SITE PLAN & CONDITIONAL USE PERMIT (CUP) APPLICATIONS

4/8/28 Plan Commission Meeting

Crew Carwash / Nomies Investments LLC

Staff Report & Recommendation

Germantown, Wisconsin

Summary

Crew Carwash, agent for Nomies Investments LLC, property owner, is requesting Site Plan approval and a Conditional Use Permit (CUP) to allow the construction and operation of a 4,512 sqft self-serve carwash facility located at N96 W17500 County Line Road.

Property Location: N96 W17500 County Line Road (existing BP Station) Agent/

Property Owner:

Katherine Rayner Crew Carwash 11700 Exit 5 Pkwy Fishers, IN Nomies Investments LLC N96 W17500 County Line Road Germantown, WI

Current Zoning: B-5: Highway Business

Adjacent Land Uses		Zoning
North	Highway Business	B-5
South	Highway Business	B-5
East	Highway Business	B-5
West	Highway Business	B-5



Background/Proposal

Crew Carwash, agent for Nomies Investments LLC, property owner, is requesting Site Plan approval and a Conditional Use Permit (CUP) to allow the construction and operation of a 4,512 sqft self-serve carwash facility located at N96 W17500 County Line Road.

As presented on their website, Crew Carwash is a multi-generational, family-owned business founded in 1948 and based in Fiskers, Indiana. <u>https://crewcarwash.com/the-crew-story/</u>. Crew Carwash currently has 45 locations in Indiana and Minnesota. The proposed site in Germantown is one of a few leading their expansion into Wisconsin.

Conditional Use Permit (CUP)

Within the B-5 District, a self-serve carwash requires a Conditional Use Permit (CUP). The proposed Germantown facility and operation has the following components:

- 4,512 sqft self-serve carwash building w/ 345 sqft kiosk
- Business operations Sunday to Saturday from 7:00a to 9:00p with 2-3 shifts per day
- 25 Total Employees (2-5 employees per shift)

Site Plan

As indicated in the applications and February 12 project narrative, the proposed development includes a complete demolition and replacement of the existing BP gasoline station and carwash. The new Crew Carwash will have the following features:

- 4,512 sqft single-story carwash building 20' height w/ tower feature to 35' height
- 345 sqft single-story kiosk 13' height w/ 4-lane canopy (vehicle entry point)
- Masonry walls comprised of ground (smooth) face concrete masonry units color red with a knee-high wall and upper banding of limestone split-face concrete units with a buff color
- Tower feature comprised of architectural wall panel color pewter
- Aluminum-framed storefront and glazing system color clear anodized w/ overhead supported canopies above all windows
- Flat roof w/ exposed RTU's
- Paved curb & gutter parking area w/ 5 vehicle parking stalls for employees (1 ADA compliant) & 9 stalls with self-serve vacuum bays
- 20 vehicle staging area w/ 4 lanes wide
- New lighting & landscaping

Parking, Access & Traffic Circulation

Access will remain the same with two (2) driveways to Emmer Road on the southeast side of the property. The Village's parking guidelines do not include carwashes, but the number of stalls provided for employees (5) appears sufficient.

Storm Water Management

This 1.0-acre site is a re-development site with 90% of the area expected to be disturbed. A total of 30,506 sqft (70%) of impervious surfaces are proposed as part of the new development leaving 13,052 sqft or 30% in open/green space. Stormwater facilities include storm sewer, roof drains and grading to convey run-off from the building, staging, vacuum, and parking areas to on-site catch basins and storm sewer located through the middle of the site to an existing concrete pipe south the site in the Emmer Road ROW and to a new "green infrastructure" rain garden feature in the southeast corner of the site.

<u>Utilities</u>

Sanitary and water utilities will be upgraded and replace the existing in easements running north across the hotel property to existing laterals.

Landscaping & Buffering

Existing established landscaping along the north property line is going to be removed and replaced with a 1'-2' high retaining wall. A very large deciduous shade tree is going to be removed along the east property line and replaced with sod for a snow storage area. Minimal landscaping is provided along or within the curbed areas internal to the site. Decorative stone "mulch" is placed around the plantings across the site.

Lighting.

Exterior lighting of the site and building includes:

- (4) 50W 4,000 lumens @ 5700K (cool white) LED recessed canopy lights mounted at a height of 10' under the kiosk canopy;
- (1) 131W 20,900 lumen @ 3000K (bright white) LED cut-off style pole-mounted fixtures mounted at overall 23' height on a pole near the south driveways;
- (6) 131W 13,175 lumen @ 3000K (bright white) LED cut-off style pole-mounted fixtures mounted at overall 23' height on poles around the parking and building;

Signage.

A total of (21) permanent signs are proposed for the site, including:

- (1) Refacing the exiting monument sign in the SE corner of the site with the brick base painted black (see sign rendering EC-01; sheet 1 of 15 w/ no date);
- (1) Refacing the existing 50'+ pylon sign in the NE corner of the site with the pylon support structure to be painted black (see sign rendering EC-02; sheet 2 of 15 w/ no date)
- (3) internally lit wall-mounted signs on the tower structure w/ "Crew Carwash" lettering translucent white (see sign rendering EC-03; sheet 3 of 15 w/ no date)
- (1) internally lit wall-mounted sign above the exit door on the south end of the building w/ "Crew Carwash" lettering translucent white (see sign rendering EC-04; sheet 4 of 15 w/ no date)
- (1) internally lit monument sign w/ digital menu board mounted on a painted aluminum panel base located north of the kiosk on the north side of the property (see sign rendering EC-05; sheet 5 of 15 w/ no date)
- (2) internally lit directional signs installed at the driveway entrances on the south

side of the property w/ both saying "Open" and "Enter" (see sign rendering EC-06; sheet 6 of 15 w/ no date)

- (2) non-illuminated letter sets installed on south side of the kiosk canopy above the drive lanes indicating "Unlimited Club" (see sign rendering EC-07; sheet 7 of 15 w/ no date)
- (2) non-illuminated letter sets installed on south side of the kiosk canopy above the drive lanes indicating "Cashier" (see sign rendering EC-08; sheet 8 of 15 w/ no date)
- (4) non-illuminated framed menu panels installed on the columns of the kiosk lanes (see sign rendering EC-09; sheet 9 of 15 w/ no date)
- (1) non-illuminated letter sets installed on south side of the building above the exit door indicating "Clean Car Exit" (see sign rendering EC-11; sheet 11 of 15 w/ no date)
- (1) non-illuminated pole-mounted panel sign installed near the north entrance of the building indicating "We Are Responsible For" (see sign rendering EC-12; sheet 12 of 15 w/ no date)
- (2) non-illuminated painted directional signs installed on south side of the building near the exist indicating ""Vacuums" (see sign rendering EC-14; sheet 14 of 15 w/ no date)

Note: There are detail sheets for signs EC-10, EC-13, and EC-15 but they are not included in site map showing where these signs are proposed; It is assumed that they will not be installed at this site.

Staff Comments

Community Development: Planning & Zoning

This property is in the "County Line Road District" under the Village's 2050 Comprehensive Plan and the current zoning is B-5: Highway Business. The property is located within the Village's Sanitary Sewer Service Area (SSSA) and capable of being served with public sewer and water with extensions from existing laterals nearby from the north (water main and sanitary sewer). The proposed carwash use falls under the "desirable" commercial land use.

The amount, type, and location of proposed landscaping is a concern. First, an established deciduous shrub hedge (see views from both sides below) is being removed entirely and replaced with a 1'-2' retaining wall. The area abutting the hotel property to the north will be planted with sod. The property line runs right up against the front of the parking stalls on most of the hotel property, so all of the shrubs will be removed. Something needs to be installed to replace this hedge. There doesn't appear to be adequate area in the minimum required 8' buffer strip because there is a retaining wall proposed in that 8' buffer area.





More landscaping around the perimeter is required. The Village Forester has a similar comment (see below). Also, the large tree along the east side of the property (see below) is proposed to be removed and placed with sod for a snow storage area (see Sheet C1.0). The tree species has not been identified by the developer.



Construction work is required on the adjacent hotel property to the north to install upgraded water & sanitary sewer laterals within "private utility easements" to be obtained by others. Building permits for installation of water & sanitary sewer should not be issued until the easements are obtained and the adjacent property owner agrees with the construction work required to install the utilities and restore the easements to pre-construction conditions.

Signage appears to be excessive for a business model that relies on a recurring customer base (and probably not so much signage for every step of the way through the process). More signs are proposed than trees to be installed. Many of the directional signs exceed the height and area allowances in the sign regulations. Three "Crew Carwash" signs on the tower seem excessive given the re-use of the 50'+ pylon sign and monument sign in the SE corner of the sight. The detail sheets for the sign face replacement signs do not indicate the sign area and refer to a survey being needed. For these reasons, Staff recommend that sign package be re-evaluated in light of the sign regulations with goal of only proposing code-compliant signs that provide the minimum business name notification. A Sign Permit application is also required.

Site Plan & CUP

Finally, the photo renderings provided in the application from other Crew Carwash locations show actual wood mulch in the landscaping beds. At this location, the proposal is to install decorative "stone mulch". Stone does not exactly satisfy the minimum 20% "green space" requirement in the B-5 Zoning District. Wood mulch is recommended.

Community Development: Inspection Services

State agency (DSPS) approved plans and a \$20,000 occupancy bond are required by Inspection Services at the time of building permit application. The Village of Germantown is an authorized delegated agent of DSPS to provide all commercial plan review and inspection services through SAFEBuilt of WI and the Village of Germantown.

Public Works/ Village Engineer

The Village Engineer, Public Works Department and Utility staff have identified several technical issues and plan revisions that need to be resolved or otherwise addressed by the Developer prior to commencing construction activities and issuance of building permits. Nonetheless, Staff is recommending conditional approval of the site development and building plans subject to all the outstanding items and issues identified in the following review memos being resolved and reflected in additional information and/or revised plans submitted to Staff for further review, comment and approval prior to commencing any site construction or issuance of building permits (excluding early start site preparation and footing and foundation installation):

• April 3, 2024, memo from Kevin Driscoll, Village Engineer

Village Forester

The following issues will need to be addressed as part of a revised landscape plan prior to issuance of a building permit:

- Tree planting detail image revision on sheet C1.4: Include that root flare should be left exposed, moss/mulch line should be at or just below top of root ball.
- Recommend substitution of tree options for the two (2) Acer platanoides and the two (2) Pyrus calleryana 'Jaczam'. The Village has many Maple (Acer) trees and would benefit from an increased species diversity. Also, Pyrus calleryana has the potential to establish as an invasive tree species in Wisconsin. Acceptable substitutes: Common Hackberry (Celtis Occidentalis), Kentucky Coffeetree (seedless) (Gymnocladus dioicus), London Planetree (Platanus x acerifolia), Tulip tree (Liriodendron tulipifera), Oak spp. (Quercus)
- Per municipal code 17.43(c). Parking lot landscaping: perimeter plantings are required around the parking lot for screening from adjacent properties. This plan does not include perimeter plantings along the east boundary, the northwest, or southwest corners of the property. This is an existing perimeter planting along the property boundary to north (see similar comment above), the street tree plantings along the south side of the property are sufficient.

Fire & Police Departments

No comment. Concerns have been addressed into submitted plan set.

VILLAGE STAFF RECOMMENDATIONS

APPROVE the Conditional Use Permit (CUP) application for Crew Carwash for the construction and operation of a self-serve car wash facility on the property located at N96 W17500 County Line Road subject to the following conditions:

- 1. The uses and activities allowed on the property shall be limited to those uses and activities specified in the conditional use permit (CUP) application, project narrative dated February 12, 2024, and supporting site plan documents dated January 12, 2024, and February 12, 2024. Days and hours of operation shall be limited to those specified in the CUP application and supporting documents submitted to the Village (Sunday through Saturday 7:00am to 9:00pm.
- 2. The Owner/Operator is responsible for reporting any significant changes in the type, intensity, amount, or location of the land uses and activities, days and hours of operation, size or location or other operational characteristics of said uses and activities authorized under this CUP to the Village Zoning Administrator.
- 3. If the use, activities and/or operation subject of this permit falls out of conformity with the conditions herein, or, where there is a change in the nature, character, intensity or extent of the activities or uses which causes problems or harmful effects that were not anticipated at the time of approval of this CUP, the conditional use permit may be modified or terminated by the Village Board by the amendment to or addition of conditions after public hearing thereon.
- 4. All temporary and permanent exterior signs require a permit and shall comply with all current sign regulations. Off-premises advertising and directional signage is regulated by the Village and requires a permit if/when allowed.
- 5. All future site improvements, including all building, parking area, landscaping, storm water management facilities, signage, exterior lighting, and any other improvements made to or on the property that are necessary for the land uses and activities authorized under this CUP shall be submitted for review and approval by the Village through the Zoning Permit or Site Plan application process as determined by the Village Zoning Administrator. If required, Site Plan review and approval will include Plan Commission review and approval.
- 6. Building permits and commercial building code plan approval are required for the planned demolition of existing structures on the site and the proposed building and kiosk. Contact SAFEbuilt staff in Inspection Services at Village Hall prior to any work for information about required permits and/or plan approvals.

APPROVE the site development and building plans submitted by Crew Carwash for a 4,512 sqft self-serve carwash facility w/ 345 sqft kiosk & canopy located at N96 W17500 County Line Road subject to the following conditions:

- 1. This approval is for the various plan sheets that comprise the site plan set as noted below and is subject to compliance with all the conditions and requirements set forth herein and subsequently adopted and/or revised by the Plan Commission. Approval is granted for the following unless superseded by subsequent plan sheets approved by Village Staff pursuant to revisions required herein and/or by the Plan Commission:
 - a. Architectural plans dated January 12, 2024;
 - b. Civil Engineering plans dated February 12, 2024;
 - c. Landscaping plans dated February 12, 2024;
 - d. Lighting plans (photometric plan) dated February 12, 2024;

If revised plan sheets are necessary, each revised sheet shall contain the date of said revision clearly stamped in the lower right corner.

- 2. Additional landscaping shall be shown in a revised landscape plan review and approved by the Village Forester, including:
 - a. along the north property to reasonably replace the existing screen hedge.
 - b. Per municipal code 17.43(c) around the perimeter of the site with plantings along the east boundary, the northwest, or southwest corners of the property.
- 3. The mulch in the landscaping beds shall be wood mulch and not decorative stone.
- 4. Tree planting detail on sheet C1.4 shall be revised to include that root flare should be left exposed, moss/mulch line should be at or just below top of root ball.
- 5. The following tree species shall be substituted for the two (2) Acer platanoides and the two (2) Pyrus calleryana 'Jaczam'. The Village has many Maple (Acer) trees and would benefit from an increased species diversity. Also, Pyrus calleryana has the potential to establish as an invasive tree species in Wisconsin. Acceptable substitutes: Common Hackberry (Celtis Occidentalis), Kentucky Coffeetree (seedless) (Gymnocladus dioicus), London Planetree (Platanus x acerifolia), Tulip tree (Liriodendron tulipifera), Oak spp. (Quercus)
- 6. The technical issues and plan revisions identified in the April 3, 2024 memo from the Village Engineer shall be addressed in revised plan sheets and/or supplemental documents as necessary prior to commencing construction activities and issuance of building permits (excluding site demolition, early

start site preparation, and footing & foundation installation).

7. State agency (DSPS) approved plans and a \$20,000 occupancy bond are required by Inspection Services at the time of building permit application. The Village of Germantown is an authorized delegated agent of DSPS and may be used as an alternative to provide all commercial plan review and inspection services through SAFEBuilt of WI and the Village of Germantown.

TABLE the action on the sign package pending re-submittal of a sign permit application and code-compliant signs



Engineering Department Memorandum

- To: Jeff Retzlaff
- From: Kevin Driscoll, P.E.
- Date: April 3, 2024
- Re: Planning Commission Item Review Crew Carwash Site Plan Review - N96 W17500 COUNTY LINE RD - Parcel GTNV_334990

Items Reviewed:

- 1. Civil Plan Set Dated: 02-12-2024
- 2. Storm Water Management Plan Dated: 02-12-24

General Comments:

- 1. Please respond to each item below. <u>A written response addressing each item shall be</u> included in your submittal.
- 2. The submitted plans have been reviewed for general conformance with State and Village design guidelines. Additional comments could arise as a result of the plan completion and modifications. The items listed below will need to be fully resolved before the Engineering Dept. can recommend a formal approval of the plans and permit for construction.
- 3. The project will require DSPS plumbing system review and approval. Please provide a copy of the DSPS approval prior to engineering approval.
- 4. A professional engineer's original seal is to be affixed, signed and dated on the final set of construction plans.
- 5. Utility permits and permits for work within the ROW are required. Contact the Village engineering department to obtain permits.
- 6. As-builts prepared to Village standards shall be prepared and provided to the Village postconstruction (for all applicable items).
- 7. As a guide to the review response: Items in *italics* are resolved or acknowledged, items in regular font are to be addressed yet, items in **Bold** are additional feedback to remaining original comment.

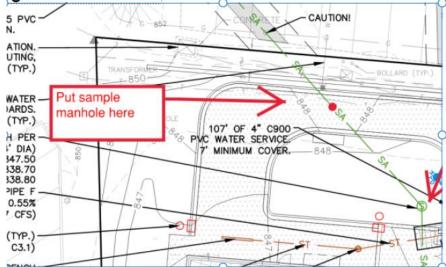
Water Utility Comments

- 1. Sheet C1.3, Explain the need for a separate sprinkler line. Normal set up is one line and the sprinkler is split off in the mechanical room.
- 2. Sheet C1.3, describe the dash lines around the sewer and water lines, just making sure this is not a reference for a utility easement.

- 3. We will require a review of the meter room for adequate space and installation requirements.
- 4. Call out gate valve to be Mueller onto a 8" x 6" Tapping saddle with a S.S. MJ spigot outlet.
- 5. Remove existing water lateral from the water main, install a full circumference Hymax repair clamp over CC tap hole. minimum 8" x 20"

Wastewater Utility Comments:

1. Change of direction is not allowed in the sampling manhole. Change sampling manhole to a private manhole. Install sampling manhole here.



2. Connection to existing manhole to be made via outside drop to invert of the manhole.

C1.3 Utility Plan

1. Copies of executed sewer and water easements are required prior to engineering plan approval.

2. Add a trench drain at the exit of the car wash to capture water before draining to the ROW.

Stormwater Management Plan

- 1. Include disturbance in the ROW and utility installation to the north and confirm the disturbance remains under 1 acre.
- 2. Drainage area to proposed rain garden exceeds the max allowed per WDNR technical standard 1009. Adjust to meet technical standard requirements or add a piped outlet.



Fee	e must	accompany application
		Minor Addition
X		Construction <10,000 SF
		Construction 10,000 SF to 50,000
		Industrial Construction >50,000 SF
		Commercial Construction >50,000
		Plan Commission Consultation
	\$125	Fire Department Plan Review
PAID		DATE

SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

APPLICANT OR AGENT	PROPERTY OWNER
Crew Carwash	Nomies Investments LLC
11700 Exit 5 Pkwy	N96 W17500 County Line Rd
Fishers, IN 46037	Germantown, WI 53022
Phone (317) 572-2408	Phone ()
E-Mail katherine.rayner@crewcarwash.com	E-Mall

PROPERTY ADDRESS

N96 W17500 County Line Road



4

1

NEIGHBORING USES - Specify name and type of use, e.g. Enviro Tech - Industrial, Smith - Residential, otc.

North Super 8-Business/Hotel	South ROW	East Landmark Credit Union- Business/Bank	West McDonald's- Business/Restaurant
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READ AND INITIAL THE FOLLOWING:

I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.

I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.

I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5 SIGNATURES - ALL APPLICATION MUST BE SIGNED BEISIGNALES A66429E208F410 Date Owner Applicant

Date

2/9/2024

SITE PLAN REVIEW CHECKLIST

Pursuant to Section 17.43 of the Municipal Code

This checklist provides a summary of requirements found in the Municipal Code. It is intended purely as a guide for developers and should not substitute for a full review of the Code and applicable regulations. (Revised 1/02)

GENERAL INFORMATION

- K. Provide Completed Checklist with submittal
- x Names and addresses of owner/developer/designer
- IX: Graphic scale, north arrow
- X Location sketch
- x Size of site (gross and net acreage)
- x Existing zoning
- Adjacent zoning and uses
- N/AF Number of residents (subdivisions)
 - X Number of employees

EXISTING SITE INFORMATION

- Dimensions of site and lot lines (pipes found, pipes set, monuments)
- x Existing grades (2' contours minimum)
- IX Adjacent property grades (within 10' minimum of property lines)
- K Adjacent structures (within 20' minimum of property lines)
- X Drainage systems and structures
- R Natural features (woods, streams, lakes, ponds, outcroppings)
- N/A Welland boundaries (provide date of staking)
- N/AF Floodplain elevation and boundaries
 - IX: Environmental concerns (underground tanks, etc)
 - IX Roads, curbs, parking lots, pavement areas
 - X. Structures (location, size)
 - Rights-of-Way (existing/ultimate)
 - Ki Easements (draInage, utility)
 - X Existing utilities (senitary, water, electric, gas, telephone)
 - X Benchmark locations and elevations
 - K Location of fences, wells, borings, etc.

ARCHITECTURAL PLANS

- K Existing building location
- **X** Existing building elevations/materials
- Proposed use (use list from Section 17.45)
- Statement of design Intent (narrative)
- Proposed floor plans (dimension)
- Square footage (total and individual rooms/stores)
- X' Proposed elevations (dimension)
- R Proposed building height

- (X) Proposed materials and colors (material sample board required for new construction)
- Froposed signage (elevations, color, square footage, height, construction material, lighting)
- E Details of any special features

PROPOSED SITE PLAN

- X Grading and spot elevations
- K: Erosion control measures (silt fencing, hay bales, rip-rap, tracking mat, stockpile locations)
- X Stormwater management
 - stormwater management design report
 - general drainage pattern
 - swales w/ arrows for direction of flow
 - pond design with outfalls
 - culverts (location/size)
- Vilities (size, invert elevations, length, slope, etc.)
 -- sanitary
 - water
 - -- stormsewer
- X Building location (dimension)
- IX Building elevation (finished grade)
- IX Location of proposed signage
- Details of oulside storage (including trash receptacles)
- K Selbacks (clearly marked and dimensioned)
- X Vehicular entrances (dimension to centerline of nearest intersection)
- X Streets (dimension and direction for one-ways)
- Curve radii
- Sidewalks (dimension)
- IX: Parking areas (show striping/spot elevations)
- X: Parking setback from property line
- K Loading areas (dimension)
- Lot coverage
 - Square footage total
 - Impervious surfaces total (%)
 - Green space total (%)
 - Percent permitted (over/under %)
- IX: Municipal utility connections
 - Sanitary sewer (pipe size/elevations)
 - Water (size, valve location, elevations)
 - Location of hydranis
- Ix Easement for public water mains

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LIGHTING PLAN

- K Major improvements for context
- K Location/nature of existing fixtures
- x. Photometric report (to scale on plan)
- x Manufacturers cut-sheets of all fixtures
- X Lighting schedule
 - key to plan
 - number/type of fixtures
 - output (wattage)
- Installation details as appropriate

LANDSCAPING PLAN

- Major improvements for context (building, drives, walks)
- Proposed outdoor amenilies (benches, paths, etc.)
- ☑ Existing vegetation
 - Specles
 - Size
 - Approximate canopy in plan
- Vegetation to be destroyed
 List and show location
- Proposed method of saving existing vegetation during construction
- pr Proposed landscape features (berms, fountains)
- Irrigation/watering systems (locate outlets)
- Plant lists or schedules - Keyed to plan
 - Number of each species
 - Size when planted (caliper)
- X Installation details/staking

MODEL SUBMITTAL INCLUDES THE FOLLOWING PLANS:

- 1. Cover / Tille Page
- 2. Existing Conditions Survey
- 3. General Site Plan
- Grading, Paving & Erosion Control Plan
- 5, Utility Plan
- Site Details (curbing, catch basins, detention ponds, pavement, erosion control and sign details)
- 7. Landscape Plan
- Landscape details (planting schedule, berming cross-sections, method of installation)
- 9. Lighting Plan
- 10. Floor Plan
- 11. Exterior Bullding Elevations
- 12 Building Material Sample Board

In addition to the items on this list, Village Staff and/or the Plan Commission may require additional drawings and data to be submitted for approval.

If any public improvements or work is to be done in the Public Right-of-Way, the Village will require that a Developer's Agreement be submitted and approved by the Village Board. DocuSign Envelope ID: 17A8FEE2-D5E1-47BE-85AA-A83134FF735B



Fee	must	accom	pany a	appi	ication
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Date_ X \$1460 Paid ____

CONDITIONAL USE PERMIT APPLICATION Pursuant to Section 17.42 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

rew Carwash	Nomies Investments LLC			
11700 Exit 5 Pkwy	N96 W1	7500	County	Line Rd
Fishers, IN 46037	German	town,	WI 530	22
Phone (317) 572-2408	Phone	()	
Fax ()				
E-Mail katherine.rayner@crewcarwash.com				
TO WHOM SHOULD THE PERMIT BE ISS	SUED?			
Crew Carwash				
PROPERTY ADDRESS				TAX KEY NUMBE
N96 W17500 County Line Road				334990
DESCRIPTION OF EXISTING OPERATIO	N			
Briefly describe the use as it exists today, including use, size, it new construction, describe the current status of the property, e	umber of employe	es, hou		ration, stc. If this permit lovely
Existing BP gas station to be demolished for con				
DESCRIPTION OF PROPOSED OPERAT Write the name of the proposed conditional use exactly as it ap	ION ppears in the Muni	cipal C	ode	
Self-Serve Carwash	N			
Describe the proposed use, including size, number of employe	tes, hours of open	tion an	d axteni o	any new construction/elleration
Describe the proposed 000, monomly size, inducer of employee				
A 4,512 SF self-serve carwash with 346 SF kios with 2-5 team members per shift. Each day ope	sk. Location to	SIGIT	approxi	mately 20-25 team men



METES AND BOUNDS LEGAL DESCRIPTION OF PROPERTY - REQUIRED

Attach pages as necessary

See attached.



SUPPORTING DOCUMENTATION:

- Site Plan and elevations for new construction (can be conceptual)
- Photos of existing use and/or proposed use operating elsewhere
- 0
- 0

READ AND INITIAL THE FOLLOWING:

_I understand that the Village is under no obligation to issue a Conditional Use Permit and will do so only if the applicant successfully demonstrates that the proposed use is harmonious with the neighborhood and the long range goals of the Village.

L will notify the Village if any aspects of the conditional use changes. I understand that failure to do so may result in the revocation of the CUP.

_t understand that a Conditional Use Permit is valid only if the conditions and restrictions of the permit are met. I understand that failure to comply with any aspect of the permit may result in revocation.

I understand that Village Staff is required to post one or more signs along the street frontage of and/or on the property subject of this application that indicate to nearby property owners and the general public that a public hearing of my application will be held before the Village Plan Commission and/or Village Board prior to action being taken on this application; I hereby grant Village Staff permission to enter onto the property for the expressed purpose of installing said sign(s) provided Village Staff is responsible for installing, maintaining and removing said signs in a reasonable manner and timeframe.

SIGNATURES - ALL APPLICATIONS MUST BE SIGNED BY OWNERI

DocuSigned by: 7/9/2024

Wha6C429E20BF410

Date



February 12, 2024

Project Narrative

Project: Crew Carwash N96 W17500 County Line Road Germantown, WI 53022

Crew Carwash is requesting Site Plan Review, Architectural Review, and Conditional Use Permit review and approval for a new carwash located at N96 W17500 County Line Road in the Village of Germantown. A BP gas station currently exists on the site and will be demolished as a part of the proposed project. The property is zoned B-5, Highway Business with Highway Interchange Area Overlay and the proposed self-serve carwash use requires Conditional Use Permit approval.

Founded in 1948, Crew Carwash is a family-owned business based in Indiana, currently has 45 locations, and is actively growing. Crew carwashes feature the most advanced technology available, specially formulated detergents, soft cloth, computer-controlled equipment, and special touchless hot air dryers. Crew carwashes utilize 40 percent recycled water and 60 percent fresh water due to water reclamation systems that filter, clean and re-use some of the water in the wash process. At Crew Carwash locations, used water runs directly to a unique collection system that filters the water and removes harmful sediments and oil before it reaches the local sanitary sewer. All cleaning and drying functions are contained inside the facility. The customer remains in the car riding on a conveyor belt the entire way through the tunnel and exits the facility themselves. Self-serve vacuum stations are provided for customers at no charge.

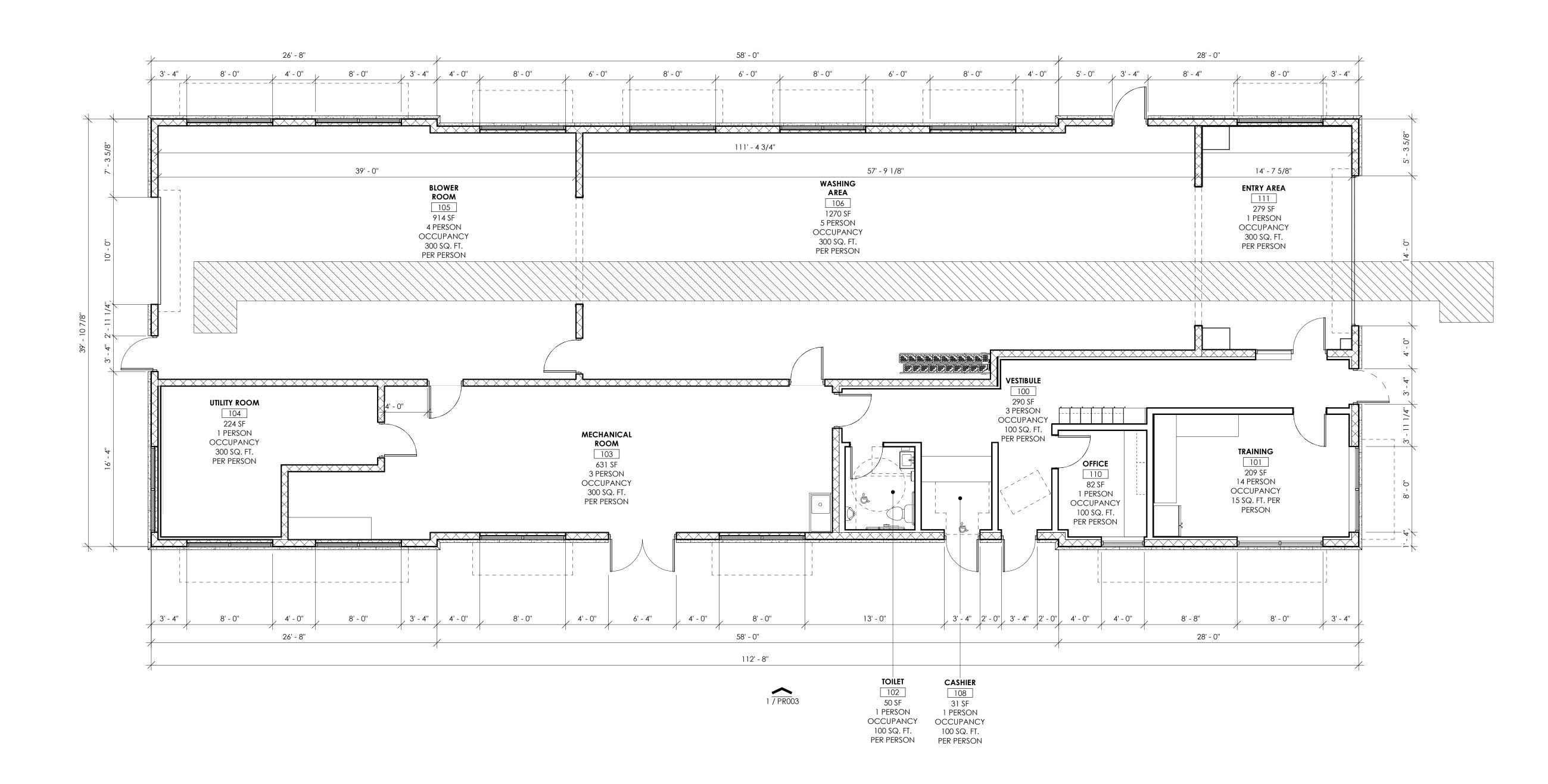
Crew invests approximately six-million dollars per facility and is a community-oriented company. Typically, each location staffs 20 to 25 highly trained and motivated team members with two (2) to five (5) team members per shift and two (2) to three (3) shifts each day operating the carwash from 7 AM to 9 PM. Once all appropriate approvals and permits are granted, the construction timeline is typically six (6) months.

The proposed project will include a proposed carwash building with vehicle queuing located to the far east of the site and vacuum parking stalls located to the east of the carwash facility. The proposed carwash will be 4,512 SF and the proposed kiosk will be 346 SF on a 1.00 acre site with approximately 0.99 acres of site disturbance. Building materials and colors are detailed in the included elevations and will consist of red ground face masonry and buff limestone with an architectural aluminum wall system tower in pewter mica. Clear anodized aluminum storefront and glazing is proposed. Overhead accent canopies above the windows will also be pewter mica in color. The waste enclosure gates will be Trex board in winchester gray, while the gates will consist of brick to match the main building structure.

Proposed drainage patterns will match the existing site drainage patterns. Stormwater will be conveyed via sheet flow to various new inlet structures that will convey stormwater to the same discharge point as the current site condition at the south end of the site. A rain garden green infrastructure BMP will be located at the southeast corner of the site to meet local stormwater management requirements.

Always a Better Plan

The proposed development will fit in to this existing commercially developed area. The building and site will blend in with and enhance the character of the neighborhood. The property will be transformed into a commercial development that is aesthetically pleasing with high-quality exterior materials on the building along with landscaping designed to ensure species resiliency and complimentary style. Site lighting will be provided in a fashion that provides appropriate foot candles for safety with cut-off fixtures for minimal light trespass and directed inward toward the development. The site layout and internal circulation has been designed to provide adequate on-site customer vehicle queuing and efficient, safe circulation. The building and grounds will be well maintained. No hazards or nuisances to nearby neighbors are anticipated as a result of this project.





BUILDING FLOOR PLAN

CREW CARWASH, INC N96 W17500 COUNTY LINE RD. GERMANTOWN, WI 53022

/ PROO





NORTH

01/12/2024

PRO2024

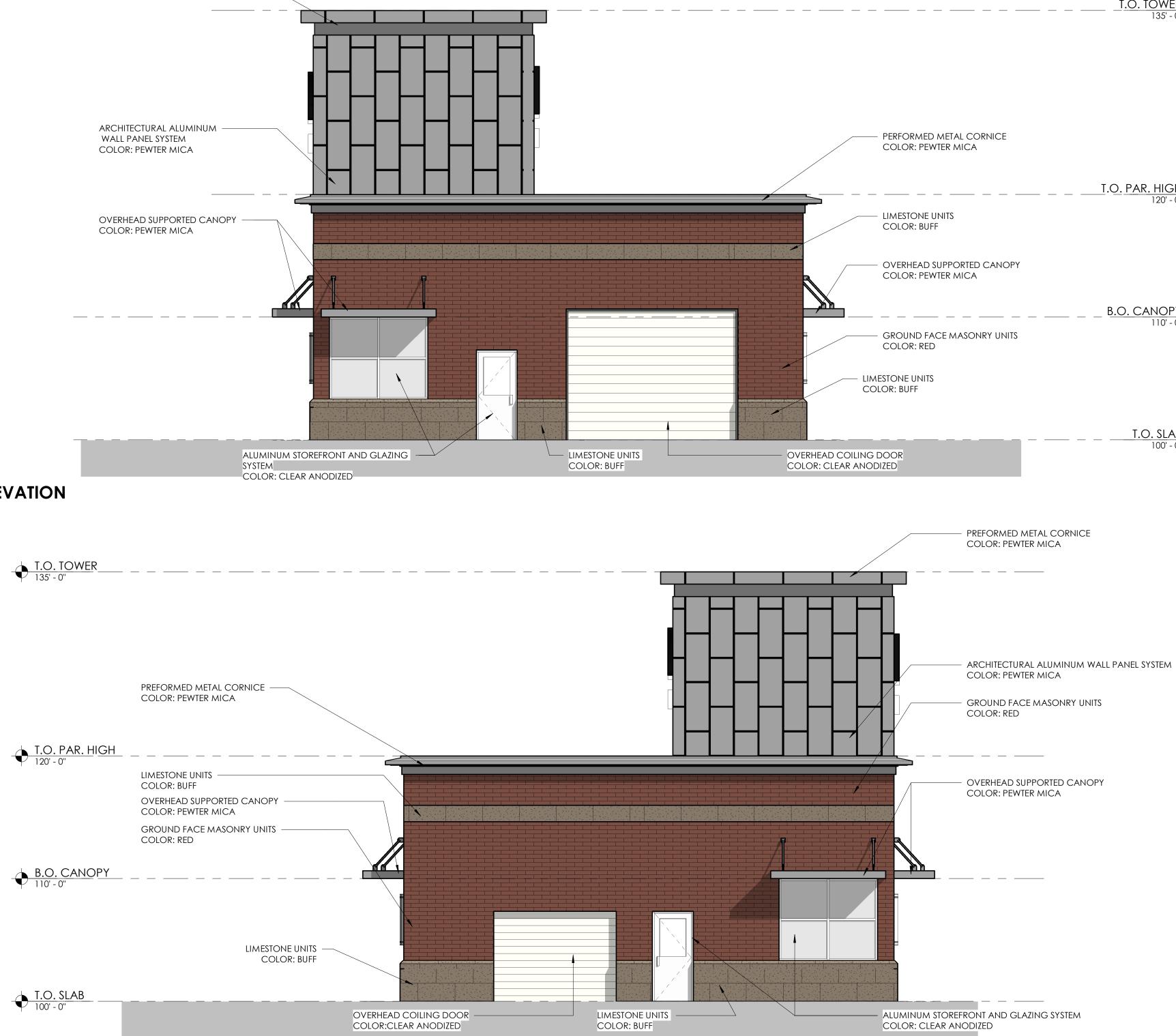
3/16" = 1'-0"



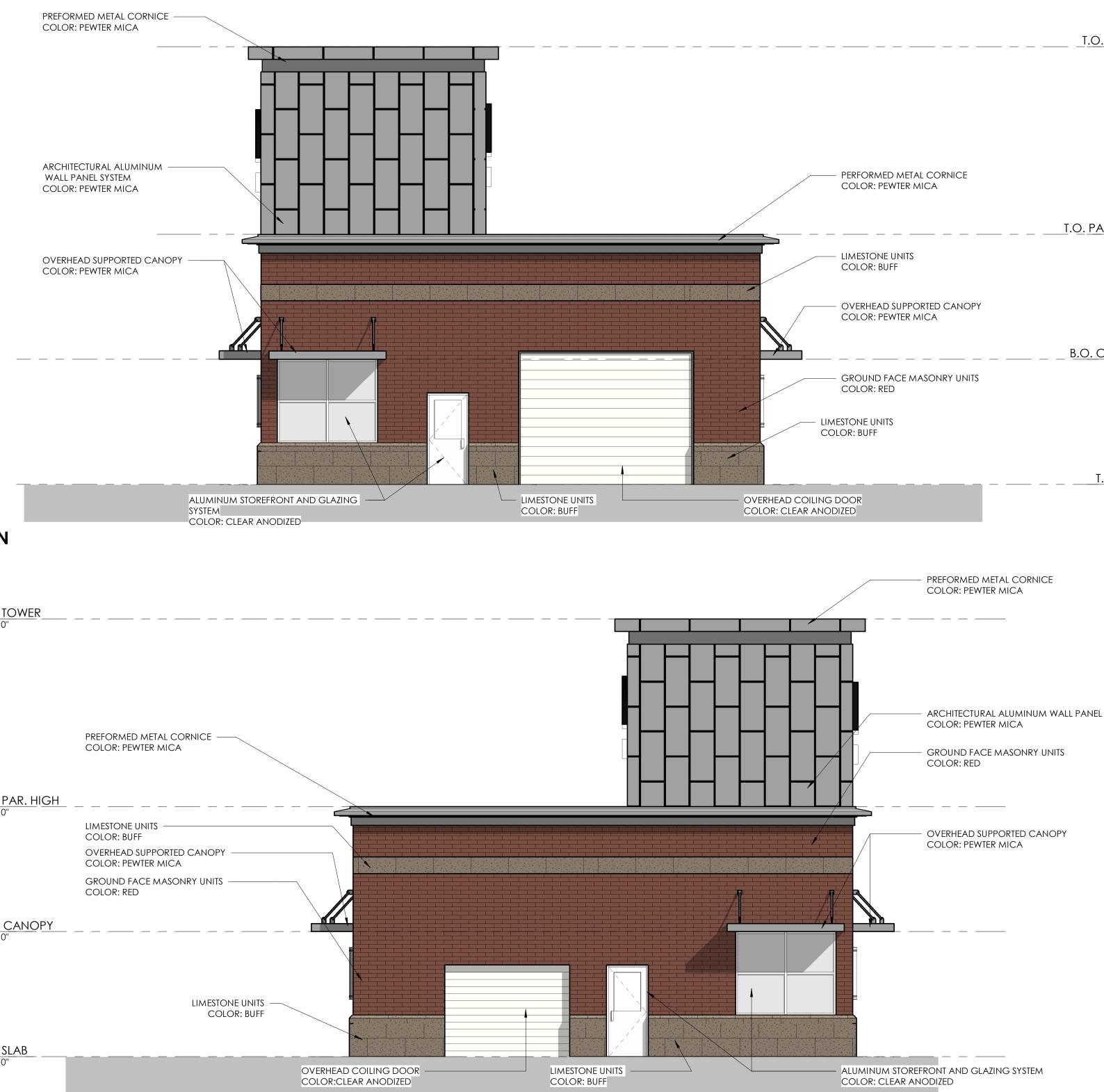
CREW CARWASH, INC N96 W17500 COUNTY LINE RD. GERMANTOWN, WI 53022

SOUTHWEST ELEVATION

T.O. SLAB



NORTHEAST ELEVATION



CREW CARWASH - BUILDING ELEVATIONS

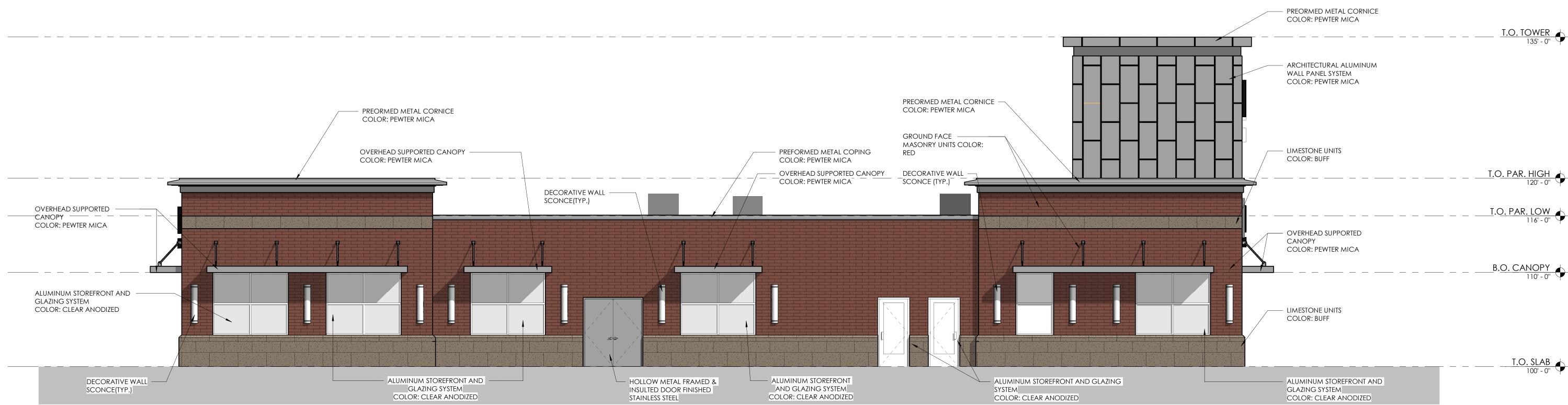
T.O. PAR. HIGH

B.O. CANOPY 110' - 0"

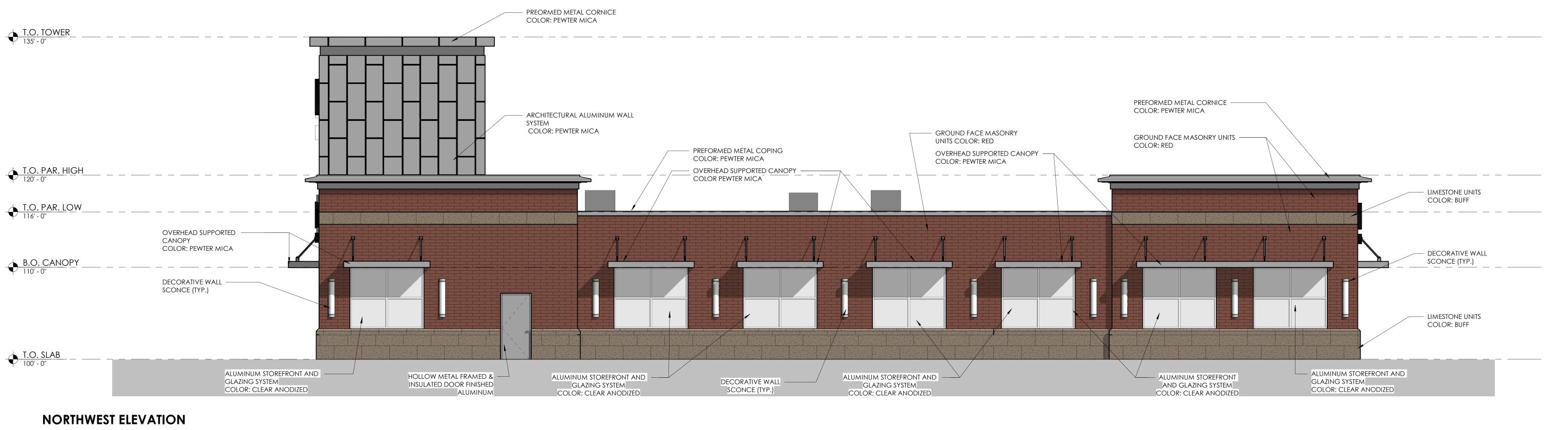
T.O. SLAB 100' - 0''

01/12/2024 PRO2024 3/16" = 1'-0"





SOUTHEAST ELEVATION





CREW CARWASH, INC N96 W17500 COUNTY LINE RD. GERMANTOWN, WI 53022

CREW CARWASH - BUILDING ELEVATIONS

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01/12/2024

PRO2024

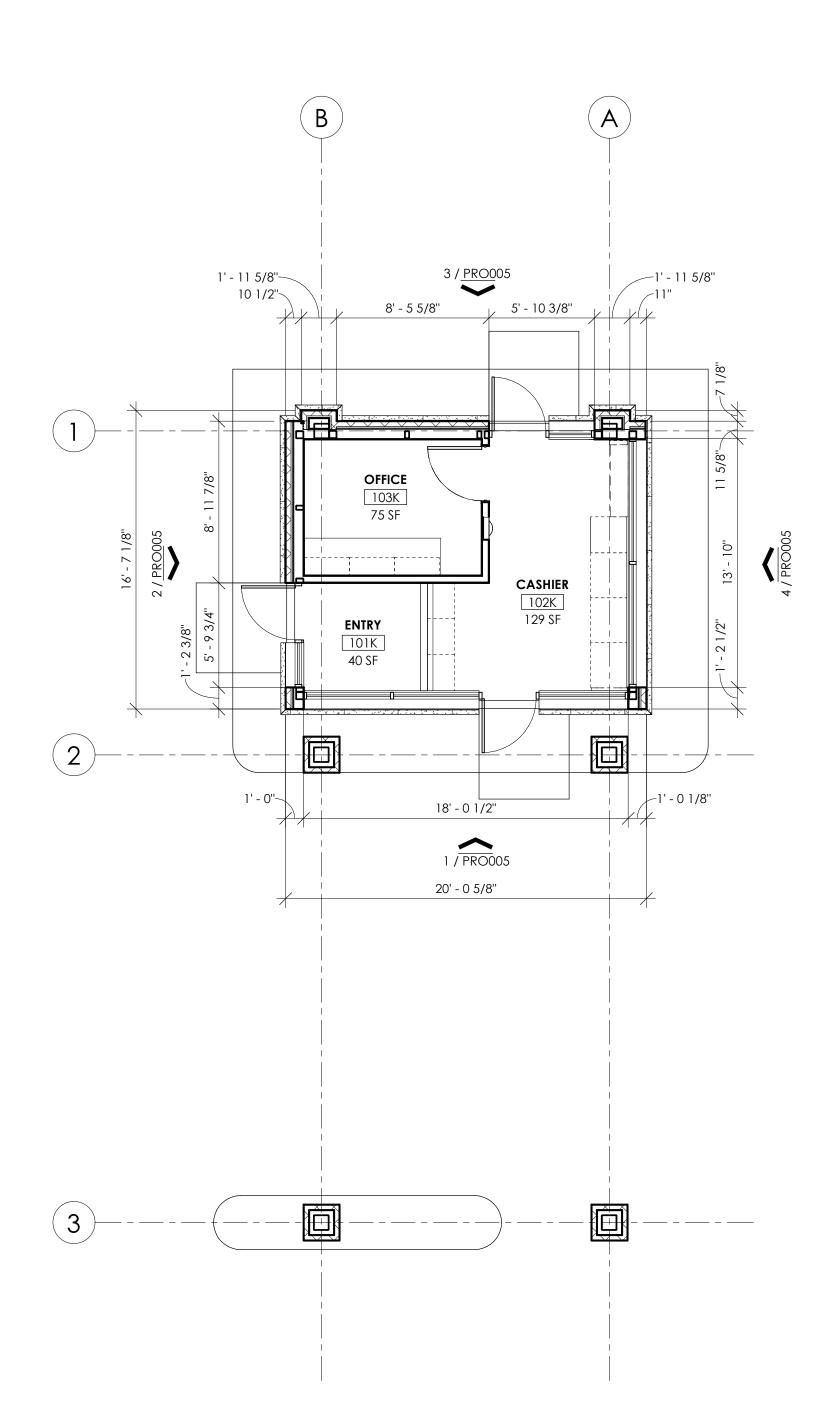
3/16" = 1'-0"





CREW CARWASH, INC N96 W17500 COUNTY LINE RD. GERMANTOWN, WI 53022

CREW CARWASH - KIOSK FLOOR PLAN

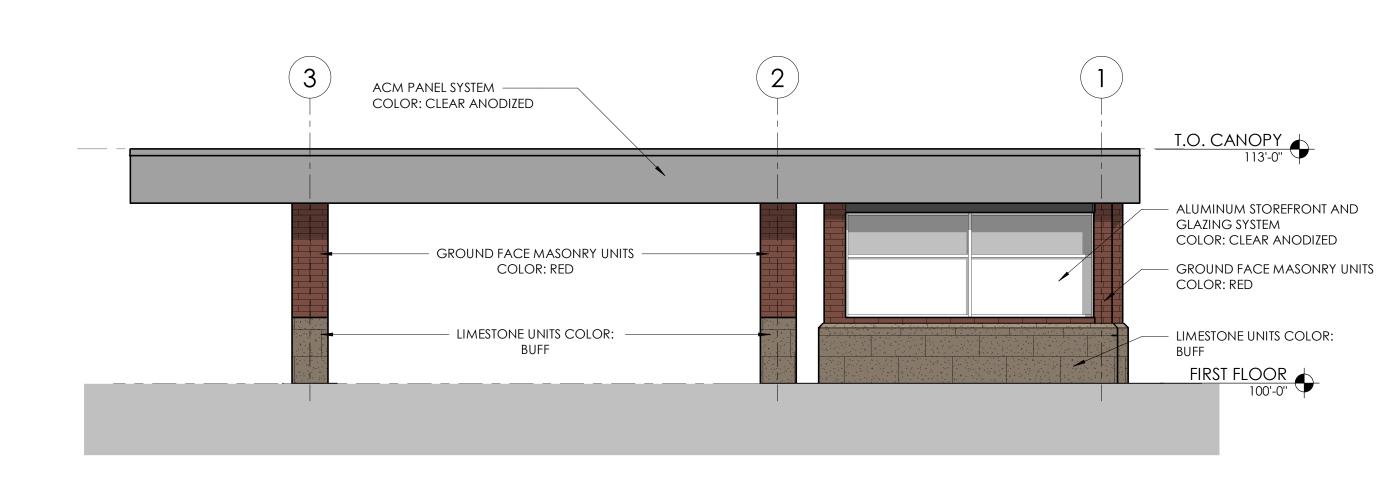


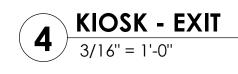




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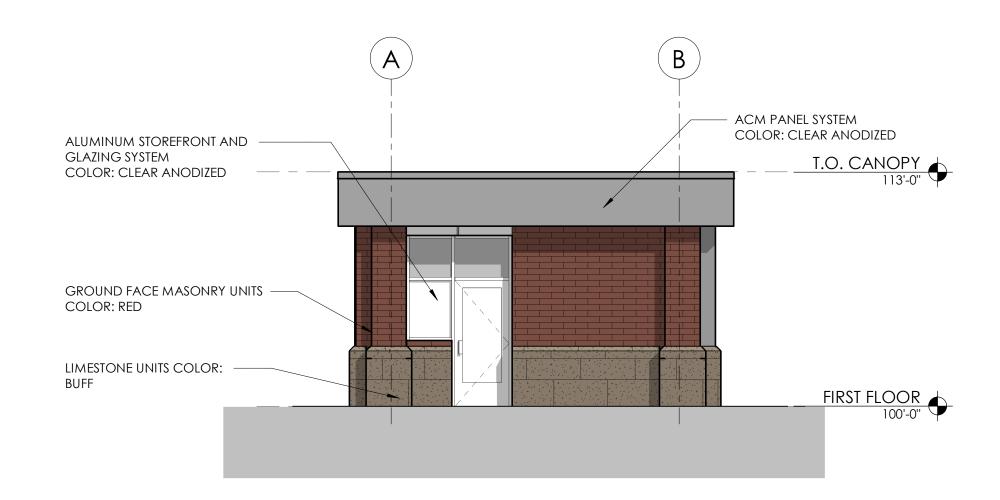




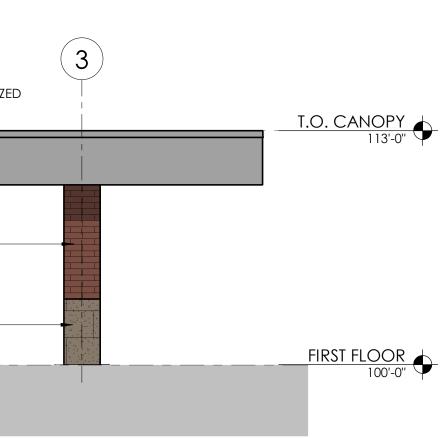
CREW CARWASH - KIOSK ELEVATIONS

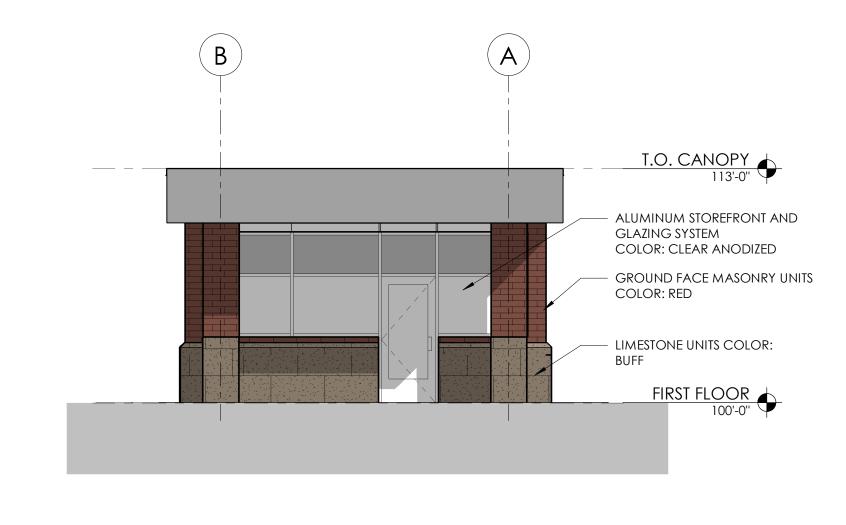
CREW CARWASH, INC N96 W17500 COUNTY LINE RD. GERMANTOWN, WI 53022











Cripe Solutions by Design Since 1937

01/12/24 PRO2024 3/16" = 1'-0"

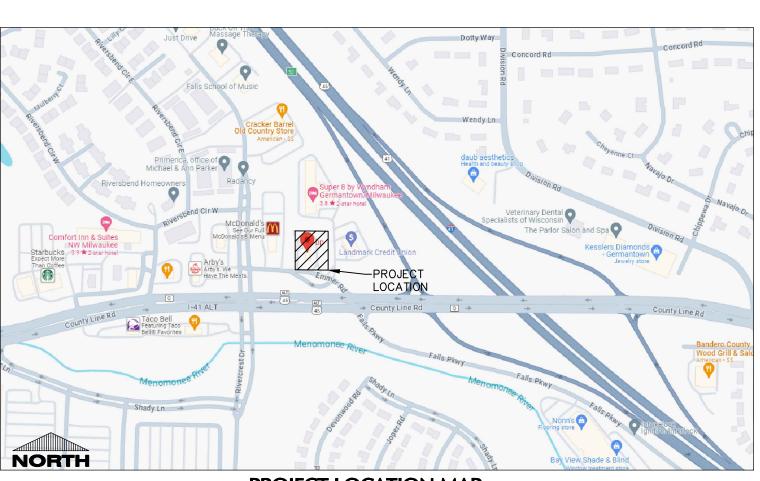
PROPOSED CAR WASH FOR: CREW CARWASH GERMANTOWN, WISCONSIN LEGEND

• 000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	
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8	PROPOSED WATER VALVE IN BOX	
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	WEIGHING 4.30 LB/FT.	——— E ———
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0	3/4" REBAR FOUND	
۵	2" IRON PIPE FOUND	
	1" IRON PIPE FOUND	
€	EXISTING FLOOD LIGHT	
H	SECTION CORNER	
>S	PROPOSED APRON END SECTION	800 — — -
<u>whr</u>	EXISTING MARSH AREA	800
(\cdot)	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER	
	EROSION MATTING	
IP	PROPOSED INLET PROTECTION	

EXISTING CONIFEROUS TREE
EXISTING SHRUB
EXISTING STUMP
SOIL BORING
EXISTING WELL
PROPOSED WELL PROPOSED LIGHT POLE EXISTING LIGHT POLE PROPOSED SIGN EXISTING SIGN
CENTER LINE
EXISTING HANDICAP PARKING STALL
PROPOSED HANDICAP PARKING STALL
EXISTING GAS VALVE
EXISTING WOODED AREA
EXISTING HEDGE
EXISTING CHAINLINK FENCE
EXISTING WOOD FENCE
EXISTING BARBED WIRE FENCE
PROPOSED PROPERTY LINE
EXISTING GUARD RAIL
EXISTING STORM SEWER AND MANHOLE
PROPOSED STORM SEWER AND MANHOLE - ST MH
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE - SAN MH
EXISTING WATER LINE AND HYDRANT
PROPOSED WATER LINE AND HYDRANT
EXISTING OVERHEAD UTILITY LINE
EXISTING UNDERGROUND FIBER OPTIC LINE
EXISTING UNDERGROUND ELECTRIC CABLE
EXISTING UNDERGROUND TELEPHONE CABLE
EXISTING UNDERGROUND GAS LINE PROPOSED CURB AND GUTTER
EXISTING CURB AND GUTTER
GRADING/SEEDING LIMITS
RIGHT-OF-WAY LINE
INTERIOR PROPERTY LINE
RAILROAD TRACKS
EXISTING GROUND CONTOUR
PROPOSED GROUND CONTOUR

CIVIL SHEET INDEX

SHEET	SHEET TITLE		
C0.1	CIVIL COVER AND SPECIFICATION SHEET		
C1.0	EXISTING SITE AND DEMOLITION PLAN		
C1.1	SITE PLAN		
C1.2	GRADING AND EROSION CONTROL PLAN		
C1.3	UTILITY PLAN		
C1.4	LANDSCAPE AND RESTORATION PLAN		
C2.0	DETAILS		
C2.1	DETAILS		
C2.2	DETAILS		
C3.1	SITE PHOTOMETRIC PLAN & DETAILS		



PROJECT LOCATION MAP

PLAN SPECIFICATIONS (BASED ON CSI FORMAT)

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- A CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE LITELITY LOCATE AS REOLITED TO ENSURE THAT ALL LITELITES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. B. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION. C. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REOUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE
- GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS. C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO
- SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS. D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR CARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSIT E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- . COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT. UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT 2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF
- 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT. 3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE- PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT. 4. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT
- LESS THAN 95 PERCENT 5. UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT 6. UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 85 PERCENT. G CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY
- CONTROL TESTS. H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWO ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE. OR REMOVE AND REPLACE SOIL TO DEPTH REOUIRED: RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS
- THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS SITE FARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN

31 30 00 EROSION CONTROL

- A. THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES NR 216 NOTICE OF INTENT REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN TO MEET NR 151.105 CONSTRUCTION SITE PERFORMANCE STANDARDS FOR NON-PERMITTED SITES. B. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REOUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION. AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED. 1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION). 2 DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1062 (CURRENT EDITION). 3. STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE JSED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12' MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED
- FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES. TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION) 4. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURREN FDITION)
- 5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION. WATER SPRAYING, SURFAC ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS, SOME SITES MAY REOUIRE AN APPROACH THA' JTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION)

6. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED

- DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE 7. CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. 8. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN
- ONE YEAR. THIS TEMPORARY SITE RESTORATION REOUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALI BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE

9. IF SITE DEWATERING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DEWATERING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW LL PROCEDURES FOUND IN TECHNICAL STANDARD 1061 10. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED. C. ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REOUIREMENTS. D. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.

DIVISION 32 EXTERIOR IMPROVEMENTS

E. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES TO MATCH THE EXISTING PAVEMENT SECTION WHERE REMOVAL AND REPLACEMENT IS REQUIRED IN ACCORDANCE WITH LOCAL STANDARDS. B. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER
- WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. C. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.

32 20 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS. B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR
- IGHWAY AND STRUCTURE CONSTRUCTION C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 330R-08 & ACI 318-08.
- D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS . SIDEWALK CONCRETE - 5" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTION JOINTS SHALL CONSIST OF 1/8" WIDE BY
- DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS. 2. HEAVY DUTY CONCRETE- 6" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE. CONCRETE SHALL BE REINFORCED WITH #3 REBARS ON HAIRS AT 3' Q.C. REBAR SHALL BE PLACED PLACED IN THE UPPER 1/3 TO ½ OF THE SLAB. CONTRACTION JOINTS SHALL BE SAWCUT 1.5" IN
- DEPTH AND BE SPACED A MAXIMUM OF 15' ON CENTER. . DUMPSTER PAD/APRON CONCRETE - 8" OF CONCRETE OVER 6" OF AGGREGATE BASE
- a. CONCRETE SHALL BE STEEL REINFORCED WITH THE FOLLOWING AND PLACED IN THE UPPER 1/3 TO ½ OF THE SLAB: 1). TIE BARS AT ALL CONTRACTION JOINTS OF THE CONCRETE. TIE BARS SHALL BE #4 REBAR 30" LONG PLACED AT 30" O.C.
- b. DUMPSTER PAD CONCRETE JOINTING SHALL BE AS FOLLOWS: 1). CONTRACTION SAWCUT JOINT - CONTRACTOR SHALL PROVIDE A SAWCUT JOINT AT MAXIMUM SPACING OF 15' ON CENTER. SAWCUT
- SHALL BE 2" IN DEPTH. 2). TYPICAL POUR CONTROL JOINT - POUR CONTROL JOINT SHALL BE PROVIDED WITH 1-1/4" DIAMETER BY 20" LONG SMOOTH DOWEL PLACED AT 12" O.C. ONE HALF OF THE DOWEL SHALL BE GREASED. GREENSTREAK 9" SPEED DOWEL TUBES SHALL BE USED.
- E DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94 I. STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
- 2. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45. 3. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORI
- 4. SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER
- 5. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER. 6. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED 7. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
- F. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIRING PAD. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6-W1.4 X W1.4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 5.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REOUIREMENTS WITH RESPECTIVE CONTRACTOR. G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN IE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHOULD BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
- L ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3 WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #6 BARS, 60 DIAMETERS FOR #7 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185.
- WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, ANI SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD., BUT
- LESS THAN 25 CULYD, PLUS ONE SET FOR FACH ADDITIONAL 50 CULYD, OR FRACTION THEREOF, PERFORM COMPRESSIVE-STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF H CONCRETE MIX, PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTE K PROTECT ERESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT DRY AND WINDY
- WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING L. LIMIT MAXIMUM WATER-CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45 M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER DATE OF CONCRETE
- PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN OMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREA FOR BOTH 7-DAY TESTS AND 28-DAY TESTS. N. CONTRACTOR TO PROVIDE 4" WIDE YELLOW OR WHITE (VERIFY WITH OWNER PRIOR TO STRIPING) PAINTED STRIPING FOR PARKING STALLS.
- TRAFFIC LANES, AND NO PARKING AREAS. PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES

Table A: Allowable Pipe Material Schedule					
Utility	Material	Pipe Code	Fitting Code	Joint Code	
Irrigation Service	C901 PE	AWWA C901/C906	ASTM D2609, ASTM D2683, ASTM D3261	Heat fusion: ASTM D2657	
Water Service	C900 PVC	AWWA C900, ASTM D1785, ASTM D2241	AWWA C110, AWWA C153, ASTM D2464, ASTM D2466, ASTM D2467, ASTM D3311, ASTM F409, ASTM F1336, ASTM F1866	Joint: ASTM D3139 Integral Bell & Spigot Elastomeric Seal: ASTM F477	
Sanitary Sewer	SDR 35 PVC	ASTM D1785, ASTM D2665, ASTM D3034, ASTM F891	ASTM F1336	Push On: ASTM D3212 for Tightness Elastomeric Gasket: ASTM F477	
*Sanitary Sewer	SCH.40 PVC	ASTM D1785, ASTM D2665, ASTM F891	ASTM F1336	Primer: ASTM F656 Solvent Cement: ASTM D2564	
Storm Sewer	HDPE	ASTM F2648	ASTM F2306 Saddle Gasket	Joint: ASTM F2648 Bell & Spigot Elastomeric Seal: ASTM F477	
*Storm Sewer	SCH. 40 PVC	ASTM D1785, ASTM D2665, ASTM F891	ASTM F1336	Primer: ASTM F656 Solvent Cement: ASTM D2564	

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

GENERAL PROJECT NOTES

ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.

- 2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
- CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AS-BUILT SURVEY OF THE STORMWATER MANAGEMENT SYSTEM UPON COMPLETION OF THE WORK.

32 30 00 LANDSCAPING AND SITE STABILIZATION

A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS, OTHER THAN AT LANDSCAPE ISLANDS WITHIN PAVEMENT AREAS WHERE A MINIMUM OF 10" OF TOPSOIL SHALL BE PROVIDED. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHAL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED. B TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER ALSO

EMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION. . SODDED LAWNS: PROVIDE SOD CONSISTING OF THE FOLLOWING GRASS SPECIES - 65% KENTUCKY BLUEGRASS, 20% PERENNIAL RYEGRASS, 15%

FINE FESCUE. PROVIDE VIABLE SOD OF UNIFORM DENSITY, COLOR, AND TEXTURE. SOD SHOULD BE STRONGLY ROOTED AND CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED. LAY SOD WITHIN 24 HOURS OF HARVESTING. DO NOT LAY SOD IF DORMANT OR IF UND IS FROZEN OR MUDDY. LAY SOD WITH TIGHTLY FITTED BUTT END AND SIDE JOINTS. DO NOT STRETCH OR OVERLAP. STAGGER SOD STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. TAMP AND ROLL LIGHTLY TO ENSURE CONTACT WITH TOPSOIL. ANCHOR SOD ON SLOPES EXCEEDING 6:1 SLOPE. PROVIDE SLOW RELEASE FERTILIZER AS RECOMMENDED BY SOD SUPPLIER FOR PROPER LAWN ESTABLISHMENT. SATURATE WITH FINE WATER SPRAY WITHIN 2 HOURS OF PLANTING. D. SODDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE FOR ALL SODDED AREAS FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION, AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE LAWN SHOULD BE

ESTABLISHED. THE LAWN SHOULD BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES. REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REOUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY. TREES AND SHRUBS: FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE, AND LOCATION.

TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED. G. TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM HE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT.

CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS. ORGANIC HARDWOOD MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF SHREDDED HARDWOOD MULCH AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER. DECORATIVE STONE MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF 1.5" MINIMUM TO 2.5" MAXIMUM CRUSHED DECORATIVE STONE AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.

ALUMINUM EDGING: INSTALL PERMALOC CLEANLINE LANDSCAPE EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGING TO BE CL 1/8"X4" WITH 12" LONG ALUMINUM STAKES. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS. COLOR BY OWNER. VERIFY FINAL EDGING TYPES TO BE USED WITH OWNER/DIRECTOR OF PROJECTS PRIOR TO INSTALLATION. LANDSCAPE AND LAWN IRRIGATION: CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF IRRIGATION SYSTEM PIPING, VALVES, VALVE BOXES. SPRINKLERS, EMITTERS, DRIP TUBES, AND CONTROLS IN COMBINATIONS THAT BEST SUIT THE LANDSCAPE PLAN LAYOUT, ALL LAWN AND LANDSCAPING AREAS SHALL BE PROVIDED WITH IRRIGATION AS DELINEATED ON THE PLAN. THE DESIGN SHOULD MINIMIZE THE AMOUNT OF WATER THAT EXTENDS BEYOND THE PROPERTY AND ON PAVED AREAS. THE SYSTEM SHALL BE DESIGNED FOR FULLY AUTOMATIC OPERATION

AND PROVIDE ALL NECESSARY CONTROLS, VALVES, AND WIRING TO OPERATE THE SYSTEM. THE CONTROL UNIT SHALL BE INSTALLED IN A MECHANICAL ROOM OR AT A LOCATION AGREED TO WITH THE OWNER. THE CONTROL UNIT SHOULD BE PROVIDED WITH A LOCKING COVER POP-UP SPRAY OR ROTARY SPRINKLERS SHALL BE USED AT LAWN AREAS TO PROVIDE A UNIFORM COVERAGE OF 1 TO 2 INCHES OF WATER PER HOUR. EMITTERS AND DRIP TUBES OR SHRUBBERY SPRINKLERS SHALL BE USED AT PLANTS AND SHRUBS AS APPROPRIATE FOR THE PLANTING DENSITY AND SPECIES TYPE. ALL SPRINKLER HEADS SHALL BE COMMERCIAL GRADE. THE SYSTEM SHALL BE CIRCUITED AS REQUIRED TO PROVIDE ADEOUATE WATER FLOW TO EACH SPRINKLER HEAD. THE CONTROL SYSTEM MUST INCLUDE A RAIN SENSING SHUT OFF DEVICE. THE ENTIRE SYSTEM IS TO BE INSTALLED WITH A MINIMUM UNIFORM SLOPE OF 0.5 PERCENT TOWARD DRAIN VALVES.

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

A CONTRACTOR TO FIELD VERIEVALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIEV PIPE LOCATIONS SIZES AND DEPTHS. AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY. B. ALL PROPOSED SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE PROPOSED PLANSET.

. SANITARY MANHOLES SHALL BE 48" PRECAST AND CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN-CURRENT EDITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER. SANITARY MANHOLE FRAME AND GRATE TO BE NEENAH R-1550-A OR EQUAL. RIM ELEVATION TO BE SET AT FINISHED GRADE IN DEVELOPED AREAS AND 12" ABOVE FINISHED GRADE IN UNDEVELOPED AREAS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER. D. CLEANOLITS SHALL BE PROVIDED FOR THE SANITARY SERVICE AT LOCATIONS INDICATED ON THE LITILITY PLAN. THE CLEANOLIT SHALL CONSIST

OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A 6" VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A ZURN (Z-1474-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER

F ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWARLE PIPE MATERIAL SCHEDULE ON COLD OF THE PROPOSED PLANSET. 7' MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE PROPOSED PLANSET. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8' HORIZONTALLY FROM FOUNDATION WALLS.

G. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVER SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS. H. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SEWER FOR INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MINIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/GC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT

UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE

PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED

PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.

> TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE TELEFAX (414) 259-0947 TDD (FOR THE HEARING IMPAIRED) 1-800 542-2289 WISCONSIN STATUTE 182.0175 (1974)

REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

CONTACTS

OWNER CREW CARWASH 11700 EXIT 5 PKWY STE 100 FISHERS, IN 46037-8003 CONTACT: KATHERINE RAYNER P: (317) 809-5161 katherine.rayner@crewcarwash.com

CIVIL **EXCEL ENGINEERING 100 CAMELOT DRIVE** FOND DU LAC, WISCONSIN 54935 CONTACT: DUSTIN SALTER, PE P: (920) 926-9800 F: (920) 926-9801 dustin.s@excelengineer.com

CIVIL COVER AND SPECIFICATION SHEE

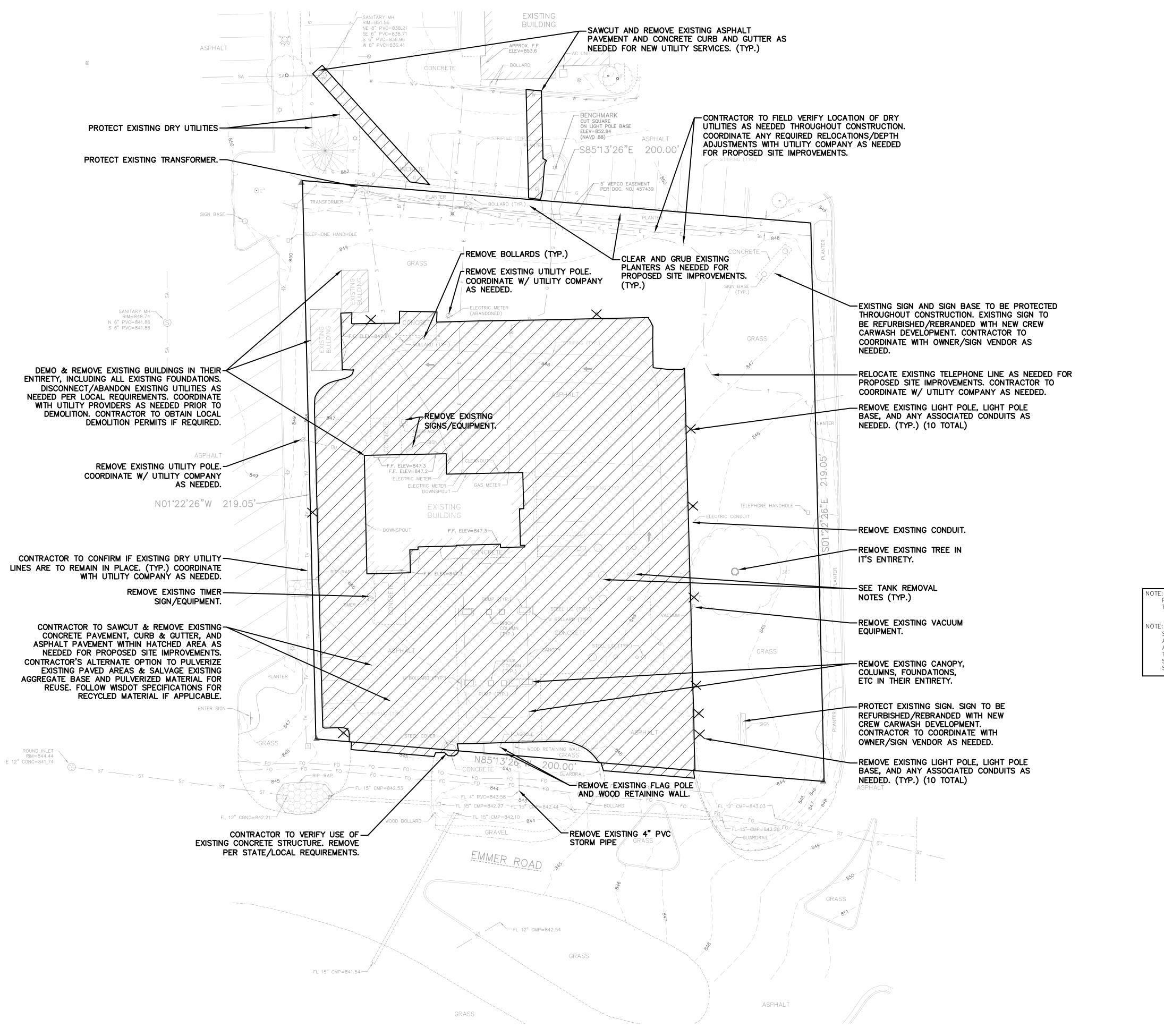


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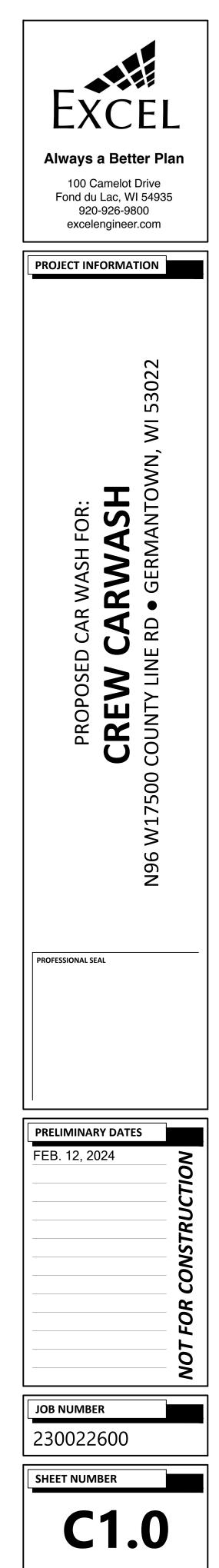
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SHEET NUMBER





SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS	SPECIFICATION NOTE:	_
SPECIFICATIONS AND REQUIREMENTS	SEE SHEET CO.1 FOR	PLAN
	SPECIFICATIONS AND	REQUIREMENTS



PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT NO. 2237081, BY KNIGHT BARRY TITLE, INC., DATED SEPTEMBER 19, 2023.

SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS PER TICKET NO. 20230306381 AND NO. 20234005120 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

DEMOLITION PLAN NOTES:

DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, OR DEMOLISH ITEMS AS NEEDED DURING CONSTRUCTION.

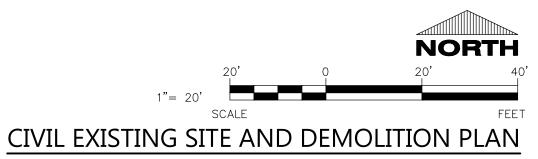
PRIVATE LOCATE SHALL BE COMPLETED PRIOR TO CONSTRUCTION AND EXISTING UTILITY LOCATIONS AND DEPTHS SHALL BE FIELD VERIFIED AS NEEDED. PROPOSED DOWNSTREAM UTILITY CONNECTIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. NOTIFY DESIGN ENGINEER OF CONFLICTS AND/OR DISCREPANCIES.

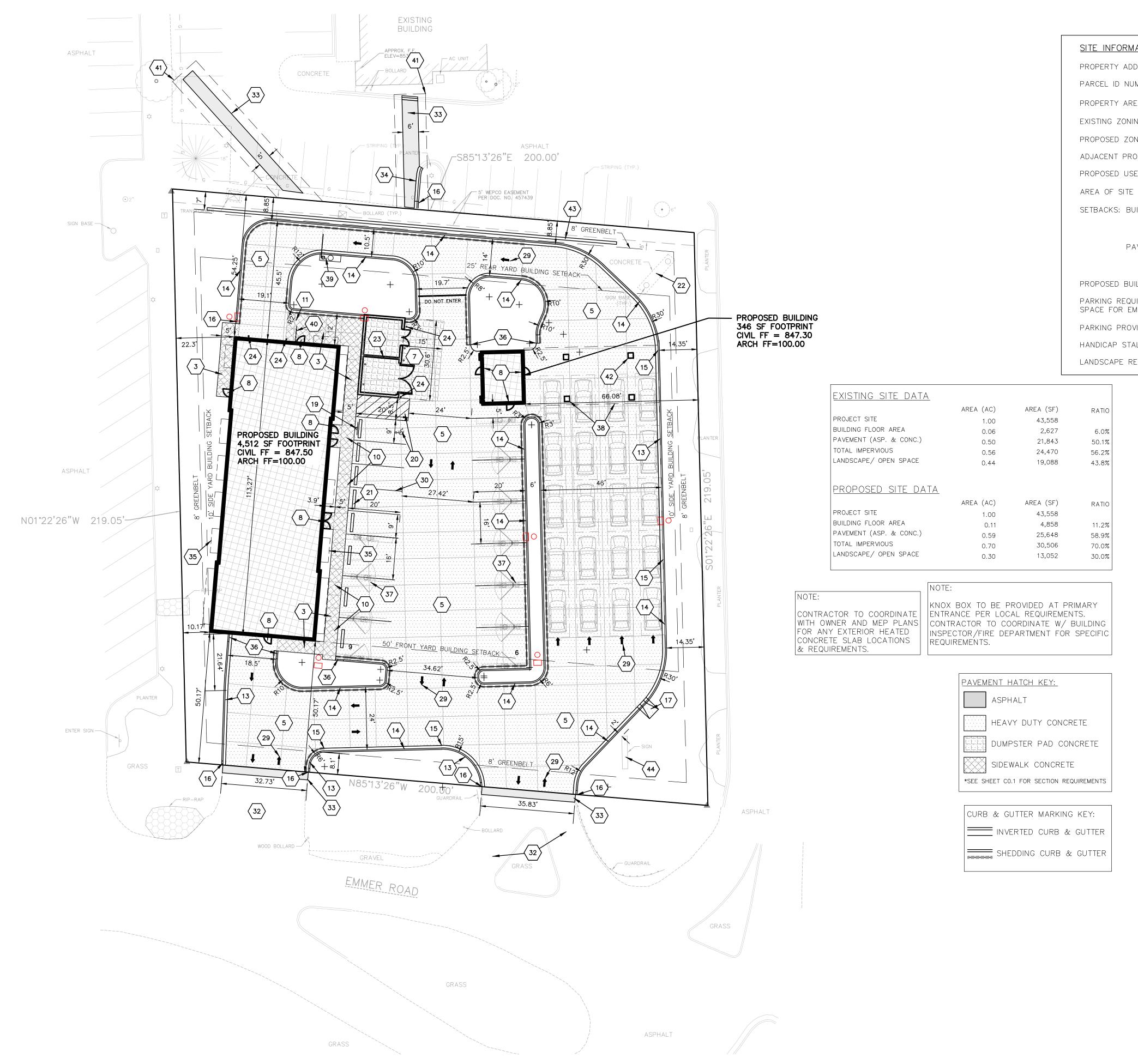
TANK REMOVAL NOTE:

NOTE THAT ALL FUELING EQUIPMENT AND UNDERGROUND FUEL STORAGE TANKS ARE TO BE COMPLETELY REMOVED BY THE SELLER AT THE SELLER'S EXPENSE PRIOR TO CONSTRUCTION OF CREW CARWASH. CONTRACTOR TO COORDINATE WITH OWNER IF ANY UNDERGROUND FUELING TANKS OR EQUIPMENT ARE DISCOVERED DURING CONSTRUCTION.

EXISTING SEWER/WATER LATERAL NOTE:

CONTRACTOR SHALL REMOVE EXISTING SEWER AND WATER SERVICE LATERALS TO THE PROPERTY LINE. CAP/ABANDON PER LOCAL REQUIREMENTS. COORDINATE WITH LOCAL UTILITY DEPARTMENTS AS NEEDED PRIOR TO ABANDONMENT.

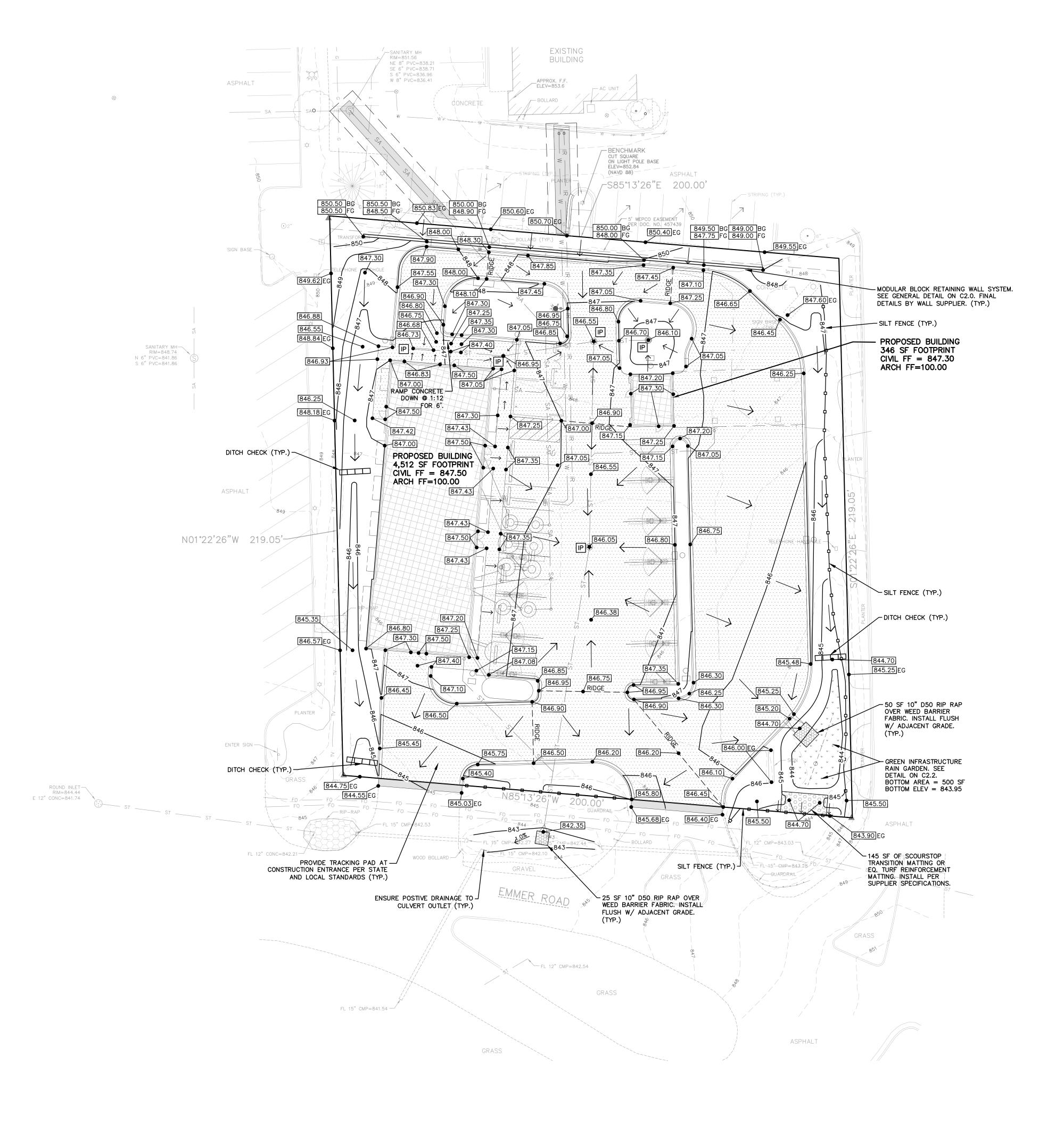


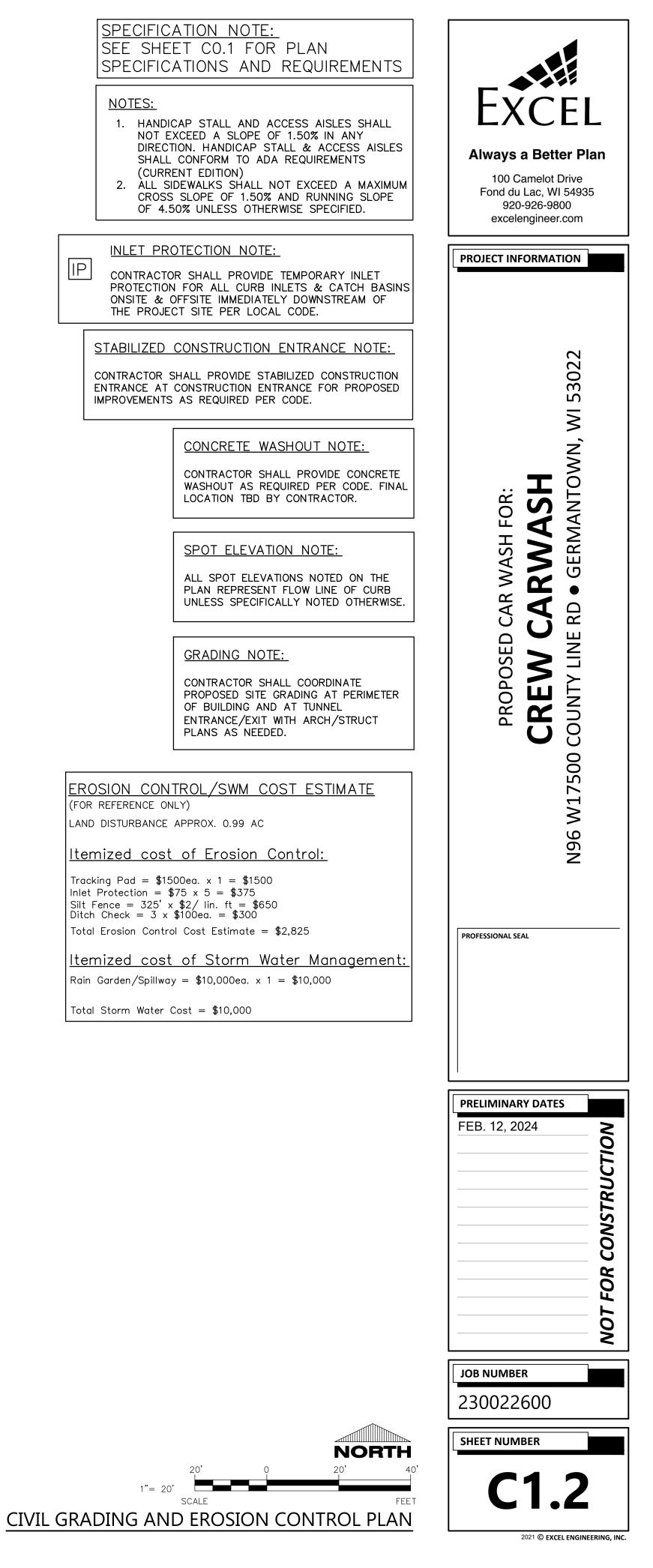


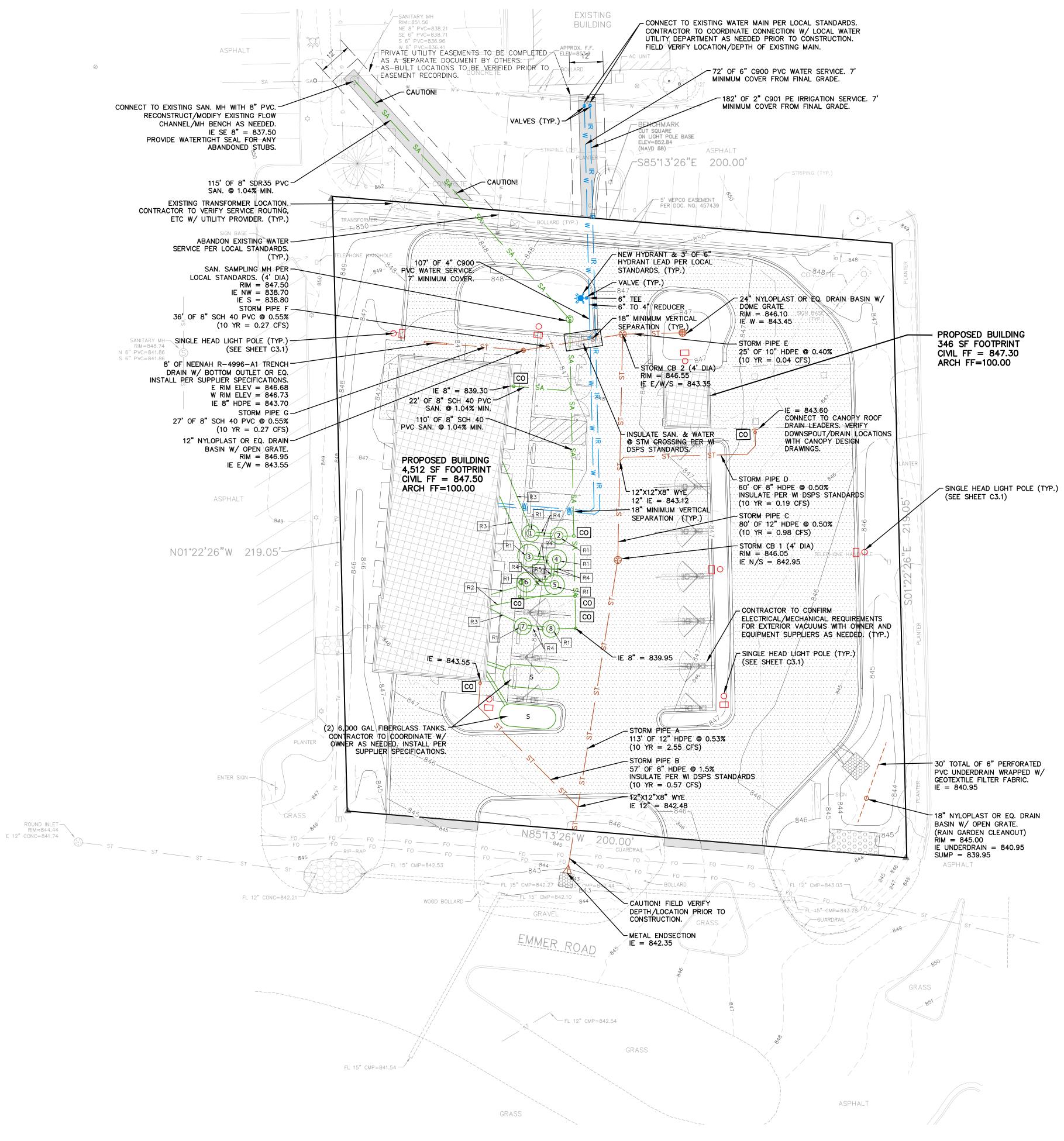
SPECIFICATIONS AND REQUIREMENTS	
ATION:	EXCEL
DDRESS: N96W17500 COUNTY LINE RD, GERMANTOWN WI	
JMBER: 334990	Always a Better Plan
REA: 43,558 S.F. (1.00 ACRES).	Fond du Lac, WI 54935 920-926-9800
ING: B-5 W/ HIGHWAY INTERCHANGE AREA OVERLAY	excelengineer.com
ONING: B-5 W/ HIGHWAY INTERCHANGE AREA OVERLAY	PROJECT INFORMATION
SE: CONVEYOR-STYLE CARWASH	
E DISTURBANCE: 43,346 SF (0.995 AC)	
UILDING: FRONT = $50'$	
SIDE = 10' REAR = 25'	22
AVEMENT: FRONT = 8' SIDE = 8'	230
REAR = 8'	WI 5302
JILDING HEIGHT: 35' TO TOP OF TOWER (MAX. HEIGHT ALLOWED: 35') UIRED: NO CODIFIED REQUIREMENT FOR CARWASH USE; ADEQUATE MPLOYEES AND CUSTOMERS	PROPOSED CAR WASH FOR: CREW CARWASH N96 W17500 COUNTY LINE RD • GERMANTOWN, V
VIDED: 14 TOTAL (5 STANDARD EMPLOYEE SPACES, 9 VACUUM SPACES)	
ALLS REQUIRED: 1 REQUIRED, 1 PROVIDED	AN
REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO = 20% OPEN AREA	PROPOSED CAR WASH FOR REV CARWAS JUNTY LINE RD • GERMAN
	GEI GEI
SITE PLAN KEYNOTES	
3 CONCRETE SIDEWALK (TYP.)	
5 HEAVY DUTY CONCRETE (TYP.) 7 DUMPSTER PAD/APRON CONCRETE (TYP.)	
8 CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.	
10 FLUSH WALK (TYP.)	
11) SIDEWALK RAMP, SEE SHEET C1.2. (TYP.)	
13 18" ROLL CURB, 3" CURB HEIGHT (TYP.)	000
14 18" CURB & GUTTER (TYP.)	750
15 ROLL CURB/STANDARD CURB TRANSITION. (TYP.)	M1
(16) CURB TAPER (TYP.) (17) CURB CUT W/ 5" THICK CONCRETE PAD/FLUME WARPED TO MATCH	96
II CURB CUT (TYP.) I9 HANDICAP SIGN (TYP.)	ž
20 HANDICAP STALL & STRIPING PER STATE CODES.	
21 PRECAST CONCRETE WHEEL STOP PINNED TO PAVEMENT (9 TYP.)	
22 EXISTING PYLON SIGN TO REMAIN AND BE RE-BRANDED. (DETAILS & APPROVAL BY SIGN VENDOR)	PROFESSIONAL SEAL
23 DUMPSTER/STORAGE ENCLOSURE. ROLL OUT DUMPSTERS REQUIRED FOR SERVICE. (SEE ARCH PLANS FOR DETAILS)	
24 6" CONCRETE BOLLARDS (SEE DETAIL)	
 (29) TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING. (30) PAINT STRIPING (TYP). COLOR TO MATCH PARKING STALL STRIPING. 	
30 FAINT STAIL ING (TTF). COLOR TO MATCH FARRING STALL STAIL	
 REPLACE EXISTING ASPHALT PAVEMENT PER LOCAL STANDARDS. MATCH EXISTING PAVEMENT SECTION. (TYP.) 	
34 REPLACE CONCRETE CURB AND GUTTER TO MATCH EXISTING. (TYP.)	PRELIMINARY DATES
(35) CANOPY. SEE ARCH PLANS. (TYP.)	FEB. 12, 2024
36 TAPER CURB TO FLUSH IN 3' (TYP.) OUTDOOR VACUUM EQUIPMENT. CONTRACTOR TO COORDINATE FINAL	
37 PRODUCTS, DETAILS, ETC WITH OWNER/DIRECTOR OF PROJECTS. VERIFY CONCRETE SLAB REQUIREMENTS WITH OWNER & EQUIPMENT SUPPLIER PRIOR TO INSTALLATION. ISLAND AND CANOPY TO BE PROVIDED BY OWNER AND INSTALLED BY	
 CONTRACTOR. CONTRACTOR TO VERIFY FINAL LOCATIONS, DETAILS, EQUIPMENT, ETC WITH OWNER AND EQUIPMENT SUPPLIERS PRIOR TO CONSTRUCTION. 	
39BUG GATE (TYP.) CONTRACTOR TO VERIFY FINAL DETAILS AND REQUIREMENTS WITH OWNER AND EQUIPMENT SUPPLIER AS NEEDED.406' OF RAILING/GUARDRAIL. FINAL COLOR/STYLE/DETAIL BY OWNER. (TYP.)	
41 PRIVATE UTILITY EASEMENTS TO BE COMPLETED BY OTHERS AS A SEPARATE DOCUMENT. OWNER TO COORDINATE AS NEEDED. SEE SHEET C1.3 FOR UTILITY SERVICE EXTENSIONS.	
42 COLUMN (TYP.) COORDINATE FINAL LOCATIONS W/ CANOPY SUPPLIER DRAWINGS.	
 43 44 4	JOB NUMBER
EXISTING MONUMENT SIGN TO REMAIN AND BE RE-BRANDED. (DETAILS & APPROVAL BY SIGN VENDOR.)	230022600

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<u>CIVIL SITE PLAN</u>



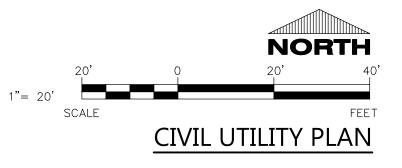




	WATER RECLAIM SYSTEM (GRIT PIT) STRUCTURE TABLE							
				FFE = 84	7.50			
STRUCTURE	STRUCTURE						PROVIDED STORAGE	PROVIDED STORAGE
NUMBER	DIAMETER (IN)	RIM ELEV.	INVERT IN	INVERT OUT	SUMP	SUBGRADE	(CU FT)	(US GAL)
1	60	847.25	842.00	841.75	833.67	833.17	137.40	1028
2	60	846.87	841.75	841.50	833.67	833.17	132.54	991
3	84	847.22	842.00	841.75	833.67	833.17	298.25	2230
4	72	846.90	841.75	841.50	833.67	833.17	212.06	1586
5	72	846.87	841.50	841.25	833.67	833.17	205.00	1533
6	72	847.25	841.25	841.00	833.67	833.17	197.92	1480
7	60	847.13	842.00	841.75	833.67	833.17	142.35	1065
8	60	846.83	841.75	841.50	833.67	833.17	137.40	1028

SPECIFICATION NOTE: SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS CLEANOUT NOTE: CO = DENOTES LOCATIONS WHERE Always a Better Plan CONTRACTOR SHALL INSTALL CLEANOUTS, SEE CO.1 FOR SPECIFICATION. 100 Camelot Drive Fond du Lac, WI 54935 UTILITY NOTE: 920-926-9800 excelengineer.com CONTRACTOR TO VERIFY FINAL SIZE, DESIGN, AND LOCATIONS OF ALL EXTERIOR SITE UTILITIES WITH INTERNAL MEP DESIGN AND OWNER AS NEEDED. PROJECT INFORMATION UTILITY NOTE: CONTRACTOR TO ENSURE ADEQUATE SEPARATION IS PROVIDED BETWEEN DOMESTIC WATER SERVICE AND SANITARY/STORM SERVICE PER WI DSPS PLUMBING CODE STANDARDS. DRY UTILITY SERVICE NOTES: 53022 CONTRACTOR SHALL COORDINATE DRY UTILITY SERVICE ROUTING FOR ELECTRIC, GAS, ETC WITH APPLICABLE SERVICE PROVIDERS AS NEEDED \geq WATER RECLAMATION SYSTEM NOTES (R): R1. ACCESS RISER AND OPERATING 38" DIAMETER STEEL PLAT LID, GERMANTOWN, MODEL PER OWNER SPECIFICATIONS. STRUCTURE TOP TO HAVE A 36" DIAMETER OPENING CASTING. LID TO BE ALIGNED WITH LADDER RUNGS IN MANHOLE. I R2. 8" PVC, SCHEDULE 40, TO RECLAIM PIT. FOR S R3. 8" PVC, SCHEDULE 80 CONVEYOR TRENCH DRAIN. CONVEYOR 4 TRENCH DRAINS MUST BE RUN IN STRAIGHT LINES WITH NO TURNS. I 3 R4. 8" PVC CONNECTOR TO SLEEVES, REFER TO TABLE FOR C INVERT ELEVATIONS. \leq R5. 4" PVC CONNECTOR SLEEVES. Ľ 4 GENERAL SYSTEM NOTES: RD \cup \mathbf{O} CONTRACTOR SHALL VERIFY WATER RECLAMATION SYSTEM ш \square

- LAYOUT, COMPONENTS, INVERT ELEVATIONS, AND PIPE ROUTING WITH OWNER AND INTERNAL PLUMBING DESIGNER PRIOR TO ORDERING MATERIALS.
- CONTRACTOR SHALL READ AND REVIEW GEOTECHNICAL REPORT PREPARED FOR THE SITE. IF HIGH GROUNDWATER IS NOTED OR ENCOUNTERED DURING CONSTRUCTION, CONTRACTOR SHALL REVIEW WITH TANK SUPPLIER & OWNER TO DETERMINE IF ANTI-BUOYANCY ACTIONS SHALL BE TAKEN.
- CONTRACTOR SHALL INSULATE RECLAMATION SYSTEM CONNECTOR PIPES W/ POLYSTYRENE INSULATION BOARDS OR OTHER APPROVED METHOD PER WI DSPS STANDARDS.



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PROFESSIONAL SEAL

PRELIMINARY DATES

FEB. 12, 2024

JOB NUMBER

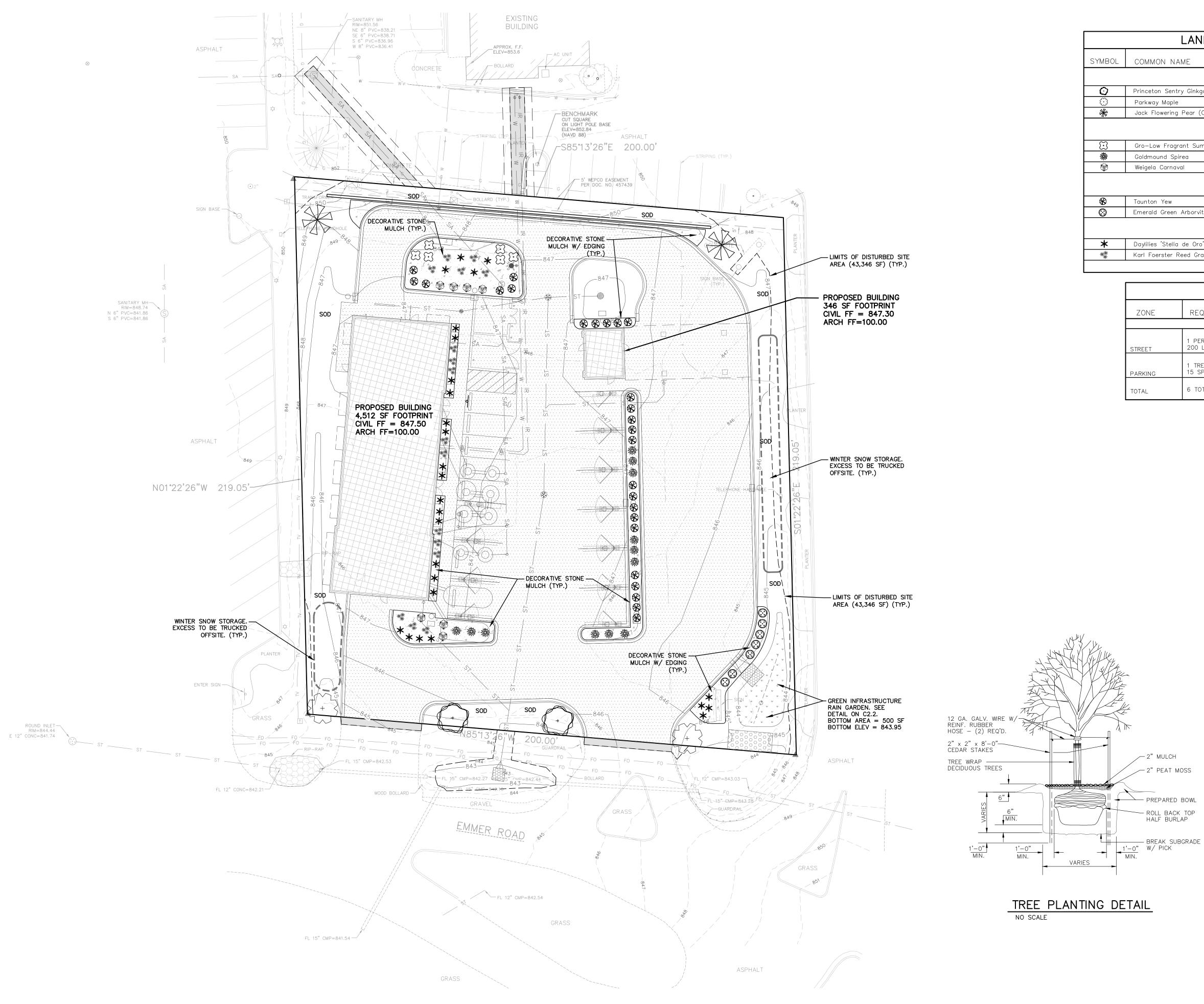
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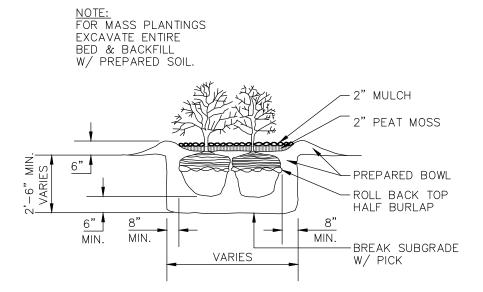
		LAND	
SYMBOL	COMMON NA	ИE	
Ò	Princeton Sentry	/ Ginkgo	
(Parkway Maple		
×	Jack Flowering	Pear (Or	
E	Gro-Low Fragra	int Sumo	
**	Goldmound Spirea		
Ś	Weigela Carnavo	1	
×	Taunton Yew		
\odot	Emerald Green /	Arborvita	
*	Daylilies 'Stella de Oro'		
**	Karl Foerster Re	ed Gras	
	ZONE	REQ.	

LANDSCAPING CALCULATIONS					
ZONE	REQ. PLANTS	PLANTS PROVIDED			
STREET	1 PER 50 LF FRONTAGE 200 LF FRONTAGE = 4 TREES	4 PROVIDED			
PARKING	1 TREE PER 10 SPACES 15 SPACES = 2 TREES	2 PROVIDED			
TOTAL	6 TOTAL TREES REQ.	6 TOTAL TREES PROVIDED			

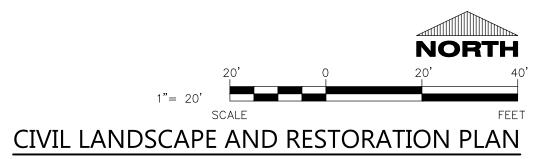
	SPECIFICATION NOTE: SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS				
SCAP	ING PLANTING SCHEDULE				
	BOTANICAL NAME	PLANTED SIZE	QUANTITY		
DECI	DUOUS TREES				
	Ginkgo biloba	3"	2		
	Acer platanoides	3"	2		
amental)	Pyrus calleryana 'Jaczam'	1.5"	2		
DECIE	DUOUS SHRUBS				
2	Rhus aromatica 'Gro Low'	18"	6		
	Spiraea x bumalda 'Goldmound'	15"-18"	12		
	Weigela Florida 'courtalor'	24"	7		
EVER	<u>GREEN SHRUBS</u>				
	Tauntonii	24"	26		
9	Thuja occidentalis 'Emerald Green'	36"	7		
Ē	PERENNIALS				
	Hemerocallis 'Stella de Oro'	1 gal pot	26		
3	Clamagrostis x acutiflora 'Karl Foerster'	1 gal pot	16		

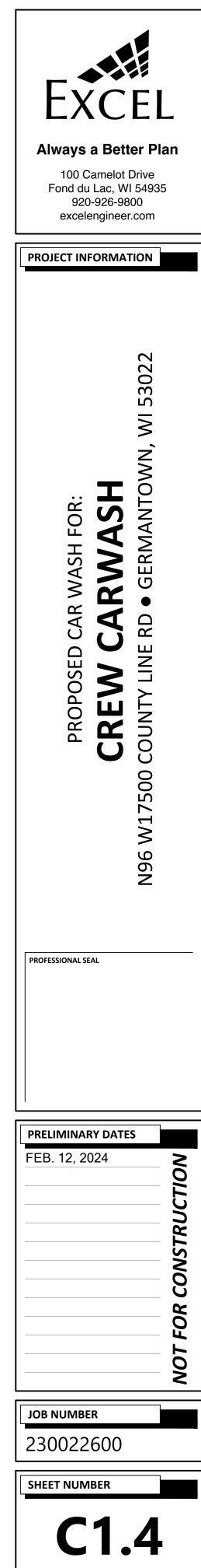
IRRIGATION NOTE: PROVIDE IRRIGATION FOR ALL LAWN/LANDSCAPED AREAS IN ACCORDANCE WITH PLAN SPECIFICATIONS ON SHEET CO.1. DESIGN-BUILD LANDSCAPE/IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL DESIGN, LAYOUT, AND INSTALLATION. COORDINATE FINAL LAYOUT WITH OWNER/GC AS NEEDED.

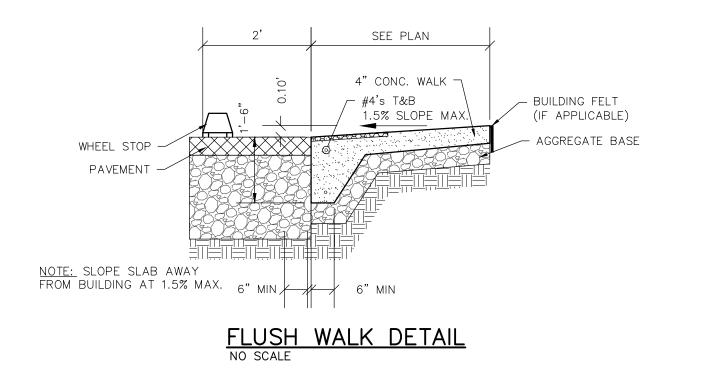
NOTE: LANDSCAPE CONTRACTOR SHALL REVIEW FINAL PLANTING LOCATIONS AND SPECIES WITH OWNER PRIOR TO INSTALLATION.

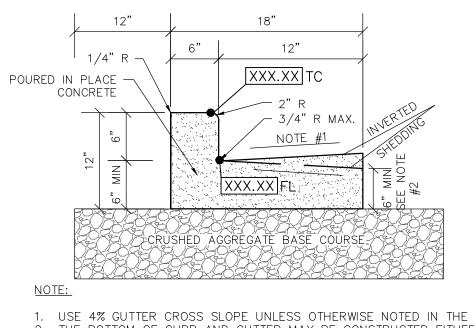






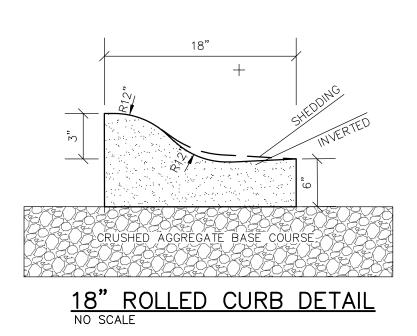




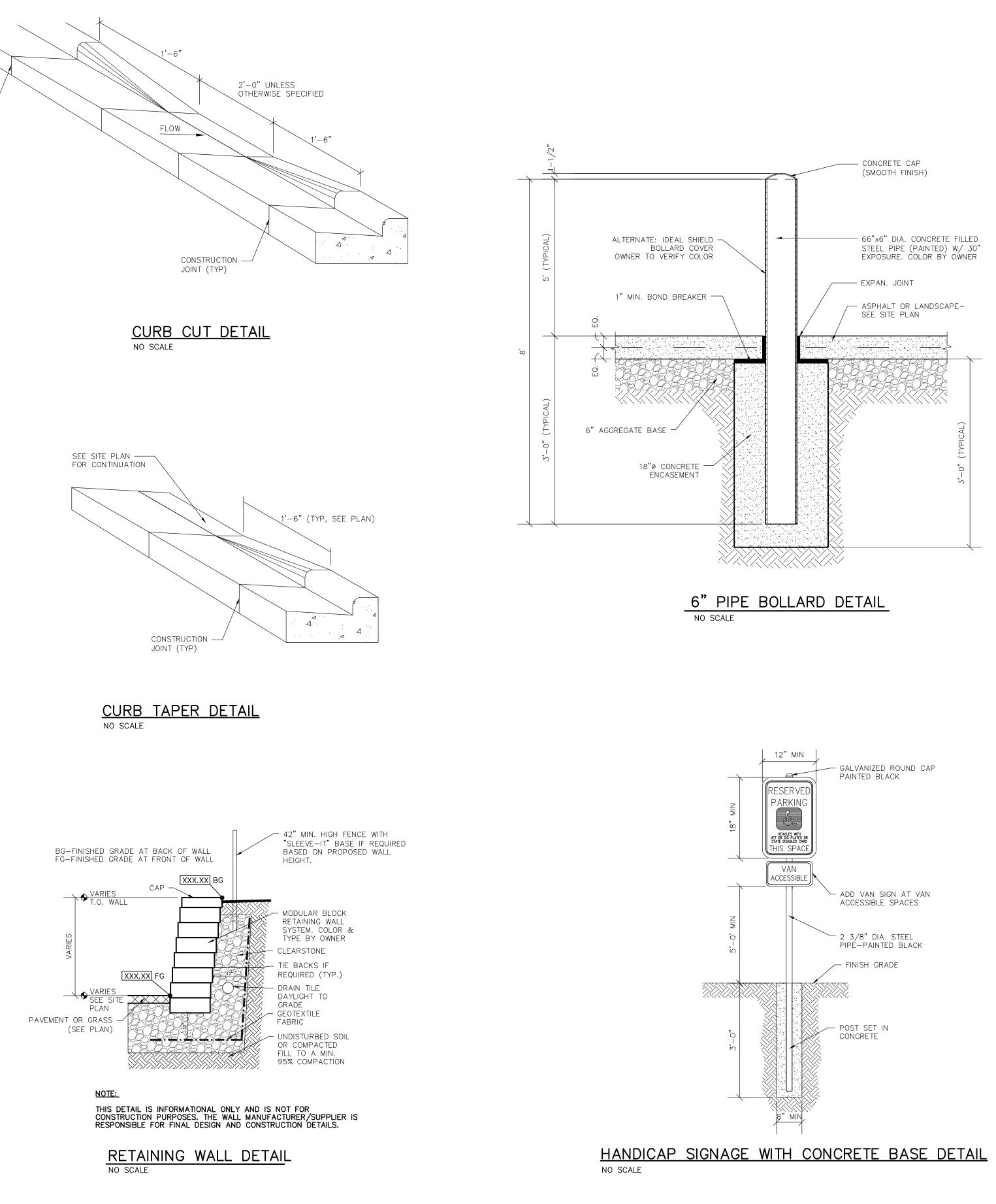


 USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
 THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED. 3. SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

18" CONCRETE CURB & GUTTER DETAIL NO SCALE



CONSTRUCTION ----/ JOINT (TYP)

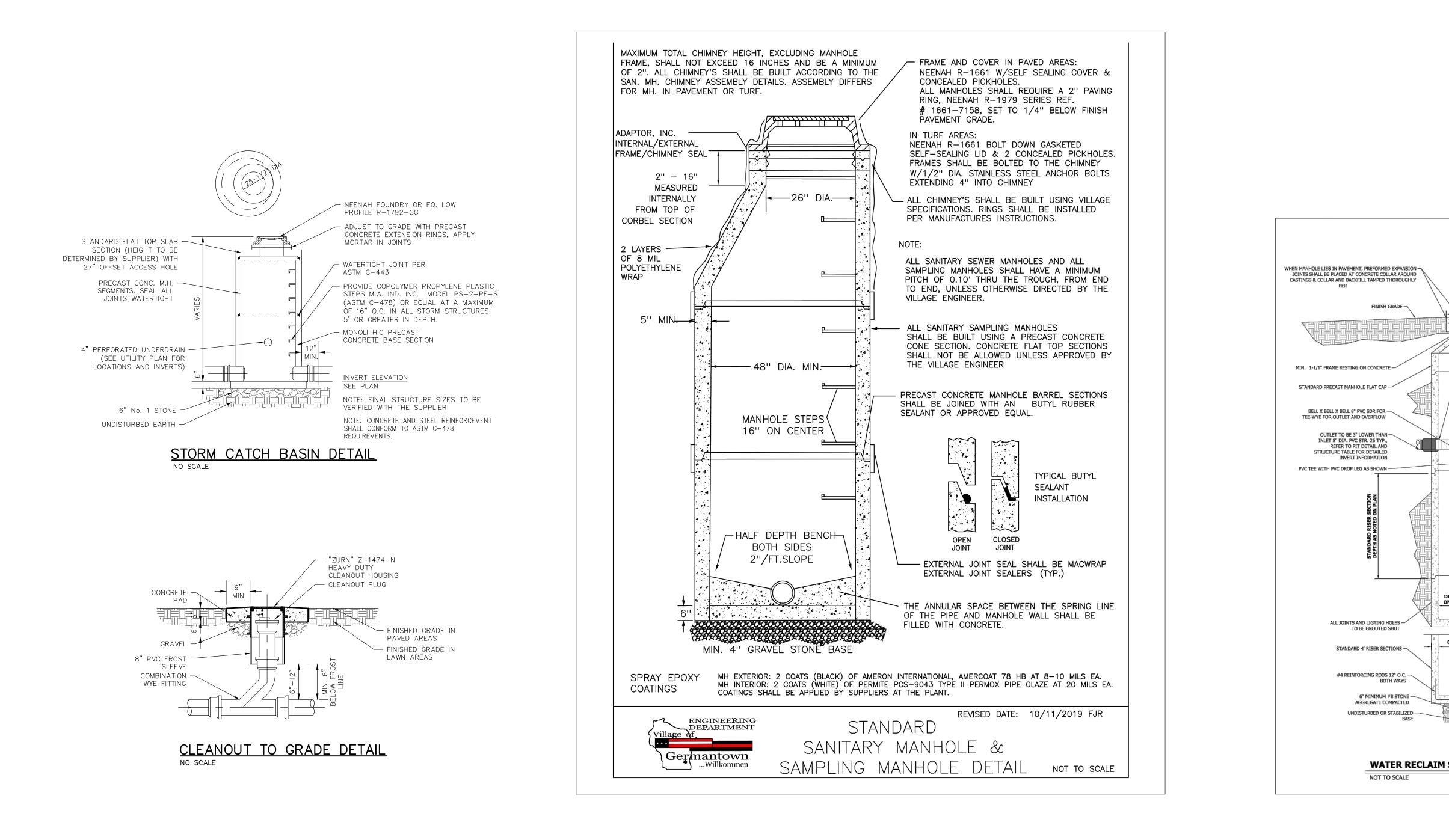


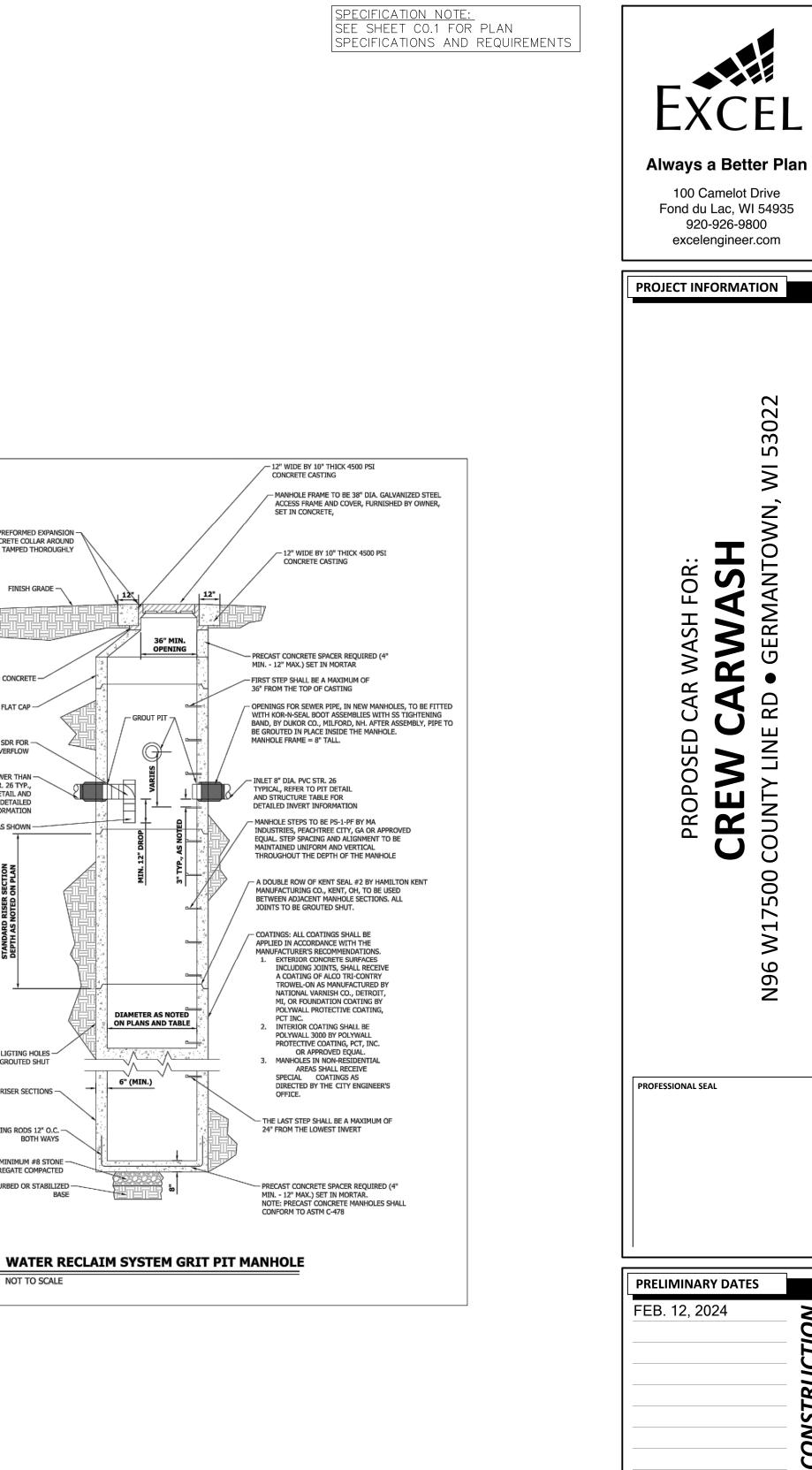
SPECIFICATION NOTE: SEE SHEET CO.1 FOR PLAN

SPECIFICATIONS AND REQUIREMENTS

CIVIL DETAILS

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CIVIL DETAILS

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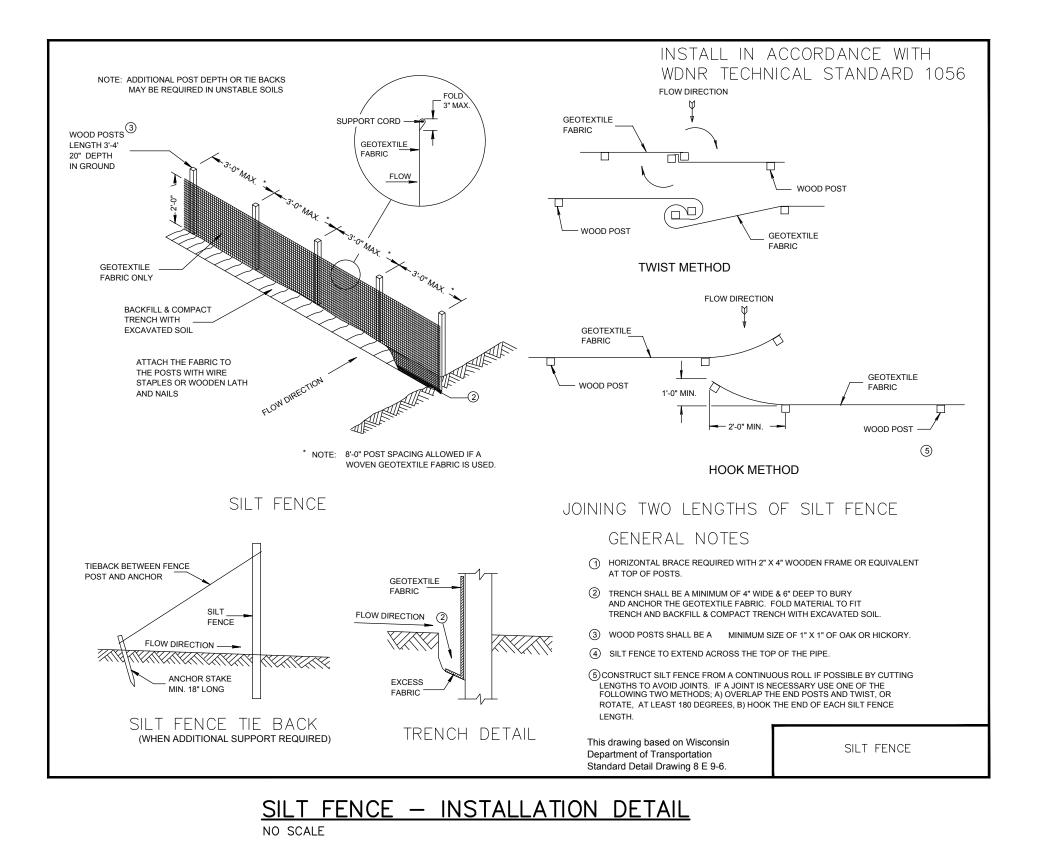
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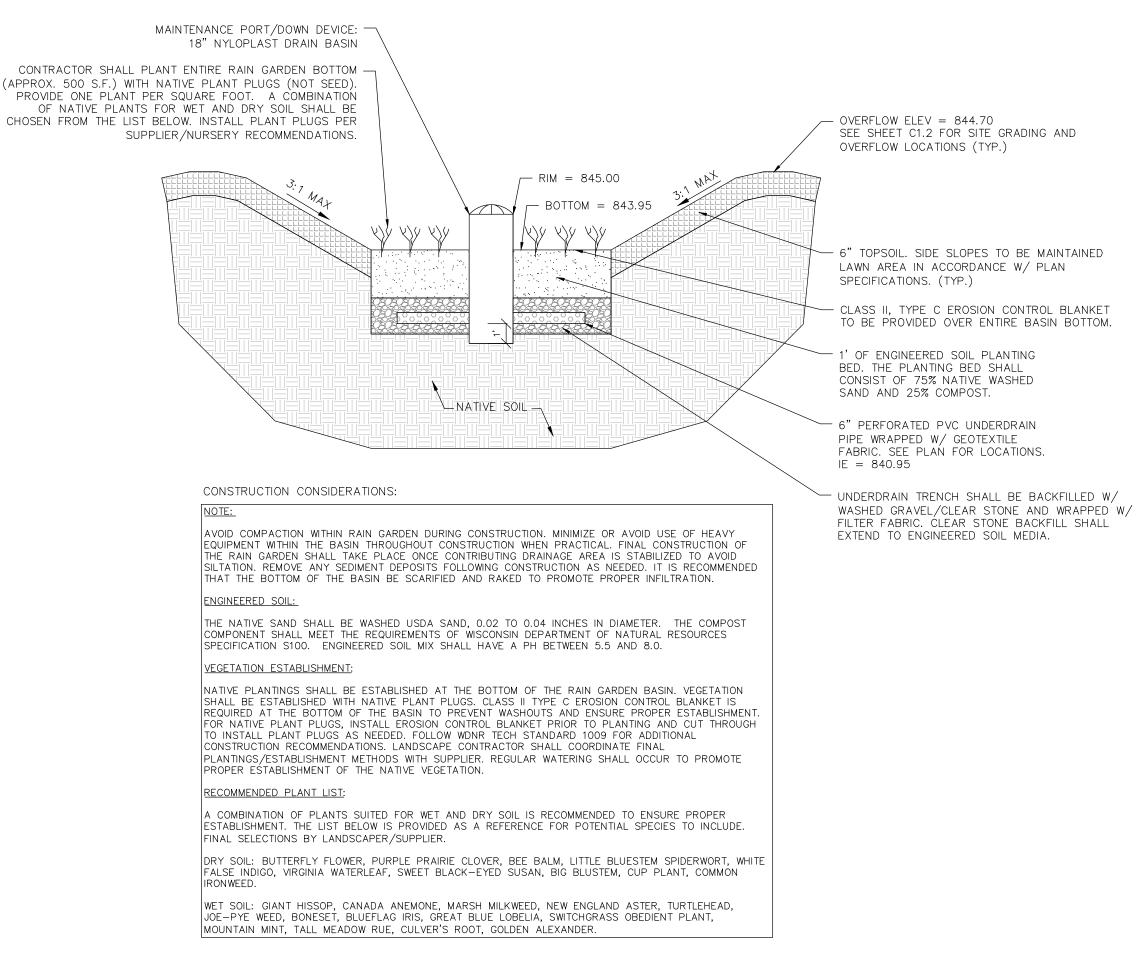
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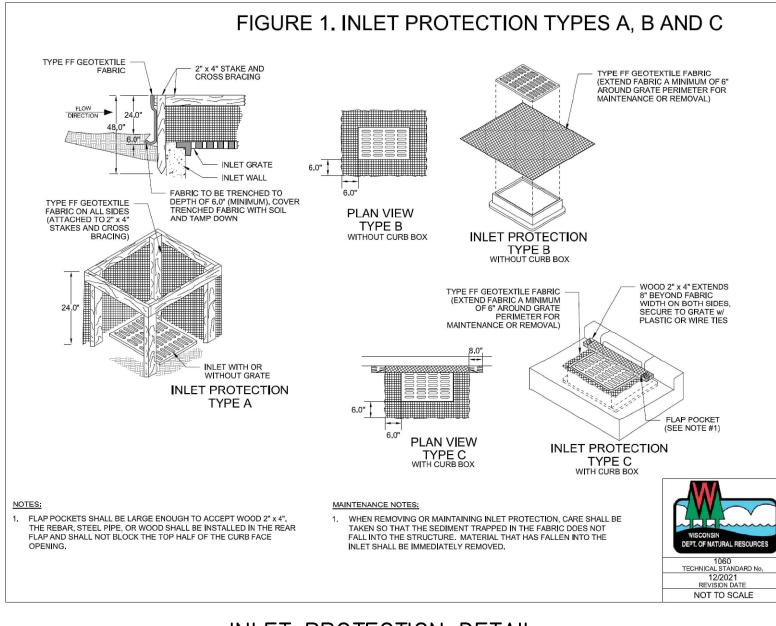
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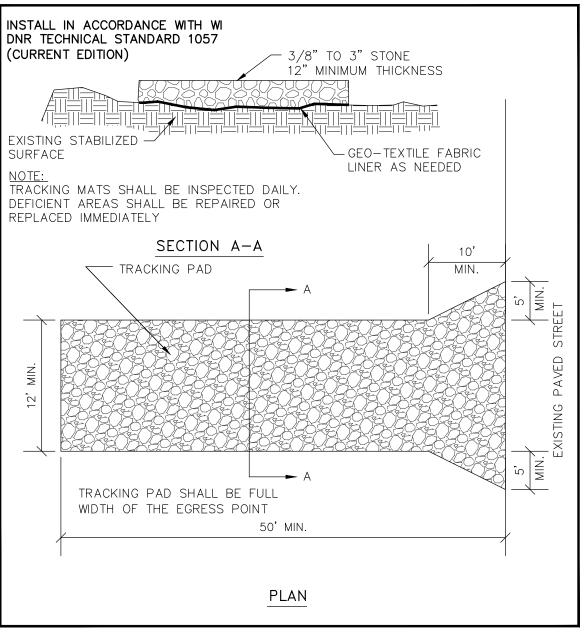




RAIN GARDEN DETAIL NO SCALE

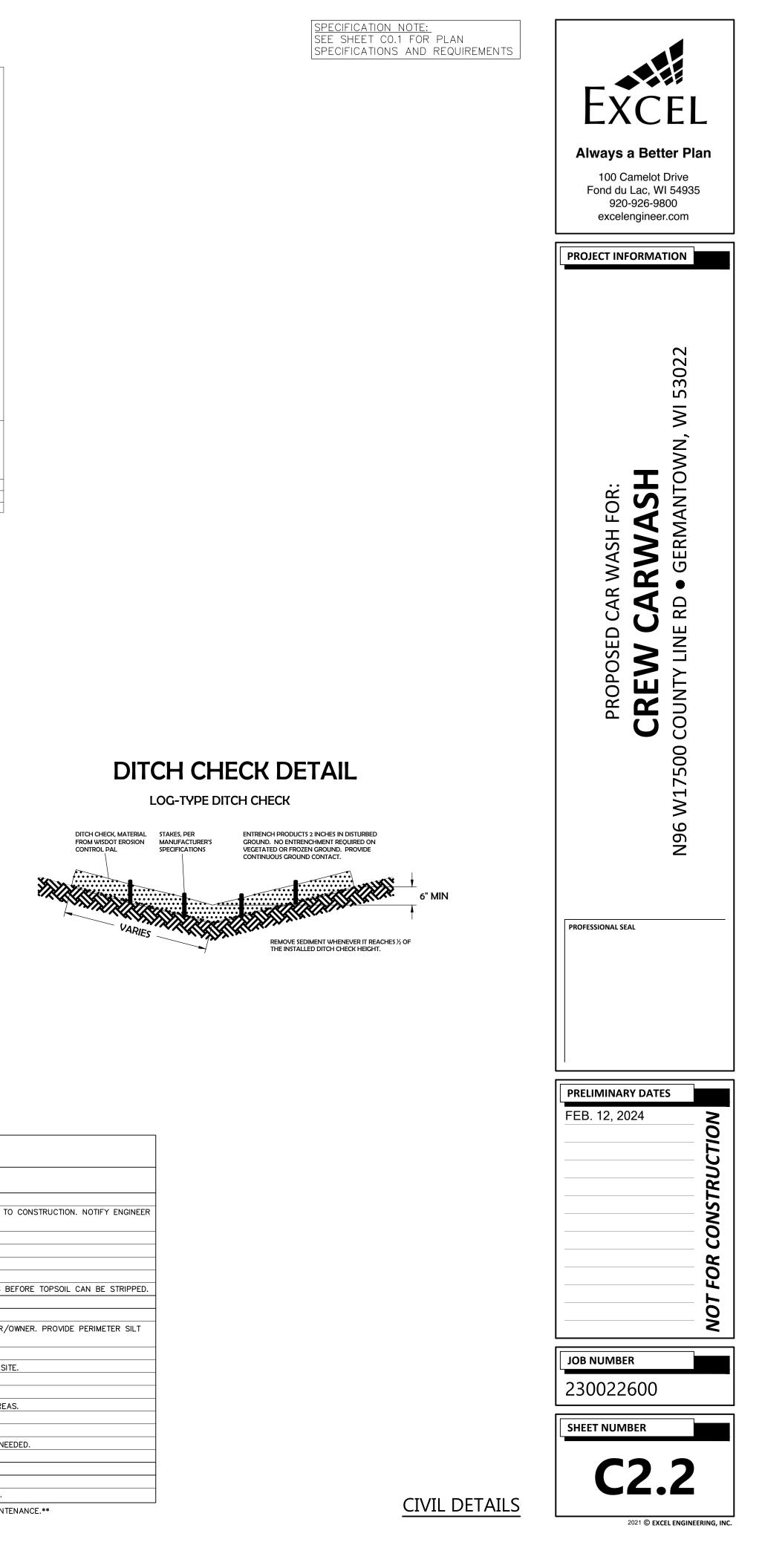


INLET PROTECTION DETAIL NO SCALE

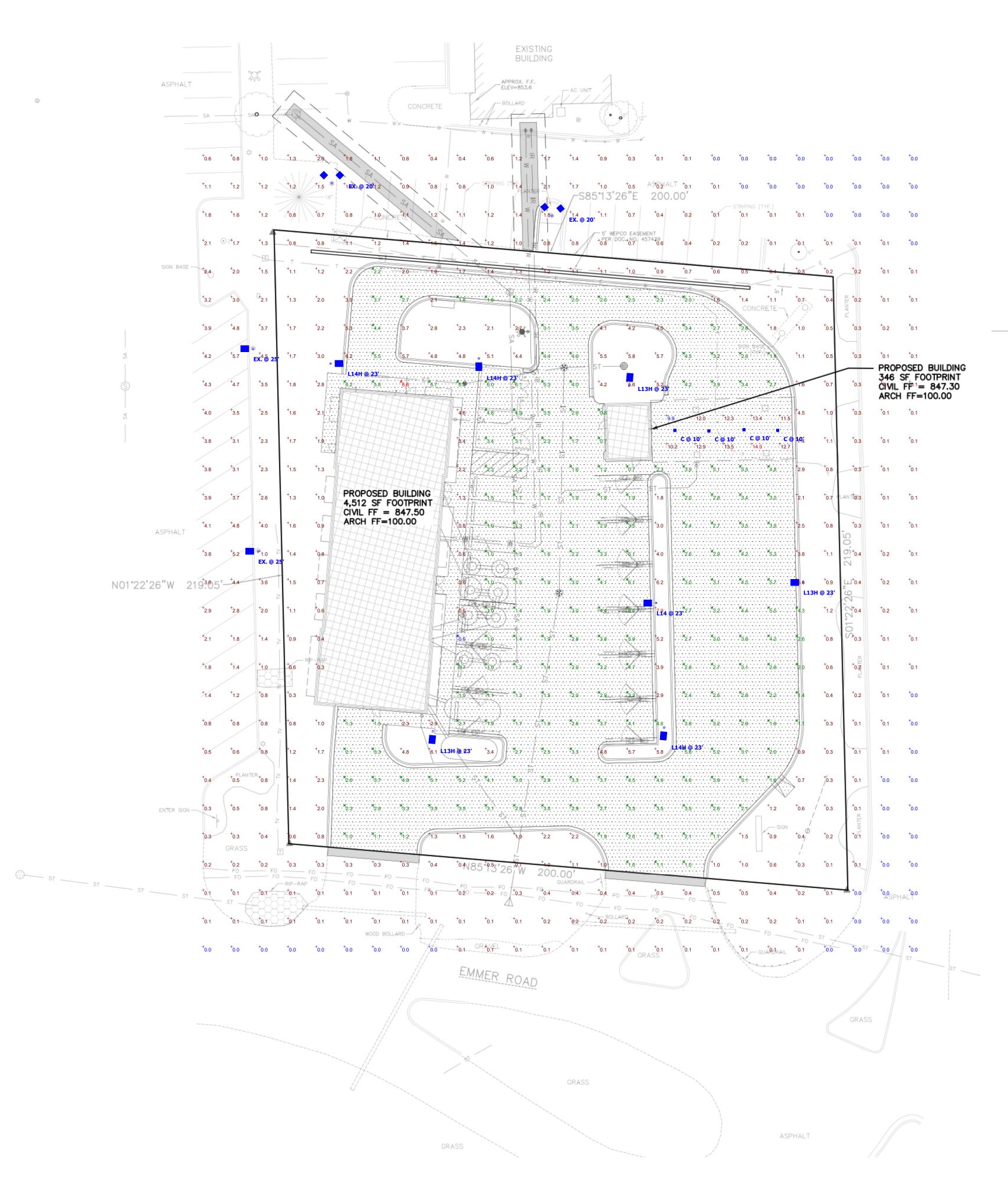


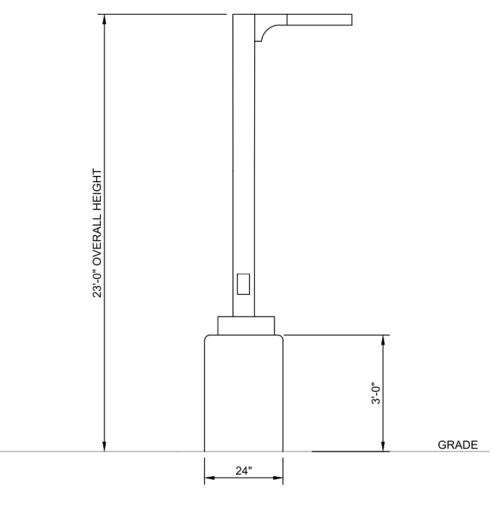
TRACKPAD DETAILS

	CONSTRUCTION SEQUENCE				
PHASE	TYPE OF ACTION				
1. PRE-CONSTRUCTION ACTION	 CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES. 				
	3. PLACE ALL SILT FENCE AND INLET PROTECTION.				
	4. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED.				
	5. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS.				
	6. CONSTRUCT ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED.				
	7. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.				
2. CONSTRUCTION ACTION	 SITE DEMOLITION AS REQUIRED. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR/OWNER. PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED. 				
	3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS.				
	4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE.				
	5. DIG AND POUR ALL BUILDING FOOTINGS.				
	6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS.				
	7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS.				
	8. CONSTRUCT BUILDING.				
	9. PAVE DRIVEWAYS AND PARKING AREAS.				
	10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP AS NEEDED.				
	11. ONCE SITE IS STABILIZED, FINALIZE CONSTRUCTION OF RAIN GARDEN.				
	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION.				
ACTION	2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.				
CONTRACTOR TO	D FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.				



CONTROL PAL

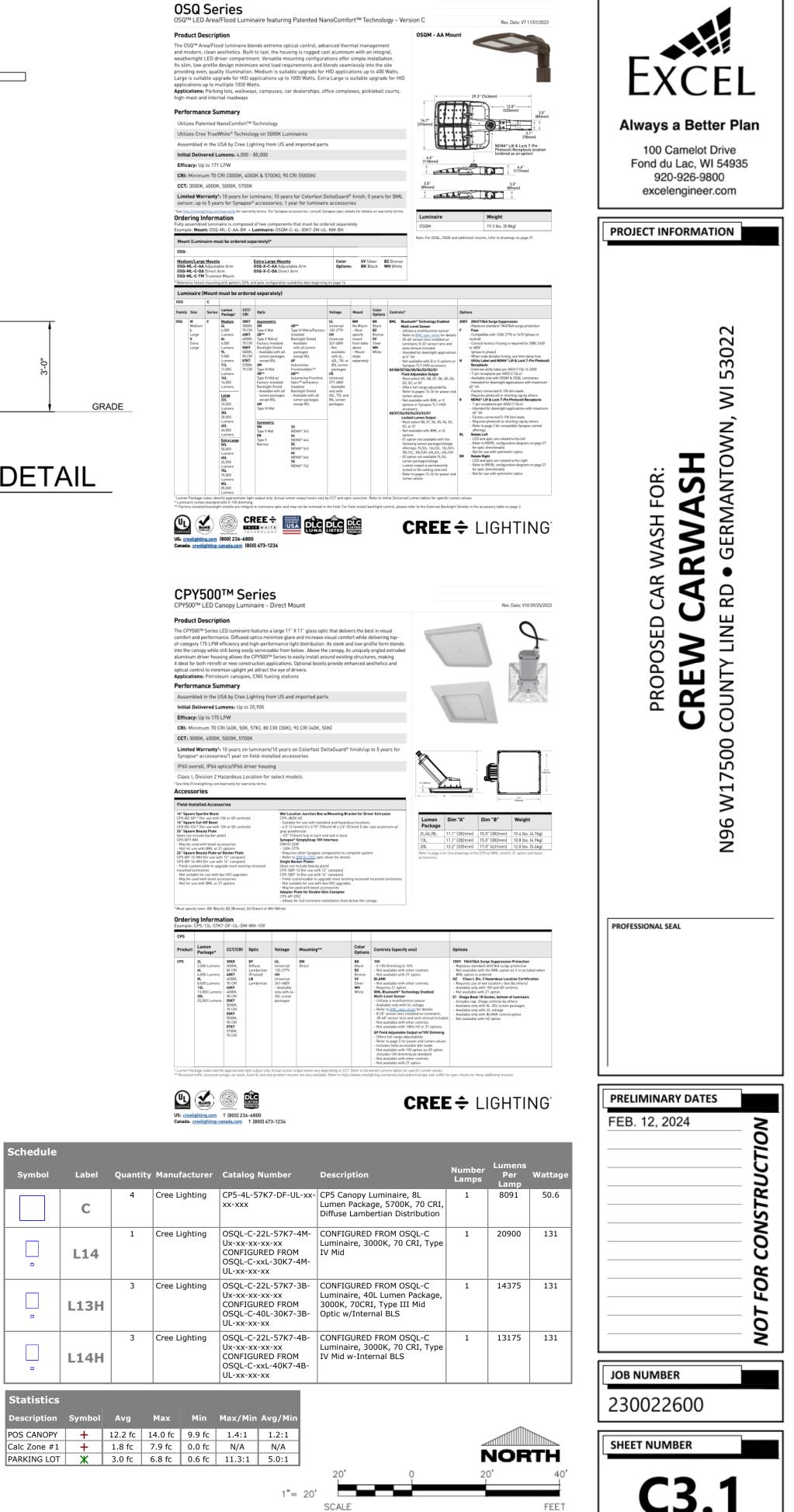




LIGHT POLE DETAIL

NO SCALE

Schedule			
Symbol	Label	Quant	ity Ma
	С	4	Cre
	L14	1	Cre
	L13H	3	Cre
_	L14H	3	Cre
Statistics			
Description	Symbol	Avg	Max
POS CANOPY	+	12.2 fc	14.0 f
Calc Zone #1	+	1.8 fc	7.9 f
DADKING LOT	V	2 0 fc	6 Q f



CIVIL SITE PHOTOMETRIC PLAN & DETAILS

2021 C EXCEL ENGINEERING, INC.



Storm Water & Erosion Control Calculations For:

Crew Carwash

Germantown, Wisconsin

Excel Job # 230022600

FEBRUARY 12, 2024



Prepared by Dustin Salter, PE 100 Camelot Drive • Fond du Lac, WI 54935 920-926-9800 • www.excelengineer.com

Table of Contents

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0.1	Existing Conditions	1
0.2	Proposed Project Overview	1
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2.0	Stormwater Management Requirements	
2.1	Wisconsin DNR Summary	2
2.2	Village of Germantown/MMSD Summary	2
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3.0	Storm Sewer Design	3
4.0	Erosion Control	3

Appendices

Appendix A: Existing Drainage Patterns Appendix B: Green Infrastructure Drainage Exhibit Appendix C: Storm Pipe Calculations Appendix D: Web Soil Survey Map Appendix E: Post Construction Operation and Maintenance Plan

0.0 Introduction 0.1 Existing Conditions

The proposed redevelopment project site is located at N96W17500 County Line Road in the Village of Germantown, Wisconsin. The project site is approximately 1 acre in size. The site is bound by Emmer Road to the south and adjacent commercial properties to the north, east, and west. The existing site currently consists of a BP gas station along with a self-serve carwash and associated paved parking and drive lanes. The existing site will be completely razed as needed for the proposed new site improvements. The site currently sheet drains from north to south where stormwater is conveyed to a roadside ditch at the south end of the property. Stormwater is eventually conveyed via culverts to the Menomonee River located directly south of County Line Road. A representation of the existing site and current drainage patterns is provided in Appendix A.

0.2 Proposed Project Overview

The proposed redevelopment project consists of constructing a new Crew Carwash facility along with associated site improvements. Site improvements include concrete parking areas, sidewalks, and drive aisles. The proposed site improvements will result in approximately 43,346 square feet (0.995 acres) of disturbed site area. Proposed drainage patterns will match the existing site drainage patterns. Stormwater will be conveyed via sheet flow to various new inlet structures that will convey stormwater to the same discharge point as the current condition at the south end of the site. Refer to the construction plan set for a representation of the proposed site and final drainage patterns.

0.3 Stormwater Management Applicability

As previously mentioned, this project site is considered a redevelopment project site as defined by WDNR standards. Since the disturbed project area is less than one acre in total site disturbance, a construction site NOI is not required and the project is exempt from the WI DNR post construction stormwater management performance standards outlined in NR 151 for redevelopment sites. The project site will therefore be required to meet the local performance standards as required by the Village of Germantown and MMSD. Furthermore, since the redevelopment project site will disturb less than two acres of land and will add between 5,000 square feet and 21,780 square feet of new impervious area, the project site will be subject to meeting the green infrastructure requirements as defined by Chapter 13 of MMSD. The below sections of this report detail how the project site meets or exceeds the applicable requirements.

1.0 Design Criteria 1.1 Soils

Site specific geotechnical investigations have not yet been completed on the project site, therefore, soil characteristics were determined by utilizing available web soil survey information. See Table 1 below for a summary of the soils and hydrologic ratings indicated by the web soil survey map. Refer to Appendix D for the associated web soil survey map. Hydrologic soil group C soils were utilized for the site storm sewer sizing calculation.

Table 1: Web Soil Survey

MAP SYMBOL	SOIL TYPE	HYDROLOGIC RATING
Cw	Colwood silt loam	C/D
MtA	Mequon silt loam	C/D
OuB	Ozaukee silt loam	С

1.2 Rainfall Data

NOAA Atlas 14, Washington County rainfall depths with an MSE3 distribution were used for the site stormwater calculations. See Table 2 below for the rainfall data used.

Table 2: NOAA Atlas 14 24-hour Rainfall Depth

DESIGN	RAINFALL DEPTH
STORM	(INCHES)
10-YEAR	3.82

2.0 Stormwater Management Requirements

2.1 Wisconsin DNR Summary

As previously stated, the project site will result in 43,346 square feet (0.995 acres) of disturbed site area. Therefore, a construction site NOI will not be required by WI DNR. Therefore, the performance standards relating to peak discharge, TSS removal, infiltration, etc do not apply to the proposed redevelopment project.

2.2 Village of Germantown/MMSD Summary

Since the redevelopment project site will disturb less than two acres of land and will add between 5,000 square feet and 21,780 square feet of new impervious area, the project site will be subject to meeting the green infrastructure requirements as defined by Chapter 13.302(3)(c) of MMSD.

2.3 Green Infrastructure

The redevelopment project site will utilize a rain garden BMP to meet the green infrastructure requirements as defined by Chapter 13.302(3)(c) of MMSD. A total of 432 square feet of rain garden area is required based upon the new impervious area added. The proposed rain garden will total approximately 500 square feet, therefore exceeding this requirement. See Table 3 below for a summary of the green infrastructure requirements. Refer to Appendix B for a green infrastructure drainage area exhibit. Refer to the construction plan set for design details of the proposed rain garden BMP.

Table 3. Rain Garden

Green Infrastructure Summary							
Total New Added Impervious	6093	sf					
Volume Required	254	cf					
(1/2" x New Impervious Area)	1899	gal					
Rain Garden Area Required	432	sf					
(Per Section 13.302(4)(b) Table)							
Rain Garden Area Provided	500	sf					

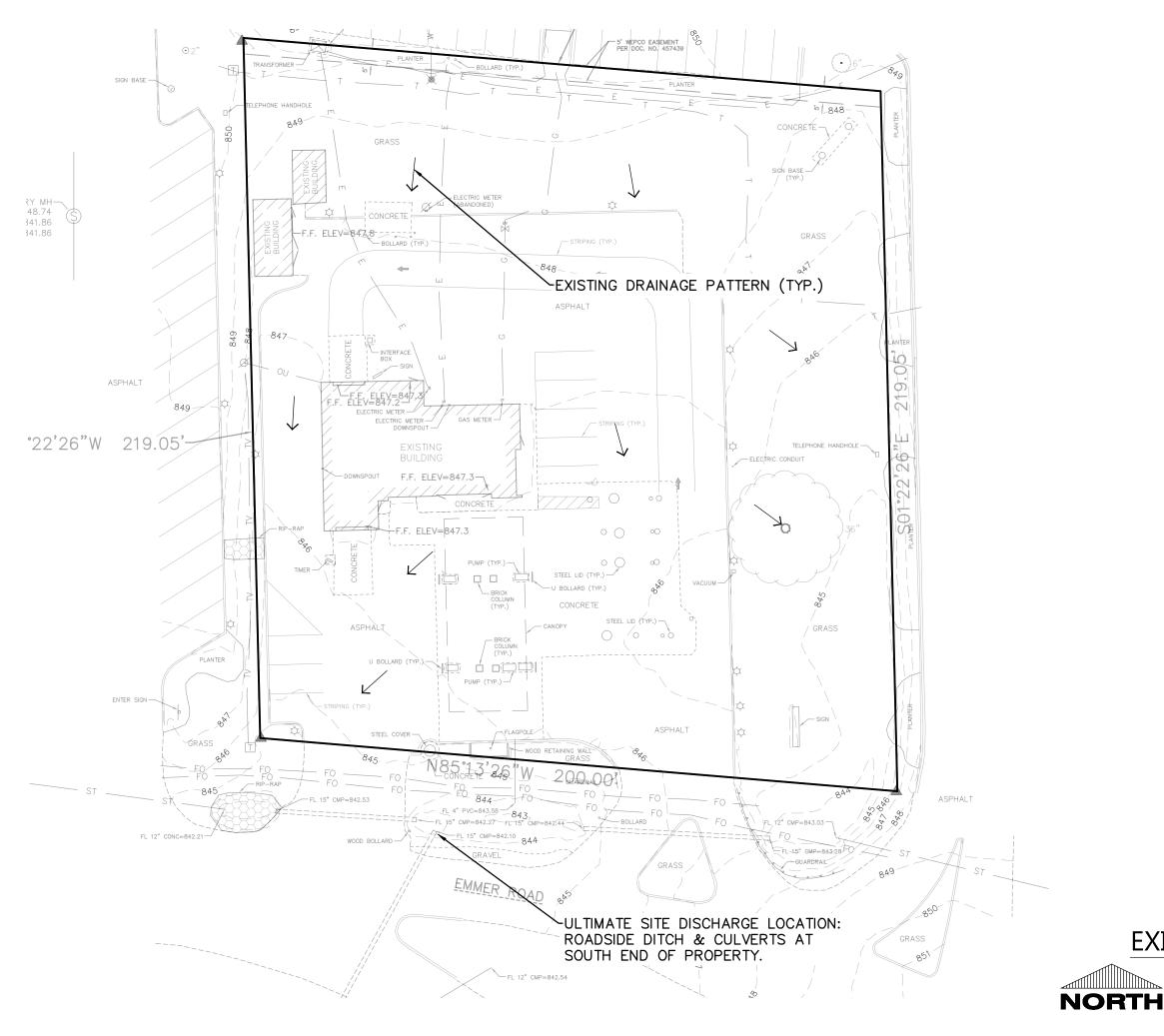
3.0 Storm Sewer Design

All storm sewer has been designed to convey the 10-year 24-hour post development storm. Additional capacity has been provided as a safety factor. See Appendix C, for pipe drainage areas and calculations

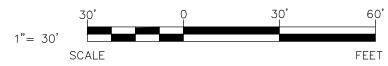
4.0 Erosion Control

The erosion control specifications, construction sequence, site stabilization notes, seeding notes, dewatering notes, and post construction and maintenance plan will be included on sheet C0.1, C1.2, and C2.2 of the construction plan set.

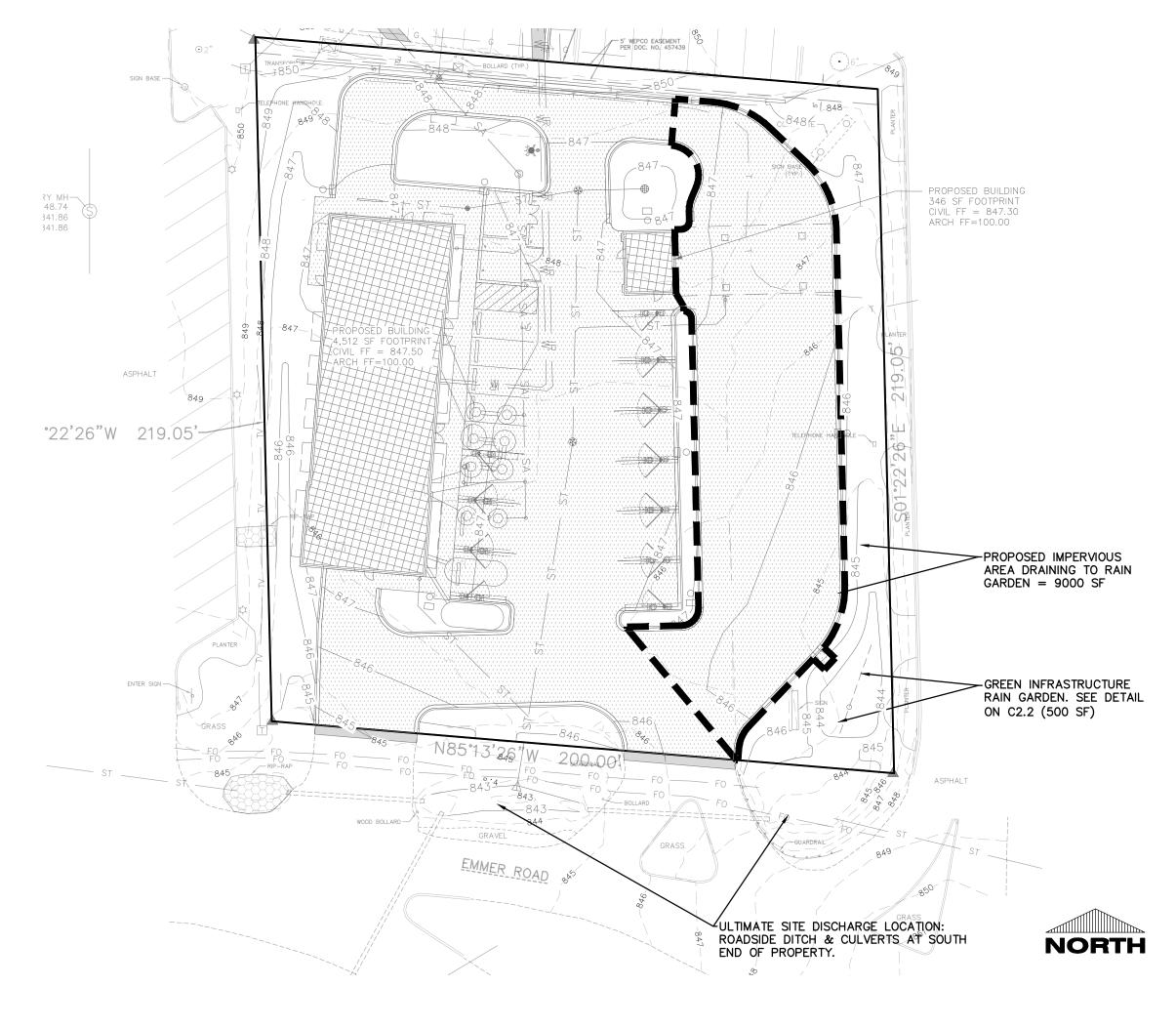
Appendix A: Existing Drainage Patterns

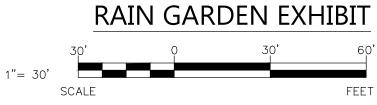


EXISTING SITE DRAINAGE PATTERNS

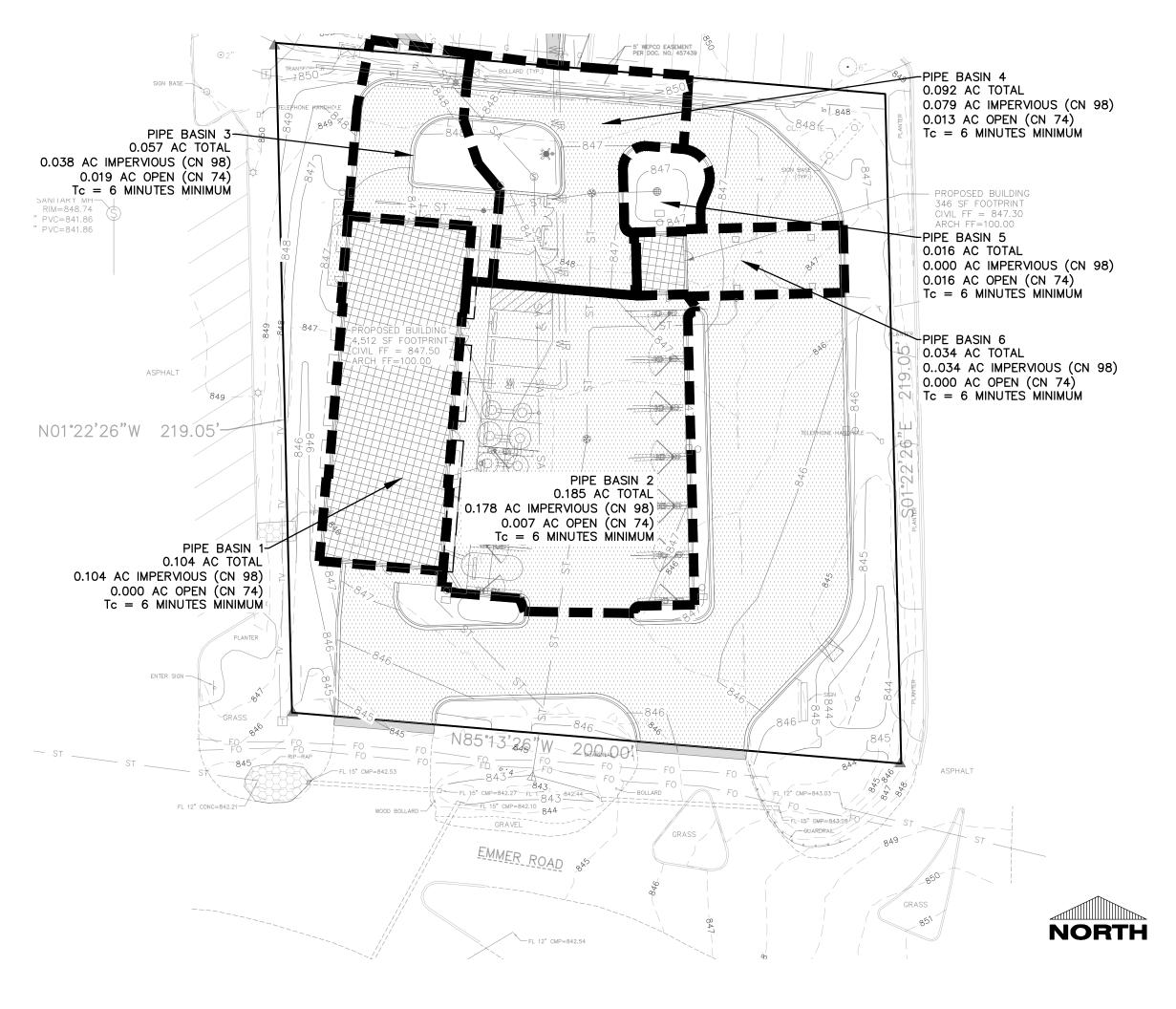


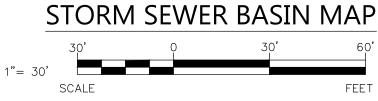
Appendix B: Green Infrastructure Drainage Exhibit

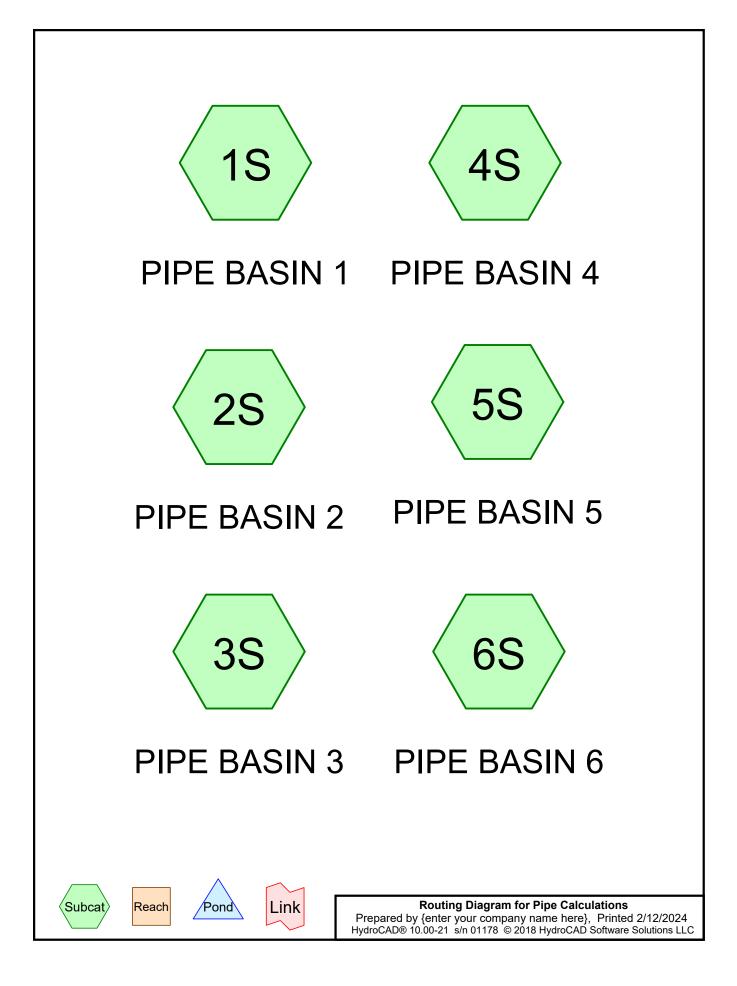




Appendix C: Storm Pipe Calculations







Area Listing (all nodes)

Area	CN	Description
(acres)		(subcatchment-numbers)
0.433	98	(1S, 2S, 3S, 4S, 6S)
0.055	74	(2S, 3S, 4S, 5S)
0.488	95	TOTAL AREA

Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points Runoff by SCS TR-20 method, UH=SCS, Weighted-CN Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

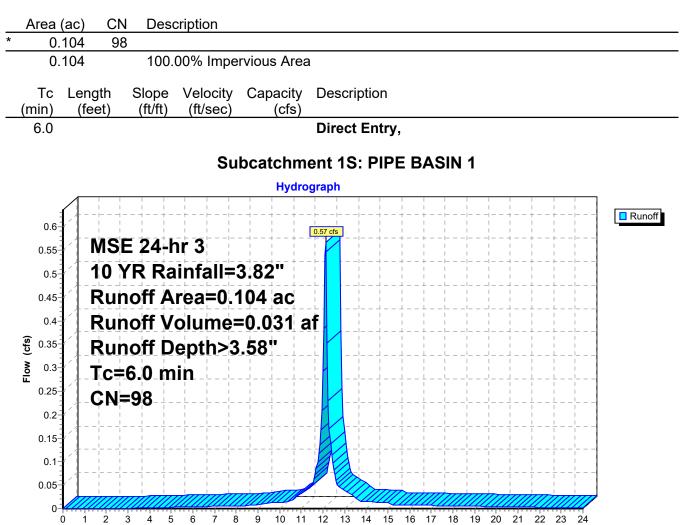
Subcatchment1S: PIPE BASIN1	Runoff Area=0.104 ac 100.00% Impervious Runoff Depth>3.58" Tc=6.0 min CN=98 Runoff=0.57 cfs 0.031 af
Subcatchment2S: PIPE BASIN 2	Runoff Area=0.185 ac 96.22% Impervious Runoff Depth>3.47" Tc=6.0 min CN=97 Runoff=1.00 cfs 0.054 af
Subcatchment3S: PIPE BASIN 3	Runoff Area=0.057 ac 66.67% Impervious Runoff Depth>2.75" Tc=6.0 min CN=90 Runoff=0.27 cfs 0.013 af
Subcatchment4S: PIPE BASIN 4	Runoff Area=0.092 ac 85.87% Impervious Runoff Depth>3.25" Tc=6.0 min CN=95 Runoff=0.48 cfs 0.025 af
Subcatchment5S: PIPE BASIN 5	Runoff Area=0.016 ac 0.00% Impervious Runoff Depth>1.47" Tc=6.0 min CN=74 Runoff=0.04 cfs 0.002 af
Subcatchment6S: PIPE BASIN 6	Runoff Area=0.034 ac 100.00% Impervious Runoff Depth>3.58" Tc=6.0 min CN=98 Runoff=0.19 cfs 0.010 af
Total Pupoff Area = 0.48	R ac Runoff Volume = 0.135 af Average Runoff Depth = 3.31

Total Runoff Area = 0.488 ac Runoff Volume = 0.135 af Average Runoff Depth = 3.31" 11.27% Pervious = 0.055 ac 88.73% Impervious = 0.433 ac

Summary for Subcatchment 1S: PIPE BASIN 1

Runoff = 0.57 cfs @ 12.13 hrs, Volume= 0.031 af, Depth> 3.58"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs MSE 24-hr 3 10 YR Rainfall=3.82"



Time (hours)

Summary for Subcatchment 2S: PIPE BASIN 2

Runoff = 1.00 cfs @ 12.13 hrs, Volume= 0.054 af, Depth> 3.47"

	Area	(ac) Cl	N Des	cription									
*		178 9											
_		007 7 185 9		ghted Ave									
	-	007		3% Perviou									
		178			vious Area								
	Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Descr	iption						
	6.0					Direct	t Entry,						
				Su	bcatchm	ont 29			SINI 2				
				30				DAG					
					Hyar	ograph		1		1 1	1	1 1	7
	Í												Runoff
	1-	MSE	E 24-h	nr 3		- 1.00 cfs		 					
		_		infall=3	82"								
		1 1 1	i i	1 1 1	1 1 1								
	_			rea=0.1									
	~				0.054 a	if							
	Flow (cfs)	Run	off D	epth>3	.47"								
	Nol	Tc=	6.0 m	in									
	ш. 	CN=											
	-		-31										
	-												
	0	1 2	3 4 5	6 7 8	9 10 11		14 15	16 17	18 19	20 2	1 22	23 24	Ļ
					110	ne (hours)							

Summary for Subcatchment 3S: PIPE BASIN 3

Runoff = 0.27 cfs @ 12.13 hrs, Volume= 0.013 af, Depth> 2.75"

Area ((ac) CN	Desc	cription										
	038 98												
	019 74 057 90		hted Aver	200									
	007 90 019		3% Pervio										
0.0	038	66.6	7% Imper	vious Area									
Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Descr	iption							
6.0					Direc	t Entry	,						
			Su	bcatchm	ent 35	₽PIPI	= R4	SIN	3				
			<u> </u>		ograph		- 07		•				
0.3-			-+	+- 		-	+ + -			++	+-]
0.28					0.27 cfs	_!! 		· _ l 		$\frac{1}{1}$ $\frac{1}{1}$	· <u> </u> ·	 	Runoff
0.26	MSE	E 24-ł	nr 3	+ + + +		- 	+ + -	- 	 	+ +	· – – + · 	 	
0.24	10 Y	'R Ra	infall=	3.82"		-,	Ţ ─ ─ ┬ ─ + ─ ─ + ─	· - 				 	
0.22	, ZÍL I I I	1 I	rea=0.(
0.2				=0.013 a	, -		 	L		i i 4 4			
0.18 		+ -					+ + -	· -		+ +	· + ·		
(cj:) 0.16 M 0.14	21 1 1		epth>2			-	$\frac{1}{1} \frac{1}{1}$	· -		$\frac{1}{1} \frac{1}{1}$	$\cdot = -\frac{1}{1}$		
	[6.0-m	in			 - 	 + + - 	 - 	 	 + 	+ · 	 	
0.12 0.1	CN=	90				- 	+ + -	· - 			· + ·	 	
0.08						_		l 			·	 	
0.06	/					-i	+ + -	· -		+ +	· + ·	i	
0.04	/ <u>-</u>						$\frac{1}{1} = -\frac{1}{1} =$	· - ' '			· ·		
0.02		+ - 					++-			+ +	· + ·	 	
0-	1 2 3	3 4 5	6 7 8	9 10 11	12 13	14 15	16 17	7 18	19 20	21	22 2	3 24	•
(, 4 0	0 / 0	• •• ••	ne (hours)		10 17	10	19 20	21	22 Z	5 24	

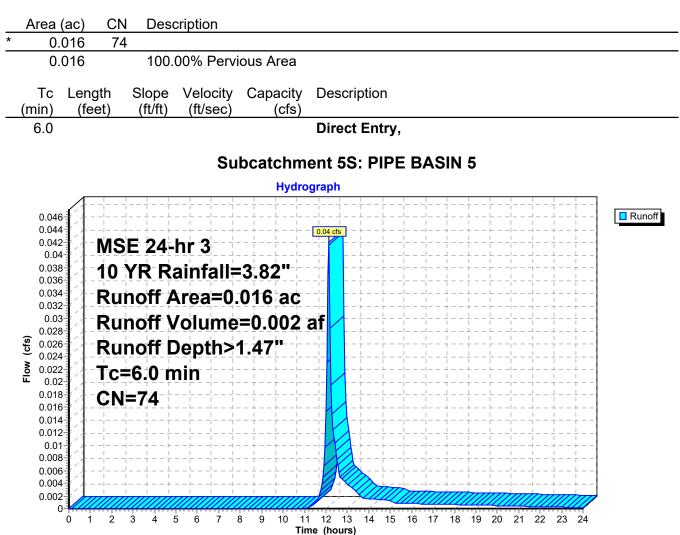
Summary for Subcatchment 4S: PIPE BASIN 4

Runoff = 0.48 cfs @ 12.13 hrs, Volume= 0.025 af, Depth> 3.25"

Area (ac	;) CN	Description									
* 0.07 * 0.01											
0.09 0.01 0.01	2 95 3	Weighted Aver 14.13% Pervio 85.87% Impervio	ous Area								
		lope Velocity (ft/ft) (ft/sec)	Capacity (cfs)	Descrip	tion						
6.0				Direct I	Entry,						
		Su	bcatchm	ent 4S:	PIPE	BASI	N 4				
			Hydro	graph							
0.5 0.45 0.4 0.35 0.3 Low 0.25 0.2 0.15	10 YF Runo Runo Runo	24-hr 3 Rainfall=3 ff Area=0.(ff Volume= ff Depth>3 0 min 5	092 ac =0.025 a	0.48 cfs							_ Runoff
0.05							 		- + 		-
	1 2 3	4 5 6 7 8		12 13 1 e (hours)	4 15 1	6 17 1	18 19	20 2	1 22	23 24	7

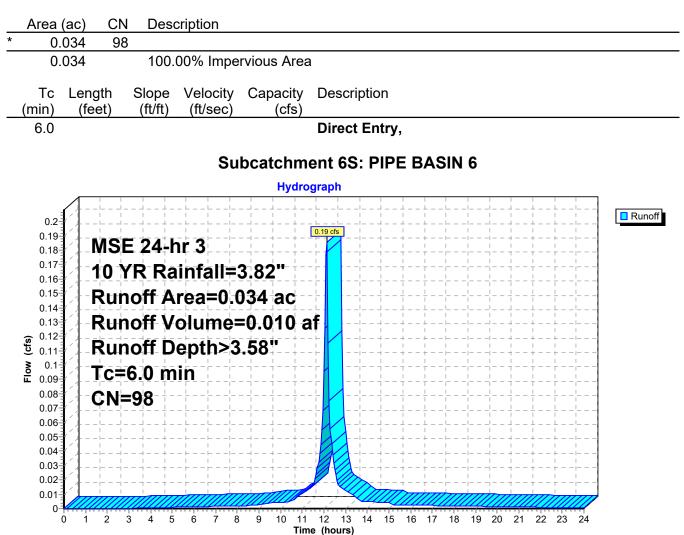
Summary for Subcatchment 5S: PIPE BASIN 5

Runoff = 0.04 cfs @ 12.14 hrs, Volume= 0.002 af, Depth> 1.47"



Summary for Subcatchment 6S: PIPE BASIN 6

Runoff = 0.19 cfs @ 12.13 hrs, Volume= 0.010 af, Depth> 3.58"





Excel Engineering Project No.

230022600

Project Name Crew Carwash - Germantown

	Pi	pe Data		Pipe Capacity (10-yr)						
Pipe ID	Diameter (FT)	Slope (FT/FT)	Manning's n	Contributing Basin Numbers	Total Flow (cfs)	Total Flow (gpm)	Full Flow Capacity (cfs)	Full Flow Capacity (gpm)		
А	1	0.0053	0.012	1,2,3,4,5,6	2.55	1144	2.82	1264		
В	0.67	0.0150	0.012	1	0.57	256	1.63	731		
С	1	0.0050	0.012	3,4,5,6	0.98	440	2.74	1228		
D	0.67	0.0050	0.012	6	0.19	85	0.94	422		
E	0.83	0.0040	0.012	5	0.04	18	1.49	668		
F	0.67	0.0055	0.012	3	0.27	121	0.99	443		
G	0.67	0.0055	0.012	3	0.27	121	0.99	443		

HDPE

PVC

CMP

Concrete

Typical Manning's n

0.012

0.012

0.013

0.024

Full Flow Capacity based off Manning's Equation

$0 - \frac{1.4}{1.4}$	$\frac{9}{2}R^{2/3}S^{1/2}a$
$\alpha - n$	K · J · a

Where:	Q = Full Flow Capacity of Pipe (cfs)
	n = manning's roughness coefficient

R = hydraulic radius (ft) (D/4)

s = hydraulic gradient, slope (ft/ft)

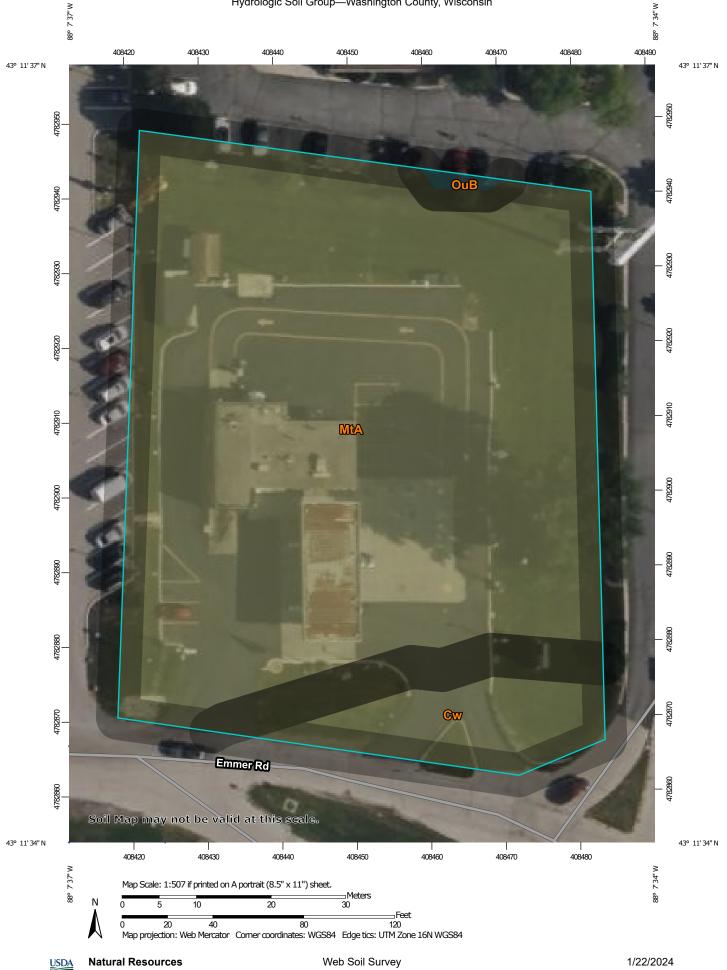
a = flow area (sq. ft.)

*Total Flow calculated via TR-55 hydrologic calculations. Reference Storm Pipe Basin Map & TR-55 Calculations

Pipe Basin Number	10 Yr Flow (cfs)
1	0.57
2	1.00
3	0.27
4	0.48
5	0.04
6	0.19

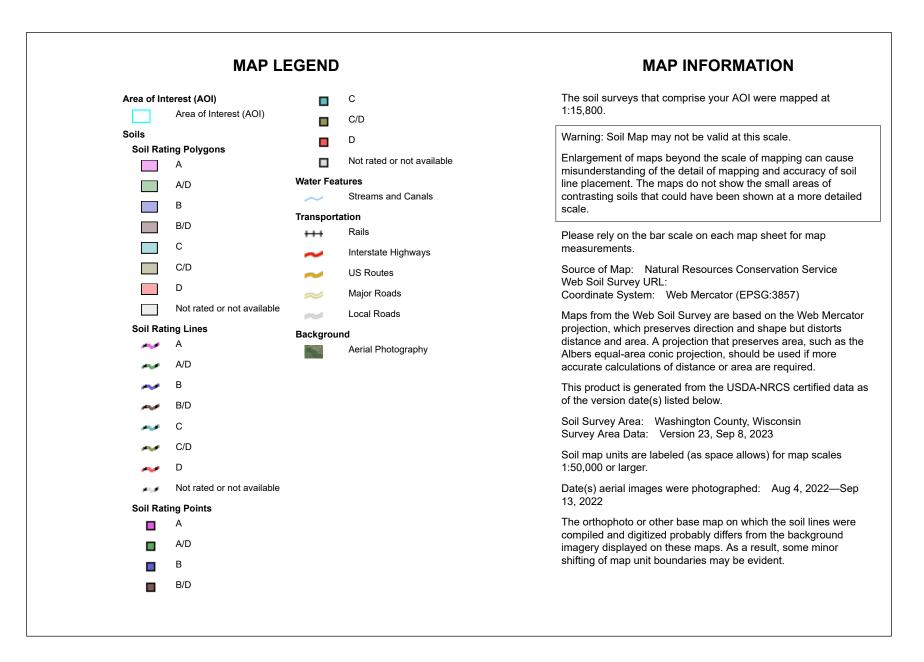
Appendix D: Web Soil Survey Map

Hydrologic Soil Group—Washington County, Wisconsin



National Cooperative Soil Survey

Conservation Service





Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
Cw	Colwood silt loam, 0 to 2 percent slopes	C/D	0.1	10.6%
MtA	Mequon silt loam, 1 to 3 percent slopes	C/D	1.1	89.0%
OuB	Ozaukee silt loam, high carbonate substratum, 2 to 6 percent slopes	C	0.0	0.4%
Totals for Area of Inter	est		1.2	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition Component Percent Cutoff: None Specified Tie-break Rule: Higher



Appendix E: Post Construction Operation and Maintenance Plan

The owner of the property affected shall inspect and maintain the following stormwater management systems frequently, especially after heavy rainfalls, but at least on an annual basis unless otherwise specified.

	specified.							
ST	ORMWATER FACILITY	TYPE OF ACTION						
1.	Lawn and Landscaped Areas	All lawn areas shall be kept clear of any materials that block the flow of stormwater. Rills and small gullies shall immediately be filled and seeded or have sod placed in them. The lawn shall be kept mowed, tree seedlings shall be removed, and litter shall be removed from landscaped areas.						
2.	Swales	All grassed swales showing signs of erosion, scour, or channelization shall be repaired, reinforced, and revegetated immediately. All swales shall be repaired to the original plan requirements. Mowing shall take place no less than twice per year at a height of no less than three inches. Grasses shall not be allowed to grow to a height that permits branching or bending. Mowing shall only take place when the ground is dry and able to support machinery.						
3.	Rip Rap	All rip rap showing signs of erosion or scour shall be repaired and reinforced immediately. Rip rap should be kept clean of vegetation and sediment. All rip rap shall be repaired to the construction plan requirements.						
4.	Catch Basin/Curb Inlet Grates	The grate openings to these structures must be kept cleared of any clogging or the blocking of stormwater flow.						
5.	Rain Garden	During the first 2-3 months of establishment, the garden will require, at a minimum, watering on a weekly basis depending on weather. Visual inspections of the garden shall be performed annually at a minimum and more frequently during establishment. Maintenance shall be required when standing water occurs 3 days after a rain event. Rain garden can be dewatered by utilizing a submersible pump in the maintenance port/drawdown device. Maintenance shall consist of the removal of sediment, and a 2 foot undercut. Replace the undercut material with 1/3 topsoil, 1/3 compost, and 1/3 sand. Restoration of plant material shall be by plugging 1 native perennial per square foot, not by seeding. In the spring of each growing year, dead vegetation shall be removed to allow for new growth. At least 2 times during the growing season, the garden should be weeded and additional hardwood mulch shall be added as needed to assist in weed suppression.						
6.	Record of Maintenance	The operation and maintenance plan shall remain onsite and be available for inspection when requested by the local governing agency. When requested, the owner shall make available for inspection all maintenance records to the department or agent for the life of the system.						

CARWASH

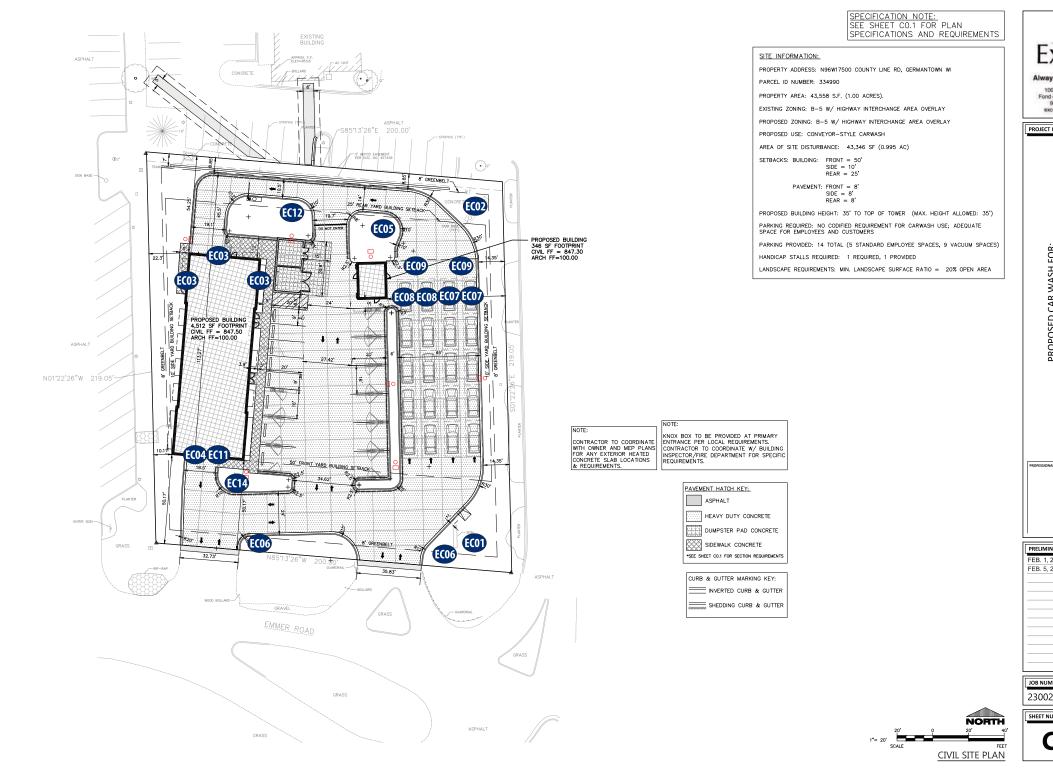
GERMANTOWN, WI



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SITE MAP



6 Sign Croft	COLOR SPECIFICATIONS:	6	NOTE : THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.	DESIGNER: JR	PERMIT INFORMAT N/A	ON:
SIGNUSTRIES	© © ©	0 0	IF ILLUMINATED : WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.	REVISION DATE:	FINAL DATE & BY:	sheet #: 0 / 0

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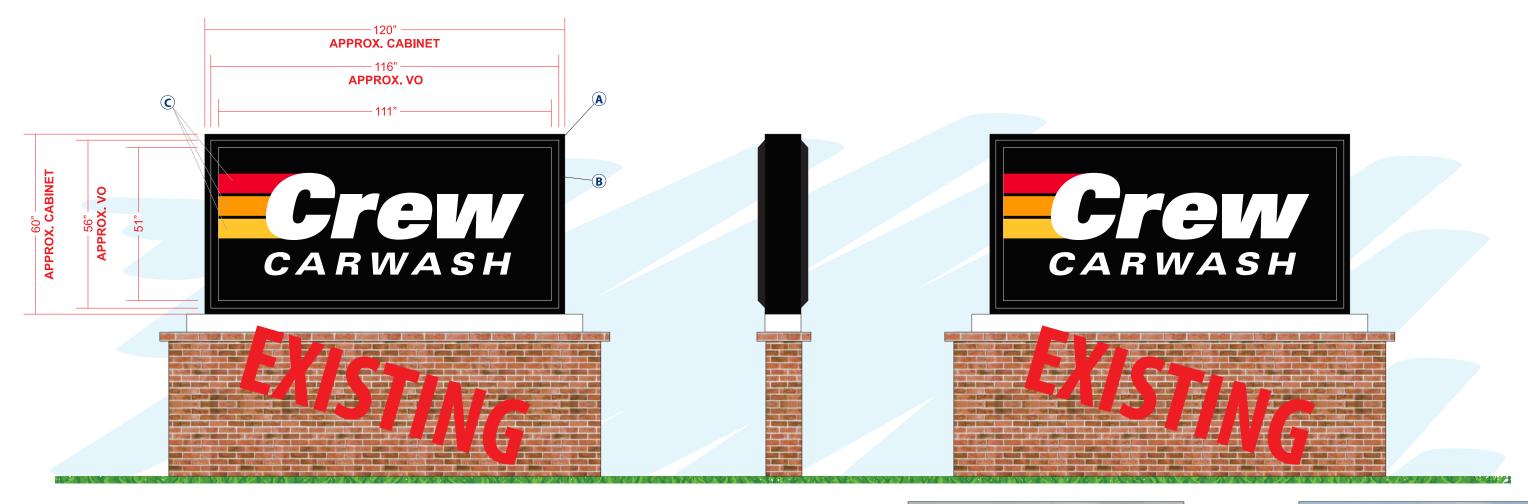
RENDERING #: 0000-0000

SIGN SPECIFICATIONS

VCC Nys a Bett 00 Camelot i d du Lac, W 920-928-92 xcelengineer T INFORMAT	Drive 1 54931 00 1.com	an 5	
PROPOSED CAR WASH FOR: CREW CARWASH	N96 W17500 COUNTY LINE RD • GERMANTOWN, WI 53022		
INARY DATE 2024 2024 2024 MBER 22600	s 	NOT FOR CONSTRUCTION	
NUMBER C1.		ERING, INC.	

EC01	EXISTING MONUMENT
EC02	EXISTING PYLON
EC03	3 CHANNEL LETTERS
EC04	EXIT CHANNEL LETTERS
EC05	DIGITAL MENU BOARD
EC06	2 DIRECTIONAL SIGNS
EC07	2 UNLIMITED CLUB SETS
EC08	2 CASHIER SETS
EC09	4 SNAP FRAMES
EC10	2 SPECIAL SERVICE SIGNS
EC11	CLEAN CAR EXIT
EC12	WE ARE RESPONSIBLE SIGN
EC13	CLEARANCE BAR
EC14	VACUUMS SIGN
EC15	COMING SOON SITE SIGN

EC01



***NOTE: A SURVEY IS NEEDED TO DETERMINE SIZE OF NEW FACES**

***NOTE: CABINET TO BE REPAINTED BLACK**

FABRICATE AND INSTALL QTY 2 NEW FACES FOR EXISTING D/F MONUMENT SIGN

FACES MATERIAL - PAN FORMED, EMBOSSED PLASTIC TO MATCH SPECS FLANGE - 2 1/2" PAN DEPTH - 2"

10

INSTALLATION – MOUNTED INTO RIGID RETAINERS

Gian Craft		COLOR SPECIFICATIONS: A BLACK BODY B BLACK RETAINERS	G	NOTE : THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. CO. SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIM, DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.
		MATCH COLOR SAMPLE	. 🕒	IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED T
INDUSTRIES		D	_ 0	INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL O
	NITED STATES SIGN COUNCIL MEMBER	6	_ J	AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIC

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RENDERING #: 0124-0094



PHOTO SCALE: 3/16'' = 1' - 0''COLORS
TIMATED
(BSCI REP:
(BDESIGNER:
(JRPERMIT INFORMATION:
N/AED TO BE
ED TO BE
(AL CODE
ESIGN.DATE:
(01/29/2024)REVISION DATE:FINAL DATE & BY:SHEET #:
1 / 15

ART SCALE: 3/8" = 1' - 0"

EC02



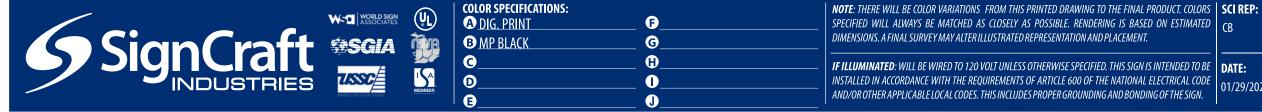
***NOTE: A SURVEY IS NEEDED TO DETERMINE SIZE OF NEW FACES**

***NOTE: PYLON TO BE REPAINTED BLACK**

FABRICATE AND INSTALL QTY 2 NEW FACES FOR EXISTING D/F PYLON SIGN

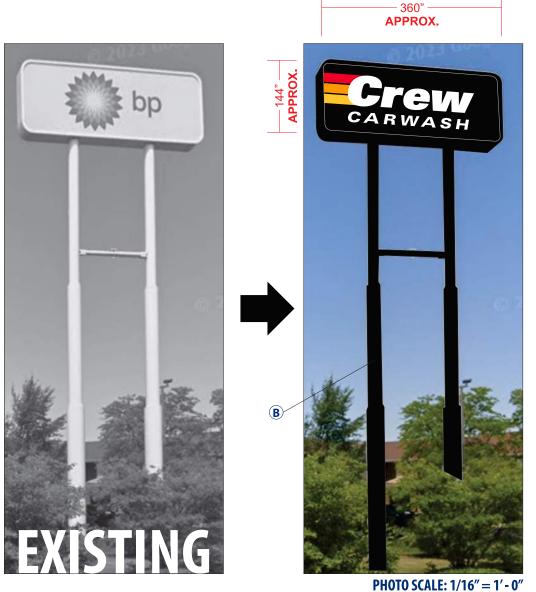
FACES MATERIAL – FLEX FACE MATERIAL PRINTED TO MATCH SPECS

INSTALLATION - MOUNTED INTO EXISTING RIGID RETAINERS



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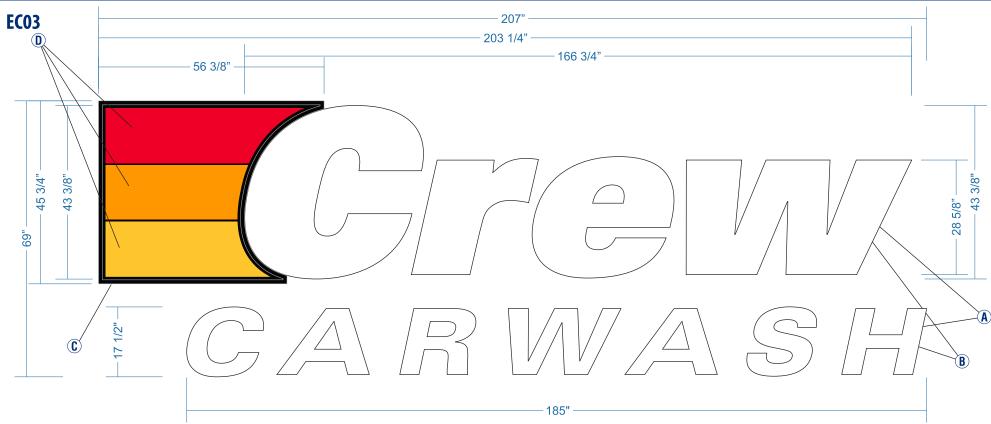




 COLORS MATED
 SCI REP: CB
 DESIGNER: JR
 PERMIT INFORMATION: N/A

 DTO BE L CODE SGRN.
 DATE: 01/29/2024
 REVISION DATE:
 FINAL DATE & BY:
 SHEET #: 2 / 15

ART SCALE: 3/16" = 1' - 0"



FABRICATE AND INSTALL QTY 3 INTERNALLY ILLUMINATED FACE-LIT BUILDING SIGNS

RIBBON CABINET

BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM **RETURNS** - 3"TO MATCH SPECS **RETAINERS** - 1" RIGID RETAINERS TO MATCH SPECS **LEDS** - WHITE - **ADD EXTRA LEDS**

INSTALLATION – MOUNTED FLUSH TO FASCIA

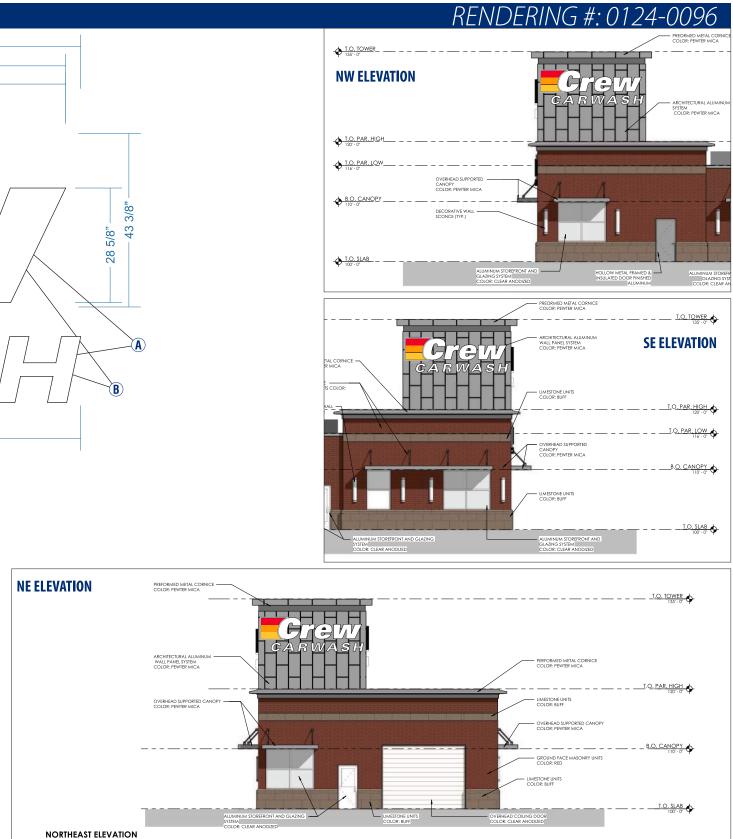
RIBBON FACES

MATERIAL - PAN FORMED, EMBOSSED PLASTIC PAINTED SECOND SURFACE TO MATCH SPECS FLANGE - 1 1/4" PAN DEPTH - 1"

"CREW" & "CARWASH" FACES - 1/8" 2447 WHITE ACRYLIC

RETURNS - 4"TO MATCH SPECS TRIM CAPS - 1"TO MATCH SPECS BACKS - .063 ALUMINUM LEDS - WHITE

INSTALLATION - MOUNTED FLUSH TO FASCIA



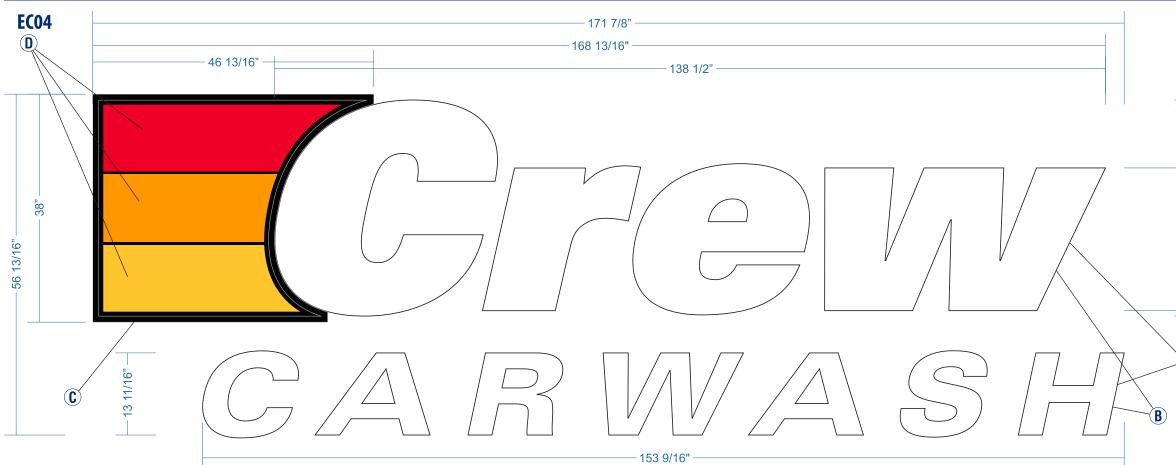
INSTALLATION - MOUNTED INTO RIGID RETAINERS

GianCraft Scia	COLOR SPECIFICATIONS:A BLACK RETURNSB BLACK TRIM CAPSG	NOTE : THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.	SCI REP: CB	DESIGNER: JR	PERMIT INFORMATIO N/A	ON:
SIGNUSTRIES	BLACK RETAINERS MATCH COLOR SAMPLE J	IF ILLUMINATED : WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.		REVISION DATE:	FINAL DATE & BY:	sheet #: 3 / 15

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PHOTO SCALE: 1/16" = 1' - 0"

ART SCALE: 1/2" = 1' - 0"



FABRICATE AND INSTALL QTY 1 INTERNALLY ILLUMINATED FACE-LIT BUILDING SIGN

RIBBON CABINET

BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM **RETURNS** - 3" TO MATCH SPECS **RETAINERS** - 1" RIGID RETAINERS TO MATCH SPECS **LEDS** - WHITE - **ADD EXTRA LEDS**

INSTALLATION – MOUNTED FLUSH TO FASCIA

RIBBON FACES

MATERIAL – PAN FORMED, EMBOSSED PLASTIC PAINTED SECOND SURFACE TO MATCH SPECS FLANGE – 1 1/4" PAN DEPTH – 1"

INSTALLATION – MOUNTED INTO RIGID RETAINERS

"CREW" & "CARWASH"

FACES - 1/8" 2447 WHITE ACRYLIC RETURNS - 4" TO MATCH SPECS TRIM CAPS - 1" TO MATCH SPECS BACKS - .063 ALUMINUM LEDS - WHITE

INSTALLATION - MOUNTED FLUSH TO FASCIA



	walxsociates (U)	COLOR SPECIFICATIONS:BLACK RETURNSBLACK TRIM CAPS		NOTE : THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.	DESIGNER: JR	PERMIT INFORMATIO N/A	DN:
SIGNUSTRIES		© BLACK RETAINERSH• MATCH COLOR SAMPLE•• ••• ••• ••	,	IF ILLUMINATED : WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.	REVISION DATE:	FINAL DATE & BY:	sheet #: 4/15

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A

PHOTO SCALE: 1/16" = 1' - 0"

ART SCALE: 3/4" = 1' - 0"

CARWASH • N.96 W.17500 COUNTY LINE ROAD, GERMANTOWN, WISCONSIN 53022 CRFW



INSTALLATION - MOUNTED TO SIGN BASE & POST

REVEAL DEPTH - 1"

INSTALLATION - MOUNTED AROUND 4" SCH 40 PIPE BURIED INTO GRADE

Gian Craft	COLOR SPECIFICATIONS: A MP BLACK B MP18170 TI. GREY MET	6	NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. CO. SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMA DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.
SIGNUSTRIES	@ D B	(C	IF ILLUMINATED : WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL OF AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIC

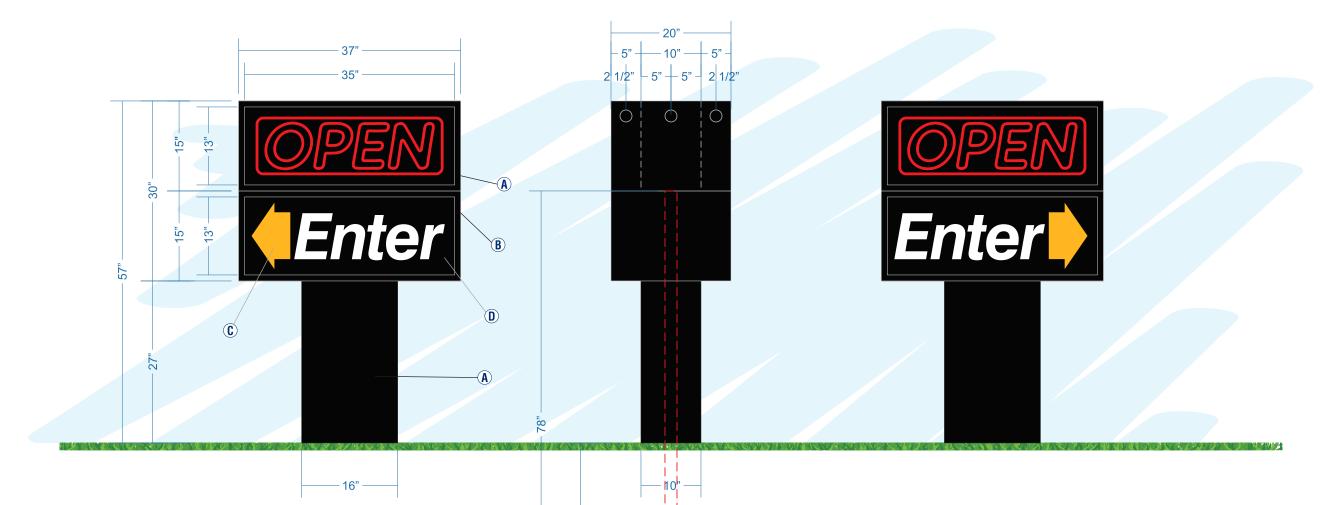
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ART SCALE: 3/4" = 1' - 0"



FABRICATE AND INSTALL QTY 2 INTERNALLY ILLUMINATED D/F GROUND SIGNS

UPPER CABINET

BODY – 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM PAINTED TO MATCH SPECS FACES – 3/16" CLEAR POLYCARBONATE RETAINERS – 1"TO MATCH SPECS NEON – 12 MM RED

INSTALLATION – BAFFLE & DIVIDER NEEDED BETWEEN TOP AND BOTTOM CABINETS

BASE

BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM PAINTED TO MATCH SPECS

INSTALLATION - INSTALLED AROUND 2" SQ ALUMINUM POST BURIED INTO GRADE

LOWER CABINET

BODY - 1" ALUMINUM ANGLE SKINNED IN .090 ALUMINUM PAINTED TO MATCH SPECS FACES - 3/16" WHITE POLYCARBONATE VINYL - MATCH SPECS RETAINERS - 1"TO MATCH SPECS

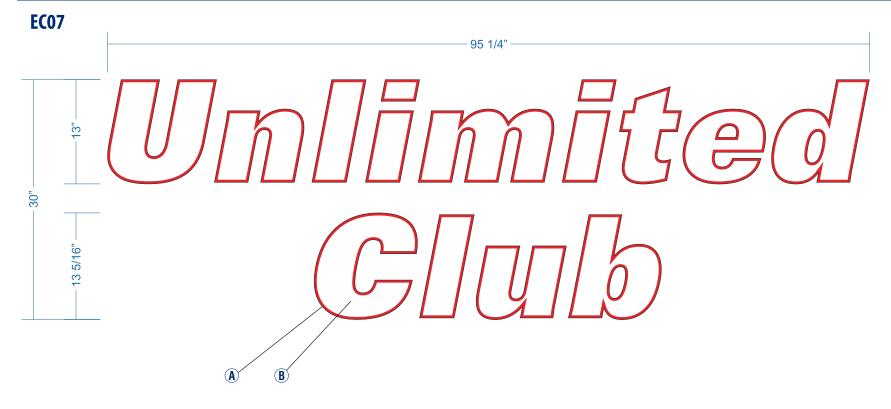
INSTALLATION – MOUNTED TO BASE & POST

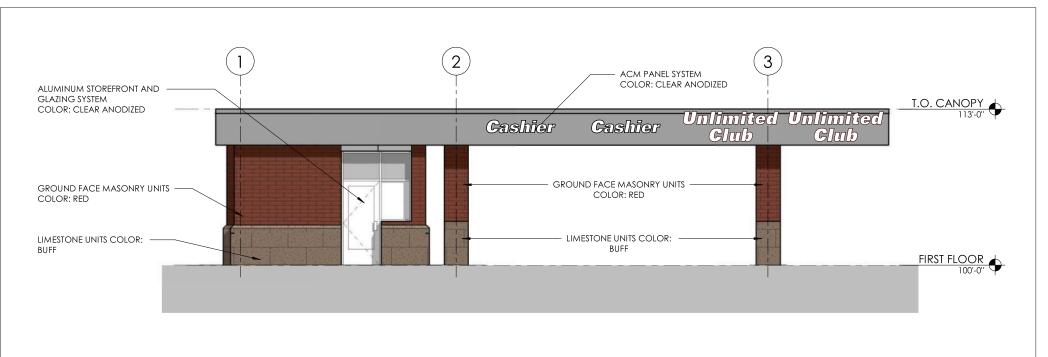
SignCraft States	-	COLOR SPECIFICATIONS: F A MP BLACK F B MP BLACK RETAINERS G	NOTE : THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.		DESIGNER: JR	PERMIT INFORMATIO N/A	N:
	I SA MEMBER	C ORACAL 8500-020 GOLDEN YELLOW H D ORACAL 651-070 BLACK I E J	IF ILLUMINATED : WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.	DATE: 01/29/2024	REVISION DATE:	FINAL DATE & BY:	sheet #: 6/15

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ART SCALE: 3/4'' = 1' - 0''





FABRICATE AND INSTALL QTY 2 NON-ILLUMINATED LETTER SETS

FACES - 1"WHITE PVC PAINTED TO MATCH SPECS **VINYL** - MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO CANOPY

					PHOTO S	CALE: $1/8'' = 1' - 0''$
W-CONSTRUCTION (UL) A PA	COLOR SPECIFICATIONS:A PMS 1795 C REDB ORACAL 651-010 WHITEG	NOTE : THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.	SCI REP: CB	DESIGNER: JR	PERMIT INFORMAT N/A	ION:
SIGNUSTRIES	© ⊕ D ① ⑤ ①	IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.		REVISION DATE:	FINAL DATE & BY:	sheet #: 7 / 15

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ART SCALE: 1" = 1' - 0"

Aluminum Storefront and Glazing System Color: clear anodized

GROUND FACE MASONRY UNITS

LIMESTONE UNITS COLOR: BUFF

COLOR: RED

(B)

 (\mathbf{A})



FACES – 1" WHITE PVC PAINTED TO MATCH SPECS **VINYL** - MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO CANOPY

				PHOTO S	CALE: 1/8" = 1' - 0"
SignCraft Color Specification	F SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ES OWHITE G UH DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.		DESIGNER: JR REVISION DATE:	PERMIT INFORMAT	
	Image: Control of the interview of the inte	ESIGN. 01/29/2024			8/15

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Cashier

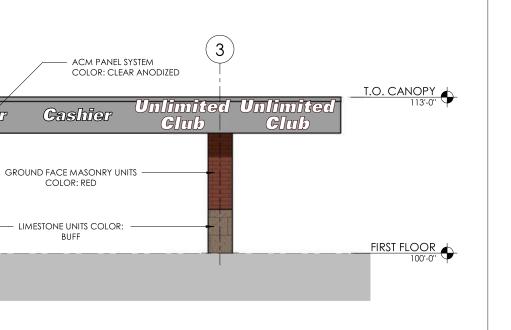
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NASH • N.96 W.17500 COUNTY LINE ROAD, GERMANTOWN, WISCONSIN 53022

EC08





ART SCALE: 1" = 1' - 0"



FABRICATE AND INSTALL QTY 4 SNAP FRAMES

BODY SIGN COMP KIT - 1899 & 1869A PAINTED TO MATCH SPECS

INSTALLATION - QTY 2 FRAMES FLUSH MOUNTED TO COLUMNS, QTY 2 FRAMES ANGLED OFF COLUMNS

FACES MATERIAL - 3MM WHITE DIBOND VINYL - MATCH SPECS

INSTALLATION - MOUNTED INTO SNAP FRAMES

ANGLED BRACKETS BODY - 2" ALUMINUM ANGLE

INSTALLATION - MOUNTED TO SNAP FRAME AND COLUMN



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RENDERING #: 0124-0102

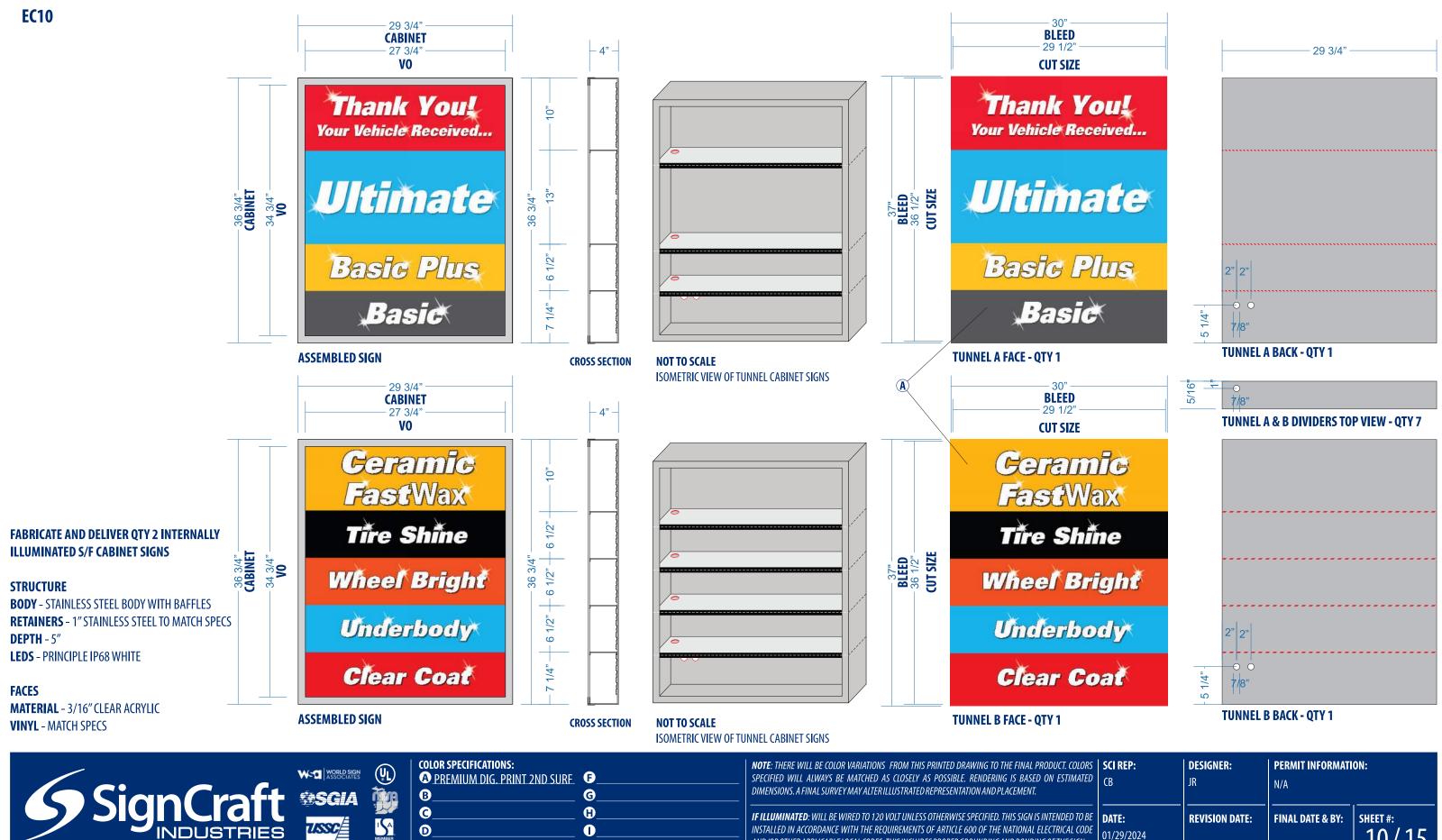
COLORS	SCI REP:	designer:	PERMIT INFORMATION:	
TIMATED	CB	Jr	N/A	
ED TO BE AL CODE ESIGN.	DATE: 01/29/2024	REVISION DATE:	FINAL DATE & BY:	sheet #: 9/15

ART SCALE: 1-1/2" = 1' - 0"

ARWASH • N.96 W.17500 COUNTY LINE ROAD, GERMANTOWN, WISCONSIN 53022

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IF II I IIMINATED WILL RE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED

AND/OR OTHER APPLICARI FLOCAL CODES THIS INCLUDES PROPER GROUI

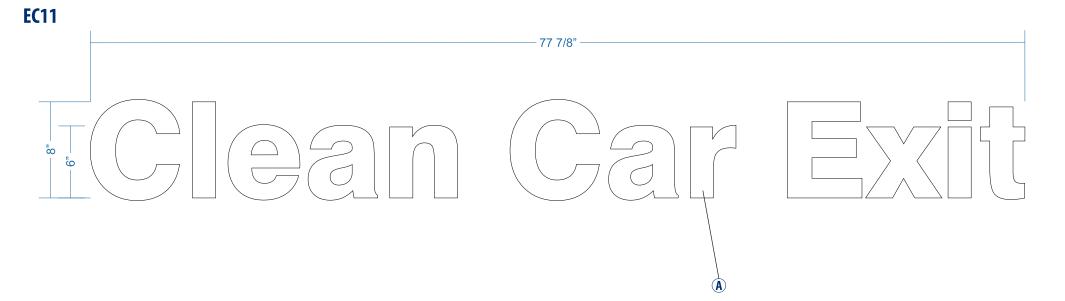
INSTALLED IN ACCORDANCE WITH THE REOUIREMENTS OF ARTICLE 600 OF THE NATIONAL FLECTRIC



COLORS	SCI REP:	DESIGNER:	R: PERMIT INFORMATION:				
TIMATED	CB	JR	N/A				
ED TO BE AL CODE E SIGN.	DATE: 01/29/2024	REVISION DATE:	FINAL DATE & BY:	sheet #: 10/15			

ART SCALE: 1" = 1' - 0"

CREW CARWASH • N.96 W.17500 COUNTY LINE ROAD, GERMANTOWN, WISCONSIN 53022





FABRICATE AND INSTALL QTY 1 NON-ILLUMINATED LETTER SET

FACES – 1"WHITE PVC PAINTED TO MATCH SPECS

INSTALLATION - MOUNTED FLUSH TO FASCIA



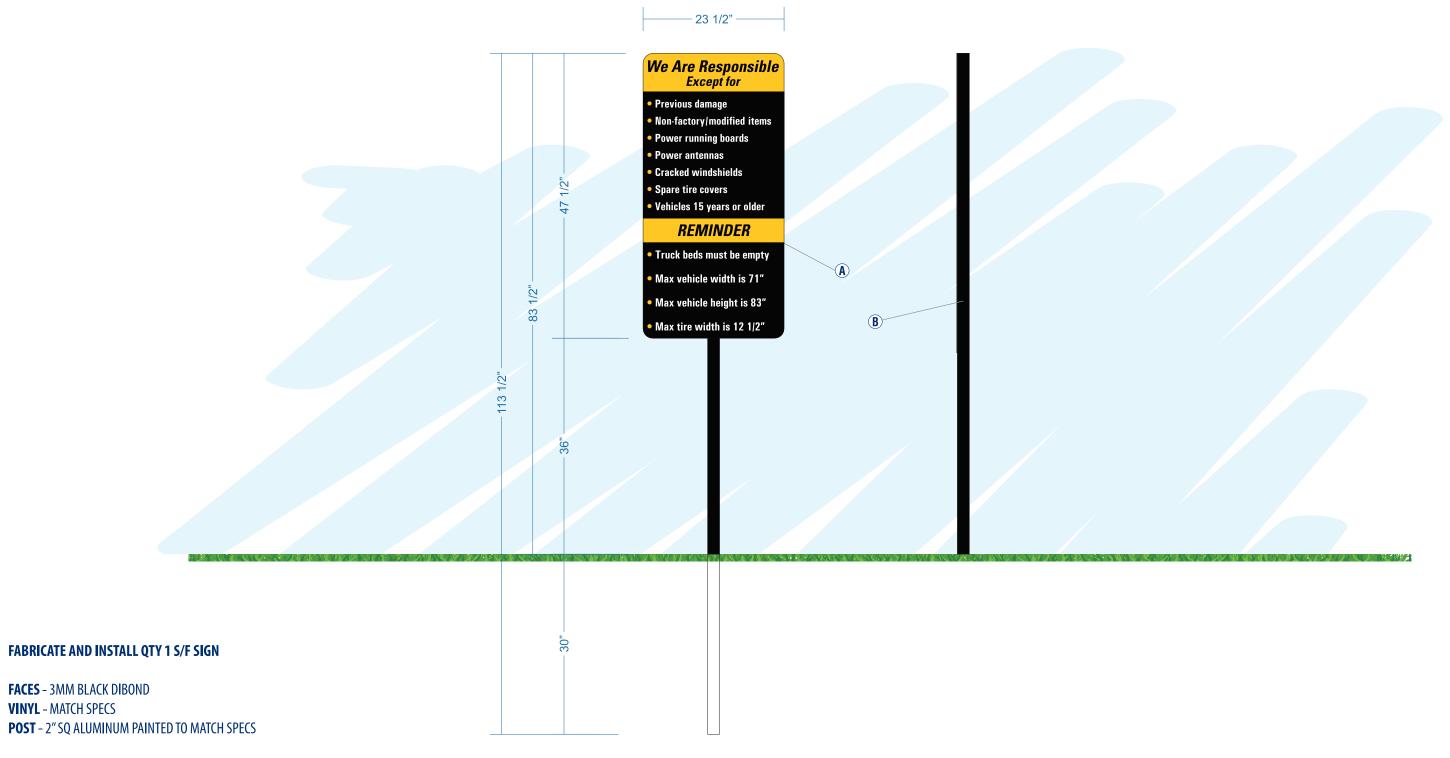
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PHOTO SCALE: 1/16" = 1' - 0"

. COLORS	SCI REP:	DESIGNER:	PERMIT INFORMATION:			
TIMATED	CB	JR	N/A			
ED TO BE CAL CODE E SIGN.	DATE: 01/29/2024	REVISION DATE:	FINAL DATE & BY:	sheet #: 11/15		

ART SCALE: 1-1/2" = 1' - 0"



INSTALLATION - FACE MOUNTED TO POST, POST BURIED INTO GRADE

	COLOR SPECIFICATIONS: A MP BLACK B DIG. PRINT G	NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.		DESIGNER: JR	PERMIT INFORMATI N/A	ON:
	G G D O G O	 IF ILLUMINATED: WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. 	DATE: 01/29/2024	REVISION DATE:	FINAL DATE & BY:	sheet #: 12/15

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ART SCALE: 3/4" = 1' - 0"

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INSTALLATION – HUNG WITH AIRCRAFT CABLE 83" ABOVE GRADE

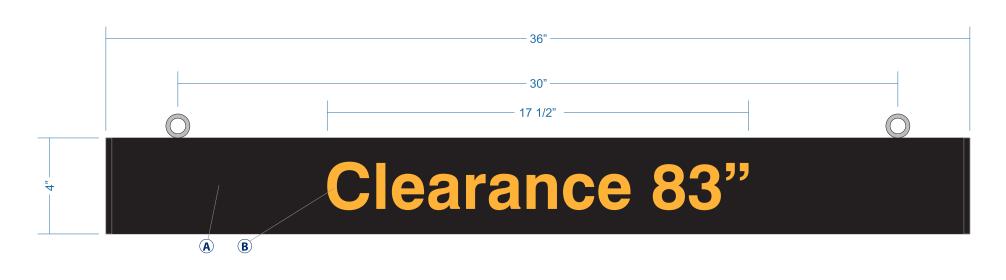
FABRICATE AND INSTALL QTY 1 S/F CLEARANCE BAR

EYE HOOKS - STAINLESS STEEL VINYL - TO MATCH SPECS

6 Sign Craft	COLOR SPECIFICATIONS: A MP BLACK B ORACAL 651-019 SIGNAL YELLOW	NOTE : THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.	SCI REP: CB	DESIGNER: JR	PERMIT INFORMATI N/A	ON:
SIGNUSTRIES		IF ILLUMINATED : WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLELOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.		REVISION DATE:	FINAL DATE & BY:	sheet #: 13 / 15



MATERIAL - 4" ROUND PVC PIPE WITH CAPS ON ENDS AND PAINTED TO MATCH SPECS



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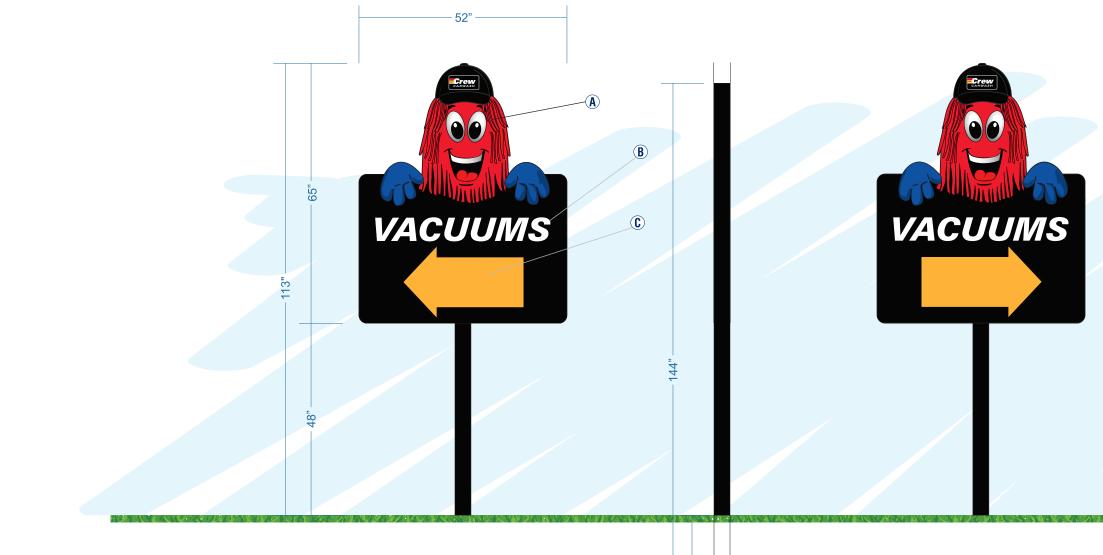
EC13



ART SCALE: 3" = 1' - 0"

CREW CARWASH • N.96 W.17500 COUNTY LINE ROAD, GERMANTOWN, WISCONSIN 53022





FABRICATE AND INSTALL QTY 1 D/F VACUUM SIGN

FACES – 3MM BLACK DIBOND VINYL – MATCH SPECS POST – 4" SQ ALUMINUM PAINTED TO MATCH SPECS

INSTALLATION – FACES MOUNTED TO POST, POST BURIED INTO GRADE

SignCraft	COLOR SPECIFICATIONS: A DIG. PRINT B ORACAL 651-010 WHITE G	NOTE: THERE WILL BE COLOR VARIATIONS FROM THIS PRINTED DRAWING TO THE FINAL PRODUCT. COLORS SPECIFIED WILL ALWAYS BE MATCHED AS CLOSELY AS POSSIBLE. RENDERING IS BASED ON ESTIMATED DIMENSIONS. A FINAL SURVEY MAY ALTER ILLUSTRATED REPRESENTATION AND PLACEMENT.	DESIGNER: JR	PERMIT INFORMATI N/A	ON:
SIGNUSTRIES	© ORACAL 651-019 SIG. YELLOW H D U I J	IF ILLUMINATED : WILL BE WIRED TO 120 VOLT UNLESS OTHERWISE SPECIFIED. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.	REVISION DATE:	FINAL DATE & BY:	sheet #: 14/15

36"

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ART SCALE: 1/2" = 1' - 0"



FABRICATE AND INSTALL QTY 1 D/F STANDING SIGN POSTS W/ SANDBAGS

FACES - 1/2" ALUMCORE PRINTED TO MATCH SPECS

POSTS – QTY 3 – 10' 2x4 TREATED WOOD PAINTED TO MATCH SPECS QTY 2 – 8' 4x4 POSTS PAINTED TO MATCH SPECS



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RENDERING #: 0124-0108

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ART SCALE: 1/2" = 1' - 0"











