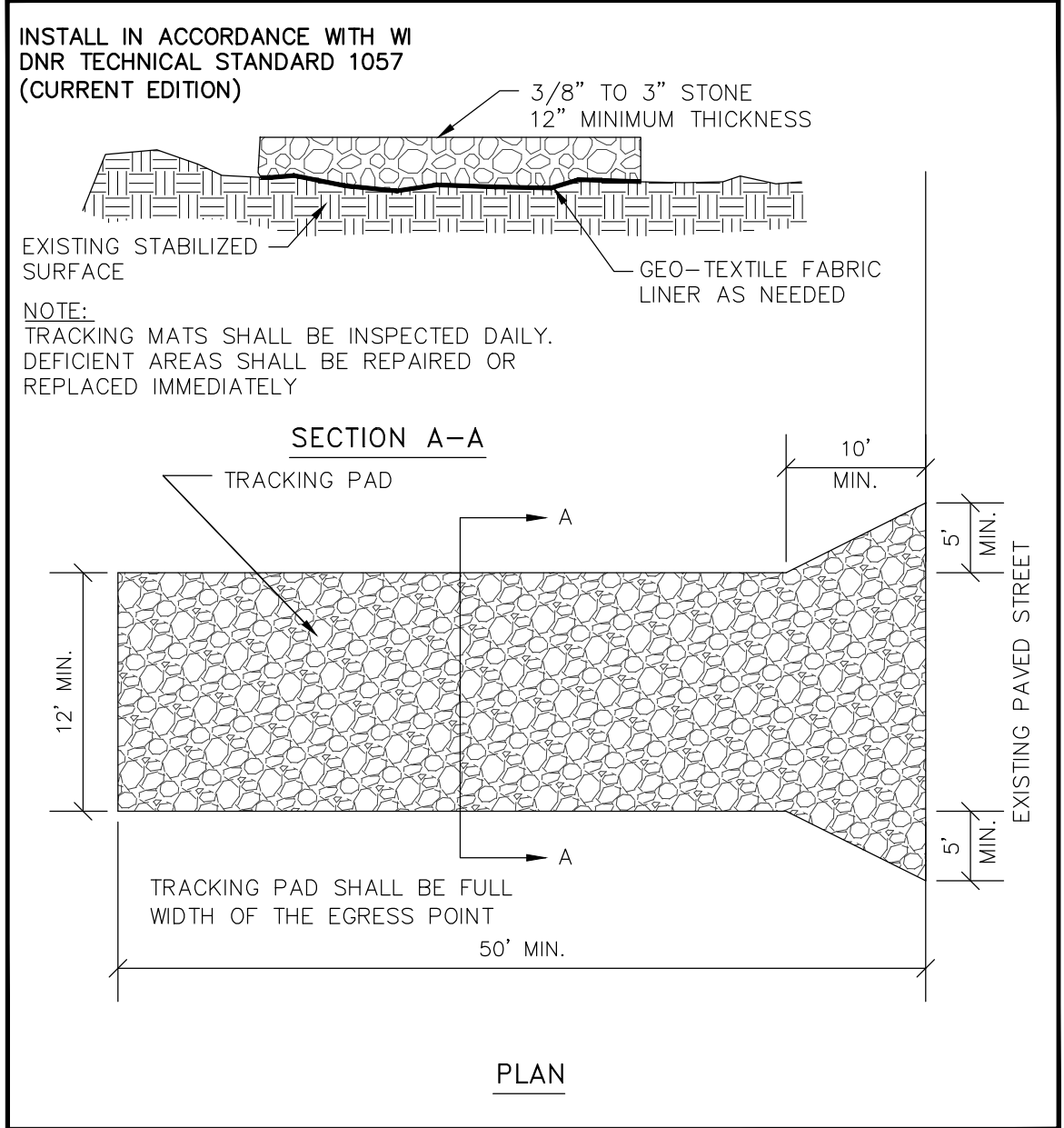
SHEET NUMBER

C2.2

FIGURE 1. INLET PROTECTION TYPES A, B AND C



INLET PROTECTION DETAIL
NO SCALE



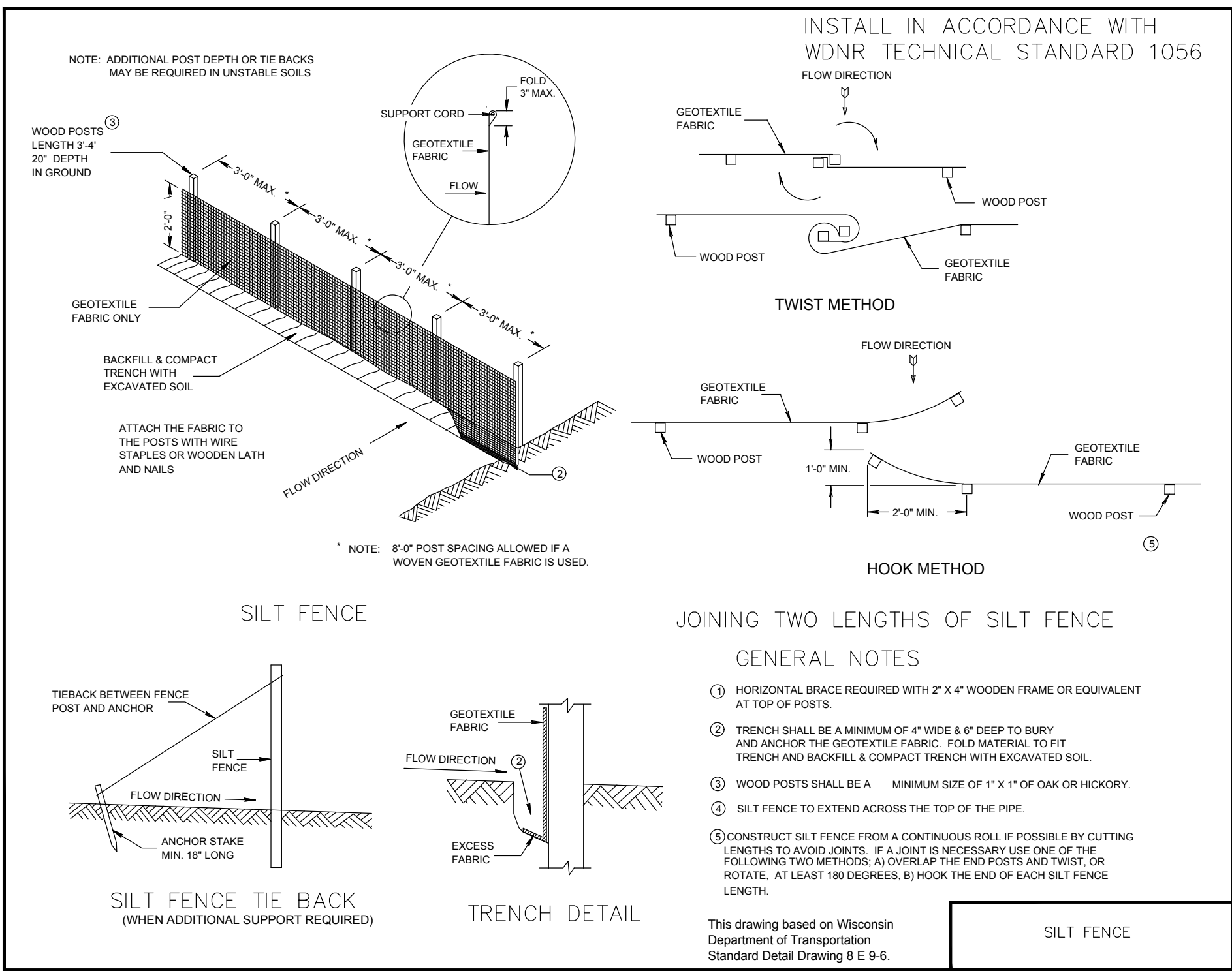
TRACKPAD DETAILS
NO SCALE

CONSTRUCTION SEQUENCE

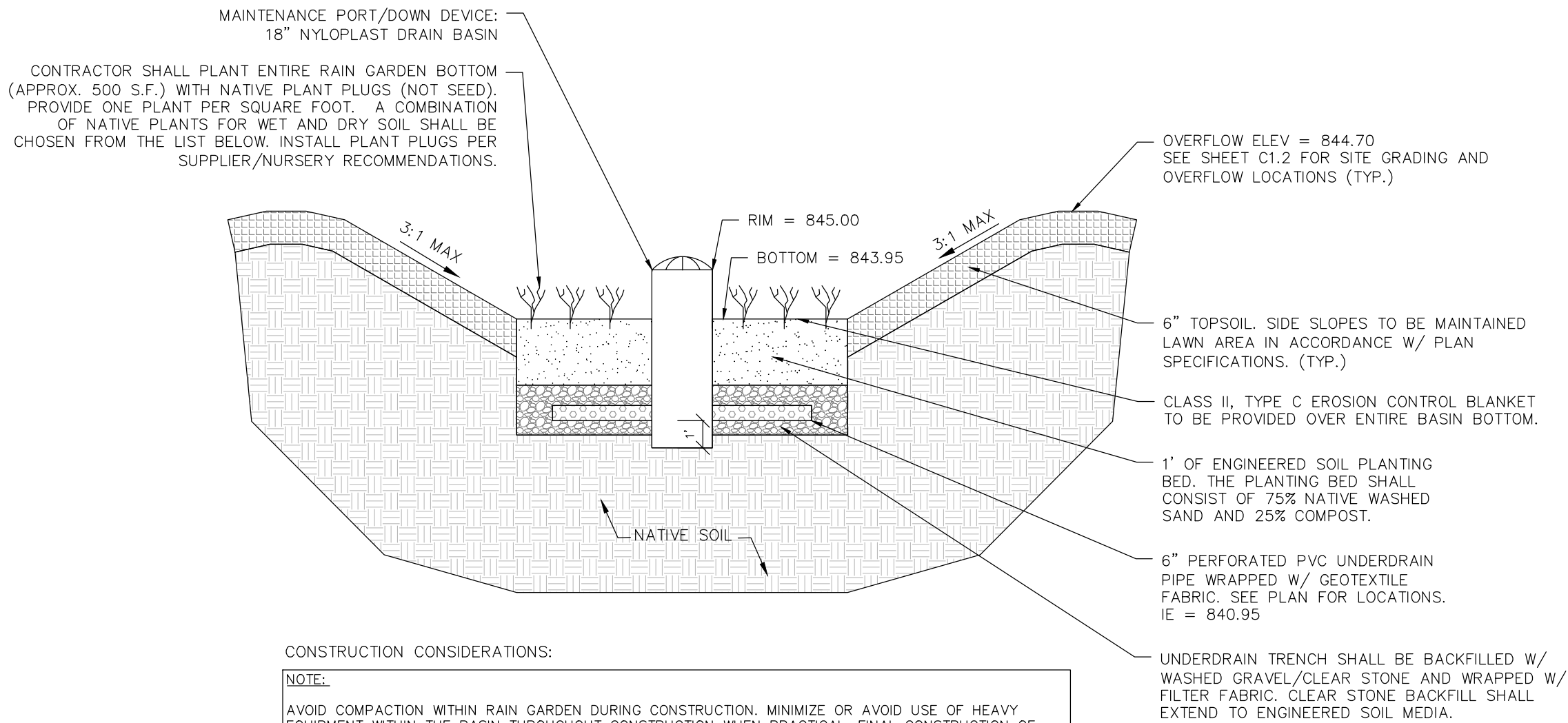
PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	<ol style="list-style-type: none">CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION.CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES.PLACE ALL SILT FENCE AND INLET PROTECTION.CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED.CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS.CONSTRUCT ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED.STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	<ol style="list-style-type: none">SITE DEMOLITION AS REQUIRED.STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR/OWNER. PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED.BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS.CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE.DIG AND POUR ALL BUILDING FOOTINGS.PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS.TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS.CONSTRUCT BUILDING.PAVE DRIVEWAYS AND PARKING AREAS.TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP AS NEEDED.ONCE SITE IS STABILIZED, FINALIZE CONSTRUCTION OF RAIN GARDEN.
3. POST CONSTRUCTION ACTION	<ol style="list-style-type: none">CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION.SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.

CIVIL DETAILS

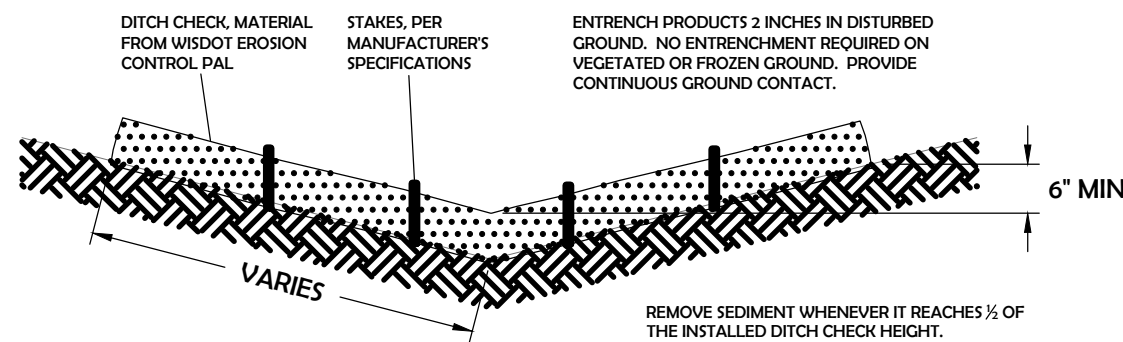


SILT FENCE – INSTALLATION DETAIL
NO SCALE



RAIN GARDEN DETAIL
NO SCALE

DITCH CHECK DETAIL
LOG-TYPE DITCH CHECK

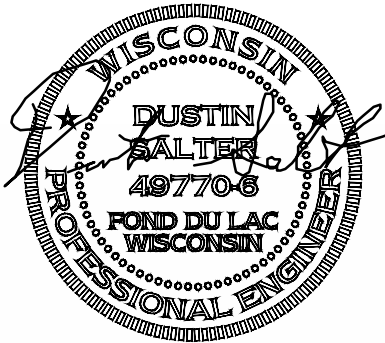


Storm Water & Erosion Control Calculations For: **Crew Carwash**

Germantown, Wisconsin

Excel Job # 230022600

FEBRUARY 12, 2024



Prepared by Dustin Salter, PE
100 Camelot Drive • Fond du Lac, WI 54935
920-926-9800 • www.excelengineer.com

Table of Contents

0.0	Introduction	1
0.1	Existing Conditions	1
0.2	Proposed Project Overview	1
0.3	Stormwater Management Applicability	1
1.0	Design Criteria	2
1.1	Soils	2
1.2	Rainfall Data	2
2.0	Stormwater Management Requirements	2
2.1	Wisconsin DNR Summary	2
2.2	Village of Germantown/MMSD Summary	2
2.3	Green Infrastructure	3
3.0	Storm Sewer Design	3
4.0	Erosion Control	3

Appendices

Appendix A: Existing Drainage Patterns

Appendix B: Green Infrastructure Drainage Exhibit

Appendix C: Storm Pipe Calculations

Appendix D: Web Soil Survey Map

Appendix E: Post Construction Operation and Maintenance Plan

0.0 Introduction

0.1 Existing Conditions

The proposed redevelopment project site is located at N96W17500 County Line Road in the Village of Germantown, Wisconsin. The project site is approximately 1 acre in size. The site is bound by Emmer Road to the south and adjacent commercial properties to the north, east, and west. The existing site currently consists of a BP gas station along with a self-serve carwash and associated paved parking and drive lanes. The existing site will be completely razed as needed for the proposed new site improvements. The site currently sheet drains from north to south where stormwater is conveyed to a roadside ditch at the south end of the property. Stormwater is eventually conveyed via culverts to the Menomonee River located directly south of County Line Road. A representation of the existing site and current drainage patterns is provided in Appendix A.

0.2 Proposed Project Overview

The proposed redevelopment project consists of constructing a new Crew Carwash facility along with associated site improvements. Site improvements include concrete parking areas, sidewalks, and drive aisles. The proposed site improvements will result in approximately 43,346 square feet (0.995 acres) of disturbed site area. Proposed drainage patterns will match the existing site drainage patterns. Stormwater will be conveyed via sheet flow to various new inlet structures that will convey stormwater to the same discharge point as the current condition at the south end of the site. Refer to the construction plan set for a representation of the proposed site and final drainage patterns.

0.3 Stormwater Management Applicability

As previously mentioned, this project site is considered a redevelopment project site as defined by WDNR standards. Since the disturbed project area is less than one acre in total site disturbance, a construction site NOI is not required and the project is exempt from the WI DNR post construction stormwater management performance standards outlined in NR 151 for redevelopment sites. The project site will therefore be required to meet the local performance standards as required by the Village of Germantown and MMSD. Furthermore, since the redevelopment project site will disturb less than two acres of land and will add between 5,000 square feet and 21,780 square feet of new impervious area, the project site will be subject to meeting the green infrastructure requirements as defined by Chapter 13 of MMSD. The below sections of this report detail how the project site meets or exceeds the applicable requirements.

1.0 Design Criteria

1.1 Soils

Site specific geotechnical investigations have not yet been completed on the project site, therefore, soil characteristics were determined by utilizing available web soil survey information. See Table 1 below for a summary of the soils and hydrologic ratings indicated by the web soil survey map. Refer to Appendix D for the associated web soil survey map. Hydrologic soil group C soils were utilized for the site storm sewer sizing calculation.

Table 1: Web Soil Survey

MAP SYMBOL	SOIL TYPE	HYDROLOGIC RATING
Cw	Colwood silt loam	C/D
MtA	Mequon silt loam	C/D
OuB	Ozaukee silt loam	C

1.2 Rainfall Data

NOAA Atlas 14, Washington County rainfall depths with an MSE3 distribution were used for the site stormwater calculations. See Table 2 below for the rainfall data used.

Table 2: NOAA Atlas 14 24-hour Rainfall Depth

DESIGN STORM	RAINFALL DEPTH (INCHES)
10-YEAR	3.82

2.0 Stormwater Management Requirements

2.1 Wisconsin DNR Summary

As previously stated, the project site will result in 43,346 square feet (0.995 acres) of disturbed site area. Therefore, a construction site NOI will not be required by WI DNR. Therefore, the performance standards relating to peak discharge, TSS removal, infiltration, etc do not apply to the proposed redevelopment project.

2.2 Village of Germantown/MMSD Summary

Since the redevelopment project site will disturb less than two acres of land and will add between 5,000 square feet and 21,780 square feet of new impervious area, the project site will be subject to meeting the green infrastructure requirements as defined by Chapter 13.302(3)(c) of MMSD.

2.3 Green Infrastructure

The redevelopment project site will utilize a rain garden BMP to meet the green infrastructure requirements as defined by Chapter 13.302(3)(c) of MMSD. A total of 432 square feet of rain garden area is required based upon the new impervious area added. The proposed rain garden will total approximately 500 square feet, therefore exceeding this requirement. See Table 3 below for a summary of the green infrastructure requirements. Refer to Appendix B for a green infrastructure drainage area exhibit. Refer to the construction plan set for design details of the proposed rain garden BMP.

Table 3. Rain Garden

Green Infrastructure Summary		
Total New Added Impervious	6093	sf
Volume Required (1/2" x New Impervious Area)	254	cf
	1899	gal
Rain Garden Area Required (Per Section 13.302(4)(b) Table)	432	sf
Rain Garden Area Provided	500	sf

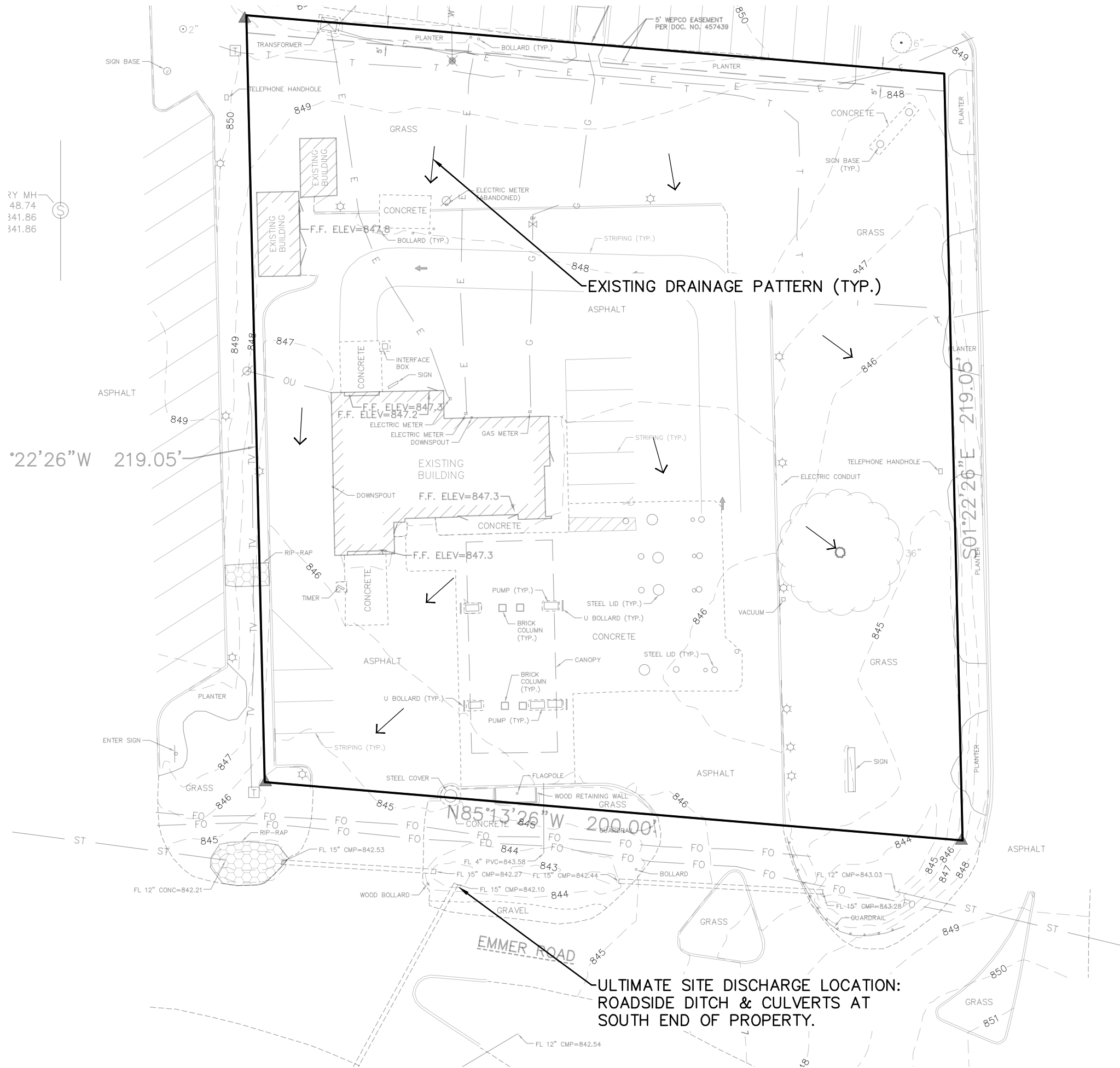
3.0 Storm Sewer Design

All storm sewer has been designed to convey the 10-year 24-hour post development storm. Additional capacity has been provided as a safety factor. See Appendix C, for pipe drainage areas and calculations

4.0 Erosion Control

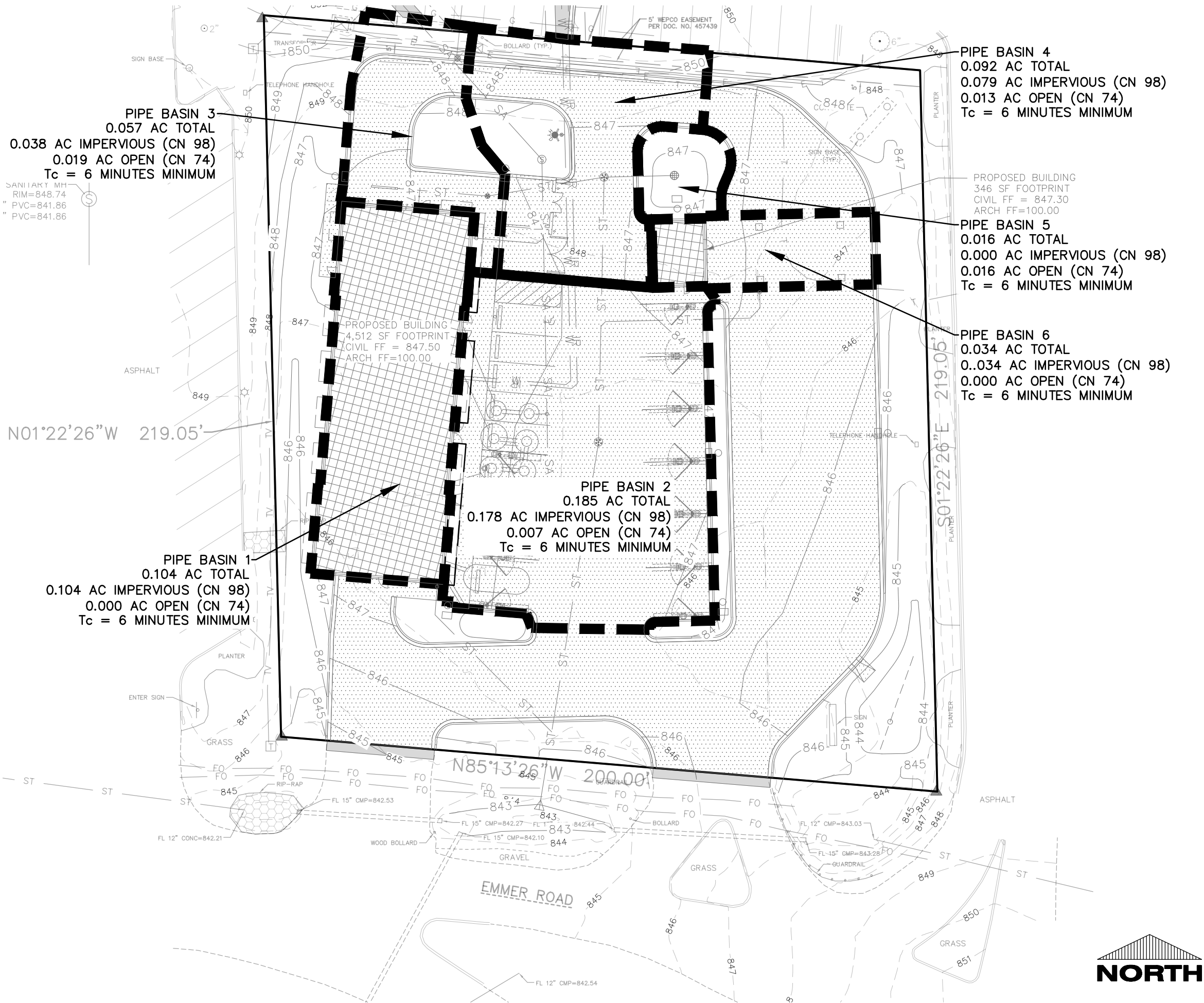
The erosion control specifications, construction sequence, site stabilization notes, seeding notes, dewatering notes, and post construction and maintenance plan will be included on sheet C0.1, C1.2, and C2.2 of the construction plan set.

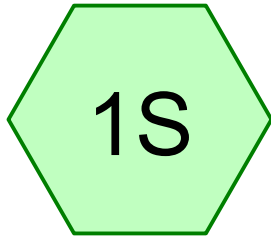
Appendix A: Existing Drainage Patterns



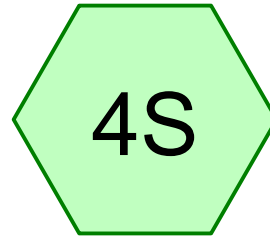
Appendix B: Green Infrastructure Drainage Exhibit

Appendix C: Storm Pipe Calculations

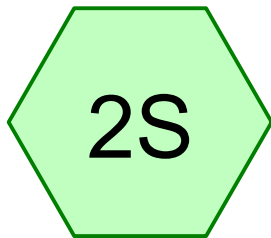




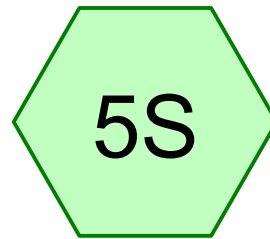
PIPE BASIN 1



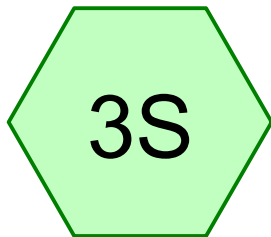
PIPE BASIN 4



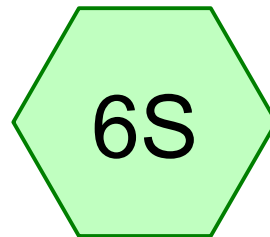
PIPE BASIN 2



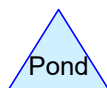
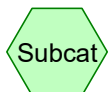
PIPE BASIN 5



PIPE BASIN 3



PIPE BASIN 6



Routing Diagram for Pipe Calculations

Prepared by {enter your company name here}, Printed 2/12/2024
HydroCAD® 10.00-21 s/n 01178 © 2018 HydroCAD Software Solutions LLC

Pipe Calculations

Prepared by {enter your company name here}

Printed 2/12/2024

HydroCAD® 10.00-21 s/n 01178 © 2018 HydroCAD Software Solutions LLC

Page 2

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.433	98	(1S, 2S, 3S, 4S, 6S)
0.055	74	(2S, 3S, 4S, 5S)
0.488	95	TOTAL AREA

Pipe Calculations

MSE 24-hr 3 10 YR Rainfall=3.82"

Prepared by {enter your company name here}

Printed 2/12/2024

HydroCAD® 10.00-21 s/n 01178 © 2018 HydroCAD Software Solutions LLC

Page 3

Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: PIPE BASIN 1	Runoff Area=0.104 ac 100.00% Impervious Runoff Depth>3.58" Tc=6.0 min CN=98 Runoff=0.57 cfs 0.031 af
Subcatchment2S: PIPE BASIN 2	Runoff Area=0.185 ac 96.22% Impervious Runoff Depth>3.47" Tc=6.0 min CN=97 Runoff=1.00 cfs 0.054 af
Subcatchment3S: PIPE BASIN 3	Runoff Area=0.057 ac 66.67% Impervious Runoff Depth>2.75" Tc=6.0 min CN=90 Runoff=0.27 cfs 0.013 af
Subcatchment4S: PIPE BASIN 4	Runoff Area=0.092 ac 85.87% Impervious Runoff Depth>3.25" Tc=6.0 min CN=95 Runoff=0.48 cfs 0.025 af
Subcatchment5S: PIPE BASIN 5	Runoff Area=0.016 ac 0.00% Impervious Runoff Depth>1.47" Tc=6.0 min CN=74 Runoff=0.04 cfs 0.002 af
Subcatchment6S: PIPE BASIN 6	Runoff Area=0.034 ac 100.00% Impervious Runoff Depth>3.58" Tc=6.0 min CN=98 Runoff=0.19 cfs 0.010 af

Total Runoff Area = 0.488 ac Runoff Volume = 0.135 af Average Runoff Depth = 3.31"
11.27% Pervious = 0.055 ac 88.73% Impervious = 0.433 ac

Pipe Calculations

Prepared by {enter your company name here}

HydroCAD® 10.00-21 s/n 01178 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10 YR Rainfall=3.82"

Printed 2/12/2024

Page 4

Summary for Subcatchment 1S: PIPE BASIN 1

Runoff = 0.57 cfs @ 12.13 hrs, Volume= 0.031 af, Depth> 3.58"

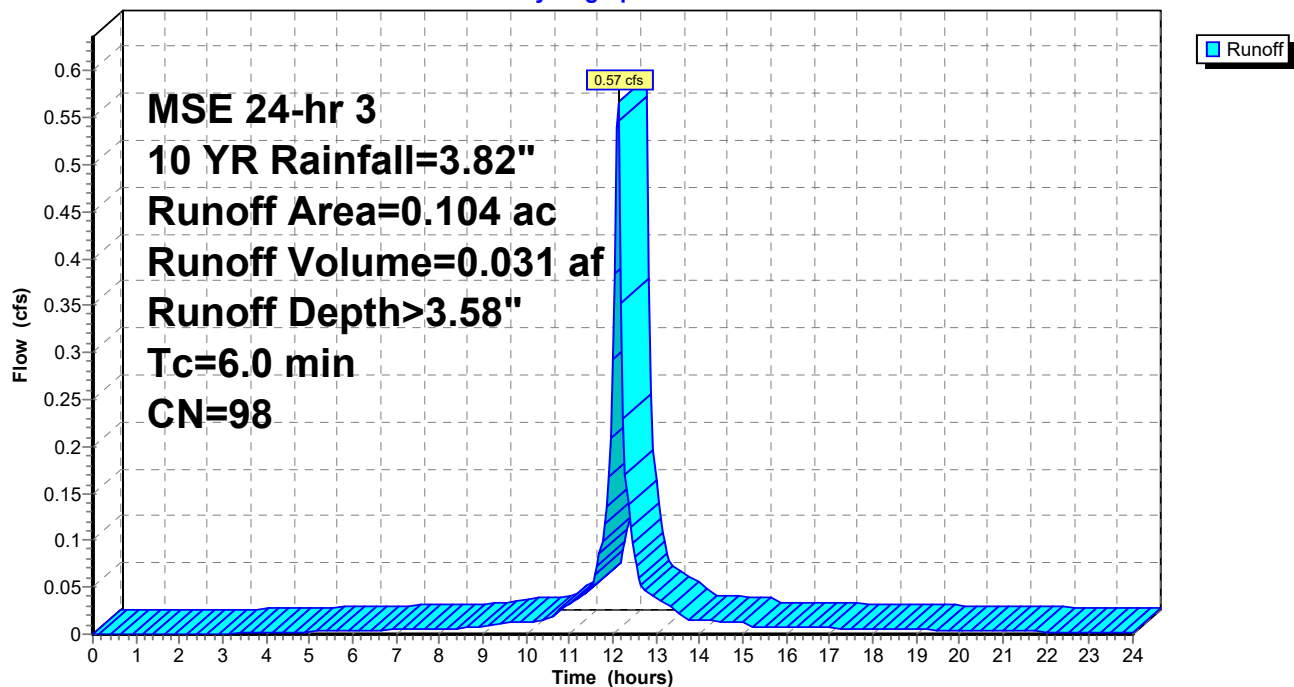
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 10 YR Rainfall=3.82"

Area (ac)	CN	Description
* 0.104	98	
0.104		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Subcatchment 1S: PIPE BASIN 1

Hydrograph



Pipe Calculations

Prepared by {enter your company name here}

HydroCAD® 10.00-21 s/n 01178 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10 YR Rainfall=3.82"

Printed 2/12/2024

Page 5

Summary for Subcatchment 2S: PIPE BASIN 2

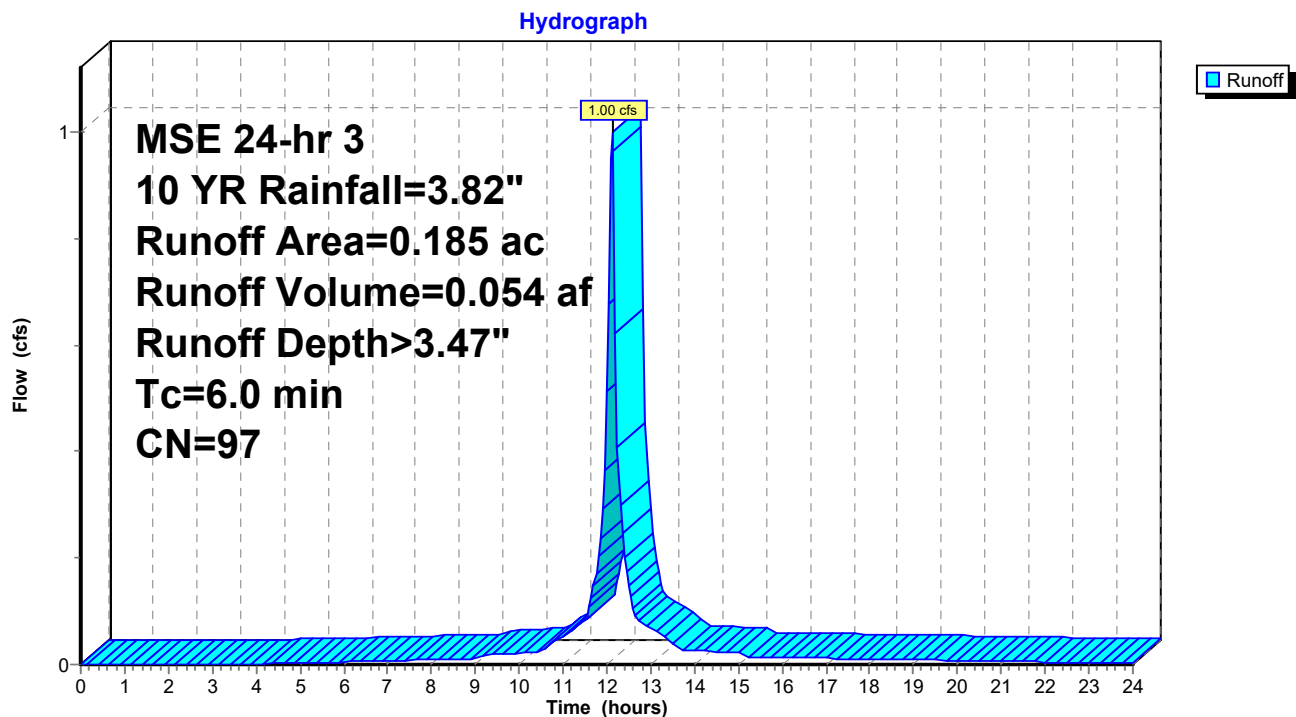
Runoff = 1.00 cfs @ 12.13 hrs, Volume= 0.054 af, Depth> 3.47"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 10 YR Rainfall=3.82"

Area (ac)	CN	Description
* 0.178	98	
* 0.007	74	
0.185	97	Weighted Average
0.007		3.78% Pervious Area
0.178		96.22% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Subcatchment 2S: PIPE BASIN 2



Pipe Calculations

Prepared by {enter your company name here}

HydroCAD® 10.00-21 s/n 01178 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10 YR Rainfall=3.82"

Printed 2/12/2024

Page 6

Summary for Subcatchment 3S: PIPE BASIN 3

Runoff = 0.27 cfs @ 12.13 hrs, Volume= 0.013 af, Depth> 2.75"

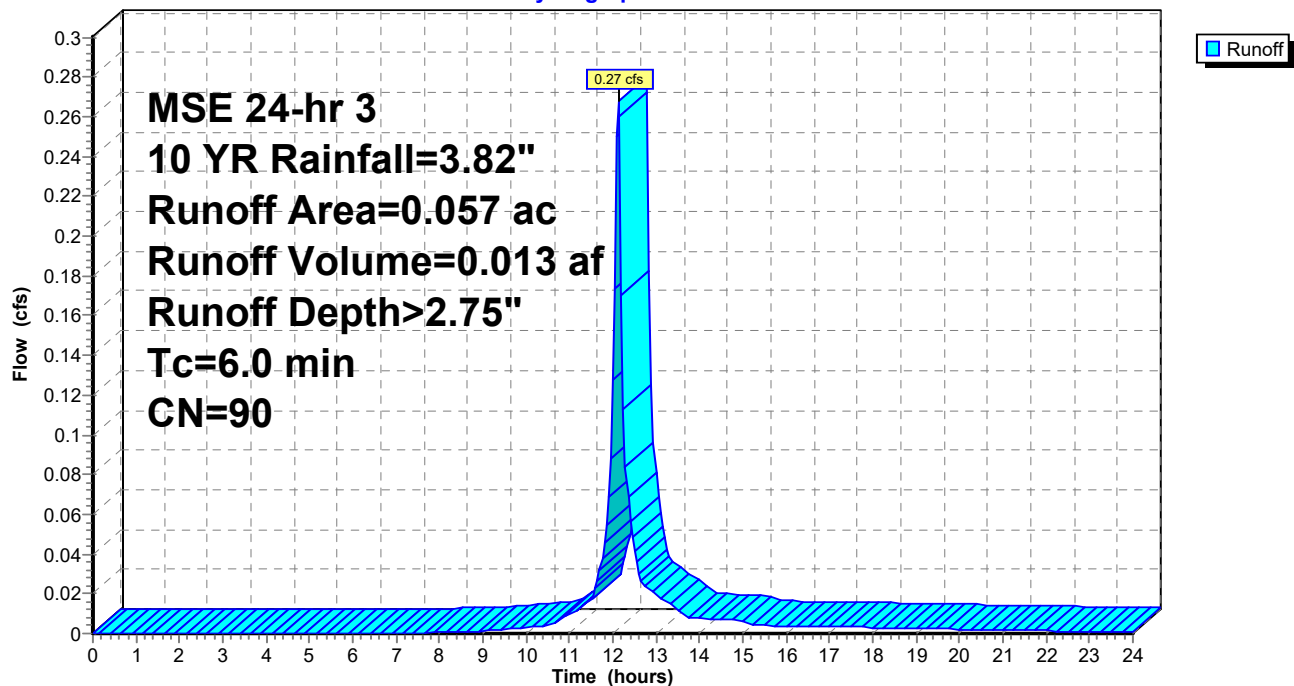
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 10 YR Rainfall=3.82"

	Area (ac)	CN	Description
*	0.038	98	
*	0.019	74	
	0.057	90	Weighted Average
	0.019		33.33% Pervious Area
	0.038		66.67% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Subcatchment 3S: PIPE BASIN 3

Hydrograph



Pipe Calculations

Prepared by {enter your company name here}

HydroCAD® 10.00-21 s/n 01178 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10 YR Rainfall=3.82"

Printed 2/12/2024

Page 7

Summary for Subcatchment 4S: PIPE BASIN 4

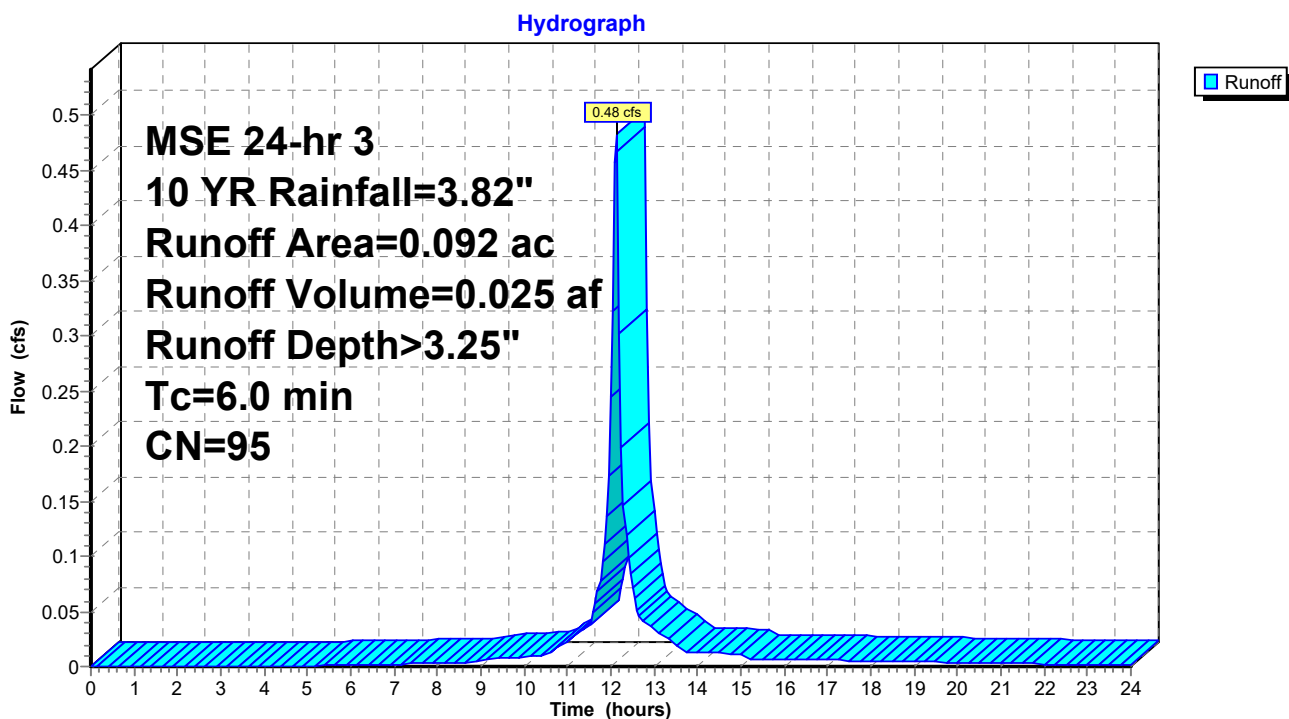
Runoff = 0.48 cfs @ 12.13 hrs, Volume= 0.025 af, Depth> 3.25"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 10 YR Rainfall=3.82"

	Area (ac)	CN	Description
*	0.079	98	
*	0.013	74	
	0.092	95	Weighted Average
	0.013		14.13% Pervious Area
	0.079		85.87% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Subcatchment 4S: PIPE BASIN 4



Pipe Calculations

Prepared by {enter your company name here}

HydroCAD® 10.00-21 s/n 01178 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10 YR Rainfall=3.82"

Printed 2/12/2024

Page 8

Summary for Subcatchment 5S: PIPE BASIN 5

Runoff = 0.04 cfs @ 12.14 hrs, Volume= 0.002 af, Depth> 1.47"

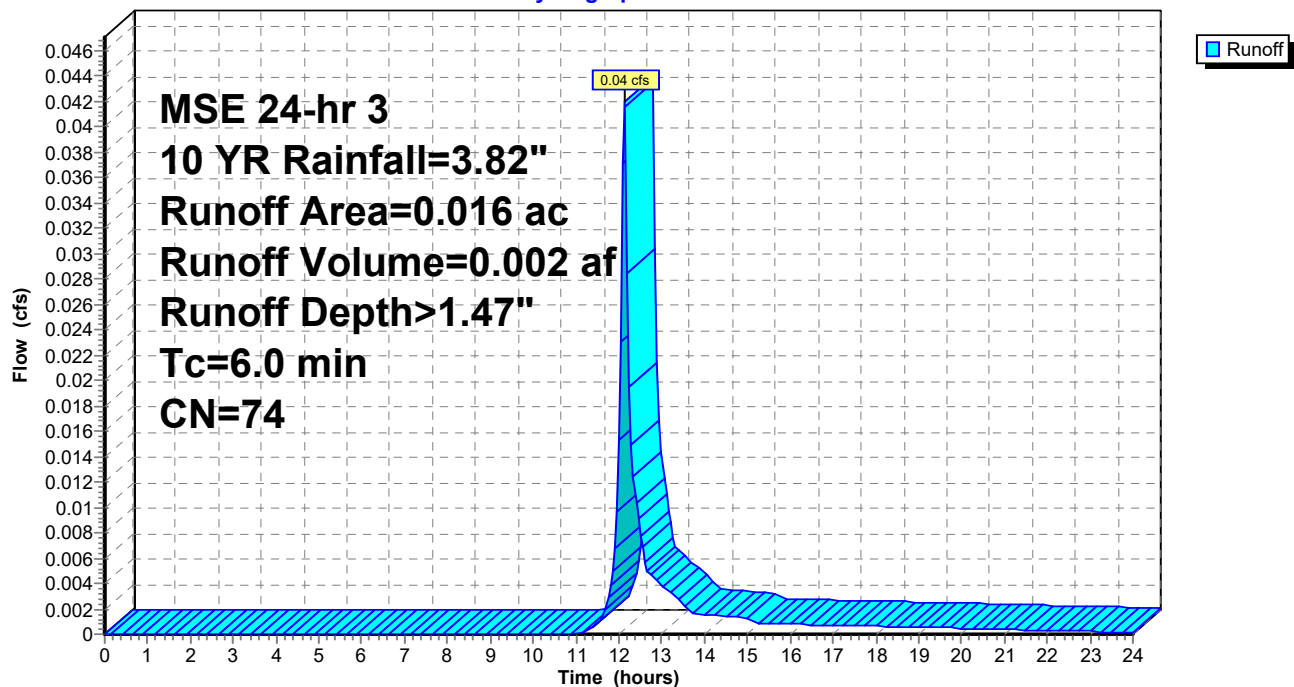
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 10 YR Rainfall=3.82"

Area (ac)	CN	Description
* 0.016	74	
0.016		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Subcatchment 5S: PIPE BASIN 5

Hydrograph



Pipe Calculations

Prepared by {enter your company name here}

HydroCAD® 10.00-21 s/n 01178 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10 YR Rainfall=3.82"

Printed 2/12/2024

Page 9

Summary for Subcatchment 6S: PIPE BASIN 6

Runoff = 0.19 cfs @ 12.13 hrs, Volume= 0.010 af, Depth> 3.58"

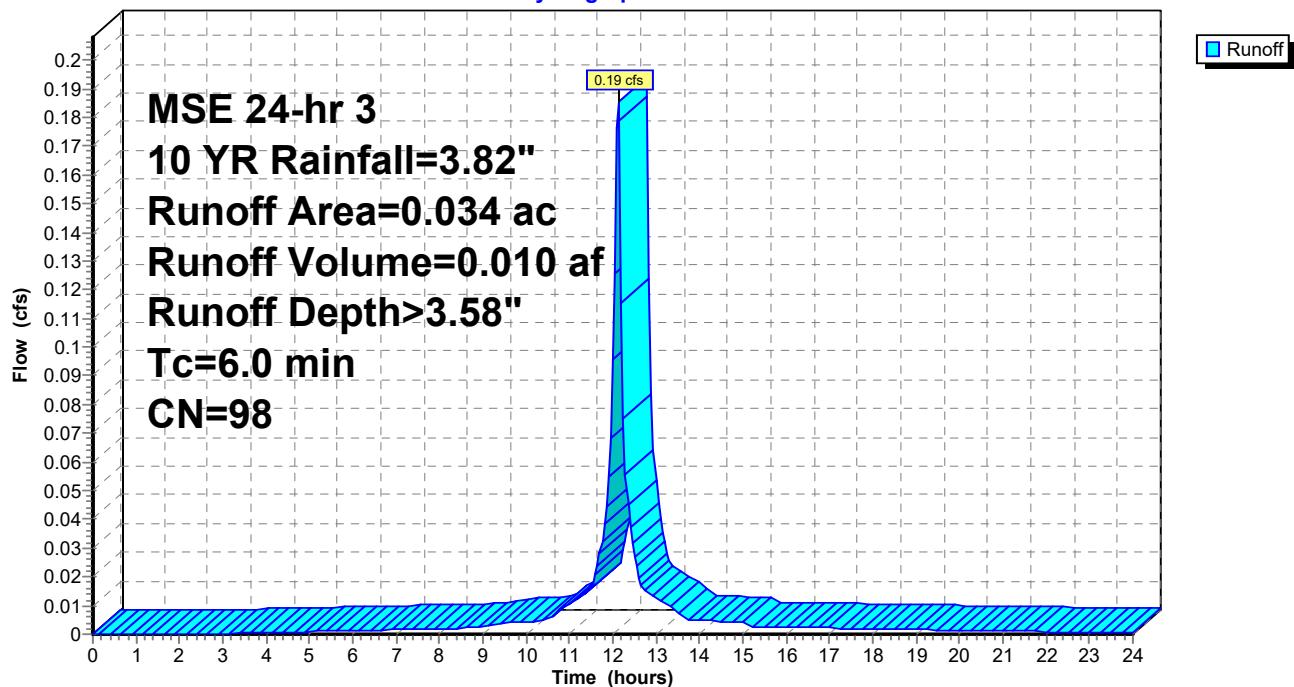
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 10 YR Rainfall=3.82"

Area (ac)	CN	Description
* 0.034	98	
0.034		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Subcatchment 6S: PIPE BASIN 6

Hydrograph



Excel Engineering Project No. 230022600

Project Name Crew Carwash - Germantown

Pipe Data				Pipe Capacity (10-yr)				
Pipe ID	Diameter (FT)	Slope (FT/FT)	Manning's n	Contributing Basin Numbers	Total Flow (cfs)	Total Flow (gpm)	Full Flow Capacity (cfs)	Full Flow Capacity (gpm)
A	1	0.0053	0.012	1,2,3,4,5,6	2.55	1144	2.82	1264
B	0.67	0.0150	0.012	1	0.57	256	1.63	731
C	1	0.0050	0.012	3,4,5,6	0.98	440	2.74	1228
D	0.67	0.0050	0.012	6	0.19	85	0.94	422
E	0.83	0.0040	0.012	5	0.04	18	1.49	668
F	0.67	0.0055	0.012	3	0.27	121	0.99	443
G	0.67	0.0055	0.012	3	0.27	121	0.99	443

Full Flow Capacity based off Manning's Equation

$$Q = \frac{1.49}{n} R^{2/3} S^{1/2} a$$

Where: Q = Full Flow Capacity of Pipe (cfs)
n = manning's roughness coefficient
R = hydraulic radius (ft) (D/4)
s = hydraulic gradient, slope (ft/ft)
a = flow area (sq. ft.)

Typical Manning's n

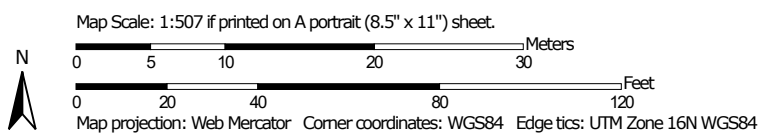
HDPE 0.012
PVC 0.012
Concrete 0.013
CMP 0.024

Pipe Basin Number	10 Yr Flow (cfs)
1	0.57
2	1.00
3	0.27
4	0.48
5	0.04
6	0.19

*Total Flow calculated via TR-55 hydrologic calculations. Reference Storm Pipe Basin Map & TR-55 Calculations

Appendix D: Web Soil Survey Map









Hydrologic Soil Group—Washington County, Wisconsin



MAP LEGEND**Area of Interest (AOI)**
 Area of Interest (AOI)
Soils**Soil Rating Polygons**





-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available


Soil Rating Lines






-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available


Soil Rating Points

-  A
-  A/D
-  B
-  B/D

-  C
-  C/D
-  D
-  Not rated or not available

Water Features
 Streams and Canals
Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background
 Aerial Photography
MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Washington County, Wisconsin
Survey Area Data: Version 23, Sep 8, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 4, 2022—Sep 13, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
Cw	Colwood silt loam, 0 to 2 percent slopes	C/D	0.1	10.6%
MtA	Mequon silt loam, 1 to 3 percent slopes	C/D	1.1	89.0%
OuB	Ozaukee silt loam, high carbonate substratum, 2 to 6 percent slopes	C	0.0	0.4%
Totals for Area of Interest			1.2	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Appendix E: Post Construction Operation and Maintenance Plan

The owner of the property affected shall inspect and maintain the following stormwater management systems frequently, especially after heavy rainfalls, but at least on an annual basis unless otherwise specified.

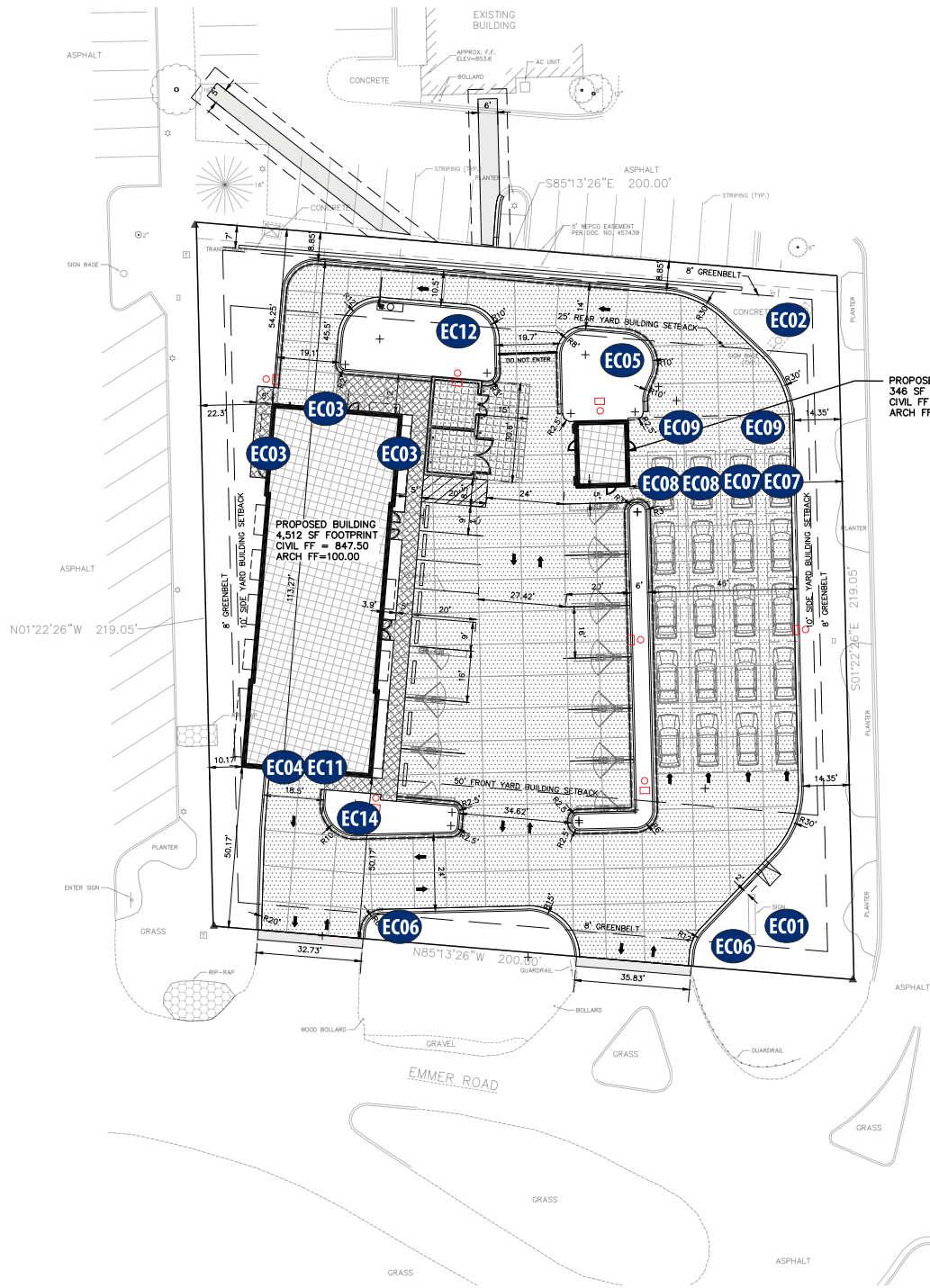
STORMWATER FACILITY	TYPE OF ACTION
1. Lawn and Landscaped Areas	All lawn areas shall be kept clear of any materials that block the flow of stormwater. Rills and small gullies shall immediately be filled and seeded or have sod placed in them. The lawn shall be kept mowed, tree seedlings shall be removed, and litter shall be removed from landscaped areas.
2. Swales	All grassed swales showing signs of erosion, scour, or channelization shall be repaired, reinforced, and revegetated immediately. All swales shall be repaired to the original plan requirements. Mowing shall take place no less than twice per year at a height of no less than three inches. Grasses shall not be allowed to grow to a height that permits branching or bending. Mowing shall only take place when the ground is dry and able to support machinery.
3. Rip Rap	All rip rap showing signs of erosion or scour shall be repaired and reinforced immediately. Rip rap should be kept clean of vegetation and sediment. All rip rap shall be repaired to the construction plan requirements.
4. Catch Basin/Curb Inlet Grates	The grate openings to these structures must be kept cleared of any clogging or the blocking of stormwater flow.
5. Rain Garden	During the first 2-3 months of establishment, the garden will require, at a minimum, watering on a weekly basis depending on weather. Visual inspections of the garden shall be performed annually at a minimum and more frequently during establishment. Maintenance shall be required when standing water occurs 3 days after a rain event. Rain garden can be dewatered by utilizing a submersible pump in the maintenance port/drawdown device. Maintenance shall consist of the removal of sediment, and a 2 foot undercut. Replace the undercut material with 1/3 topsoil, 1/3 compost, and 1/3 sand. Restoration of plant material shall be by plugging 1 native perennial per square foot, not by seeding. In the spring of each growing year, dead vegetation shall be removed to allow for new growth. At least 2 times during the growing season, the garden should be weeded and additional hardwood mulch shall be added as needed to assist in weed suppression.
6. Record of Maintenance	The operation and maintenance plan shall remain onsite and be available for inspection when requested by the local governing agency. When requested, the owner shall make available for inspection all maintenance records to the department or agent for the life of the system.



GERMANTOWN, WI



SITE MAP



NOTE:
CONTRACTOR TO COORDINATE WITH OWNER AND MEP PLANS FOR ANY EXTERIOR HEATED CONCRETE SLAB LOCATIONS & REQUIREMENTS.

NOTE:
KNOX BOX TO BE PROVIDED AT PRIMARY ENTRANCE PER LOCAL REQUIREMENTS. CONTRACTOR TO COORDINATE W/ BUILDING INSPECTOR/FIRE DEPARTMENT FOR SPECIFIC REQUIREMENTS.

PAVEMENT HATCH KEY:

- ASPHALT
- HEAVY DUTY CONCRETE
- DUMPSTER PAD CONCRETE
- SIDEWALK CONCRETE

*SEE SHEET C0.1 FOR SECTION REQUIREMENTS

CURB & GUTTER MARKING KEY:

- INVERTED CURB & GUTTER
- SHEDDING CURB & GUTTER

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

SITE INFORMATION:
PROPERTY ADDRESS: N96W17500 COUNTY LINE RD, GERMANTOWN WI
PARCEL ID NUMBER: 334990
PROPERTY AREA: 43,558 S.F. (1.00 ACRES).
EXISTING ZONING: B-5 W/ HIGHWAY INTERCHANGE AREA OVERLAY
PROPOSED ZONING: B-5 W/ HIGHWAY INTERCHANGE AREA OVERLAY
PROPOSED USE: CONVEYOR-STYLE CARWASH
AREA OF SITE DISTURBANCE: 43,346 SF (0.995 AC)
SETBACKS: BUILDING: FRONT = 50'
SIDE = 10'
REAR = 25'
PAVEMENT: FRONT = 8'
SIDE = 8'
REAR = 8'
PROPOSED BUILDING HEIGHT: 35' TO TOP OF TOWER (MAX. HEIGHT ALLOWED: 35')
PARKING REQUIRED: NO CODIFIED REQUIREMENT FOR CARWASH USE; ADEQUATE SPACE FOR EMPLOYEES AND CUSTOMERS
PARKING PROVIDED: 14 TOTAL (5 STANDARD EMPLOYEE SPACES, 9 VACUUM SPACES)
HANDICAP STALLS REQUIRED: 1 REQUIRED, 1 PROVIDED
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO = 20% OPEN AREA



PROPOSED CAR WASH FOR:
CREW CARWASH
N96 W17500 COUNTY LINE RD • GERMANTOWN, WI 53022

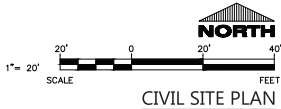
PROFESSIONAL SEAL

PRELIMINARY DATES
FEB. 1, 2024
FEB. 5, 2024

JOB NUMBER
230022600

SHEET NUMBER
C1.1

NOT FOR CONSTRUCTION



SIGN SPECIFICATIONS

EC01 EXISTING MONUMENT

EC02 EXISTING PYLON

EC03 3 CHANNEL LETTERS

EC04 EXIT CHANNEL LETTERS

EC05 DIGITAL MENU BOARD

EC06 2 DIRECTIONAL SIGNS

EC07 2 UNLIMITED CLUB SETS

EC08 2 CASHIER SETS

EC09 4 SNAP FRAMES

EC10 2 SPECIAL SERVICE SIGNS

EC11 CLEAN CAR EXIT

EC12 WE ARE RESPONSIBLE SIGN

EC13 CLEARANCE BAR

EC14 VACUUMS SIGN

EC15 COMING SOON SITE SIGN



COLOR SPECIFICATIONS:

- | | |
|---|---|
| A | F |
| B | G |
| C | H |
| D | I |
| E | J |

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP:
CB

DATE:
01/29/2024

DESIGNER:
JR

REVISION DATE:

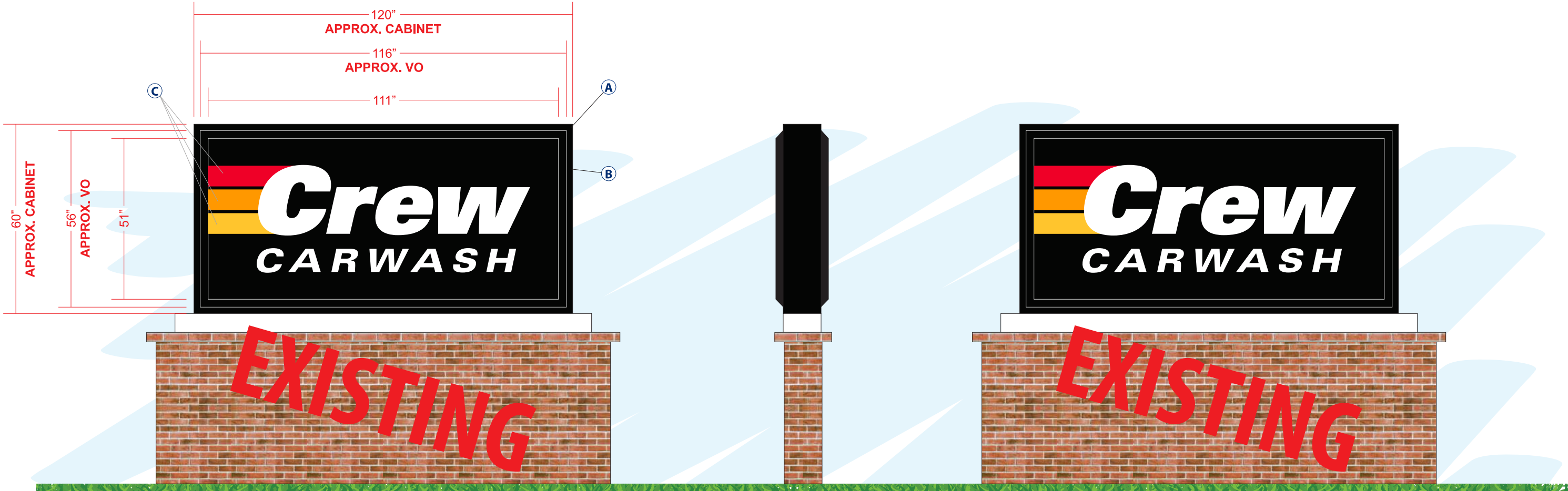
PERMIT INFORMATION:
N/A

FINAL DATE & BY:

SHEET #:

0/0

EC01



*NOTE: A SURVEY IS NEEDED TO DETERMINE SIZE OF NEW FACES

*NOTE: CABINET TO BE REPAINTED BLACK

FABRICATE AND INSTALL QTY 2 NEW FACES FOR EXISTING D/F MONUMENT SIGN

FACES

MATERIAL - PAN FORMED, EMBOSSED PLASTIC TO MATCH SPECS

FLANGE - 2 1/2"

PAN DEPTH - 2"

INSTALLATION - MOUNTED INTO RIGID RETAINERS

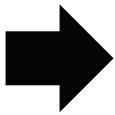


PHOTO SCALE: 3/16" = 1' - 0"



COLOR SPECIFICATIONS:

A BLACK BODY

B BLACK RETAINERS

C MATCH COLOR SAMPLE

D

E

F

G

H

I

J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP:
CB

DATE:
01/29/2024

DESIGNER:
JR

REVISION DATE:

PERMIT INFORMATION:
N/A

FINAL DATE & BY:

SHEET #:

1/15

EC02



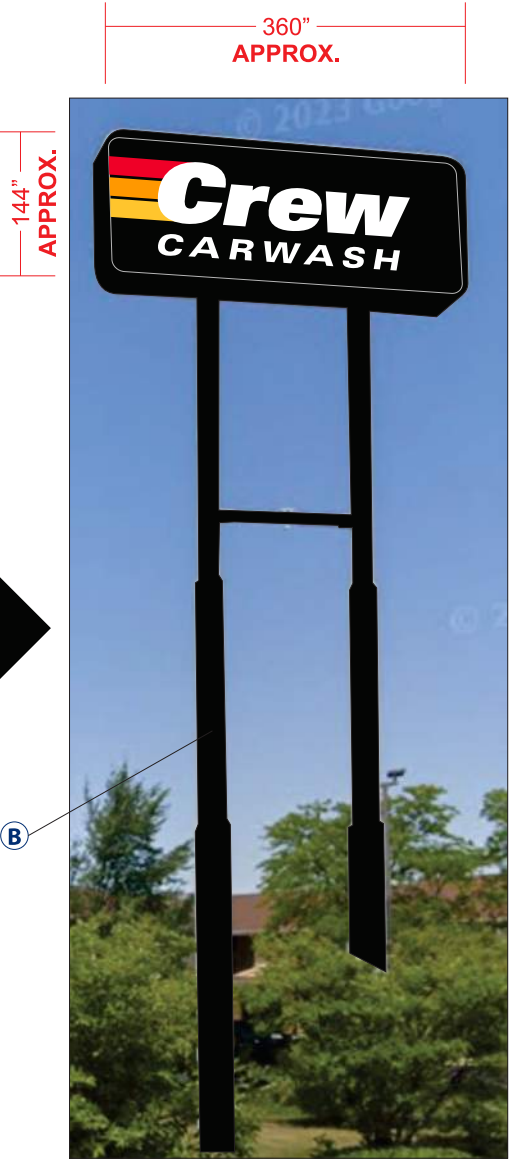
*NOTE: A SURVEY IS NEEDED TO DETERMINE SIZE OF NEW FACES


*NOTE: PYLON TO BE REPAINTED BLACK

FABRICATE AND INSTALL QTY 2 NEW FACES FOR EXISTING D/F PYLON SIGN

FACES
MATERIAL - FLEX FACE MATERIAL PRINTED TO MATCH SPECS

INSTALLATION - MOUNTED INTO EXISTING RIGID RETAINERS





WORLD SIGN ASSOCIATES

SCIA

UL

UL

UL

UL

COLOR SPECIFICATIONS:

A

DIG. PRINT

F

B

MP BLACK

G

C

H

D

I

E

J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP:

CB

DATE:

01/29/2024

DESIGNER:

JR

REVISION DATE:

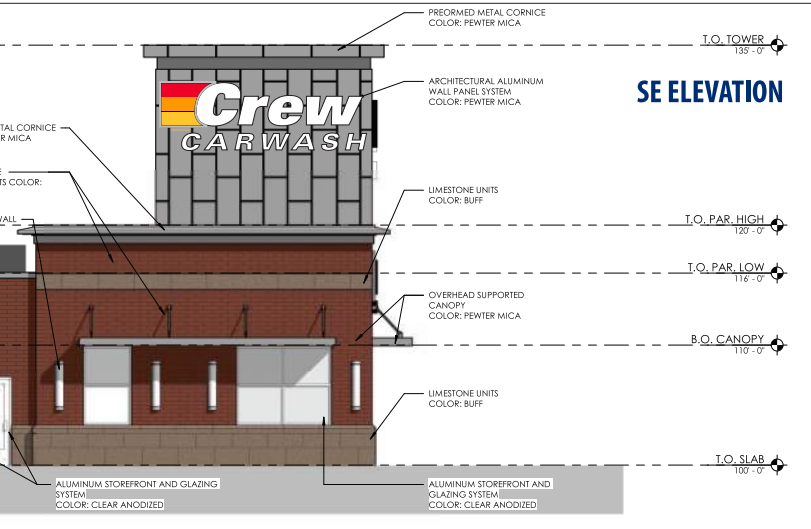
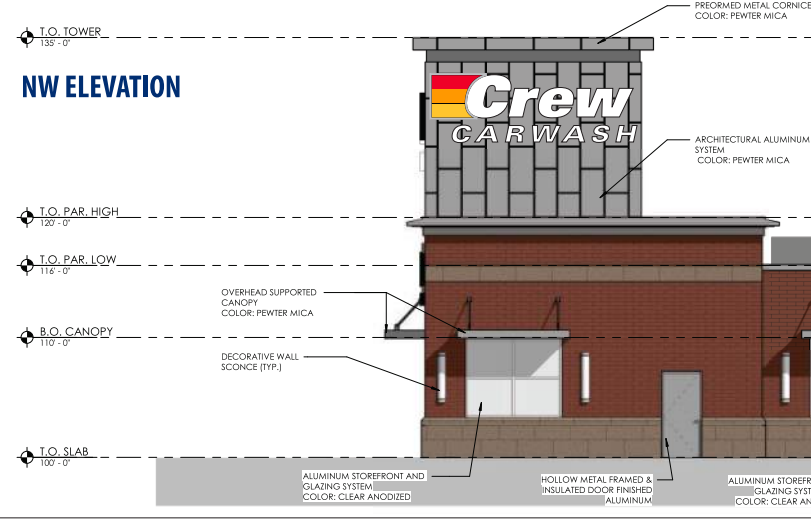
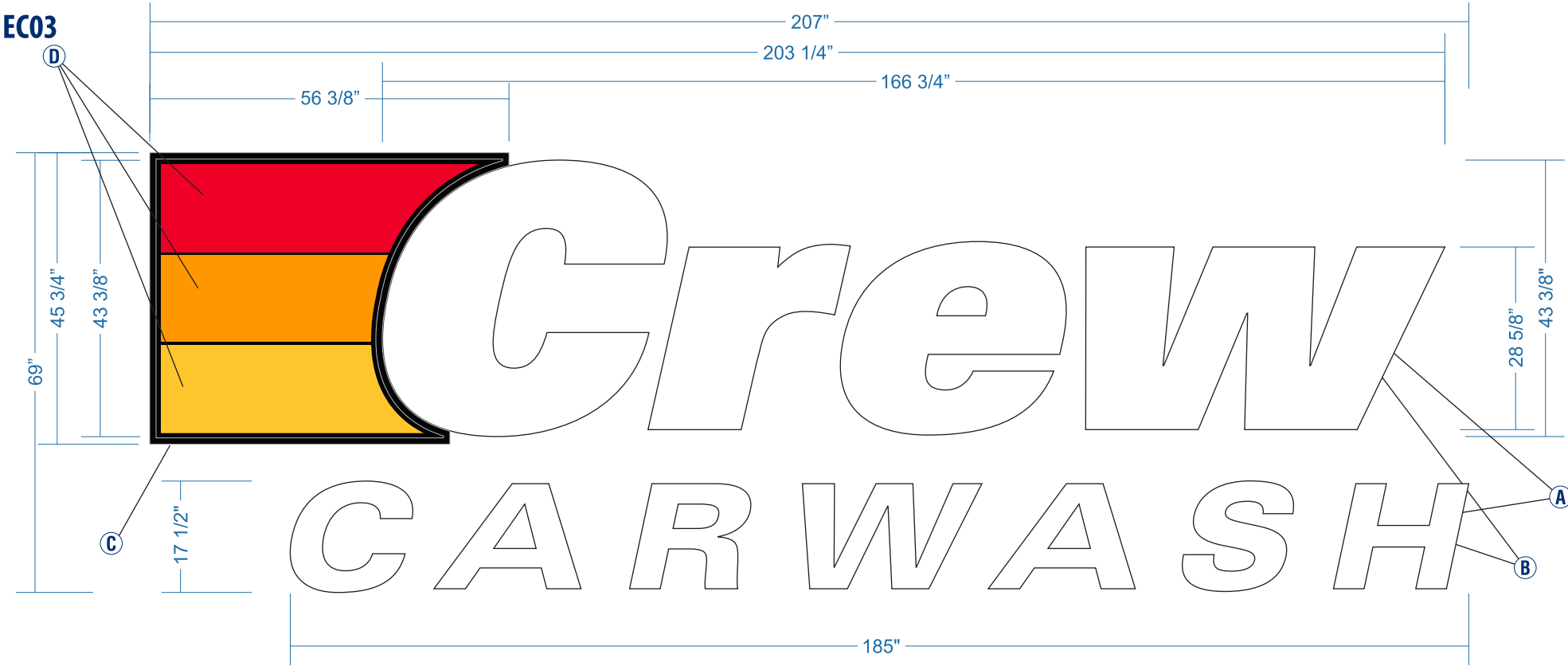
PERMIT INFORMATION:

N/A

FINAL DATE & BY:

SHEET #:

2/15



FABRICATE AND INSTALL QTY 3 INTERNALLY ILLUMINATED FACE-LIT BUILDING SIGNS

RIBBON CABINET
BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM
RETURNS - 3" TO MATCH SPECS
RETAINERS - 1" RIGID RETAINERS TO MATCH SPECS
LEDS - WHITE - **ADD EXTRA LEDS**

INSTALLATION - MOUNTED FLUSH TO FASCIA

RIBBON FACES
MATERIAL - PAN FORMED, EMBOSSED PLASTIC PAINTED
SECOND SURFACE TO MATCH SPECS
FLANGE - 1 1/4"
PAN DEPTH - 1"

INSTALLATION - MOUNTED INTO RIGID RETAINERS

"CREW" & "CARWASH"
FACES - 1/8" 2447 WHITE ACRYLIC
RETURNS - 4" TO MATCH SPECS
TRIM CAPS - 1" TO MATCH SPECS
BACKS - .063 ALUMINUM
LEDS - WHITE

INSTALLATION - MOUNTED FLUSH TO FASCIA

PHOTO SCALE: 1/16" = 1' - 0"



COLOR SPECIFICATIONS:

- A BLACK RETURNS
- B BLACK TRIM CAPS
- C BLACK RETAINERS
- D MATCH COLOR SAMPLE
- E

- F
- G
- H
- I
- J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP:
CB

DATE:
01/29/2024

DESIGNER:
JR

REVISION DATE:

PERMIT INFORMATION:
N/A

FINAL DATE & BY:

SHEET #:

3/15



FABRICATE AND INSTALL QTY 1 INTERNALLY ILLUMINATED FACE-LIT BUILDING SIGN

RIBBON CABINET

BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM
RETURNS - 3" TO MATCH SPECS
RETAINERS - 1" RIGID RETAINERS TO MATCH SPECS
LEDS - WHITE - **ADD EXTRA LEDS**

INSTALLATION - MOUNTED FLUSH TO FASCIA

RIBBON FACES

MATERIAL - PAN FORMED, EMBOSSED PLASTIC PAINTED
SECOND SURFACE TO MATCH SPECS
FLANGE - 1 1/4"
PAN DEPTH - 1"

INSTALLATION - MOUNTED INTO RIGID RETAINERS

"CREW" & "CARWASH"

FACES - 1/8" 2447 WHITE ACRYLIC
RETURNS - 4" TO MATCH SPECS
TRIM CAPS - 1" TO MATCH SPECS
BACKS - .063 ALUMINUM
LEDS - WHITE

INSTALLATION - MOUNTED FLUSH TO FASCIA



PHOTO SCALE: 1/16" = 1' - 0"



COLOR SPECIFICATIONS:

- A BLACK RETURNS
- B BLACK TRIM CAPS
- C BLACK RETAINERS
- D MATCH COLOR SAMPLE
- E

- F
- G
- H
- I
- J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP:
CB

DATE:
01/29/2024

DESIGNER:
JR

REVISION DATE:

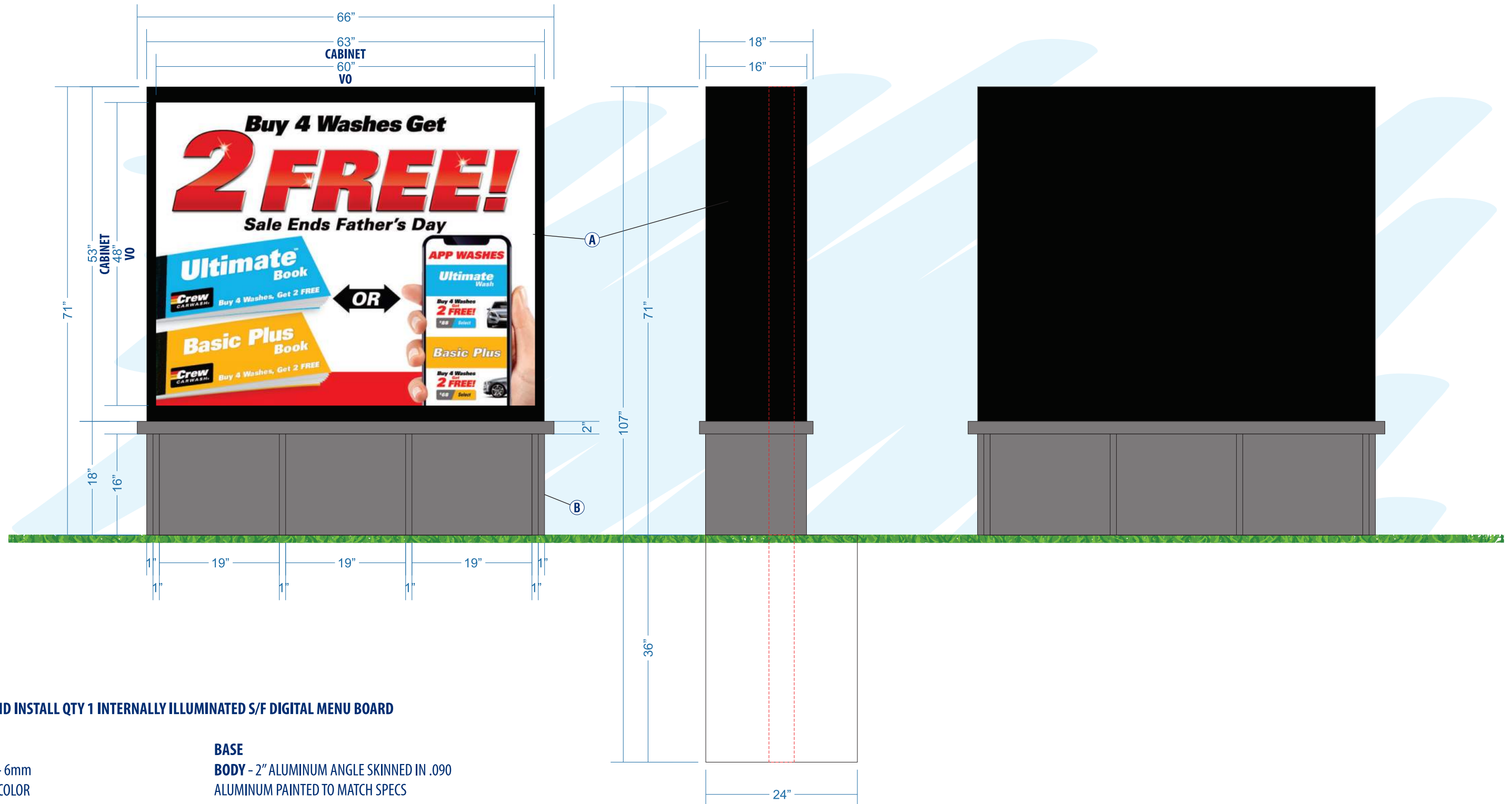
PERMIT INFORMATION:
N/A

FINAL DATE & BY:

SHEET #:

4/15

EC05



EMC	BASE
RESOLUTION - 6mm	BODY - 2" ALUMINUM ANGLE SKINNED IN .090
COLOR - FULL COLOR	ALUMINUM PAINTED TO MATCH SPECS
DEPTH - 5"	REVEAL DEPTH - 1"

INSTALLATION - MOUNTED TO SIGN BASE & POST



A MP BLACK

B MP18170 TI. GREY MET

C _____

D _____

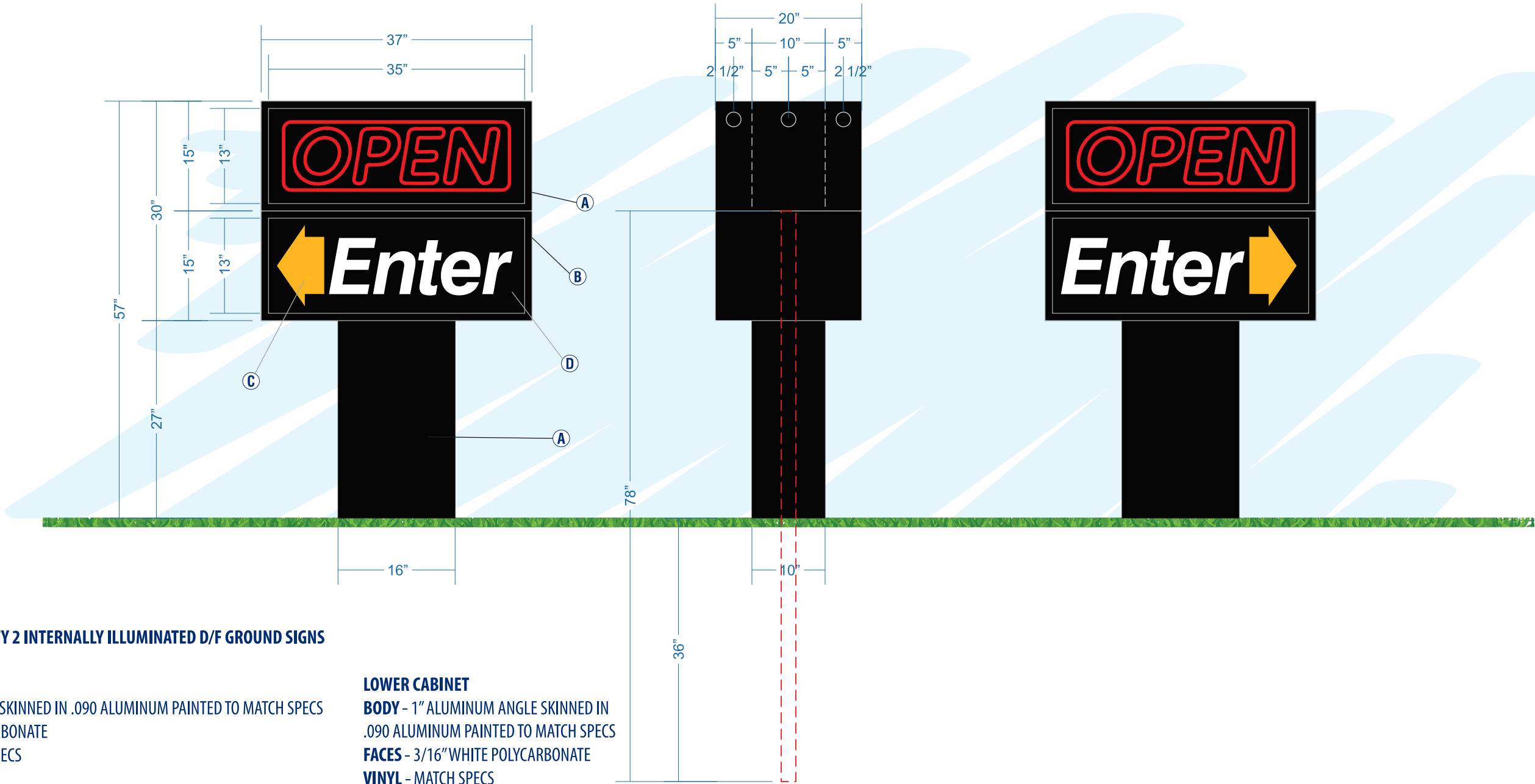
E _____

F
G
H
I
J

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

5 / 15

EC06



FABRICATE AND INSTALL QTY 2 INTERNALLY ILLUMINATED D/F GROUND SIGNS

UPPER CABINET

BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM PAINTED TO MATCH SPECS
FACES - 3/16" CLEAR POLYCARBONATE
RETAINERS - 1" TO MATCH SPECS
NEON - 12 MM RED

INSTALLATION - BAFFLE & DIVIDER NEEDED BETWEEN TOP AND BOTTOM CABINETS

BASE

BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM PAINTED TO MATCH SPECS

INSTALLATION - INSTALLED AROUND 2" SQ ALUMINUM POST BURIED INTO GRADE

LOWER CABINET

BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM PAINTED TO MATCH SPECS
FACES - 3/16" WHITE POLYCARBONATE
VINYL - MATCH SPECS
RETAINERS - 1" TO MATCH SPECS

INSTALLATION - MOUNTED TO BASE & POST



COLOR SPECIFICATIONS:

- A MP BLACK
- B MP BLACK RETAINERS
- C ORACAL 8500-020 GOLDEN YELLOW
- D ORACAL 651-070 BLACK
- E

- F
- G
- H
- I
- J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP:
CB

DATE:
01/29/2024

DESIGNER:
JR

REVISION DATE:

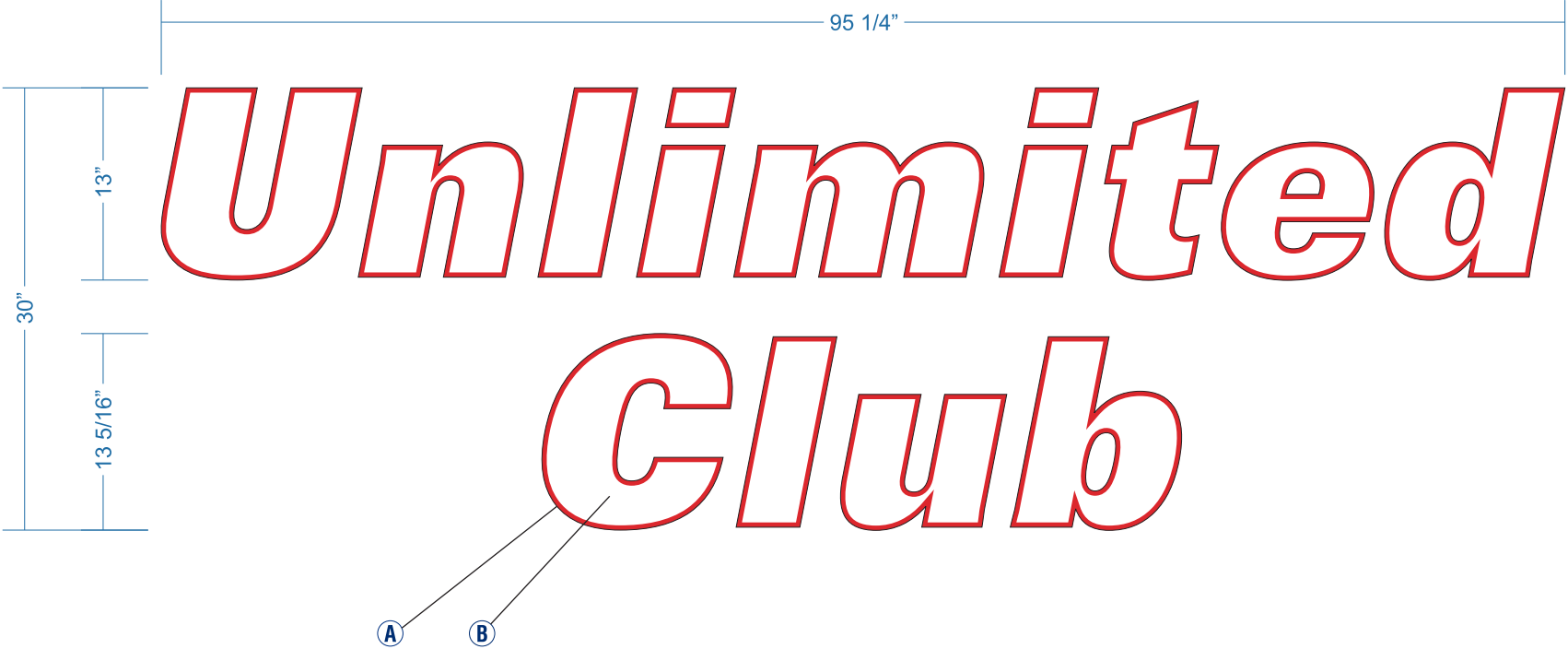
PERMIT INFORMATION:
N/A

FINAL DATE & BY:

SHEET #:

6/15

EC07



FABRICATE AND INSTALL QTY 2 NON-ILLUMINATED LETTER SETS

FACES - 1" WHITE PVC PAINTED TO MATCH SPECS
VINYL - MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO CANOPY



PHOTO SCALE: 1/8" = 1' - 0"

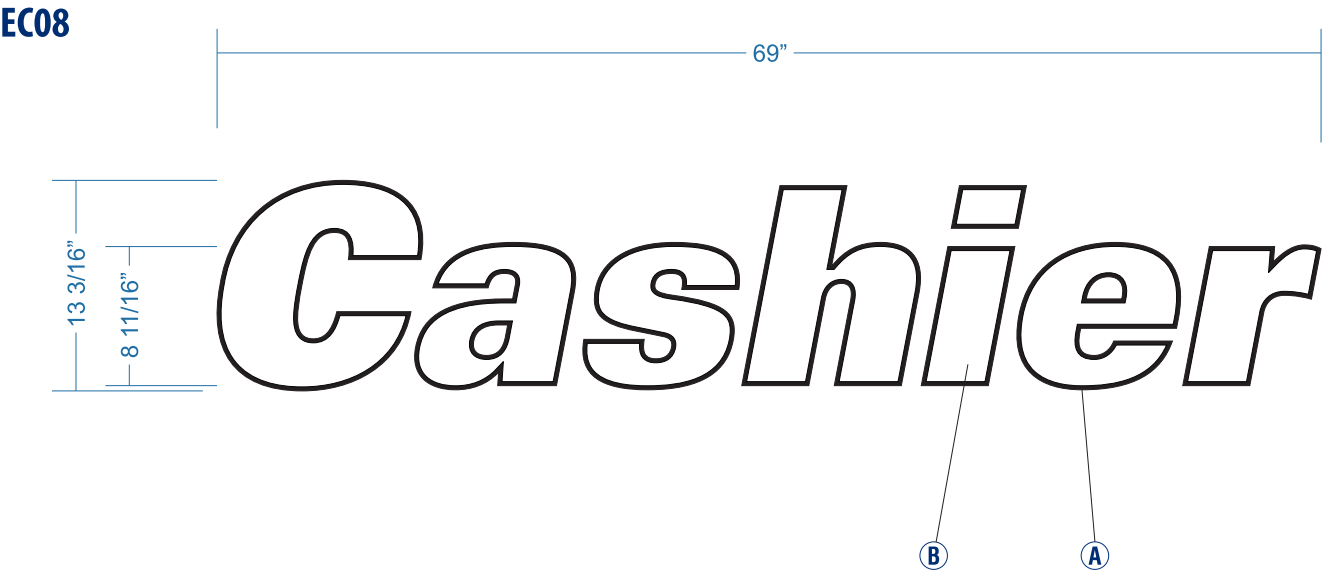
COLOR SPECIFICATIONS:

A PMS 1795 C RED	F
B ORACAL 651-010 WHITE	G
C	H
D	I
E	J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP: CB	DESIGNER: JR	PERMIT INFORMATION: N/A	
DATE: 01/29/2024	REVISION DATE:	FINAL DATE & BY:	SHEET #: 7/15



FABRICATE AND INSTALL QTY 2 NON-ILLUMINATED LETTER SETS

FACES - 1" WHITE PVC PAINTED TO MATCH SPECS
VINYL - MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO CANOPY

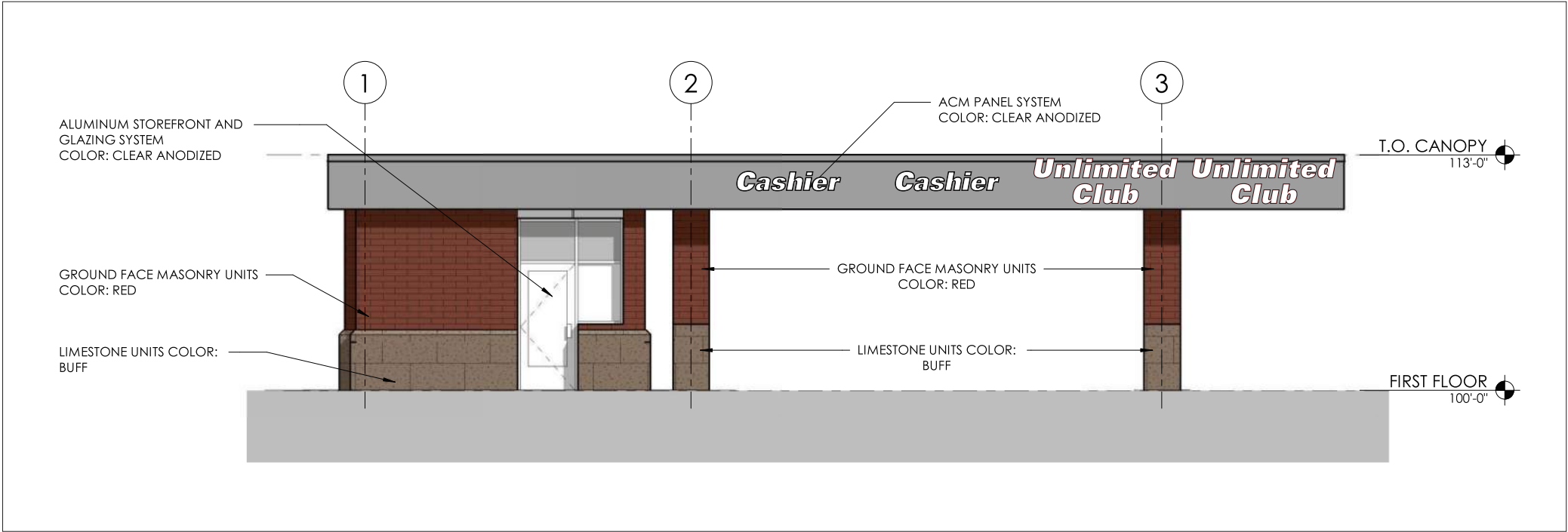


PHOTO SCALE: 1/8" = 1' - 0"



COLOR SPECIFICATIONS:

A MP BLACK

B ORACAL 651-010 WHITE

C

D

E

F

G

H

I

J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP:
CB

DATE:
01/29/2024

DESIGNER:
JR

REVISION DATE:

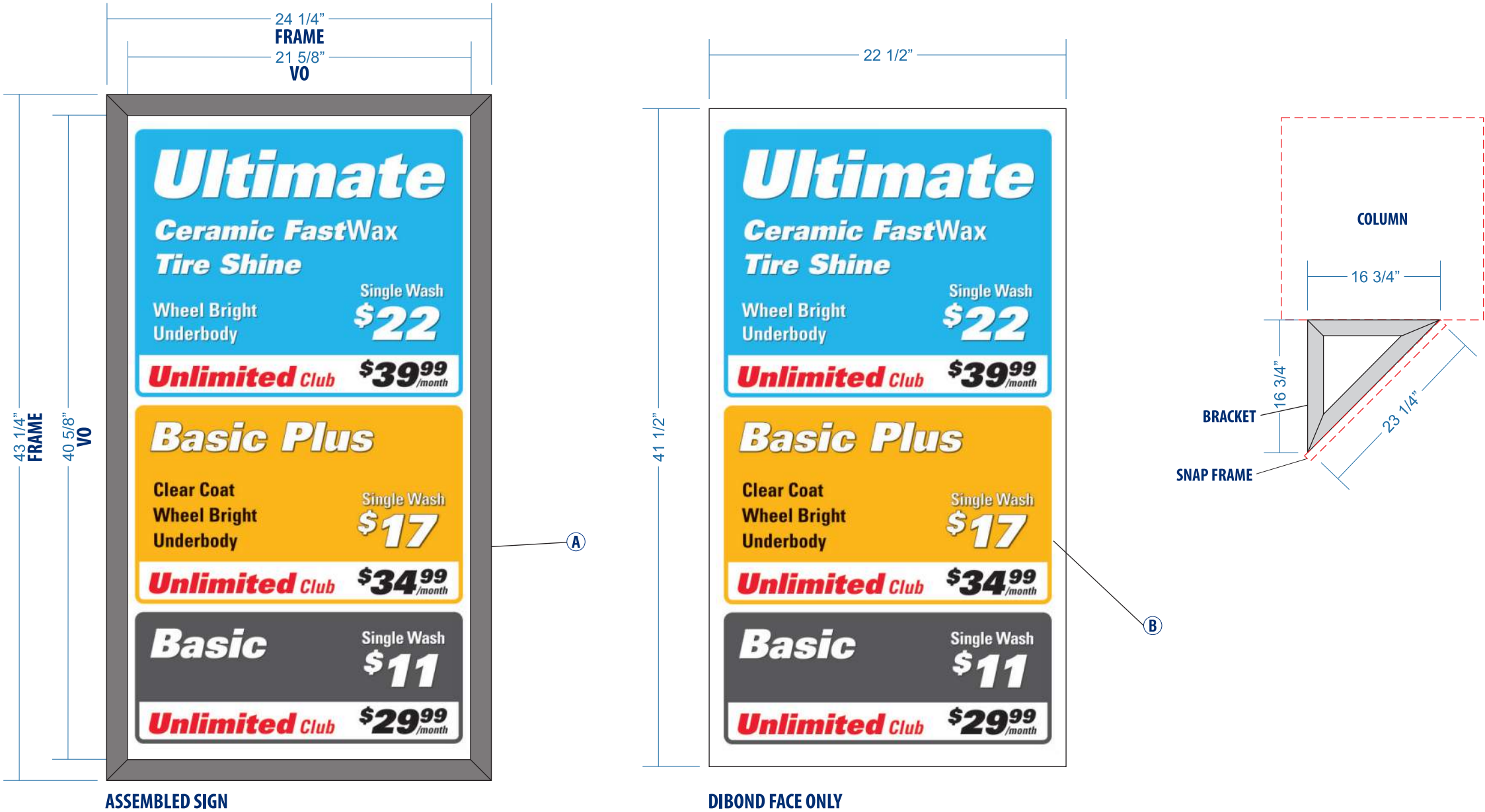
PERMIT INFORMATION:
N/A

FINAL DATE & BY:

SHEET #:

8/15

EC09



FABRICATE AND INSTALL QTY 4 SNAP FRAMES

BODY
SIGN COMP KIT - 1899 & 1869A PAINTED TO MATCH SPECS

INSTALLATION - QTY 2 FRAMES FLUSH MOUNTED TO COLUMNS, QTY 2 FRAMES ANGLED OFF COLUMNS

FACES
MATERIAL - 3MM WHITE DIBOND
VINYL - MATCH SPECS

INSTALLATION - MOUNTED INTO SNAP FRAMES

ANGLED BRACKETS
BODY - 2" ALUMINUM ANGLE

INSTALLATION - MOUNTED TO SNAP FRAME AND COLUMN



COLOR SPECIFICATIONS:

- A MP18170 GREY MET
- B DIG. PRINT
- C
- D
- E

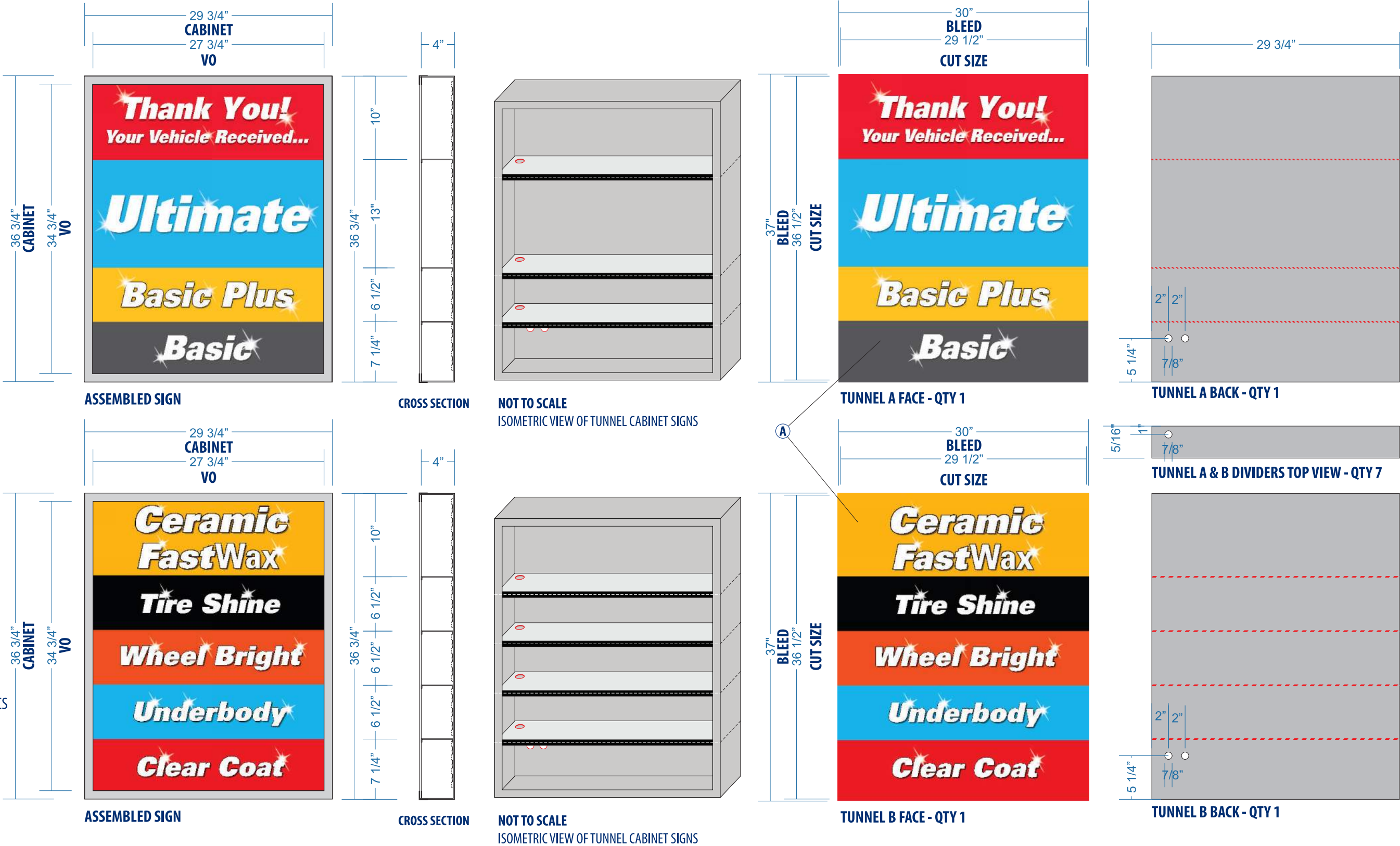
- F
- G
- H
- I
- J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP: CB	DESIGNER: JR	PERMIT INFORMATION: N/A	
	REVISION DATE:	FINAL DATE & BY:	SHEET #: 9/15
DATE: 01/29/2024			

EC10



FABRICATE AND DELIVER QTY 2 INTERNALLY ILLUMINATED S/F CABINET SIGNS

STRUCTURE
BODY - STAINLESS STEEL BODY WITH BAFFLES
RETAINERS - 1" STAINLESS STEEL TO MATCH SPECS
DEPTH - 5"
LEDS - PRINCIPLE IP68 WHITE

FACES
MATERIAL - 3/16" CLEAR ACRYLIC
VINYL - MATCH SPECS



COLOR SPECIFICATIONS:

A	PREMIUM DIG. PRINT 2ND SURE	F	
B		G	
C		H	
D		I	
E		J	

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP:
CB

DATE:
01/29/2024

DESIGNER:
JR

REVISION DATE:

PERMIT INFORMATION:
N/A

FINAL DATE & BY:

SHEET #:

10/15

EC11



FABRICATE AND INSTALL QTY 1 NON-ILLUMINATED LETTER SET

FACES - 1" WHITE PVC PAINTED TO MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO FASCIA

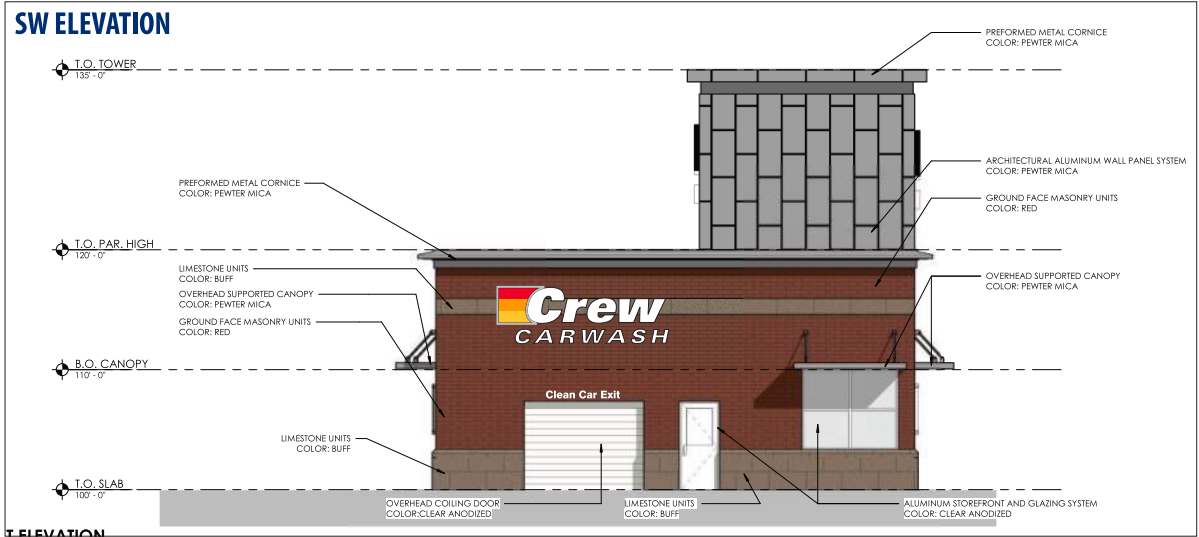


PHOTO SCALE: 1/16" = 1' - 0"



COLOR SPECIFICATIONS:

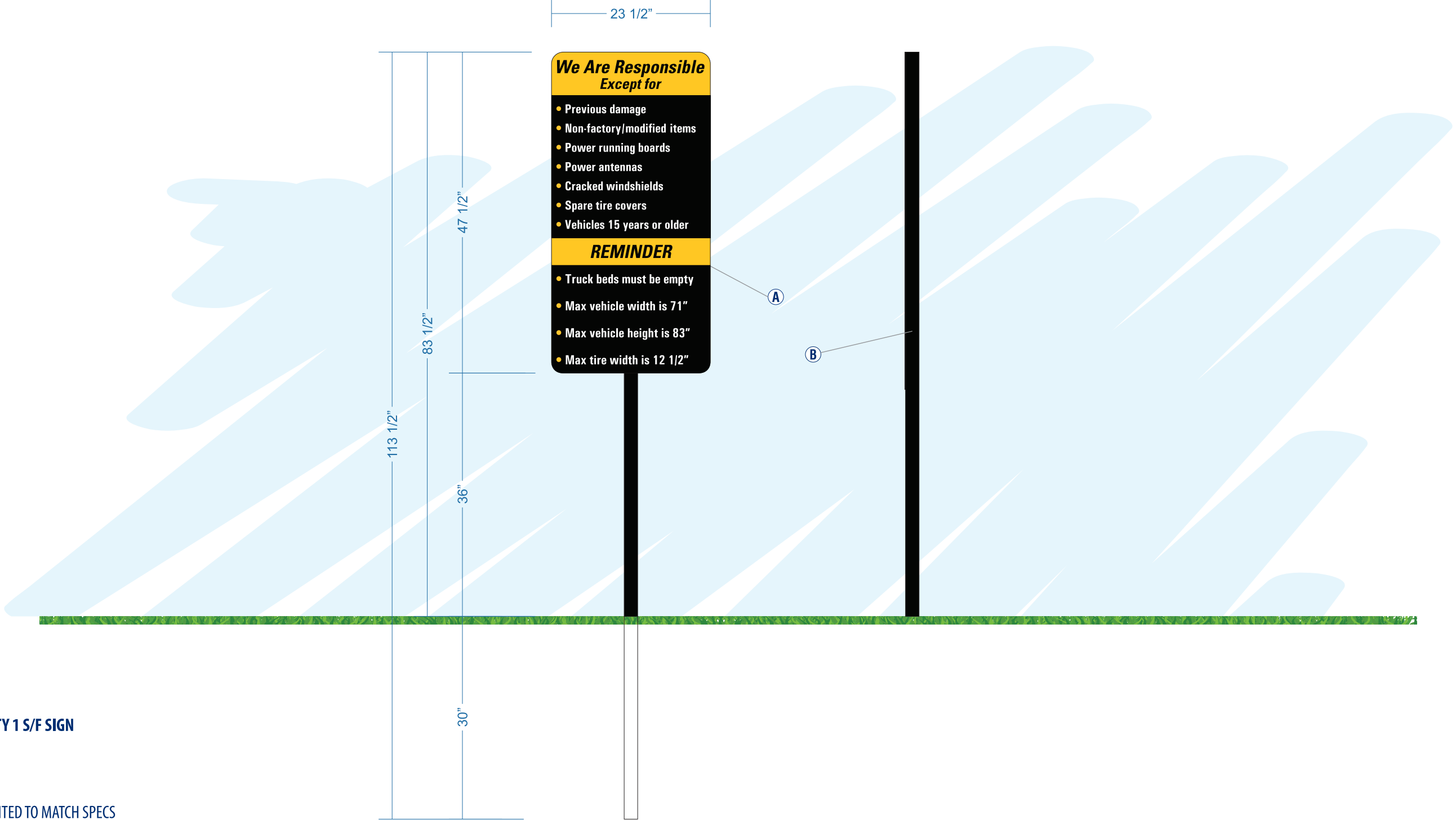
A MP WHITE	F
B	G
C	H
D	I
E	J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP: CB	DESIGNER: JR	PERMIT INFORMATION: N/A	
DATE: 01/29/2024	REVISION DATE:	FINAL DATE & BY:	SHEET #: 11/15

EC12



FABRICATE AND INSTALL QTY 1 S/F SIGN

FACES - 3MM BLACK DIBOND

VINYL - MATCH SPECS

POST - 2" SQ ALUMINUM PAINTED TO MATCH SPECS

INSTALLATION - FACE MOUNTED TO POST, POST BURIED INTO GRADE



COLOR SPECIFICATIONS:

- A MP. BLACK
- B DIG. PRINT
- C
- D
- E

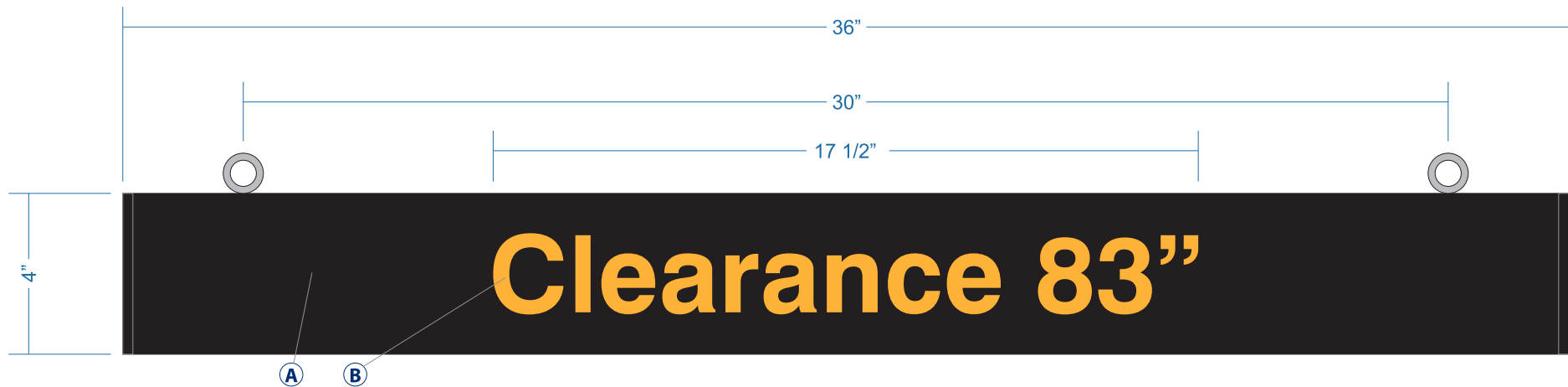
- F
- G
- H
- I
- J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP: CB	DESIGNER: JR	PERMIT INFORMATION: N/A	
DATE: 01/29/2024	REVISION DATE:	FINAL DATE & BY:	SHEET #: 12/15


EC13








FABRICATE AND INSTALL QTY 1 S/F CLEARANCE BAR

- MATERIAL – 4" ROUND PVC PIPE WITH CAPS ON ENDS AND PAINTED TO MATCH SPECS
- EYE HOOKS – STAINLESS STEEL
- VINYL – TO MATCH SPECS

INSTALLATION – HUNG WITH AIRCRAFT CABLE 83" ABOVE GRADE





COLOR SPECIFICATIONS:

A

MP BLACK

B

ORACAL 651-019 SIGNAL YELLOW

C

D

E

F

G

H

I

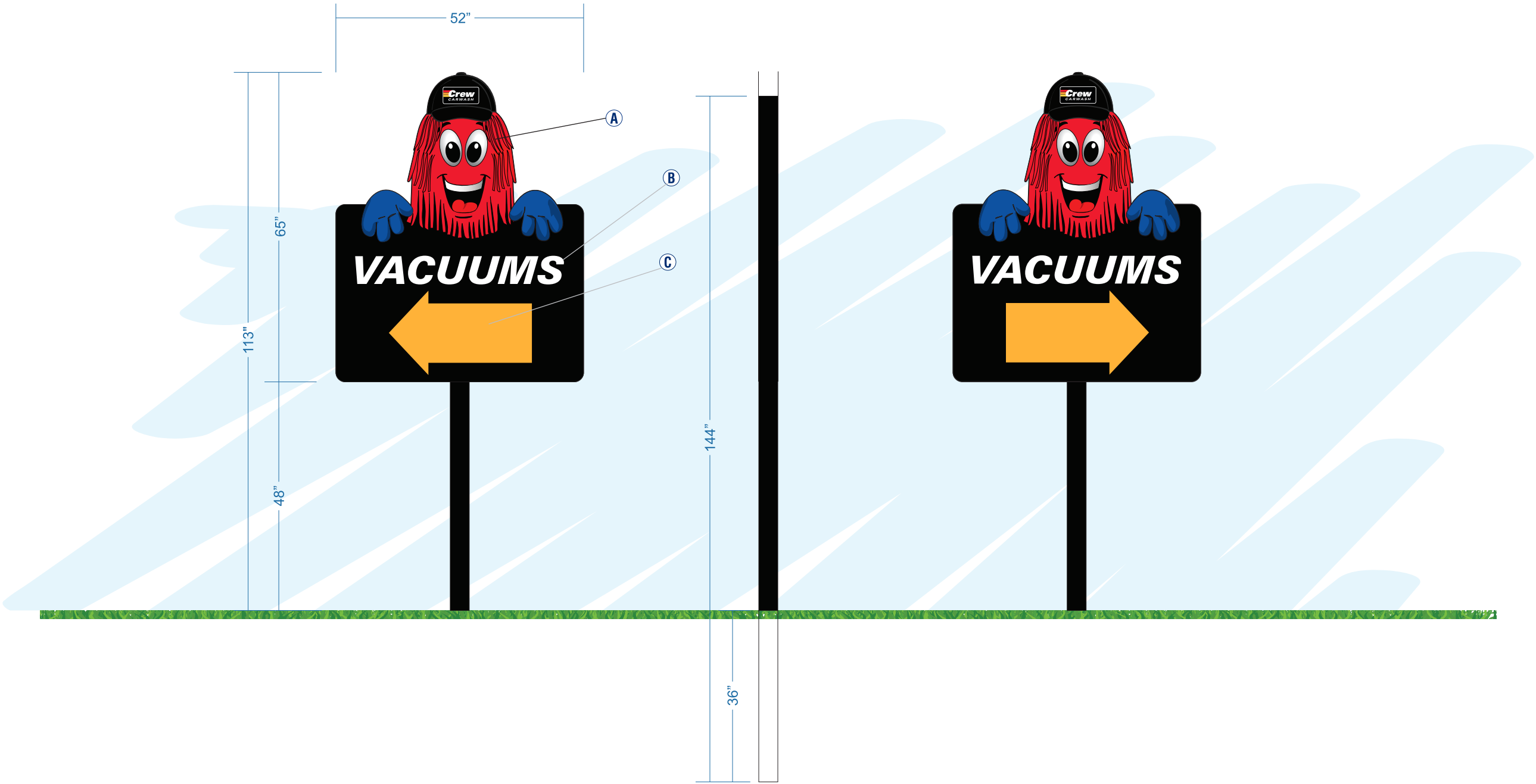
J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP: CB	DESIGNER: JR	PERMIT INFORMATION: N/A	
DATE: 01/29/2024	REVISION DATE:	FINAL DATE & BY:	SHEET #: 13/15

EC14




FABRICATE AND INSTALL QTY 1 D/F VACUUM SIGN





FACES - 3MM BLACK DIBOND

VINYL - MATCH SPECS

POST - 4" SQ ALUMINUM PAINTED TO MATCH SPECS

INSTALLATION - FACES MOUNTED TO POST, POST BURIED INTO GRADE





COLOR SPECIFICATIONS:

A

DIG. PRINT

B

ORACAL 651-010 WHITE

C

ORACAL 651-019 SIG. YELLOW

D

E

F

G

H

I

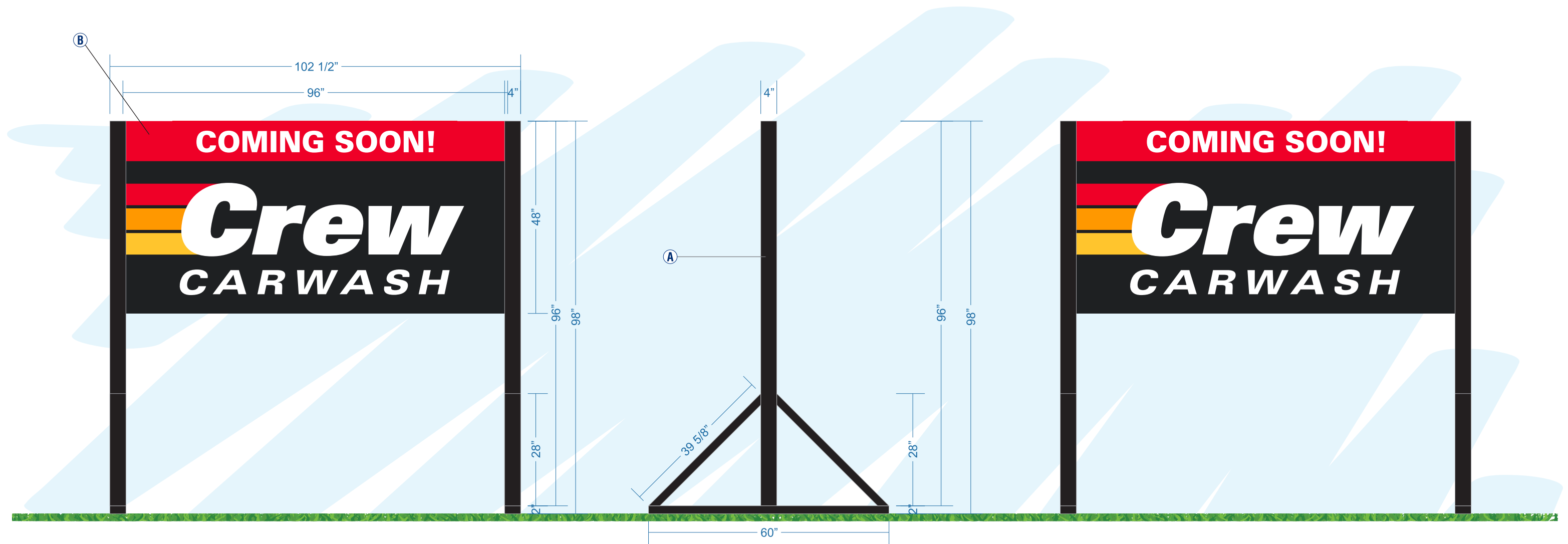
J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP: CB	DESIGNER: JR	PERMIT INFORMATION: N/A	
DATE: 01/29/2024	REVISION DATE:	FINAL DATE & BY:	SHEET #: 14/15


EC15








FABRICATE AND INSTALL QTY 1 D/F STANDING SIGN POSTS W/ SANDBAGS

FACES - 1/2" ALUMCORE PRINTED TO MATCH SPECS

POSTS - QTY 3 - 10' 2x4 TREATED WOOD PAINTED TO MATCH SPECS
QTY 2 - 8' 4x4 POSTS PAINTED TO MATCH SPECS





WORLD SIGN ASSOCIATES

MEMBER

COLOR SPECIFICATIONS:

A

MP BLACK

F

B

DIG. PRINT

G

C

H

D

I

E

J

NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.

IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SCI REP:

CB

DATE:

01/29/2024

DESIGNER:

JR

REVISION DATE:

PERMIT INFORMATION:

N/A

FINAL DATE & BY:

SHEET #:

15/15

© 2020 - SIGNCRAFT INDUSTRIES ALL RIGHTS RESERVED • 8816 CORPORATION DR • INDIANAPOLIS, INDIANA 46256 • 317-842-8664 • SIGNCRAFTIND.COM

ART SCALE: 1/2" = 1' - 0"





Crew
CARWASH

9705

Clean Car Exit

Cashier

Cashier

Unlimited Club

Unlimited Club

Crew
CARWASH

Cashier

Cashier

Unlimited Club

Unlimited Club

NOW HIRING
\$16/hr







Crew
CARWASH

Clearance 8'3" Friendly