

Date: April 4, 2024

To: Village of East Troy Plan Commission

From: Tim Schwecke, Zoning Administrator

Subject: Final development plan for a proposed planned development district consisting of 145 apartment units located on the south side of Main Street; Sawall Development, applicant

Application: 2023-37; <https://s.zoninghub.com/C1GJTZ5DB4>

Meeting: April 8, 2024 Plan Commission meeting

Description Sawall Development is looking to develop two apartment buildings as a planned development district on about 4.9 acres on the south side of Main Street. The developer has prepared a site plan showing the proposed layout of the buildings along with related parking areas. Each of the proposed buildings are four stories with surface and underground parking.

Procedure for establishing a planned unit development project As described in Village's zoning code there are three steps:

1. Concept review (COMPLETED)
2. General Development plan (GDP) – (COMPLETED)
3. Final Development Plan (FDP)

At the moment, we are in the third step with the review of the final development plan.

Building elevations The buildings have four-sided architecture with a number of vertical projections and a good mix of building materials (and colors). Each of the units open onto a ground-level patio or a balcony on the upper stories.

Access Two access points on Main Street are proposed. The Director of Public Works has reviewed and approved the locations.

Parking Surface and underground parking is proposed and complies with the required standards.

Stormwater Underground chambers under the parking lot will be used to manage stormwater onsite.

Landscaping and bufferyard A bufferyard with an opacity value of 0.4 must be located along the lot line with the single-family parcel to the west. That bufferyard must be depicted on the landscape plan (minimum width of 35 feet with 349 landscape points per 100 feet).

Fire department access The site plan should be revised to show the fire department (walking) access on the back of the proposed buildings, including the minimum distance from the wall, minimum width and maximum slope (as agreed upon with developer at the staff level). The developer will need to show how the new site plan will accommodate a WB-50 truck and a typical fire truck.

Outdoor lighting A photometric plan is required.

Tree protection. The developer will need to submit a completed application for review, which is available here.

<https://villageofeastroy.zoninghub.com/highlights/procedures/procedure.aspx?id=920>

Primary environmental corridor The site plan shows the PEC as delineated by Southeastern Wisconsin Regional Planning Commission (SEWRPC).

Signage plan The Plan Commission will review the proposed monument sign and wall signage as a separate action item.

Public notice Aside from being included on a meeting agenda, no other special notice is required.

Role of Plan Commission With regard to a final planned development district, the Plan Commission is authorized to review and make a final decision.

Proposed motion for adoption: Approve the final development plan as presented, subject to the following:

1. The developer must submit a completed tree protection worksheet to the zoning administrator for review and approval.
2. The developer must submit the final landscape plan to the zoning administrator for review and approval.
3. The developer must establish an easement for a walking path along the west side of the property in a form acceptable to the Village administrator and Village attorney.
4. Prior to any land-disturbing activity, the developer must obtain the approval of the Village engineer and fire department with regard to the fire truck turning movements.
5. Prior to any land-disturbing activity, the developer must submit a revised set of plans as may be needed to account for any required revisions. Such plans must be approved by the reviewers.
6. The developer must obtain all required building permits within 9 months of this date and start construction within 6 months of the date of building permit issuance and continue in good faith to completion. The zoning administrator may allow a one-time extension of 12 months provided the developer submits the request in writing before the above-mentioned time periods and the project still complies with all applicable zoning requirements.
7. All work performed, improvements constructed, and use of the property shall be according to the submitted application materials, the municipal code, and all other applicable ordinances, regulations, and permits.
8. The developer is solely responsible for ensuring the proposed project complies with any private restrictions (e.g., covenants) and easements that may apply to the subject property.
9. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
10. Prior to any land-disturbing activity, the developer must submit a storm water management plan to the Village Engineer and obtain approval of the same.
11. Prior to any land-disturbing activity, the developer must submit a storm water maintenance agreement to the Village Engineer and obtain approval of the same.
12. Prior to issuance of a building permit, the Village Board must approve the storm water maintenance agreement as recommended by the Village engineer.
13. Prior to issuance of a building permit, the developer must record the approved storm water maintenance agreement with the Walworth County register of deeds office.
14. Prior to any land-disturbing activity, the developer must submit an erosion control plan to the Village engineer and obtain approval of the same.

15. Prior to any land-disturbing activity, the developer must obtain a NOI from the Wisconsin DNR along with any other state approvals as may be needed. A copy of the NOI must be provided to the building inspector and Village engineer prior to issuance of a building permit.
16. Prior to any land-disturbing activity, the developer must reimburse the Village for any charge-back fees and other related charges that are outstanding at that time.
17. The developer must obtain all other approvals related to this project as may be required.
18. The facility is operated in a manner that complies with all applicable performance standards in Article J of the Village's zoning code.
19. The developer shall submit a sign permit for any proposed signage.
20. Prior to issuance of a building permit, the developer must submit a revised outdoor lighting plan to the zoning administrator for review and approval.
21. Prior to issuance of a building permit, the developer must address any outstanding questions to the satisfaction of the zoning administrator.
22. The developer must comply with all parts of the municipal code as it relates to this project.
23. All work related to this project must comply with all plans approved by the Village.
24. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the zoning administrator is authorized to approve minor modifications so long as the overall project elements remain unchanged. If the proposed revisions are substantial as determined by the zoning administrator, the plans must be submitted to the Plan Commission for review and approval.
25. Prior to issuance of the final occupancy permit, the zoning administrator must determine that all site improvements and required landscaping have been completed consistent with approved plans.

Attachments:

1. Application materials



Overlook Ridge East Troy, WI

Overlook Ridge will be a stunning and magnificent development featuring spacious studios, one, two, and three-bedroom apartment units, all with oversized floor plans and oversized closets. This project will be a multi-family development of approximately five acres on Main St. Overlook Ridge will consist of two four-story L-shaped buildings, each with underground parking. There will also be a large overlook deck and a pool between the two buildings, taking advantage of the beautiful nature views from the back. The units will be luxury apartments with luxury interior finishes, such as quartz countertops, luxury vinyl plank flooring, stainless steel appliances, large windows for natural light, and a walk-out patio area on the first floor. Our resident amenities will include a spacious dog park, a gym with a yoga/stretching room, a community room, gas grills, and a dog wash station. We are a full-service boutique developer with an outstanding record of accomplishment. We thrive on tackling unique and exciting projects such as this one. We believe this project will create a vibrant space for our residents to gather.

- 4.932 Acre Development
- About 145 Luxury Apartment Units
- Mix of studio, one-bedroom, two-bedroom, and three-bedroom apartments
- All units have private balconies or patio area
- Units have underground parking space with storage
- \$21 Million in Projected Value

“Art and Sawall Development really saw the potential of the vacant Cannery Site and worked closely with the Village to turn the Mammoth Springs Site into the gateway of our Downtown. It has led to several other successful projects in the community with Sawall Development. We are proud to be home to the headquarters for Sawall Development, to work with Art and his team and to continue to grow with them.”

-Jeremy Smith
Sussex Village Administrator
Sussex, WI

“Working with Sawall Development over the past several years has been a pleasure. Art, Kevin and their entire team were very professional, people of integrity and exceeded our goal and expectations for the Granary project in Union Grove.”

www.sawallddevelopment.com
N63 W23217 Main St. Sussex, WI 53089
Ph: 262.297.4444 Fax: 262.395.4119



Taking an abandoned and contaminated old feed mill site and transforming it into high end market rate housing only became a reality because of the vision, determination and knowledge of Sawall Development.

We look forward to our next project with Sawall Development.”

– Mike Aimone
*Village President
 Union Grove, WI*

“Pulling together and coordinating an apartment community of nearly 300 units, and a potential CBRF facility, is a daunting challenge but Art and Kevin from Sawall Development showed tremendous commitment and dedication to not only the project, but to the Village of Lannon. We appreciate their investment in our community and look forward to seeing the completed community in the very near future.”

– Patrick Yates
*Trustee
 Lannon, WI*

“Union Grove and RCEDC have enjoyed a long-term partnership that has focused on development and redevelopment opportunities in its community. We are thrilled to have had the chance to work with Sawall Development and the Union Grove team to accomplish this exciting development. We are equally thrilled to know that this project which was originally planned as a phased development, after the Foxconn announcement, will now be completed in one phase.”

– Jenny Trick
*Racine County Economic Development Corporation
 Racine, WI*

PUD exemptions:

	MR 10 Requirements	Proposed PUD
Building Height	Principal residential: 35 feet; accessory residential: 18	50 ft building ; 18 ft maintenance garage
Accessory buildings	One shed less than 150 square feet and an accessory building that is based on the size of the lot up to a maximum of 30 percent of the rear yard.	1,050 sqft maintenance garage
Building Separation	minimum: 10 feet	16 ft
Building coverage,	maximum: 40 percent	40 % of Lot Area
Impervious surface	maximum: 50 percent	58% of Lot Area
Lot area	Residential: 4,356 square feet per dwelling unit; nonresidential: 40,000 square feet or 10,000 square feet with conditional use permit	1,481.65 sqft per dwelling unit.



Lot width	Residential: 90 feet; nonresidential: 90feet or 75 feet with conditional use	90 ft
Lot density	10 dwelling units per acre	30 units per Acre.
Pavement setback	minimum: 5 feet	5 ft
Setback (accessory bldg), minimum	Side and rear: 5 feet for a structure less than 200 square feet; 10 feet for a structure 200 square feet or more	10 ft
Setback, minimum	street setback: 25 feet; side setback: 8 feet or 0 feet for attached dwellings (20 feet for sum of sides); rear setback: 25 feet; nonresidential - street setback: 25 feet; side setback: 8 feet; rear setback: 25 feet	25 ft

KEYNOTES - ELEVATION

- ① PREFINISHED COMPOSITE LAP SIDING A
- ② PREFINISHED COMPOSITE LAP SIDING B
- ③ PREFINISHED COMPOSITE VERTICAL SIDING C
- ④ PREFINISHED COMPOSITE VERTICAL SIDING D
- ⑤ DRAINABLE EIFS SYSTEM
- ⑥ PREFINISHED METAL COPING
- ⑦ FIBERGLASS OR VINYL WINDOW SYSTEM
- ⑧ FIBERGLASS OR VINYL PATIO DOOR SYSTEM
- ⑨ ALUMINUM STOREFRONT ENTRY DOOR SYSTEM
- ⑩ PAINTED INSULATED GALVANIZED HOLLOW METAL DOOR & FRAME
- ⑪ PREFINISHED METAL INSULATED OVERHEAD DOOR
- ⑫ PREFINISHED ALUMINUM BALCONY & RAILING SYSTEM
- ⑬ MECHANICAL UNIT GRILLE/LOUVER (BY DESIGN/BUILD MECHANICAL CONTRACTOR)
- ⑭ INTAKE/EXHAUST LOUVER (BY DESIGN/BUILD MECHANICAL CONTRACTOR)
- ⑮ POSSIBLE GAS METER LOCATION (BY DESIGN/BUILD MECHANICAL CONTRACTOR)



East Troy Multifamily
Main Street, East Troy WI



② EAST
1/8" = 1'-0"



① SOUTH
1/8" = 1'-0"

CLIENT



REVISIONS

NO.	DESCRIPTION	DATE

INFORMATION

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PROJECT #: 20101

DATE: 03.20.2024

ISSUED:

NOT FOR CONSTRUCTION

BUILDING ELEVATIONS

A401

KEYNOTES - ELEVATION

- ① PREFINISHED COMPOSITE LAP SIDING A
- ② PREFINISHED COMPOSITE LAP SIDING B
- ③ PREFINISHED COMPOSITE VERTICAL SIDING C
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- ⑮ POSSIBLE GAS METER LOCATION (BY DESIGN/BUILD MECHANICAL CONTRACTOR)



East Troy Multifamily

Main Street, East Troy WI

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DATE: 03.20.2024

ISSUED:

NOT FOR CONSTRUCTION

BUILDING ELEVATIONS

A402



② WEST
1/8" = 1'-0"



① NORTH
1/8" = 1'-0"

East Troy Multifamily
Main Street, East Troy WI

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PROJECT #: 20101

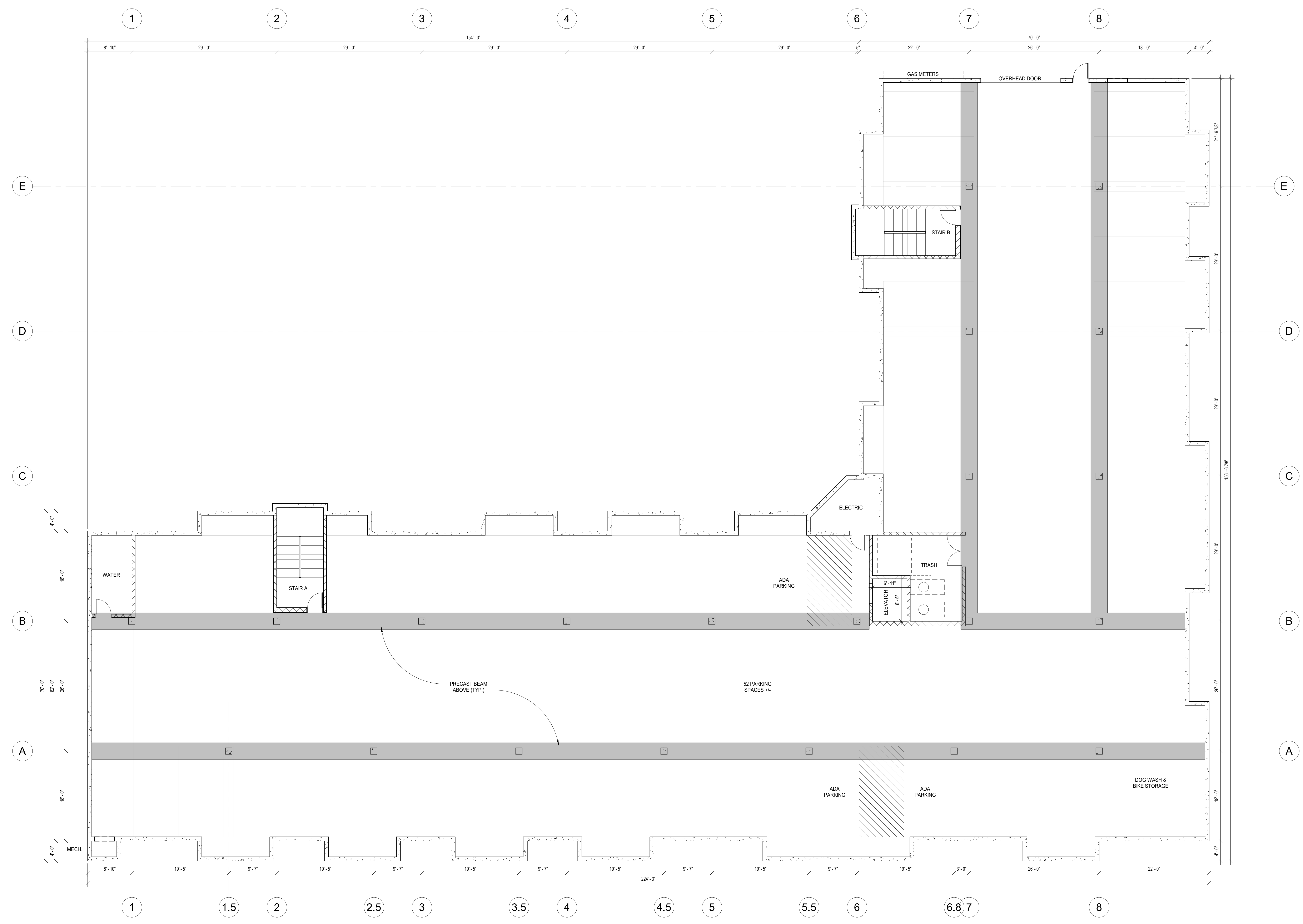
DATE: 03.20.2024

ISSUED:

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LOWER LEVEL

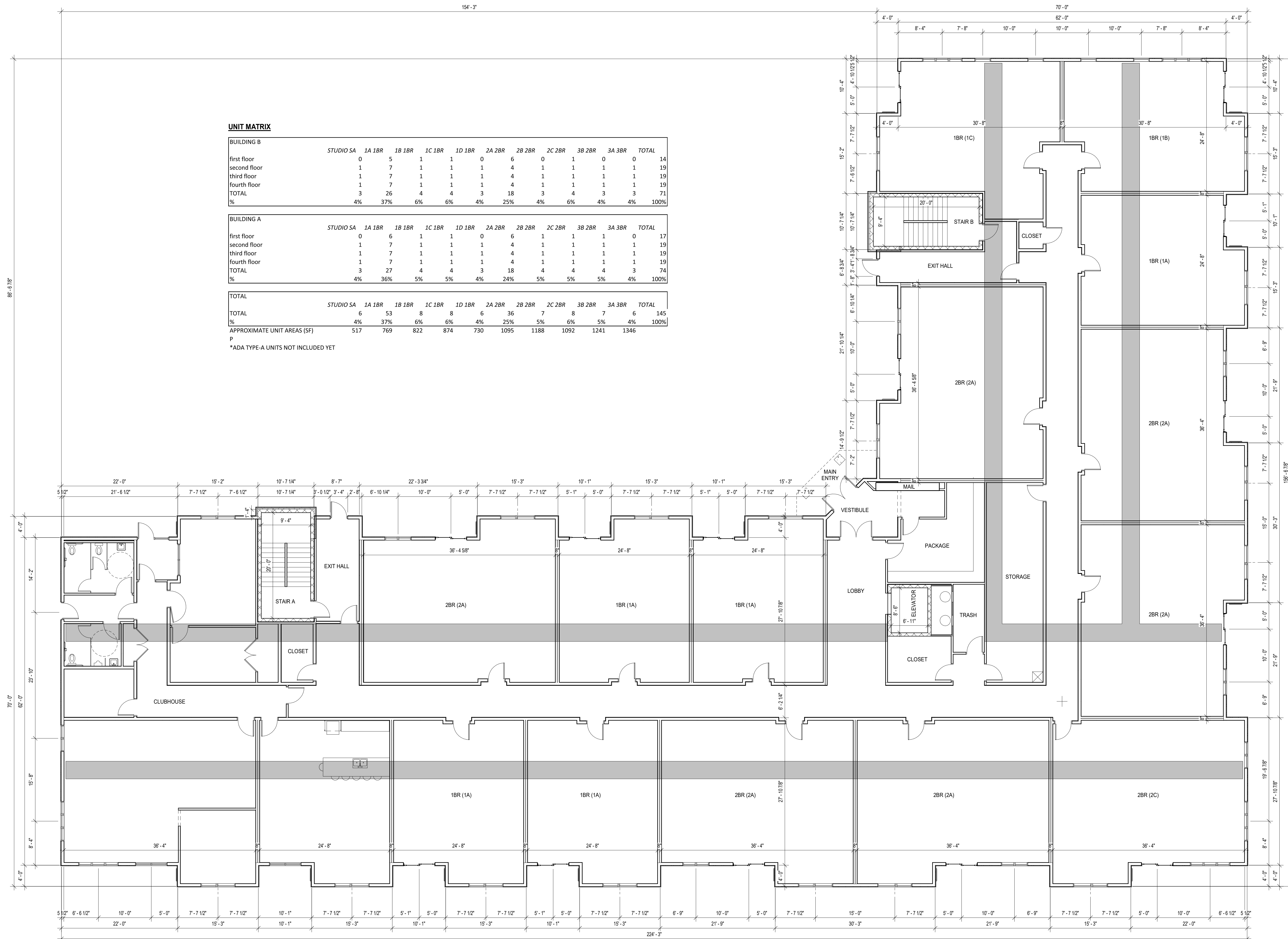
A100



1 LOWER LEVEL
1/8" = 1'-0"



PURE architecture studio, llc
www.pure-arch.com



UNIT MATRIX

BUILDING B											
	STUDIO SA	1A 1BR	1B 1BR	1C 1BR	1D 1BR	2A 2BR	2B 2BR	2C 2BR	3B 2BR	3A 3BR	TOTAL
first floor	0	5	1	1	0	6	0	1	0	0	14
second floor	1	7	1	1	1	4	1	1	1	1	19
third floor	1	7	1	1	1	4	1	1	1	1	19
fourth floor	1	7	1	1	1	4	1	1	1	1	19
TOTAL	3	26	4	4	3	18	3	4	3	3	71
%	4%	37%	6%	6%	4%	25%	4%	6%	4%	4%	100%

BUILDING A											
	STUDIO SA	1A 1BR	1B 1BR	1C 1BR	1D 1BR	2A 2BR	2B 2BR	2C 2BR	3B 2BR	3A 3BR	TOTAL
first floor	0	6	1	1	0	6	1	1	1	0	17
second floor	1	7	1	1	1	4	1	1	1	1	19
third floor	1	7	1	1	1	4	1	1	1	1	19
fourth floor	1	7	1	1	1	4	1	1	1	1	19
TOTAL	3	27	4	4	3	18	4	4	4	3	74
%	4%	36%	5%	5%	4%	24%	5%	5%	5%	4%	100%

TOTAL											
	STUDIO SA	1A 1BR	1B 1BR	1C 1BR	1D 1BR	2A 2BR	2B 2BR	2C 2BR	3B 2BR	3A 3BR	TOTAL
TOTAL	6	53	8	8	6	36	7	8	7	6	145
%	4%	37%	6%	6%	4%	25%	5%	6%	5%	4%	100%

APPROXIMATE UNIT AREAS (SF)
 S 517 769 822 874 730 1095 1188 1092 1241 1346
 P *ADA TYPE-A UNITS NOT INCLUDED YET

East Troy Multifamily
Main Street, East Troy WI

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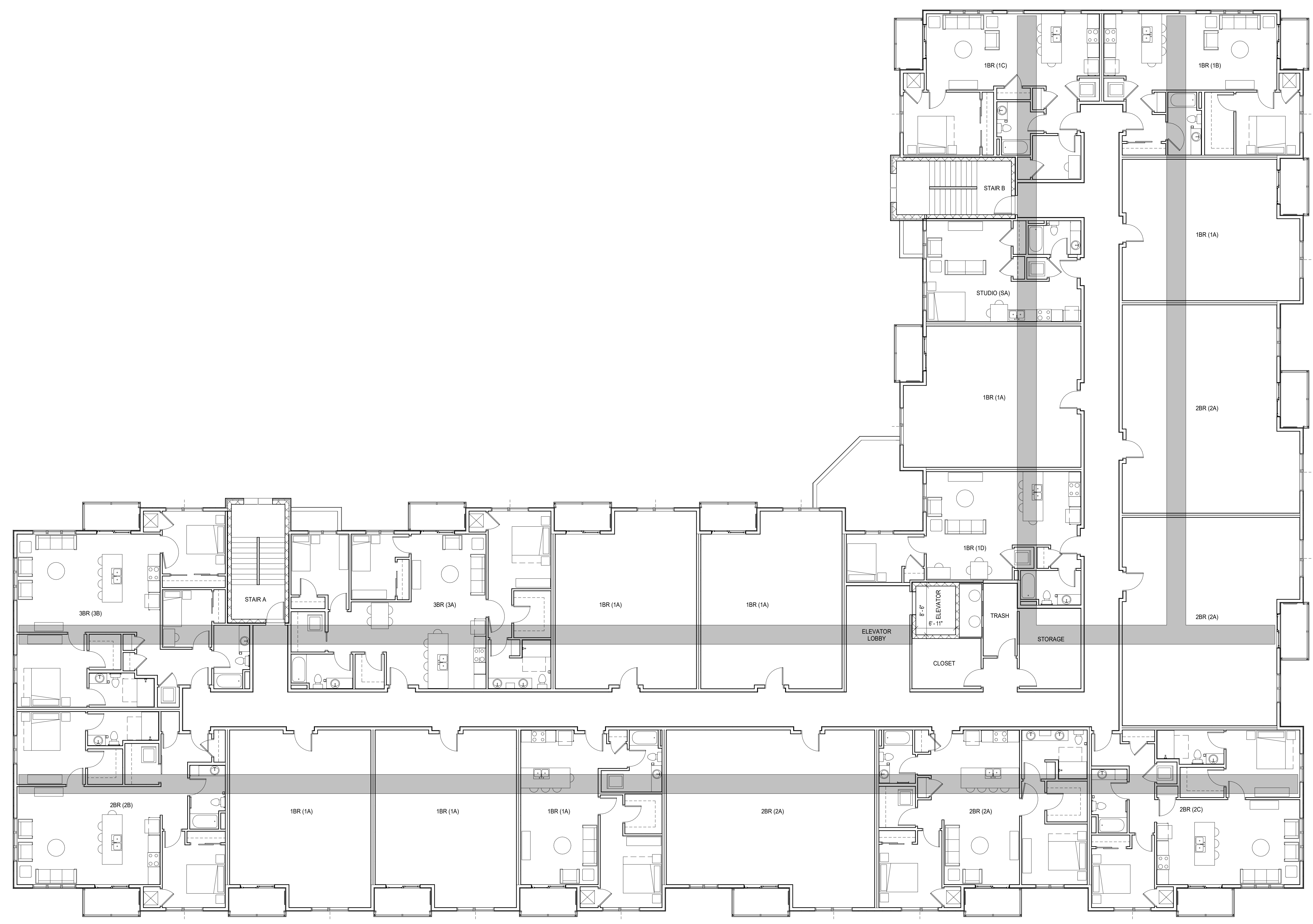
NOT FOR CONSTRUCTION

1ST FLOOR PLAN

A101

1 1ST FLOOR
1/8" = 1'-0"

East Troy Multifamily
Main Street, East Troy WI



1 UPPER LEVELS
1/8" = 1'-0"

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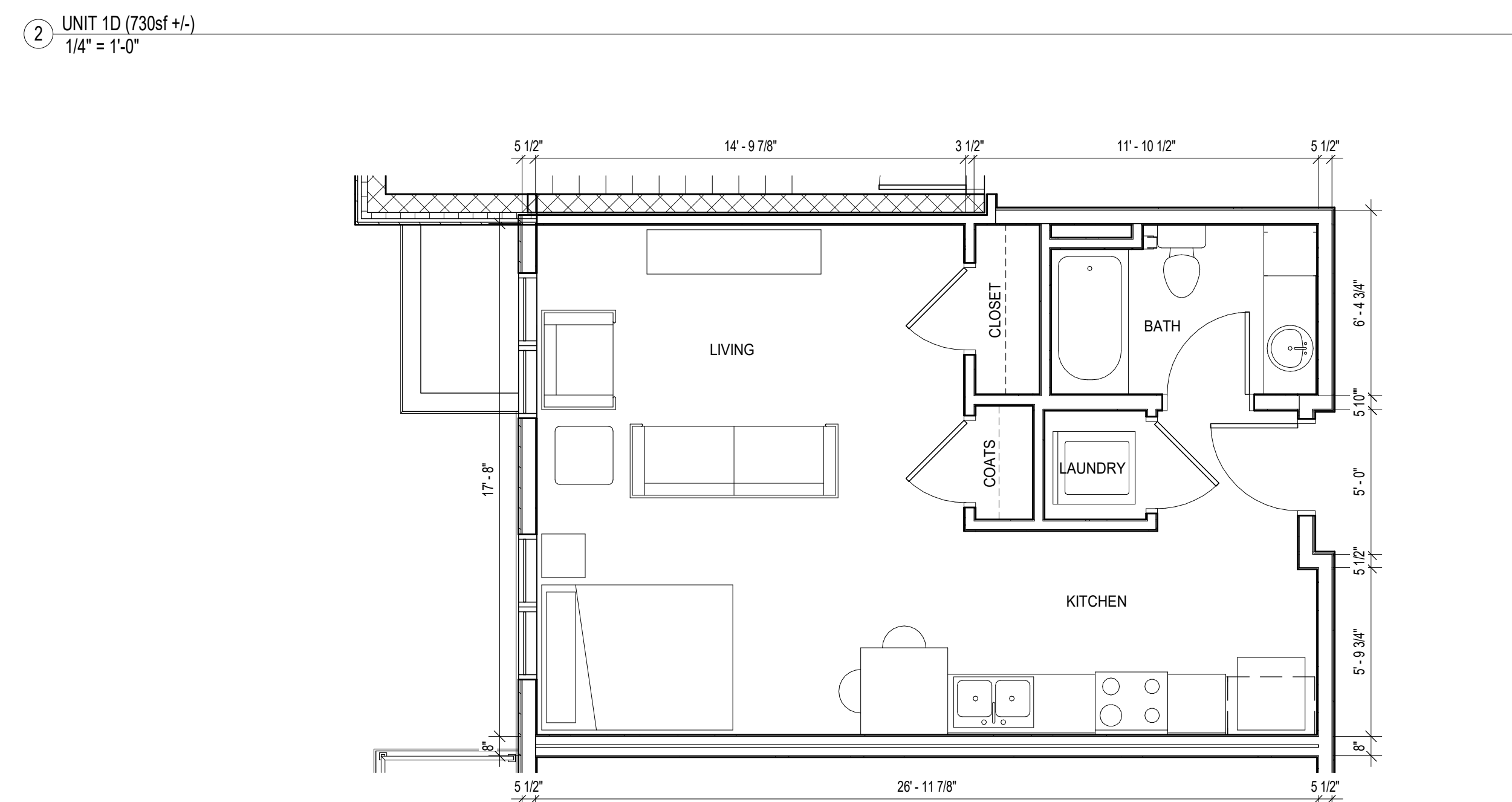
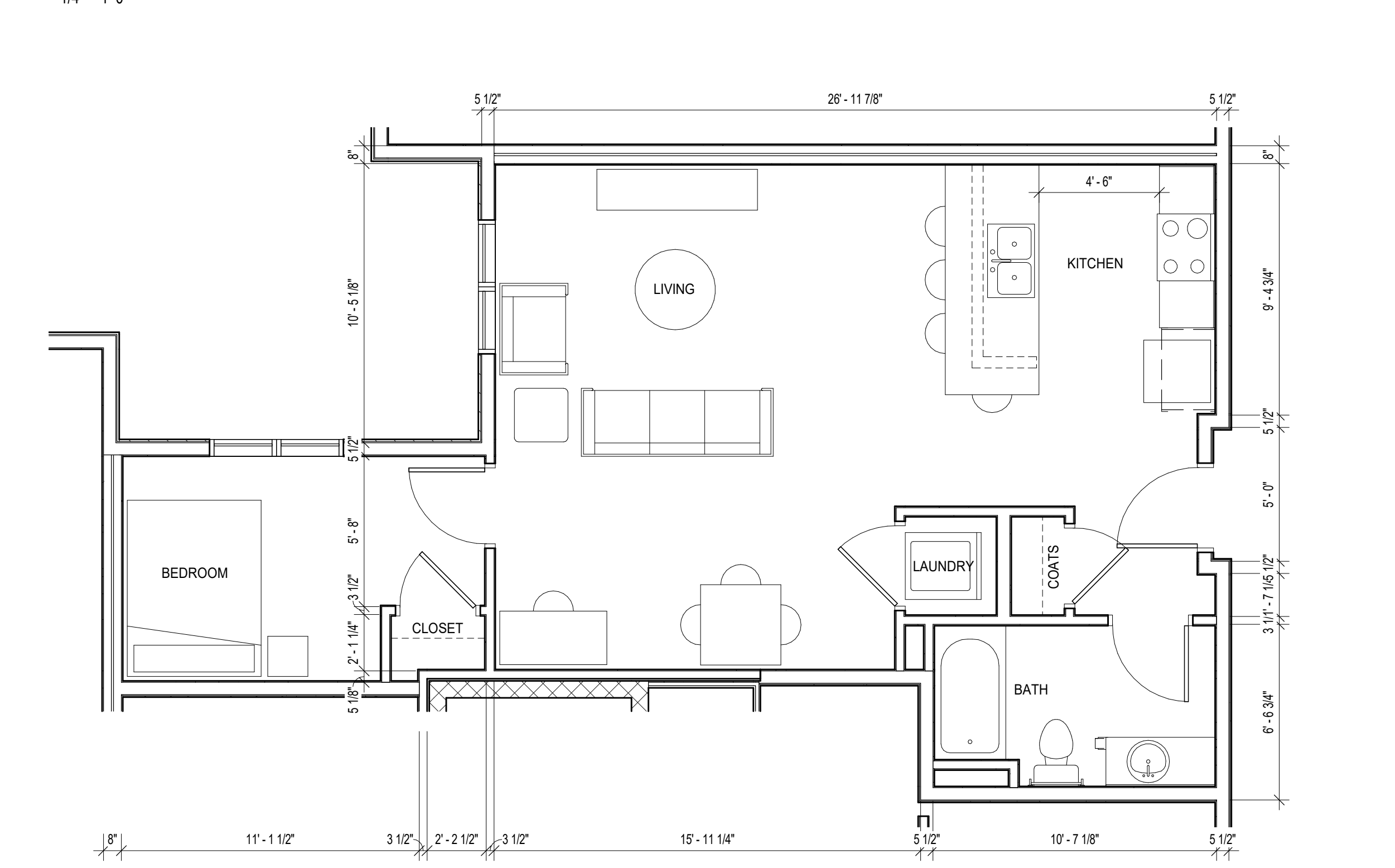
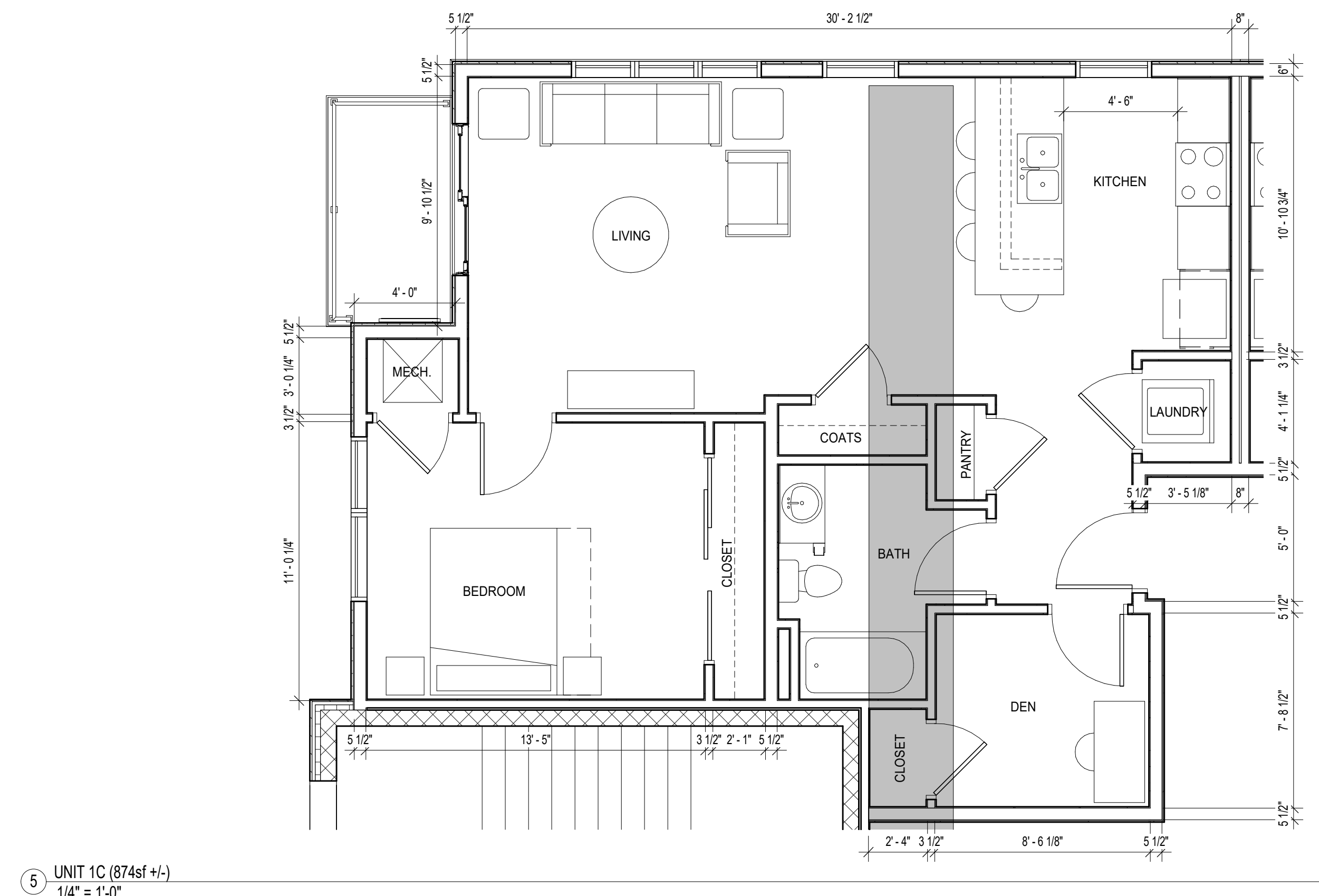
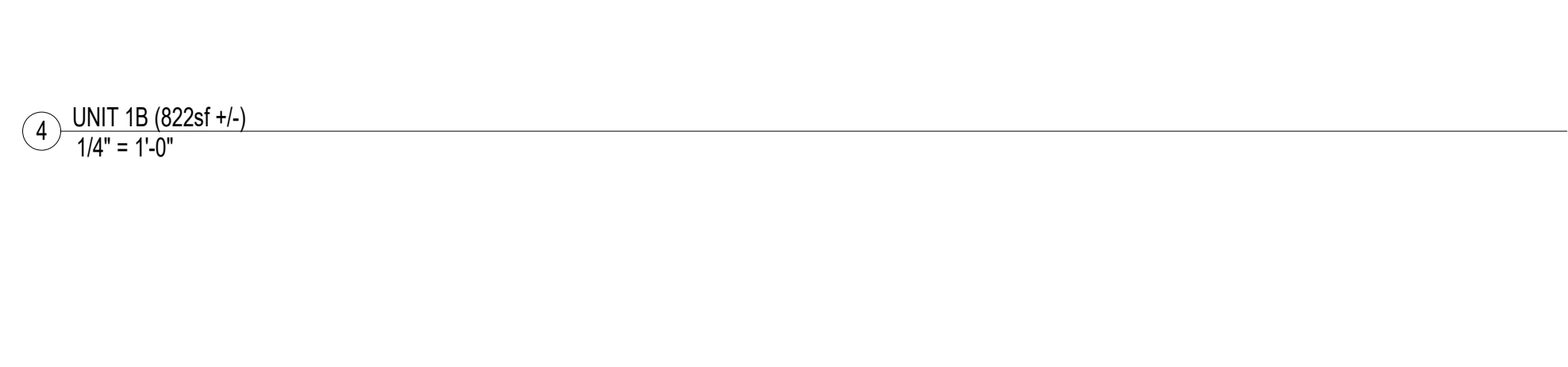
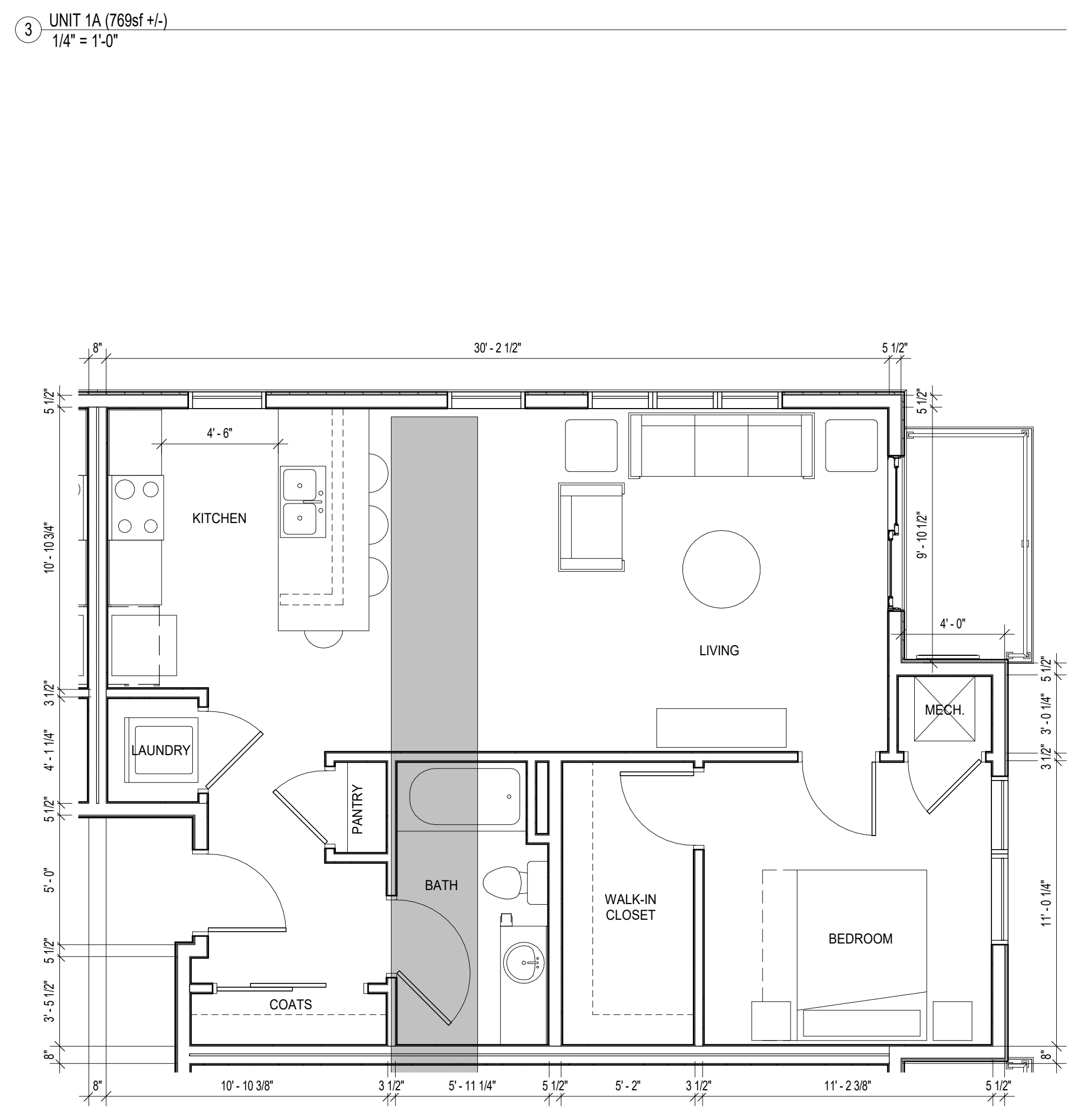
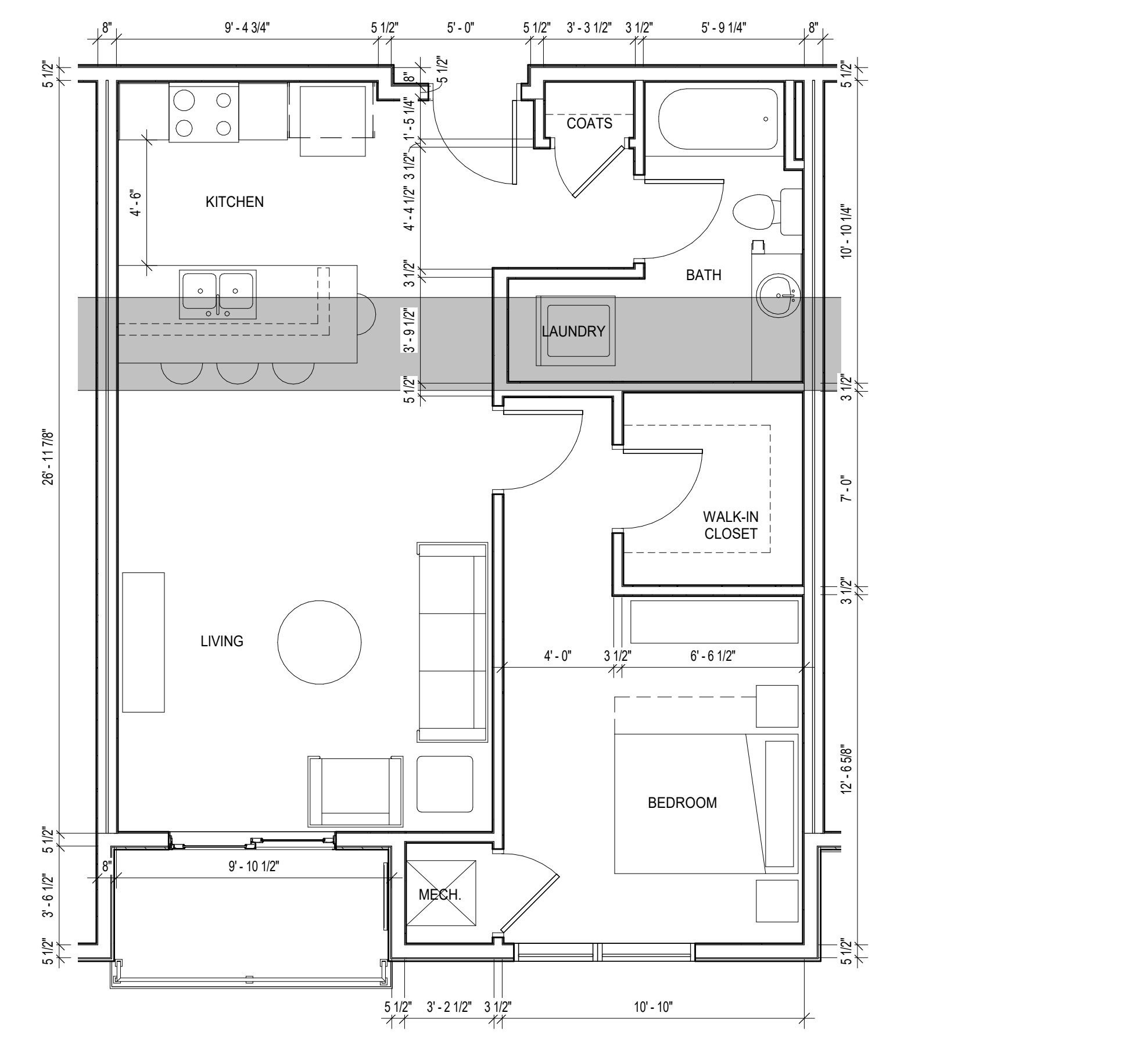
ISSUED:

NOT FOR CONSTRUCTION

UPPER LEVELS

A102

East Troy Multifamily
Main Street, East Troy WI



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PROJECT #: 20101

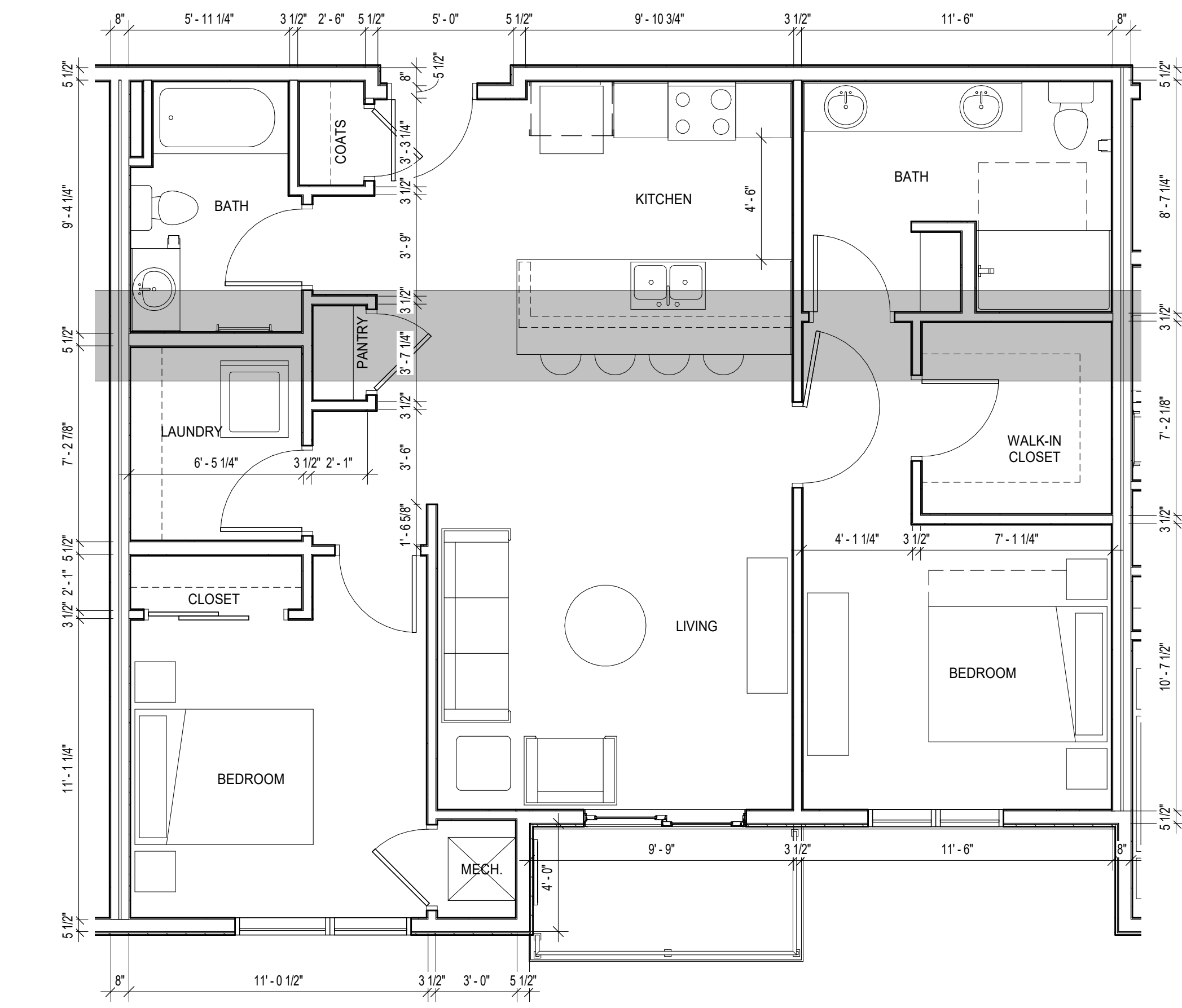
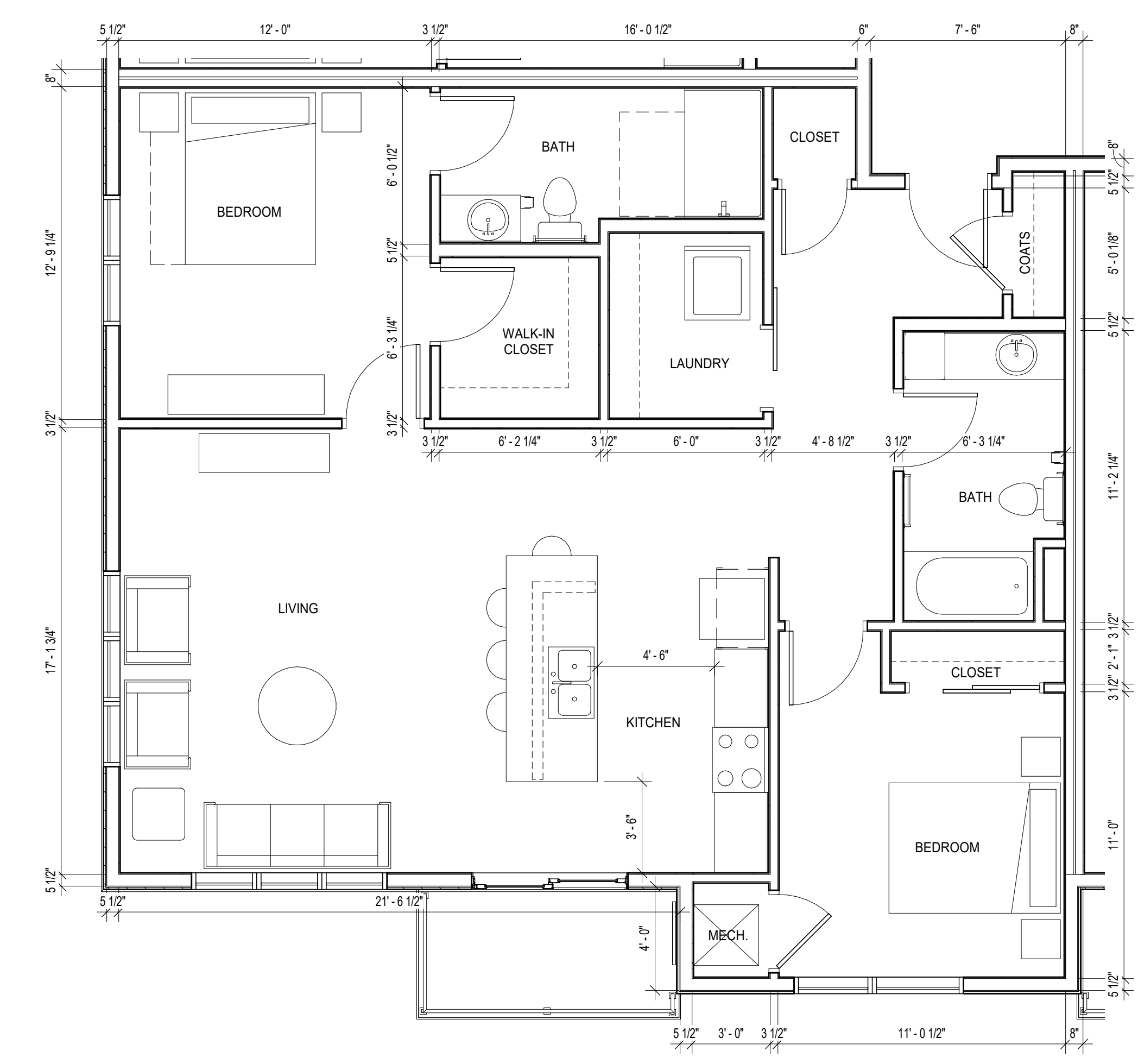
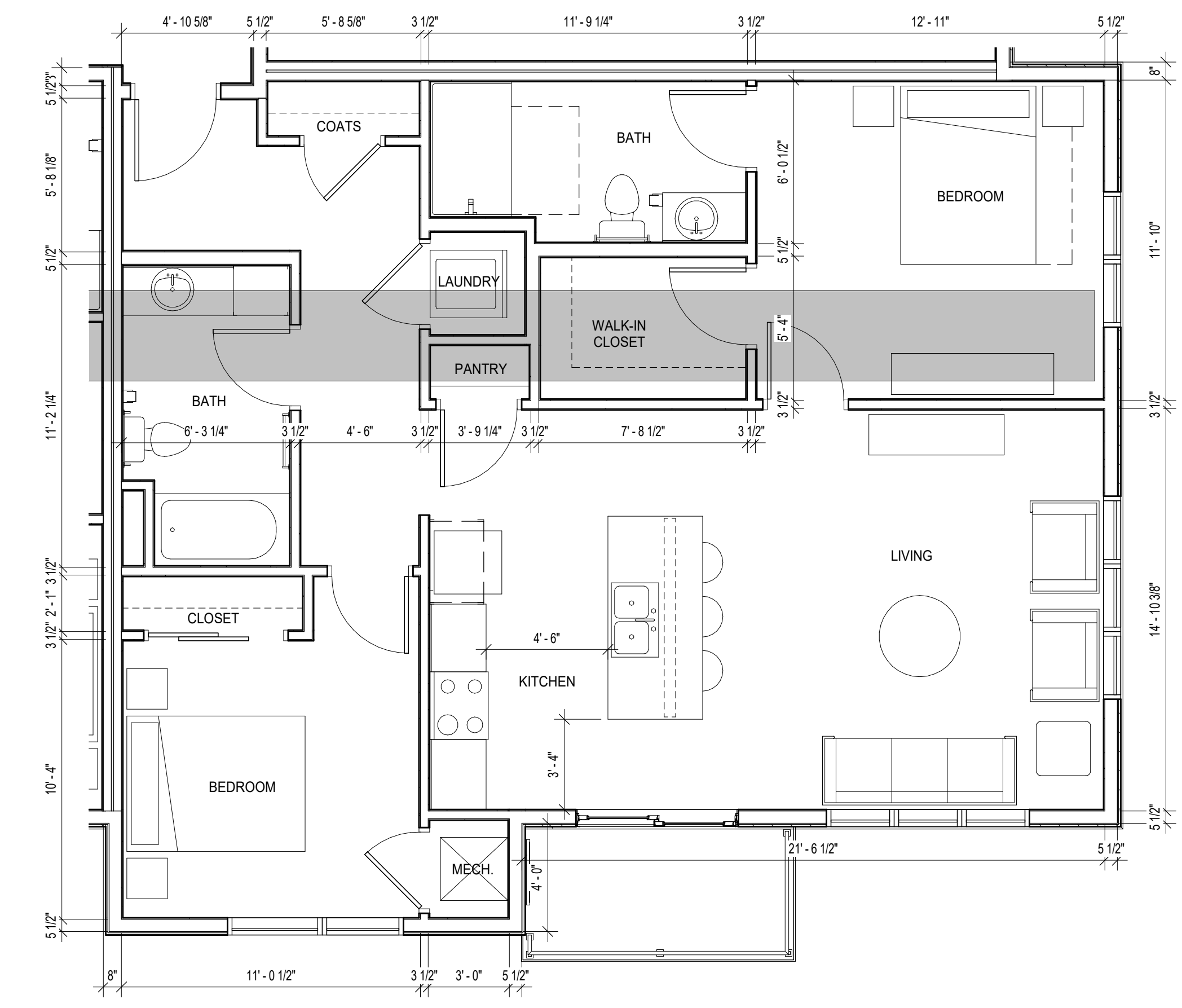
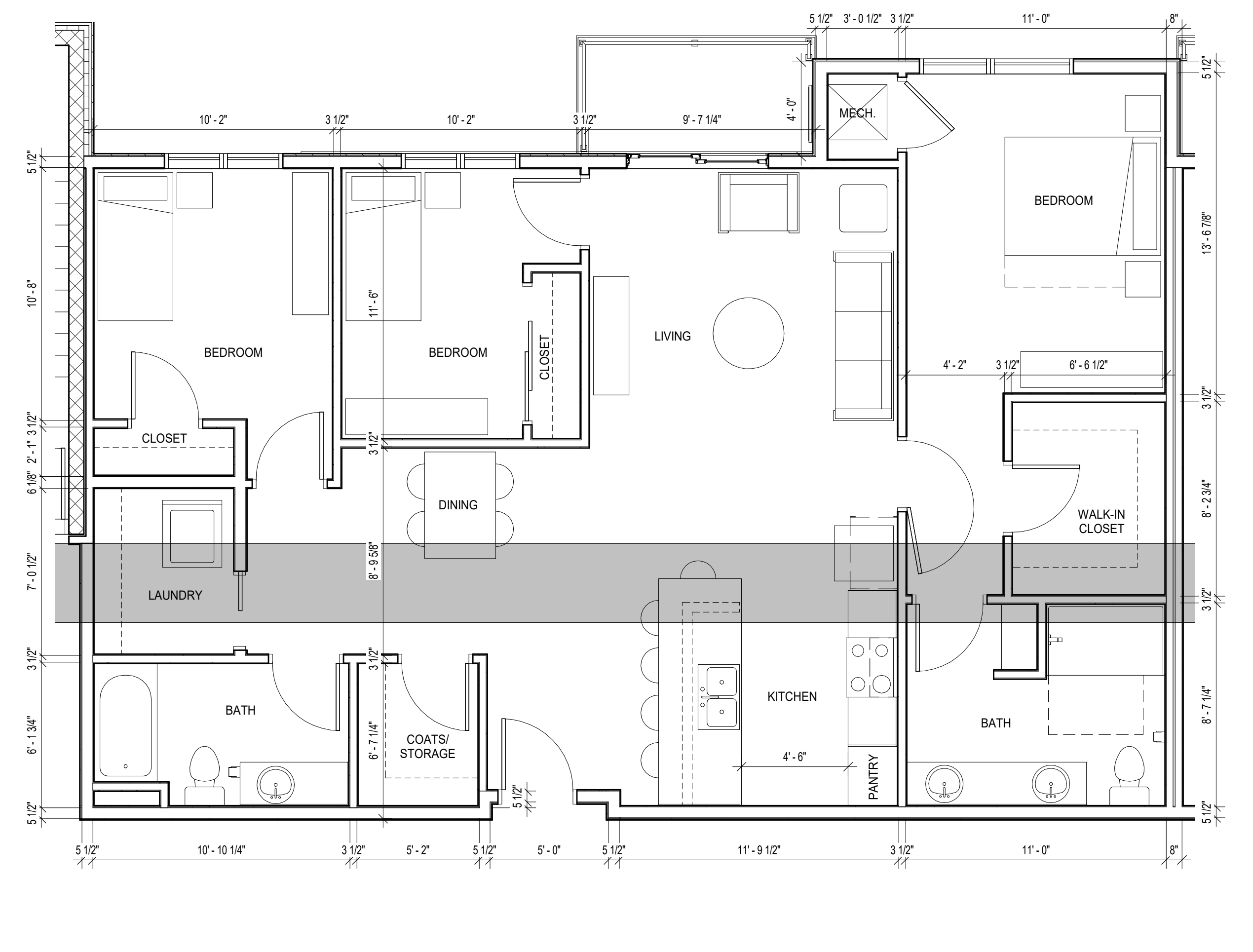
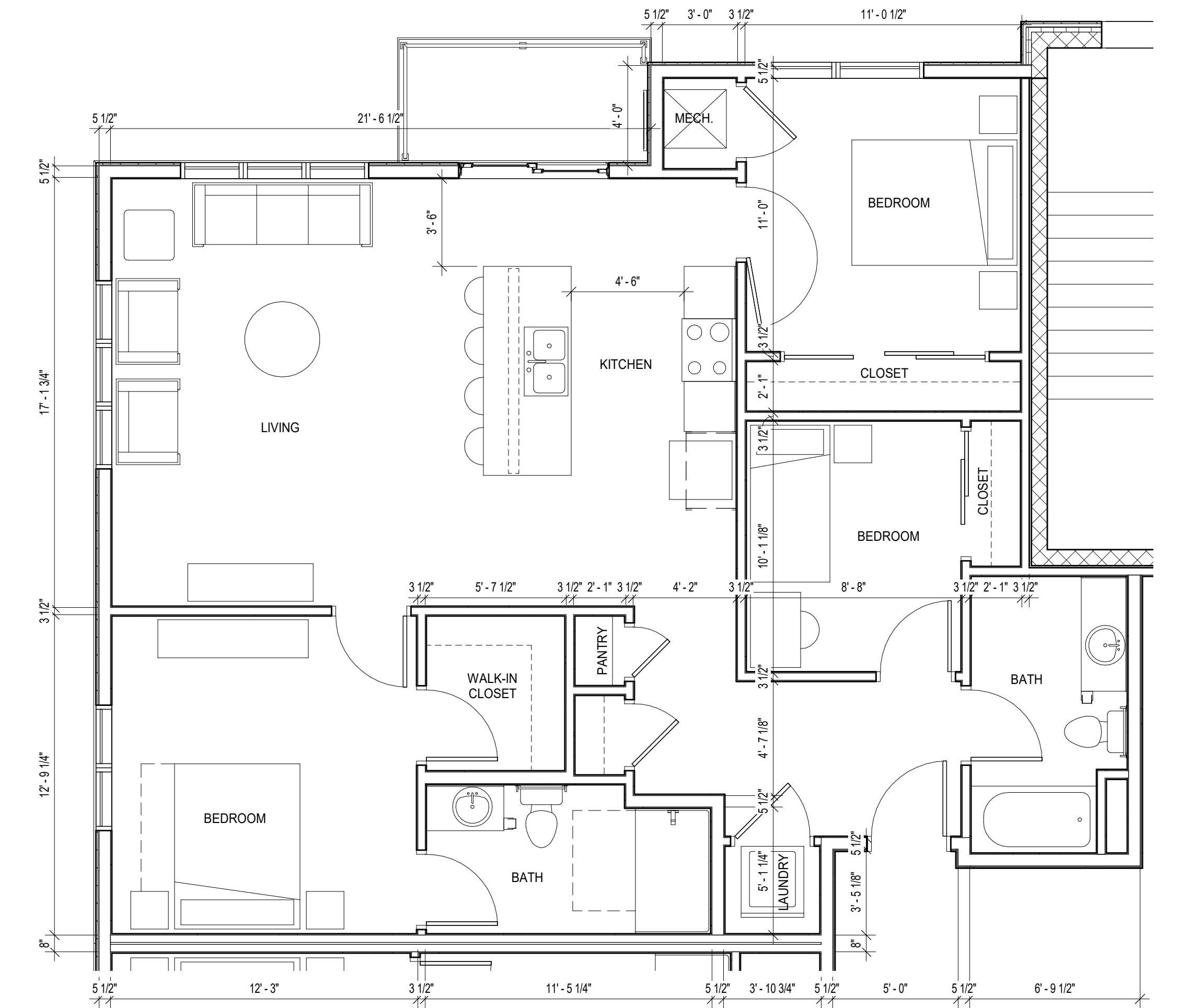
DATE: 03.20.2024

ISSUED:

NOT FOR CONSTRUCTION

ENLARGED PLANS

East Troy Multifamily
Main Street, East Troy WI



CLIENT



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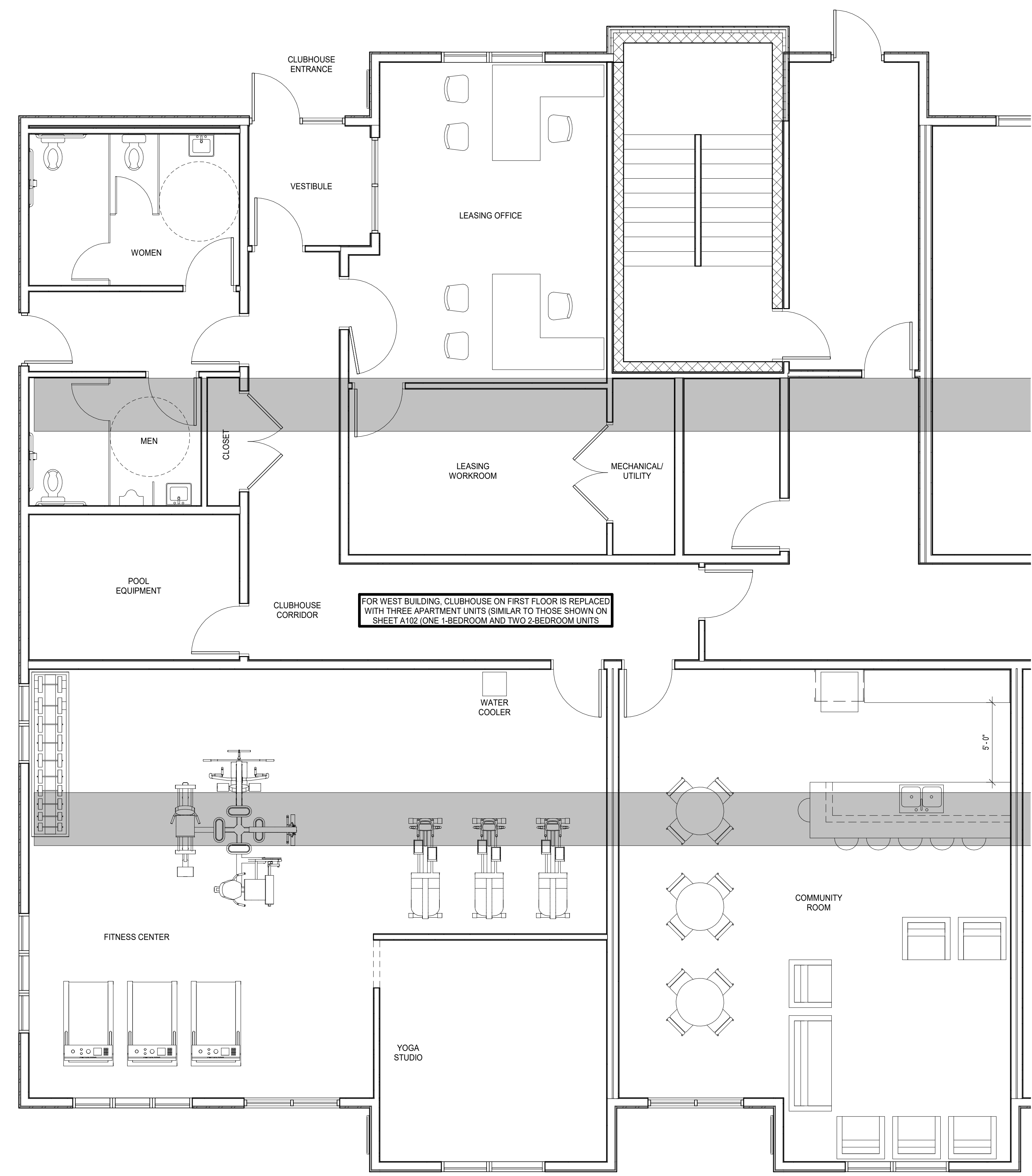
ISSUED:

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ENLARGED PLANS

A602

East Troy Multifamily
Main Street, East Troy WI



1 CLUBHOUSE
1/4" = 1'-0"

CLIENT



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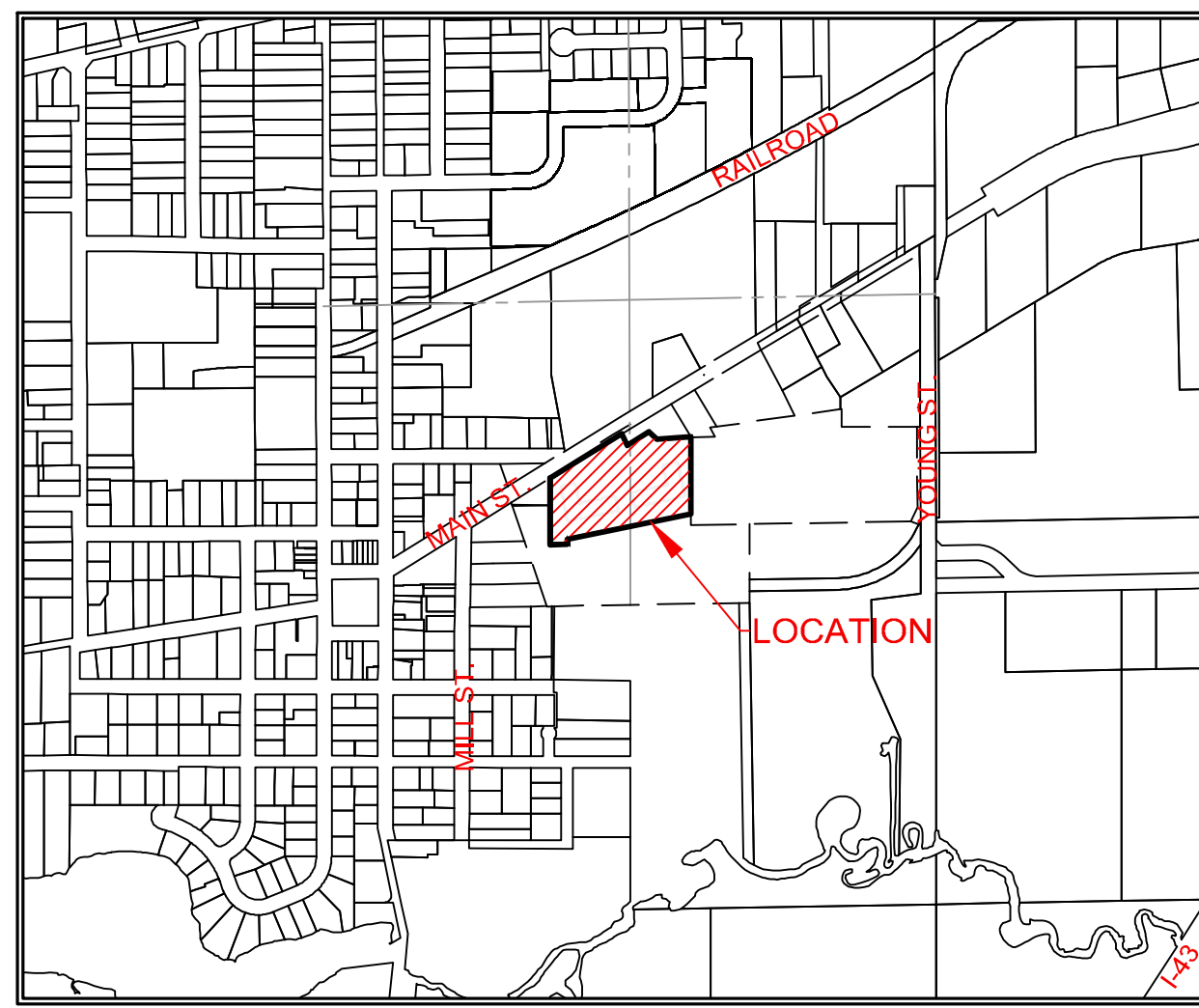
DATE: 03.20.2024

ISSUED:

NOT FOR CONSTRUCTION

ENLARGED PLANS

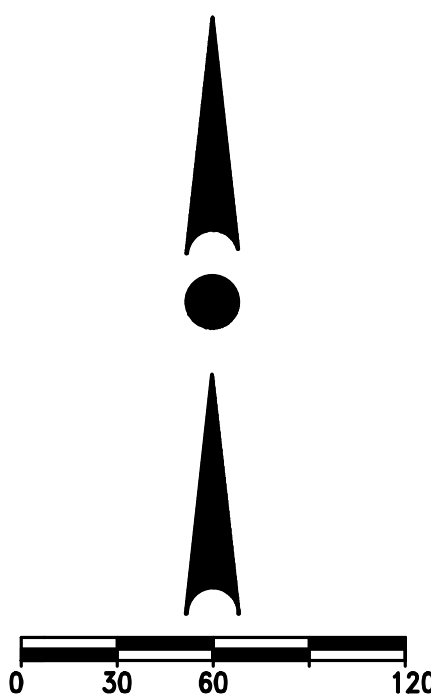
A603



LOCATION MAP

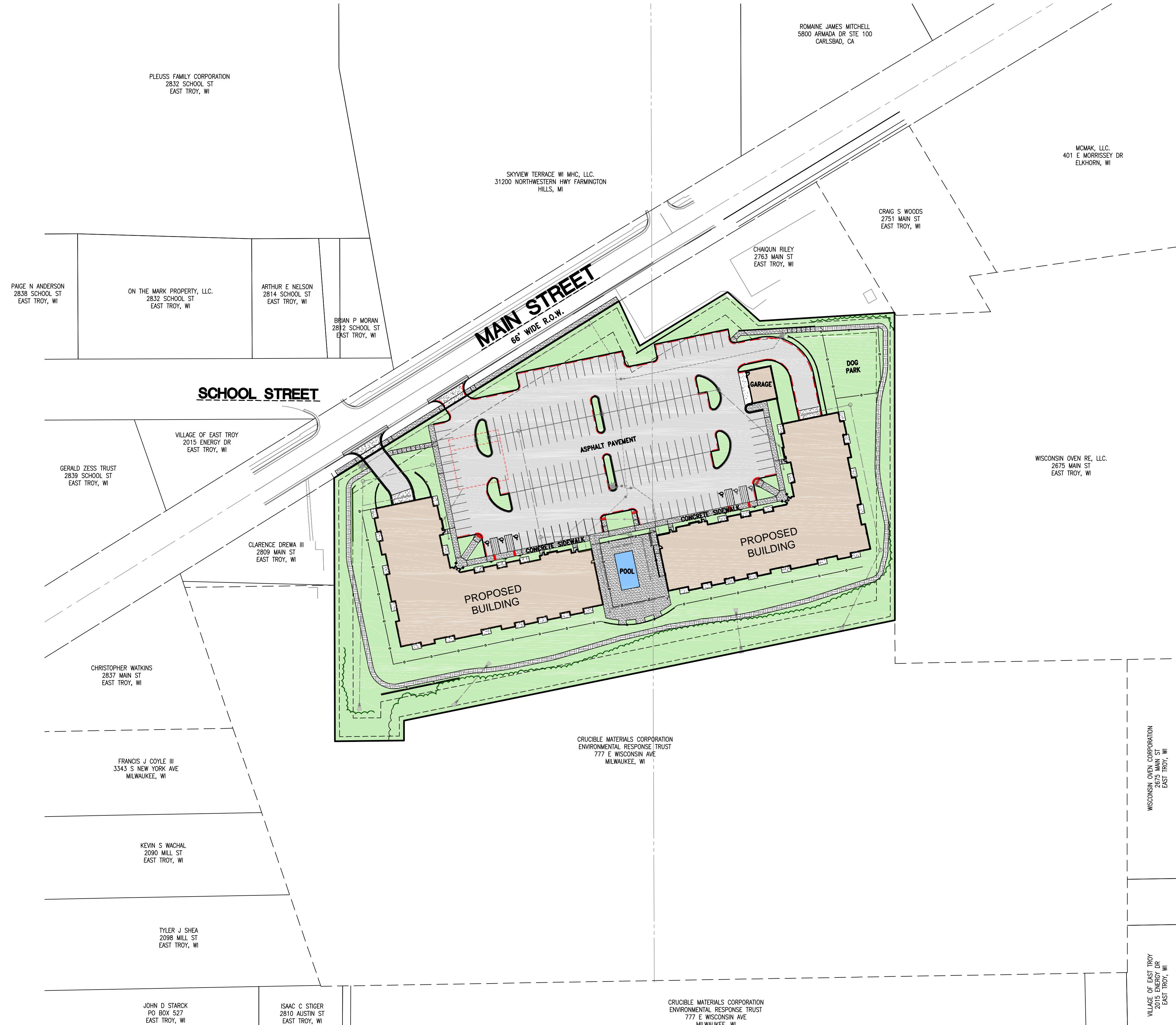
SCALE: 1"=800'

ZONING DATA	
EXISTING:	
HB - Highway Business	177,878 S.F. (4.084 acres)
SR4 - Suburban Residential	36,961 S.F. (0.848 acres)
PROPOSED PUD:	
MR10 - Multifamily Residential (Underlying Zoning)	214,839 S.F. (4.932 acres)
MR10 REQUIREMENTS	
Min Lot Area:	4,356 S.F. Per Unit
Max Density:	10 Units Per Acre
Max Building Coverage:	40% of Lot Area
Max Impervious Coverage:	50% of Lot Area
Max Building Height:	35 ft.
Min Lot Width:	90 ft.
Min Side Setback:	20 ft.
Min Rear Setback:	25 ft.
Min Street Setback:	25 ft.
Min Building Separation:	16 ft.
Min Pavement setback:	5 ft.
Min Accessory Building Setback:	10 ft.
Max Accessory Building Height:	18 ft.
PROPOSED PUD	
Min Lot Area:	1,481.65 S.F. Per Unit (145 Units)
Max Density:	30 Units Per Acre (145 Units)
Max Building Coverage:	40% of Lot Area
Max Impervious Coverage:	58% of Lot Area
Max Building Height:	50 ft.
Min Lot Width:	90 ft.
Min Side Setback:	20 ft.
Min Rear Setback:	25 ft.
Min Street Setback:	25 ft.
Min Building Separation:	16 ft.
Min Pavement setback:	5 ft.
Min Accessory Building Setback:	10.0 ft.
Max Accessory Building Height:	18 ft.
ADDITIONAL LOT DATA:	
FLOOR-AREA-RATIO:	0.20 (43,020 S.F. FLOOR AREA)



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-248-8811

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



4100 N. CALHOUN RD., SUITE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: info@trioeng.com

PROJECT:
OVERLOOK RIDGE
VILLAGE OF EAST TROY, WISCONSIN
BY: SAWALL DEVELOPMENT
N63W23217 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY	
DATE	DESCRIPTION
09/26/2023	INITIAL SUBMITTAL
11/08/2023	EXHIBIT REVISION
03/22/2024	EXHIBIT REVISION

DATE:
MARCH 22, 2024

JOB NUMBER:
21-046-974

DESCRIPTION:
GENERAL DEVELOPMENT PLAN

SHEET

1 OF 1

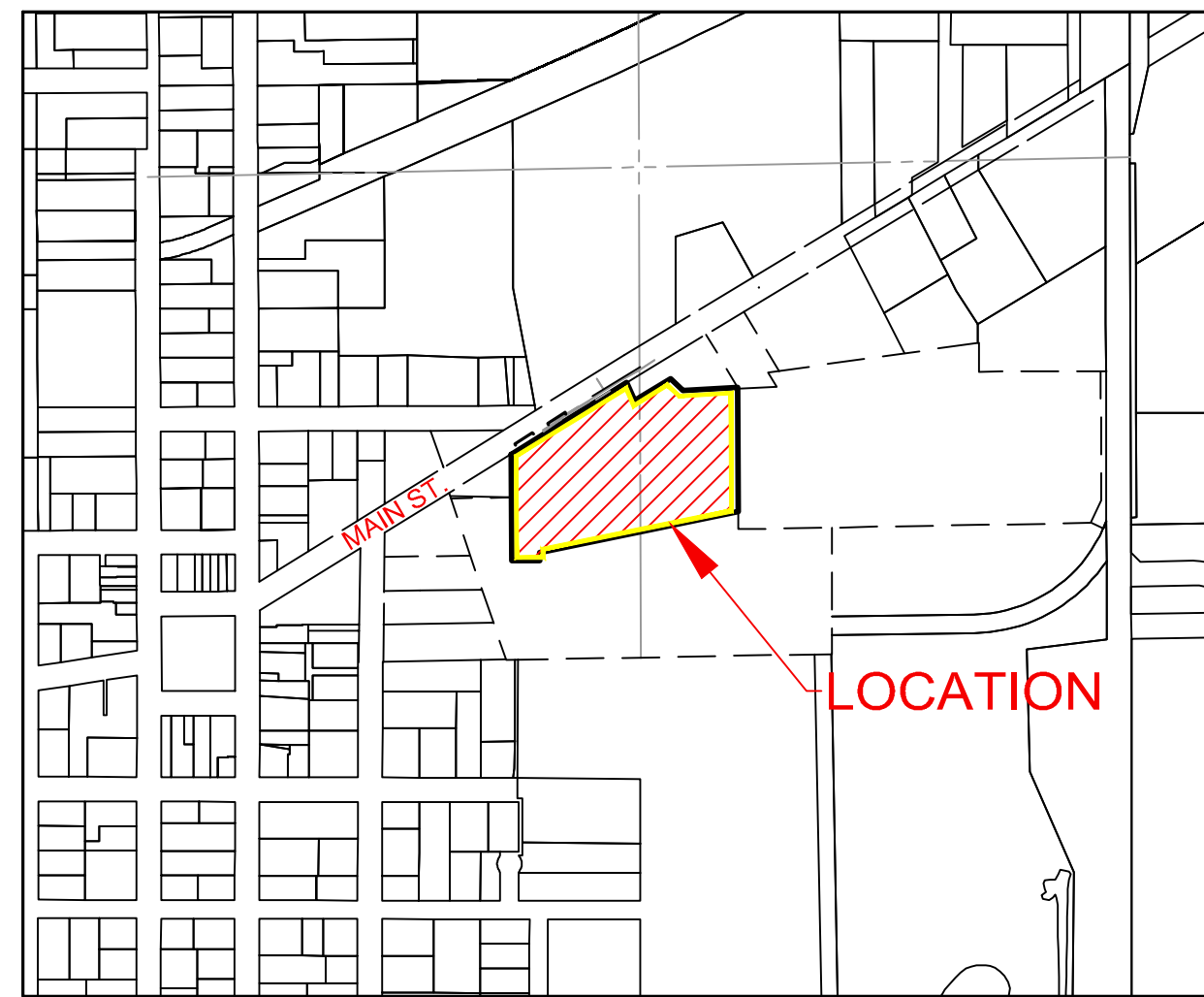
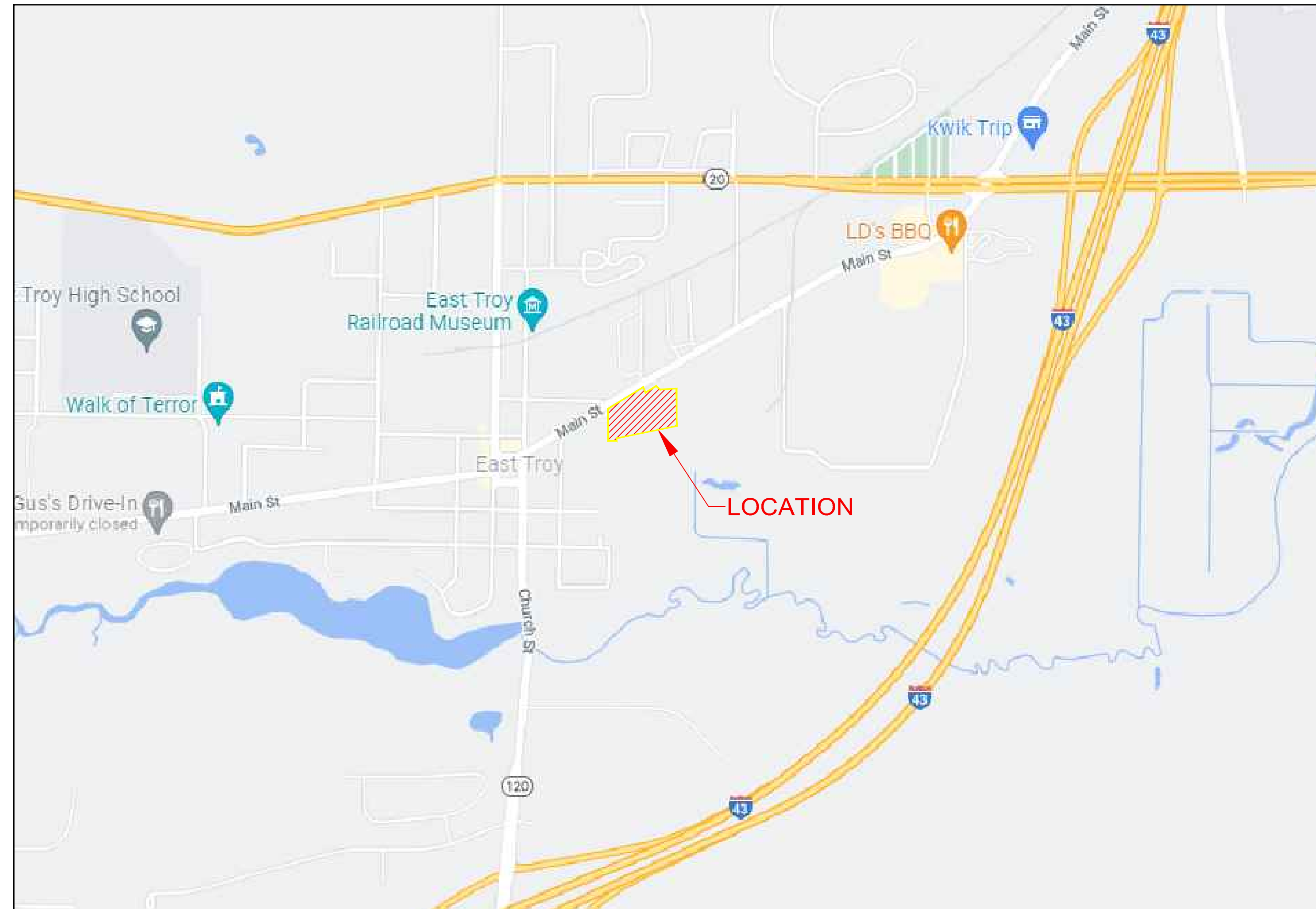
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GENERAL NOTES

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - VILLAGE OF EAST TROY DEVELOPMENT STANDARDS, LATEST EDITION
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY.

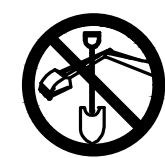
OVERLOOK RIDGE SITE DEVELOPMENT PLANS

EAST TROY, WISCONSIN



LOCATION MAP
SCALE: 1"=500'

LOCATION MAP
NOT TO SCALE



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
CALL DIGGERS HOTLINE 1-800-242-8511

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SHEET INDEX

CIVIL	
T1	- COVER SHEET
C1.0	- EXISTING SITE PLAN
C1.1	- PROPOSED SITE PLAN
C2.0	- GRADING PLAN
C2.1	- UNDERGROUND DETENTION SYSTEM PLAN
C3.0	- EROSION CONTROL PLAN
C4.0	- UTILITY PLAN
C4.1	- SANITARY AND WATER MAIN PLAN & PROFILE
C4.2	- WATER MAIN PLAN & PROFILE
C5.0-C5.1	- CONSTRUCTION NOTES AND DETAILS

PROJECT:
OVERLOOK RIDGE
VILLAGE OF EAST TROY, WISCONSIN
BY: SAWALL DEVELOPMENT
N63W23217 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY	
DATE	DESCRIPTION
08/21/2023	INITIAL SUBMITTAL
09/07/2023	PER VILLAGE COMMENTS
10/24/2023	PRELIM. UTILITY REV.
11/07/2023	DATA TABLE REV.
11/30/2023	BID SET
02/16/2024	SEWRPC SUBMITTAL
03/22/2024	VILLAGE SUBMITTAL

DATE:
MARCH 22, 2024

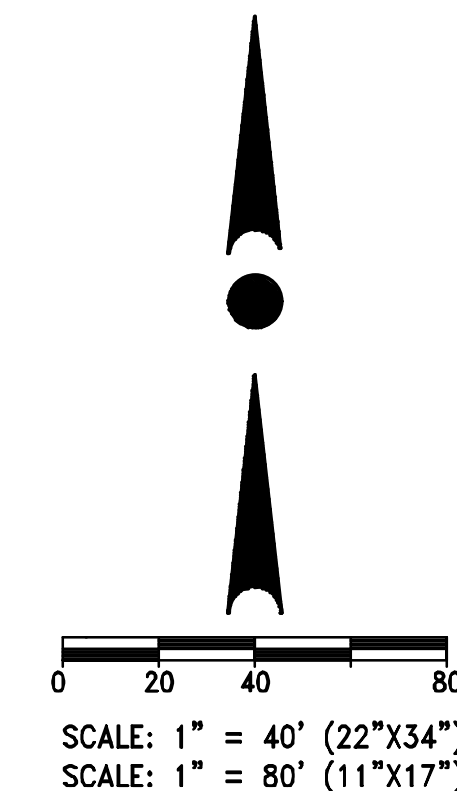
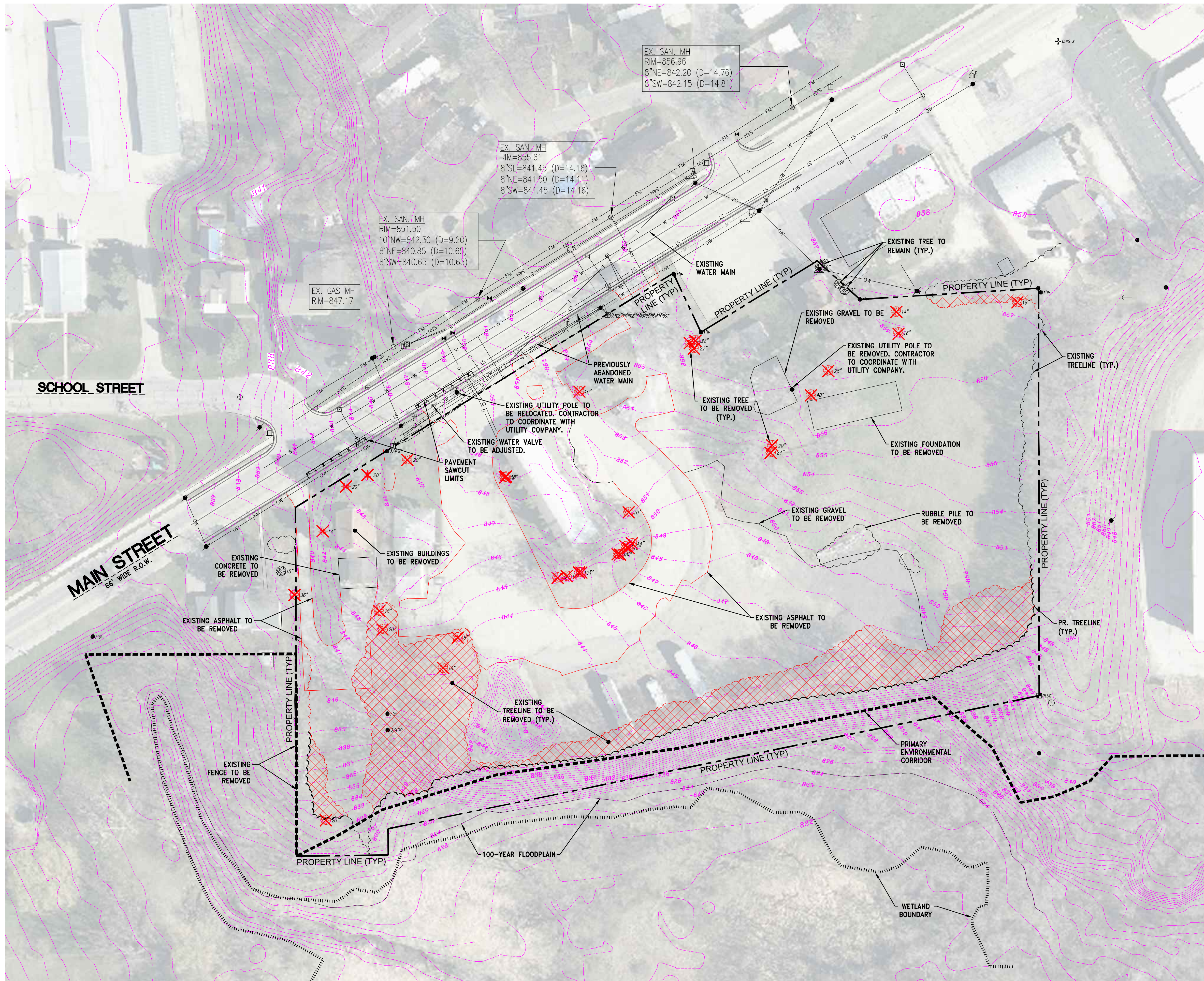
JOB NUMBER:
21-046-974

DESCRIPTION:
COVER SHEET

SHEET
T1

X:\2021\21-046-974-DVERLOOK RIDGE EAST TROY DRAWINGS\CONSTRUCTION PLANS\CIVIL PLAN_OVERLOOK RIDGE-22X34.DWG

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LEGEND:

850	EXISTING CONTOUR
SAN	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
W	EXISTING WATER MAIN
⊕	EXISTING HYDRANT
ST	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
□	EXISTING STORM INLET
⊠	EXISTING TRANSFORMER
⊞	EXISTING ELECTRIC PEDESTAL
⊠	EXISTING TELEPHONE PEDESTAL
⊞	EXISTING CATV PEDESTAL
●	EXISTING POWER POLE

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OVERLOOK RIDGE
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REVISION HISTORY

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09/07/2023	PER VILLAGE COMMENTS
10/24/2023	FIELDM. UTILITY REV.
11/07/2023	DATA TABLE REV.
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03/22/2024	VILLAGE SUBMITTAL

DATE:
 MARCH 22, 2024

JOB NUMBER:
 21-046-974

DESCRIPTION:
 EXISTING
 SITE PLAN

SHEET

C1.0



ZONING DATA		
EXISTING:		
HB - Highway Business	177,878 S.F. (4.084 acres)	
SR4 - Suburban Residential	36,961 S.F. (0.848 acres)	
PROPOSED PUD:		
MR10 - Multifamily Residential (Underlying Zoning)	214,839 S.F. (4.932 acres)	
MR10 REQUIREMENTS		PROPOSED PUD
Min Lot Area:	4,356 S.F. Per Unit	1,481.65 S.F. Per Unit (145 Units)
Max Density:	10 Units Per Acre	30 Units Per Acre (145 Units)
Max Building Coverage:	40% of Lot Area	40% of Lot Area
Max Impervious Coverage:	50% of Lot Area	58% of Lot Area
Max Building Height:	35 ft.	50 ft.
Min Lot Width:	90 ft.	90 ft.
Min Side Setback:	20 ft.	20 ft.
Min Rear Setback:	25 ft.	25 ft.
Min Street Setback:	25 ft.	25 ft.
Min Building Separation:	16 ft.	16 ft.
Min Pavement setback:	5 ft.	5 ft.
Min Accessory Building Setback:	10 ft.	10.0 ft.
Max Accessory Building Height:	18 ft.	18 ft.
ADDITIONAL LOT DATA:		
FLOOR-AREA-RATIO: 0.20 (43,020 S.F. FLOOR AREA)		

SITE DATA	
EXISTING LOT AREA DATA:	
TOTAL LOT AREA:	214,839 S.F. (4.932 Acres)
TOTAL PAVEMENT AREA:	38,133 S.F. (0.875 Acres) 17.75% of Lot
TOTAL BUILDING AREA:	12,977 S.F. (0.298 Acres) 6.04% of Lot
TOTAL GRAVEL AREA:	37,994 S.F. (0.872 Acres) 17.68% of Lot
TOTAL OPEN SPACE AREA:	125,735 S.F. (2.886 Acres) 58.53% of Lot
PROPOSED LOT AREA DATA:	
TOTAL LOT AREA:	214,839 S.F. (4.932 Acres)
TOTAL BUILDING AREA:	42,700 S.F. (0.980 Acres) 19.88% of Lot
TOTAL PAVEMENT AREA:	77,196 S.F. (1.772 Acres) 35.93% of Lot
TOTAL OPEN SPACE AREA:	94,943 S.F. (2.180 Acres) 44.19% of Lot
PROPOSED DISTURBED AREA: 194,506 S.F. (4.465 Acres)	
PARKING DATA:	
REQUIRED SPACES:	1 Per Unit (145 Total)
PROPOSED SURFACE SPACES:	165 SPACES
PROPOSED SURFACE ADA SPACES:	6 SPACES
PROPOSED COVERED SPACES:	100 SPACES
PROPOSED COVERED ADA SPACES:	6 SPACES
TOTAL PROPOSED SPACES:	277 SPACES (1.91 SPACES/UNIT)



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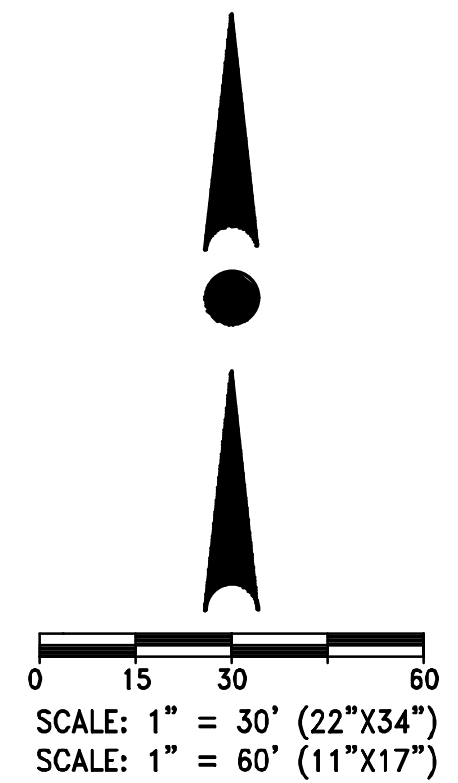
DESCRIPTION:
PROPOSED
SITE PLAN

SHEET

C1.1

LEGEND:	
---B50---	EXISTING CONTOUR
—SAN—	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
—W—	EXISTING WATER MAIN
⊙	EXISTING HYDRANT
—ST—	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
⊙	EXISTING STORM INLET
⊠	EXISTING TRANSFORMER
⊠	EXISTING ELECTRIC PEDESTAL
⊠	EXISTING TELEPHONE PEDESTAL
⊠	EXISTING CATV PEDESTAL
⊠	EXISTING POWER POLE
—	PROPOSED SANITARY SEWER (PRIVATE)
—	PROPOSED SANITARY SEWER (PUBLIC)
○	PROPOSED SANITARY MANHOLE
—	PROPOSED WATER MAIN (PRIVATE)
—	PROPOSED WATER MAIN (PUBLIC)
⊙	PROPOSED HYDRANT
⊙	PROPOSED WATER VALVE
⊙	PROPOSED STORM SEWER
⊙	PROPOSED STORM MANHOLE
⊙	PROPOSED STORM INLET
⊙	PROPOSED STORM END SECTION
—	PROPOSED REJECT CURB & GUTTER

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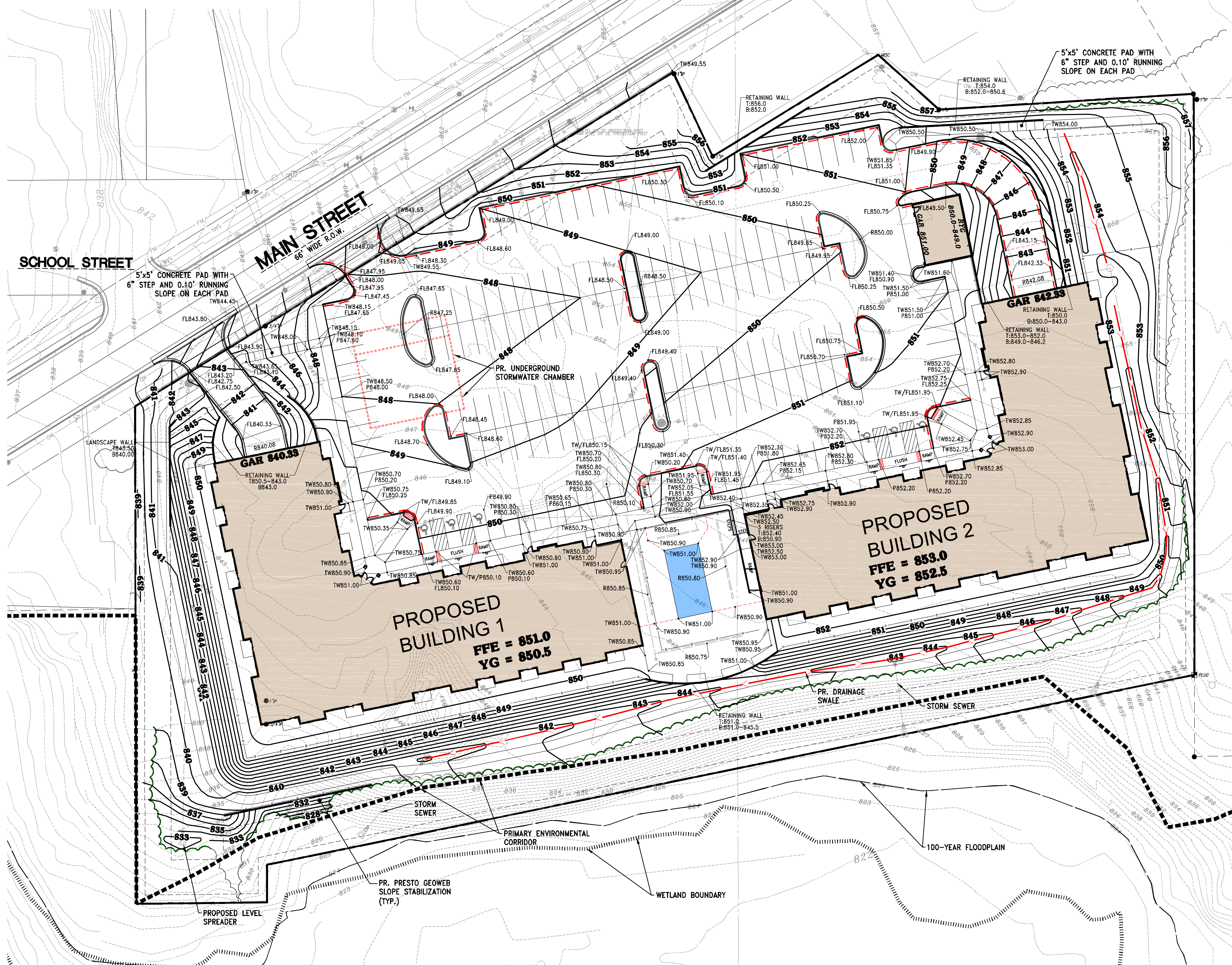


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"AMERICANS WITH DISABILITIES ACT" (ADA) MINIMAL REQUIREMENTS:

1. GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION.
2. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE PER CODE IS 36"
3. ALL PROPOSED SIDEWALKS SHALL HAVE A MAXIMUM OF 2.0% CROSS SLOPE AND A MAXIMUM OF 5.0% RUNNING SLOPE.
4. THE GENERAL CONTRACTOR/CONTRACTOR SHALL MEASURE THE SUBGRADE AND ACROSS FORMS PRIOR TO INSTALLATION OF ASPHALT OR CONCRETE IMPROVEMENTS TO ASSURE THE FINAL IMPROVEMENTS WILL MEET THESE MINIMAL ADA REQUIREMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE CIVIL ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.

RAMPES

5. AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 (5.00%) IS A RAMP AND SHALL COMPLY WITH THE RAMP REQUIREMENTS.
6. AN ACCESSIBLE ROUTE MAY CROSS OPEN PAVEMENT OR FOLLOW A RAMP AS REQUIRED BY SITE-SPECIFIC CONDITIONS. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE ACROSS OPEN PAVEMENT MUST NOT EXCEED 1:20 (5.00%), WITH A CROSS SLOPE NOT EXCEEDING 1:50 (2.00%). SLOPES EXCEEDING 1:20 (5.00%), BUT LESS THAN 1:12 (8.33%), CONSTITUTE RAMPS AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS, RISE AND RUN LIMITS, ETC.) AS DETAILED ON THE CIVIL AND ARCHITECTURAL PLANS. NO RAMP SHALL HAVE A RUNNING SLOPE EXCEEDING 1:12 (8.33%), NOR HAVE A CROSS SLOPE EXCEEDING 1:50 (2.00%).

CURB RAMPS

7. A CURB RAMP SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB.
8. CURB RAMPS HAVE A MAXIMUM RISE OF 6", MAXIMUM SLOPE OF 1:12 (8.33%) AND DO NOT REQUIRE HANDRAILS.
9. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS, OR GUARDRAILS, IT SHALL HAVE FLARED SIDES; THE MAXIMUM SLOPE OF THE FLARE SHALL BE 1:12 (8.33%).

GRADING PLAN NOTES:

1. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED USING INTERPOLATED EXISTING SURVEY GRADES. CONTRACTOR SHALL VERIFY ALL EXISTING MATCH GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES. IF DISCREPANCIES ARE PRESENT CONTRACTOR SHALL REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.

GRADE SPOT SHOT NOTE:

1. SPOT GRADE PREFIX REPRESENTS THE SURFACE ELEVATION AT A SPECIFIC POINT. EACH ARE DEFINED AS FOLLOW: TOP OF SIDEWALK (TW), PAVEMENT (P), CURB & GUTTER FLANGE GRADE (FL) AND RIM (R).
2. SPOT GRADE SUFFIX REPRESENTS DEFINES THE NATURE OF THE SPOT GRADE. EACH ARE DEFINED AS FOLLOW: HIGH POINT (HP) AND LOW POINT (LP).



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REVISION HISTORY

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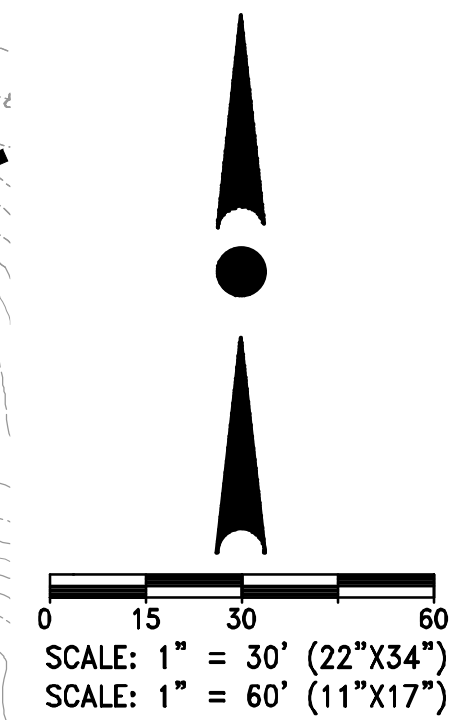
DESCRIPTION:
GRADING PLAN

SHEET

C2.0

LEGEND:

850	EXISTING CONTOUR
- - -	PROPOSED CONTOUR
P871.20	PROPOSED SPOT ELEVATION
→	PROPOSED FLOW ARROW
850.0	PROPOSED YARD GRADE
GAR 842.0	PROPOSED GARAGE GRADE
FFE 842.0	FINISHED FLOOR ELEVATION
→	PROPOSED OVERLAND FLOW ROUTE



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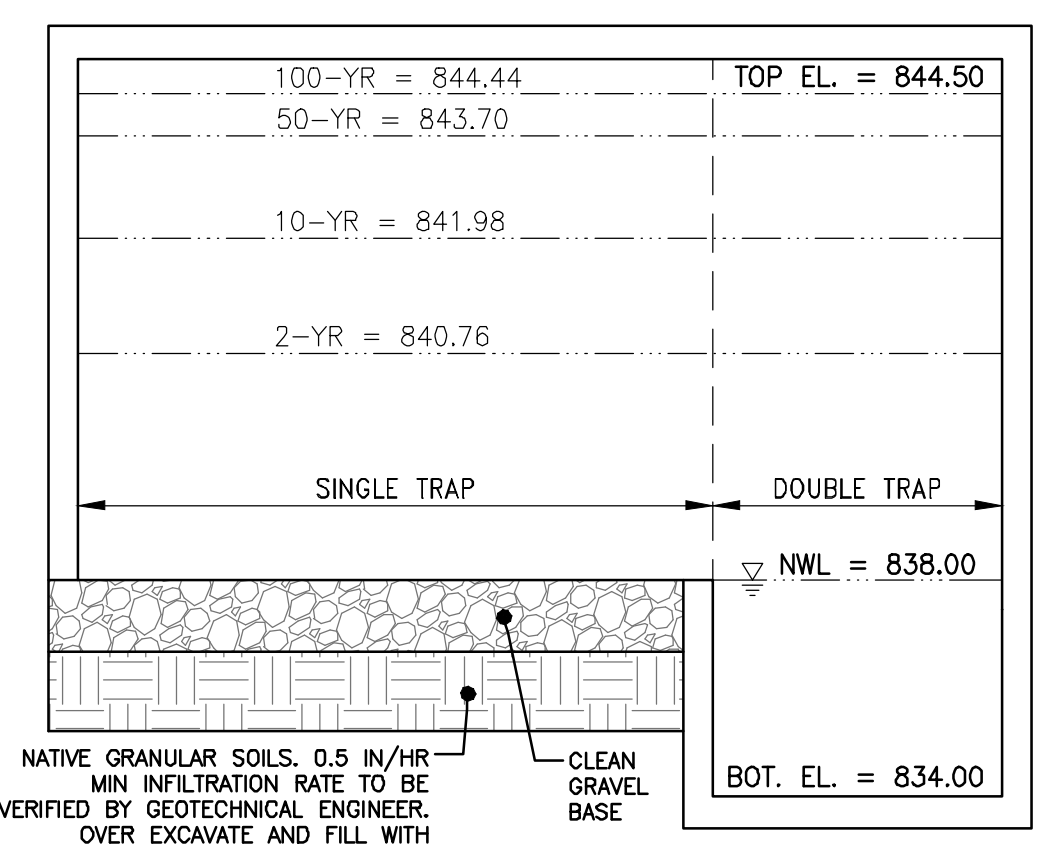
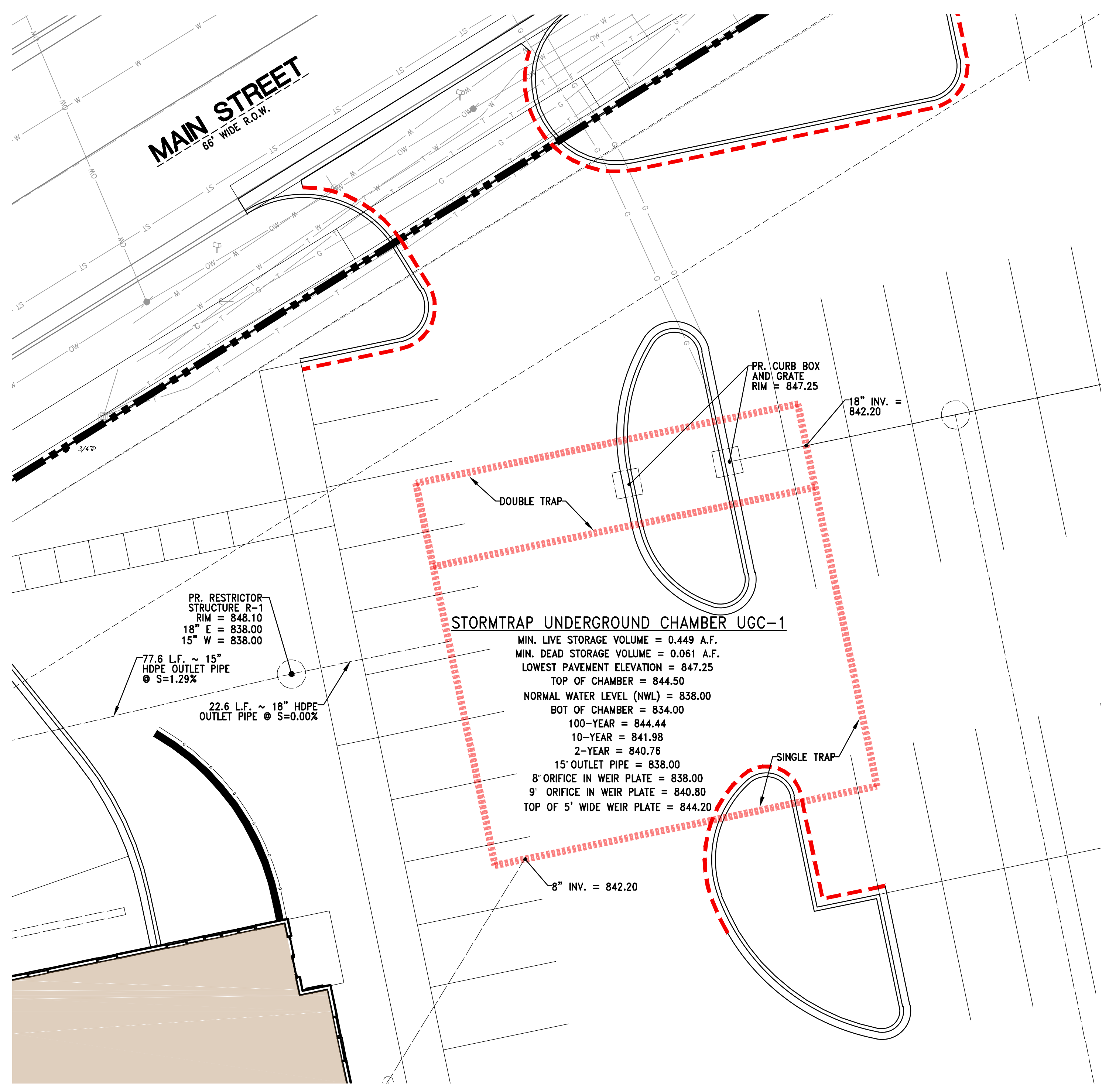
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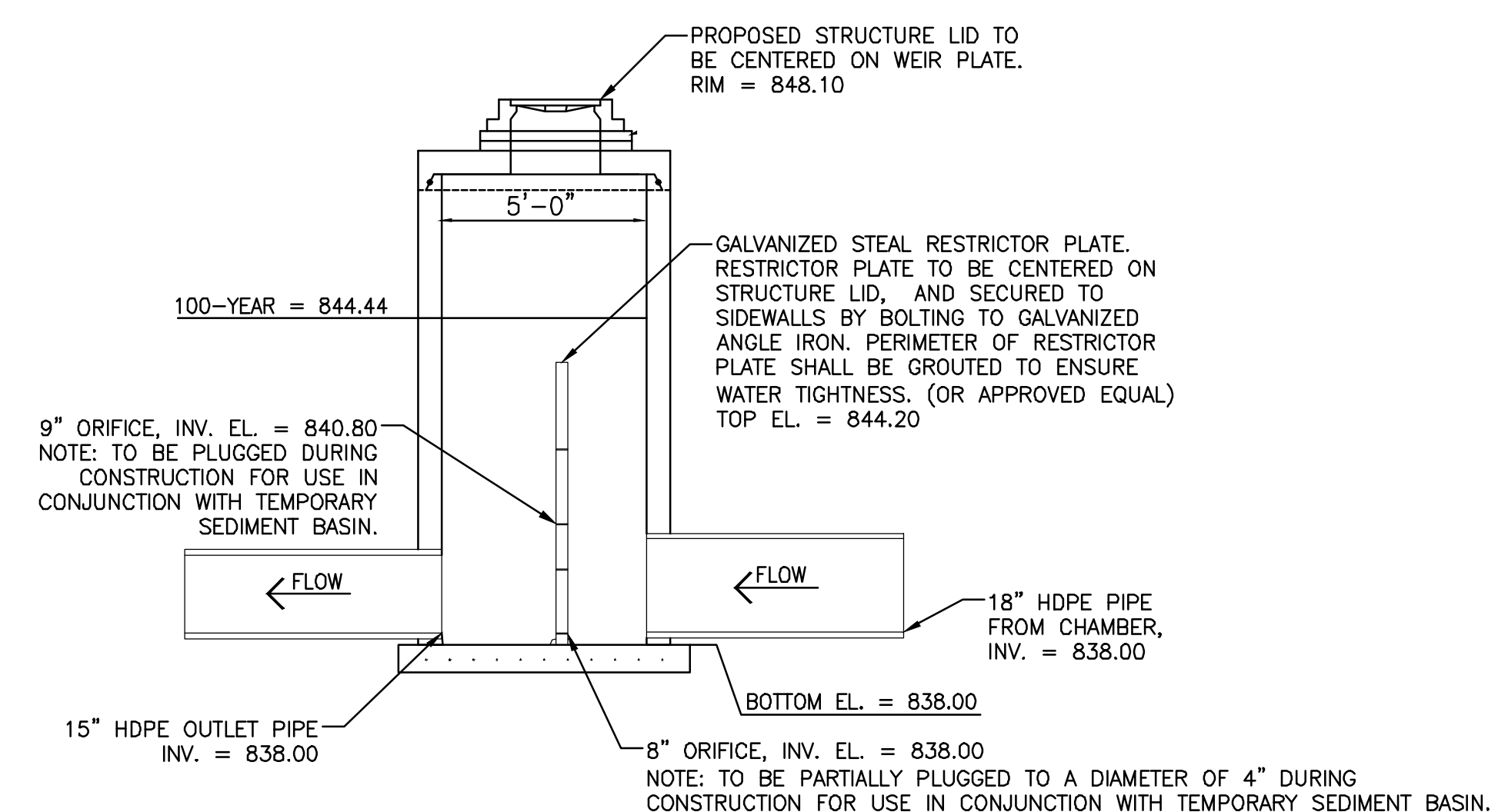
DESCRIPTION:
UNDERGROUND
DETENTION
SYSTEM PLAN

SHEET

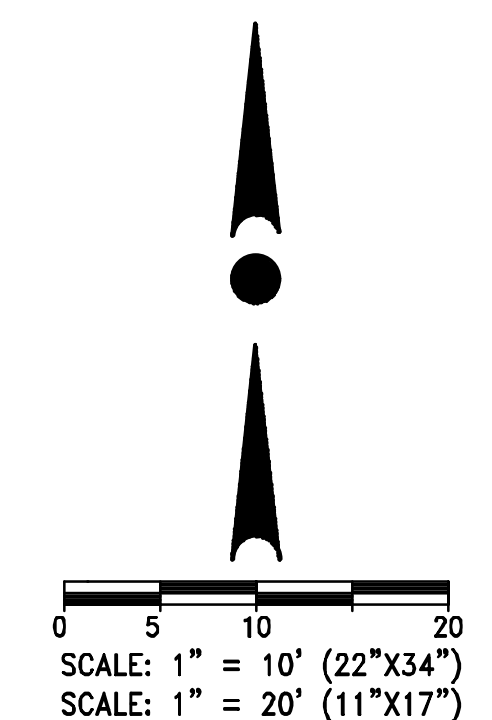
C2.1



UNDERGROUND CHAMBER UGC-1 CROSS-SECTION
NO SCALE



RESTRICTOR STRUCTURE R-1
NO SCALE



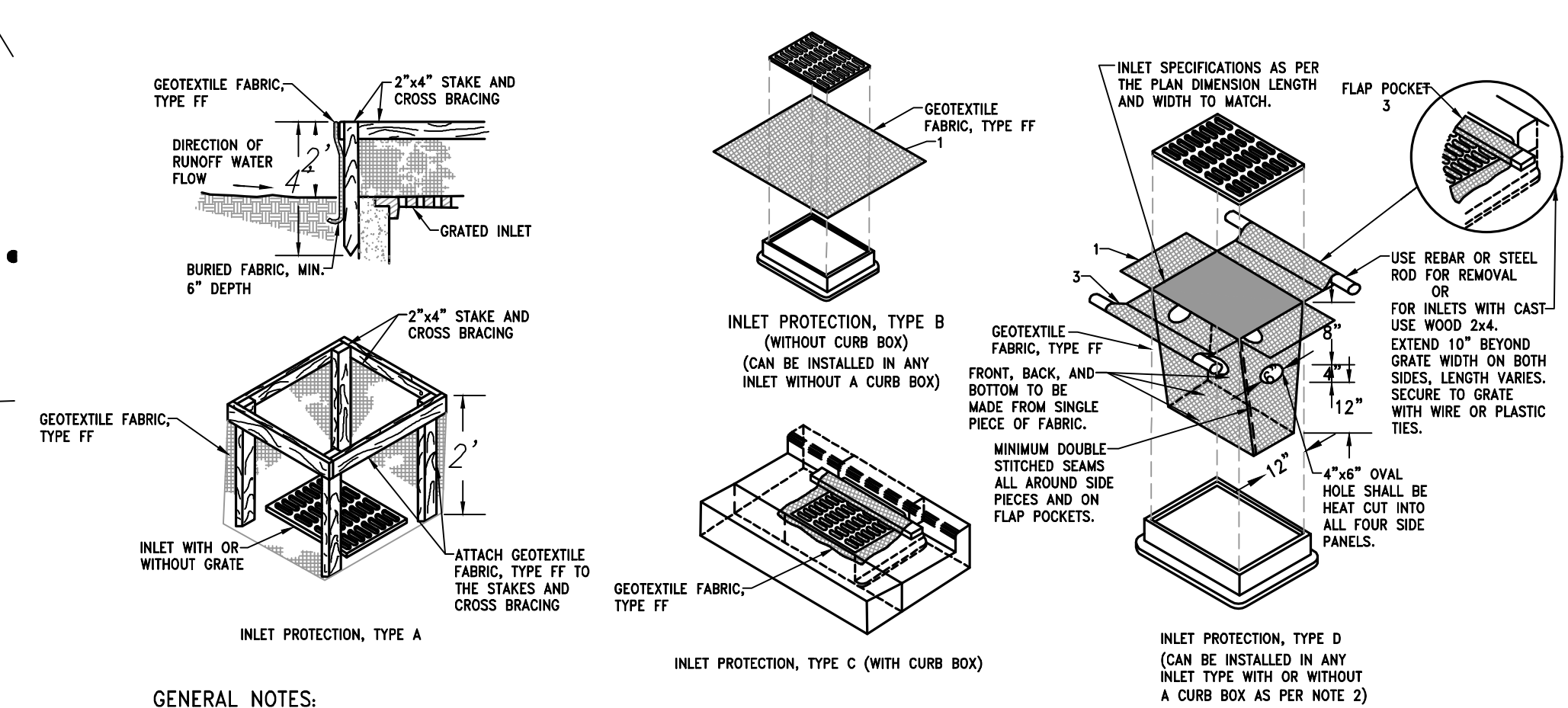
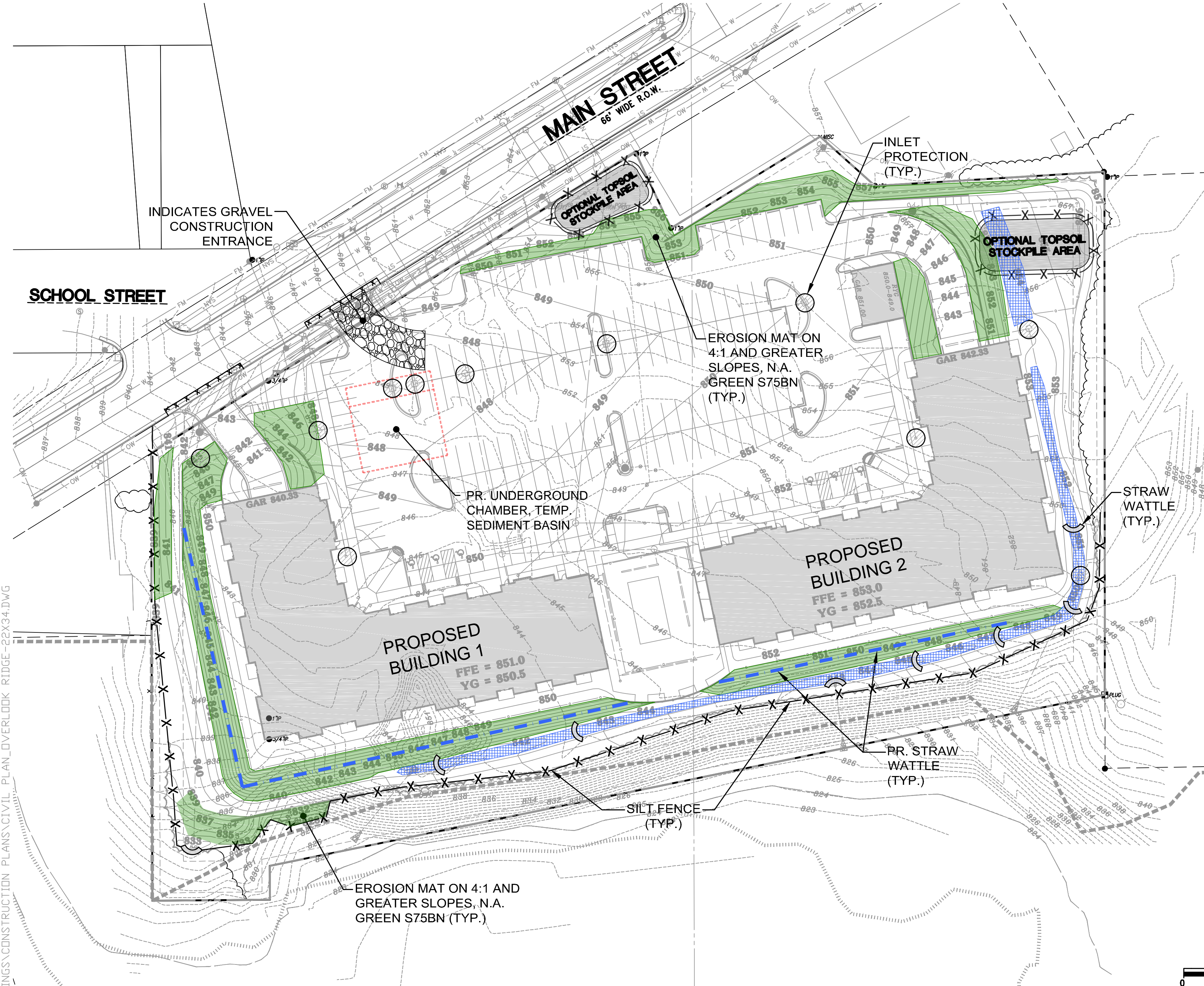
LEGEND:

--- 850 ---	EXISTING CONTOUR
---	PROPOSED CONTOUR
● P871.20	PROPOSED SPOT ELEVATION
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---	PROPOSED YARD GRADE
---	PROPOSED GARAGE GRADE
---	FINISHED FLOOR ELEVATION
→	PROPOSED OVERLAND FLOW ROUTE

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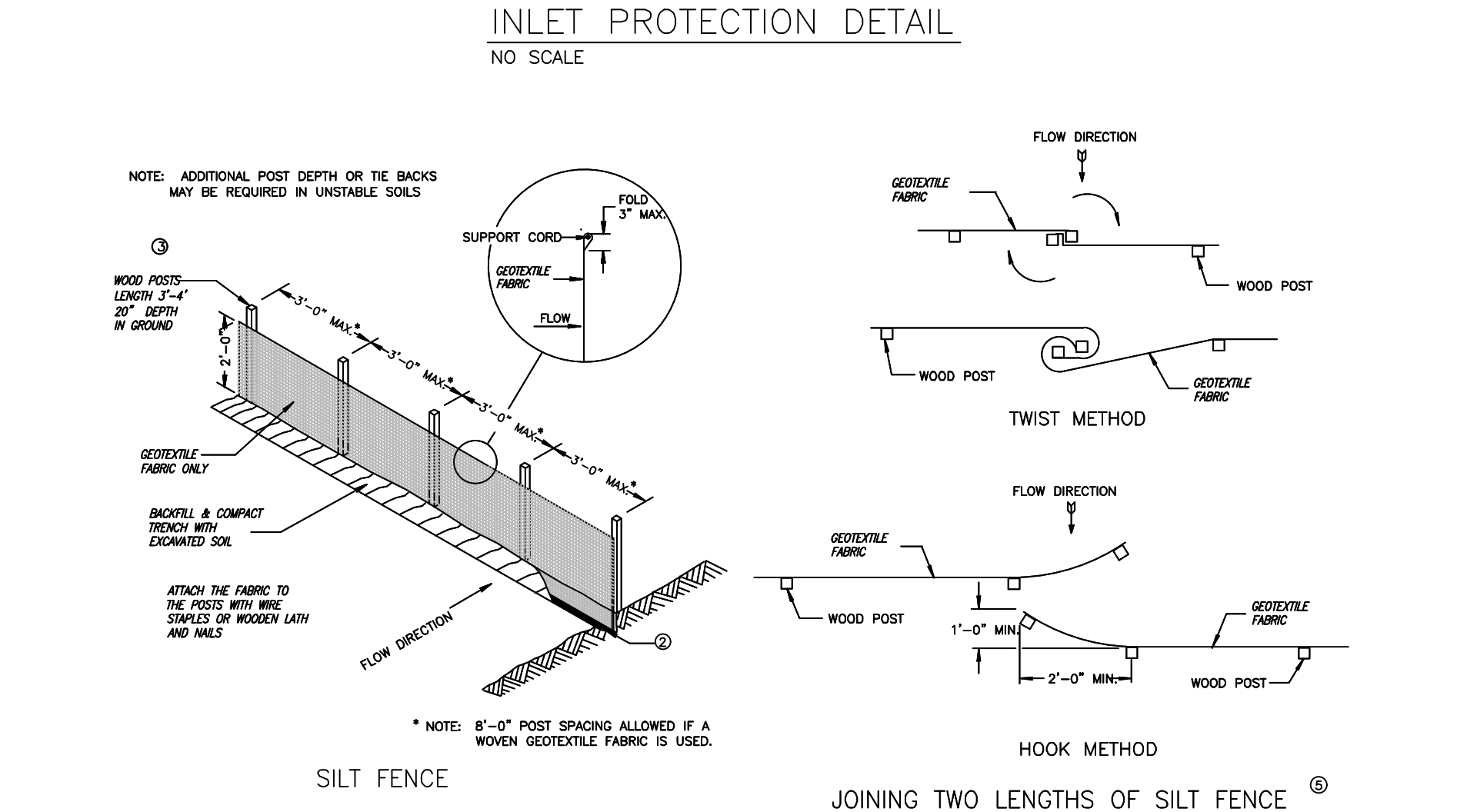
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GENERAL NOTES:
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

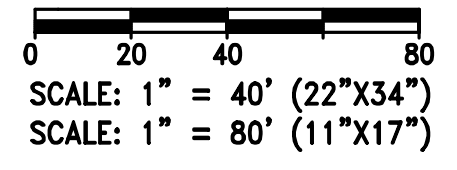
INSTALLATION NOTES:
TYPE B & C
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
TYPE D
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



GENERAL NOTES:

- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD FABRIC TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR B) TIE, AT LEAST 180 DEGREES; B) HOOK THE END OF EACH SILT FENCE LENGTH.

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-8.



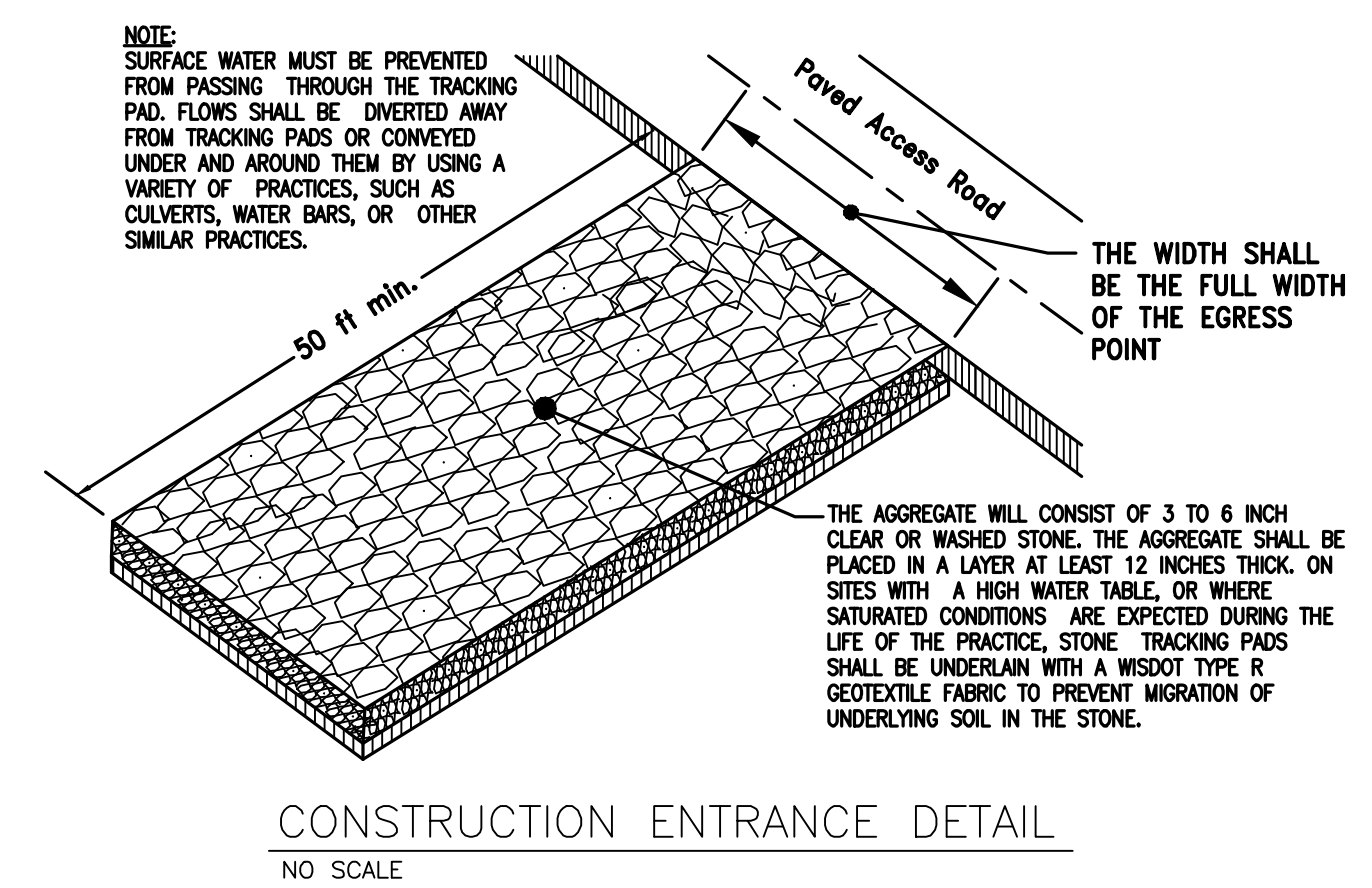
	TEMP. EROSION MATTING N.A. GREEN S75BN CLASS I URBAN, TYPE B
	CHANNEL EROSION MATTING KEP-C100 NATURAL CLASS II, TYPE C

WINTER STABILIZATION PROVISIONS:
 IF FINAL SITE STABILIZATION OCCURS AFTER OCTOBER 15, CONTRACTOR SHALL UTILIZE ANIONIC POLYACRYLAMIDE AND TEMPORARY SEEDING, AS WELL AS, COORDINATE WITH VILLAGE ENGINEER FOR LATE SEASON STABILIZATION REQUIREMENTS.

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

CALL DIGGERS HOTLINE 1-800-242-8811
 NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

- CONSTRUCTION SEQUENCE PLAN**
- INSTALL TRACKING PADS.
 - INSTALL SILT FENCE/STRAW WATTLE AROUND THE PERIMETER OF THE SITE.
 - CLEAR AND GRUB SITE.
 - STRIP AND STOCKPILE TOPSOIL.
 - BEGIN MASS GRADING OF THE SITE. MASS GRADING MAY ONLY OCCUR/CONTINUE AFTER EROSION CONTROL MEASURES ARE INSTALLED/CONSTRUCTED (SWALES, DITCH CHECKS, ETC.).
 - ROUGH GRADE SITE. NOTE THAT ROUGH GRADING MAY OCCUR CONCURRENT WITH CONSTRUCTION OF THE DIVERSION SWALES.
 - DISTURBED SLOPES TO BE RESTORED IMMEDIATELY (WITHIN 7 DAYS OF DISTURBANCE) WITH TOPSOIL, SEED AND EROSION MATTING.
 - INSTALL STORMWATER MANAGEMENT FACILITY AND OUTLET PIPE AND CONTROLS. FACILITY TO BE USED AS SEDIMENT BASIN, CONCURRENT WITH MASS GRADING.
 - INSTALL SANITARY SEWER AND WATER MAIN. COMPLETE ALL TESTING AND CONTACT VILLAGE PRIOR TO CONNECTING TO EXISTING MAINS. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH ROUGH GRADING ONCE THE UTILITY AREAS HAVE BEEN GRADED TO SUBGRADE.
 - INSTALL STORM SEWER. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH SANITARY SEWER AND WATER MAIN INSTALLATION.
 - FINISH GRADE THE SITE. NOTE THAT THIS STEP MAY OCCUR CONCURRENT WITH STORM SEWER INSTALLATION.
 - INSTALL STONE BASE COURSE, CONSTRUCT CURB AND SIDEWALK, AND PLACE BINDER COURSE PAVEMENT. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH FINISH GRADING.
 - REMOVE TRACKING PAD WITH INSTALLATION OF PAVEMENT BASE COURSE.
 - RESPREAD TOPSOIL AND PLACE SEED, MULCH, MATTING AND OTHER SITE STABILIZERS AS NEEDED. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH FINISH GRADING AND PARKING LOT CONSTRUCTION. ALSO NOTE THAT ANY AREAS THAT ARE FINISH GRADED AND TOPSOILED SHALL BE SEED, MULCHED AND/OR MATTED IMMEDIATELY AFTER TOPSOIL IS PLACED.
 - NOTE: DISTURBANCE WITHIN RIGHT OF WAY SHALL BE STABILIZED AS SOON AS POSSIBLE AFTER GRADING HAS OCCURRED, PROVIDING TOPSOIL, SEEDS, AND WHERE NECESSARY (SWALES AND 4:1 OR GREATER SLOPES) EROSION CONTROL MATTING.
 - REMOVE ALL SEDIMENT FROM STORMWATER MANAGEMENT FACILITY AND RESTORE OUTLET TO PROPOSED CONDITIONS.
 - LATE SEASON (AFTER OCTOBER 15) STABILIZATION NOTES:
 - ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15 MUST BE TEMPORARY SEED AS OF THAT DATE.
 - ANY FINAL SITE STABILIZATION THAT OCCURS AFTER OCTOBER 15 MAY REQUIRE CONTRACTOR TO COVER DISTURBED AREAS WITH THE ANIONIC FORM OF POLYACRYLAMIDE (PAM), PER WDNR TECHNICAL STANDARD 1050 AND W8DOT PAL LIST. CONTRACTOR SHALL COORDINATE WITH VILLAGE ENGINEER AND WDNR FOR LATE SEASON STABILIZATION REQUIREMENTS.



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PROJECT:
OVERLOOK RIDGE
 VILLAGE OF EAST TROY, WISCONSIN
 BY: SAWALL DEVELOPMENT
 N63W23217 MAIN ST.
 SUSSEX, WI 53089

REVISION HISTORY

DATE	DESCRIPTION
08/21/2023	INITIAL SUBMITTAL
09/07/2023	PER VILLAGE COMMENTS
10/24/2023	PRELIM. UTILITY REV.
11/07/2023	DATA TABLE REV.
11/30/2023	BID SET
02/16/2024	SEWRPC SUBMITTAL
03/22/2024	VILLAGE SUBMITTAL

DATE:
 MARCH 22, 2024

JOB NUMBER:
 21-046-974

DESCRIPTION:
 EROSION CONTROL PLAN

SHEET

C3.0

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LEGEND:

---	EXISTING CONTOUR
---	EXISTING SANITARY SEWER
---	EXISTING WATER MAIN
---	EXISTING STORM SEWER
---	PROPOSED SANITARY SEWER (PRIVATE)
---	PROPOSED SANITARY SEWER (PUBLIC)
○	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER MAIN (PRIVATE)
---	PROPOSED WATER MAIN (PUBLIC)
⊕	PROPOSED HYDRANT
⊕	PROPOSED WATER VALVE
---	PROPOSED STORM SEWER
○	PROPOSED STORM MANHOLE
---	PROPOSED STORM INLET
---	PROPOSED STORM END SECTION

STORM SEWER NOTES

- UNLESS OTHERWISE NOTED, ALL PRIVATE STORM SEWER SHALL BE HIGH DENSITY POLYETHYLENE (HDPE), SMOOTH-WALL INTERIOR, CORRUGATED STORM SEWER PIPE. PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL, WITH WATER TIGHT JOINTS, HAVING A MANNING "N" VALUE OF 0.012, OR EQUAL.
- ALL PVC STORM SEWER PIPE SHALL BE ASTM D-3034, SDR 35, SCHEDULE 40 PIPE SHALL BE INSTALLED FOR ALL PIPE WITHIN THE PROPOSED BUILDING FOOTPRINT, PER MANUFACTURER SPECIFICATIONS.
- CONNECT TO BUILDING STORM SEWER CONVEYANCE PIPING PER SPS 382 SPECIFICATIONS AND REQUIREMENTS.

TRENCH DRAINS

- DRAINS #1 & #2 AT GARAGE ENTRANCES TO BE K300 WITH KS3-907S IN-LINE CATCH BASIN BY ACO OR APPROVED EQUAL. PROVIDE LOAD CLASS "C" SLOTTED IRON GRATE, TYPE 8600 - IRON.
- POOL DRAINS #3-#7 TO BE FLOWMASTER COMMERCIAL DECK DRAINS BY STEGEMEIER, OR APPROVED EQUAL.
- CONNECT POOL DRAINS TO PROPOSED COLLECTOR PIPE VIA 3" DOWN ADAPTOR AND WYE CONNECTION AT MINIMUM SLOPE OF 1.04%.

CLEAN OUTS

- ALL CLEAN OUTS LOCATED IN CONCRETE SIDEWALKS OR PATIOS SHALL HAVE FLUSH BRASS CAPS.

UTILITY NOTE:
EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. ACTUAL LOCATION OF EXISTING UTILITIES IN CLOSE PROXIMITY TO PROPOSED UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO INSTALLATION OF PROPOSED UTILITY. IF CONFLICTS ARE ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO INSTALLING PROPOSED UTILITIES.



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02/16/2024	SEWER/C CLEANOUTS
03/22/2024	VILLAGE SUBMITTAL

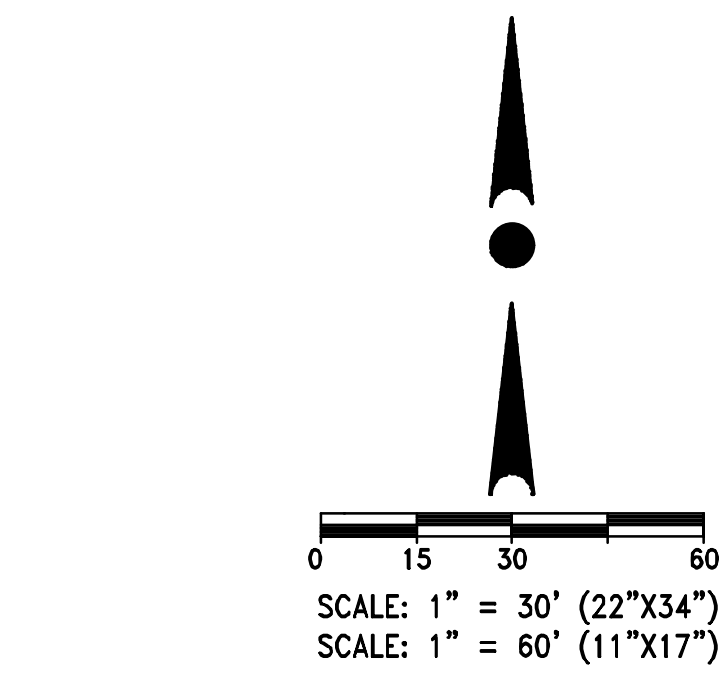
DATE:
MARCH 22, 2024

JOB NUMBER:
21-046-974

DESCRIPTION:
UTILITY PLAN

SHEET

C4.0



NOTE:
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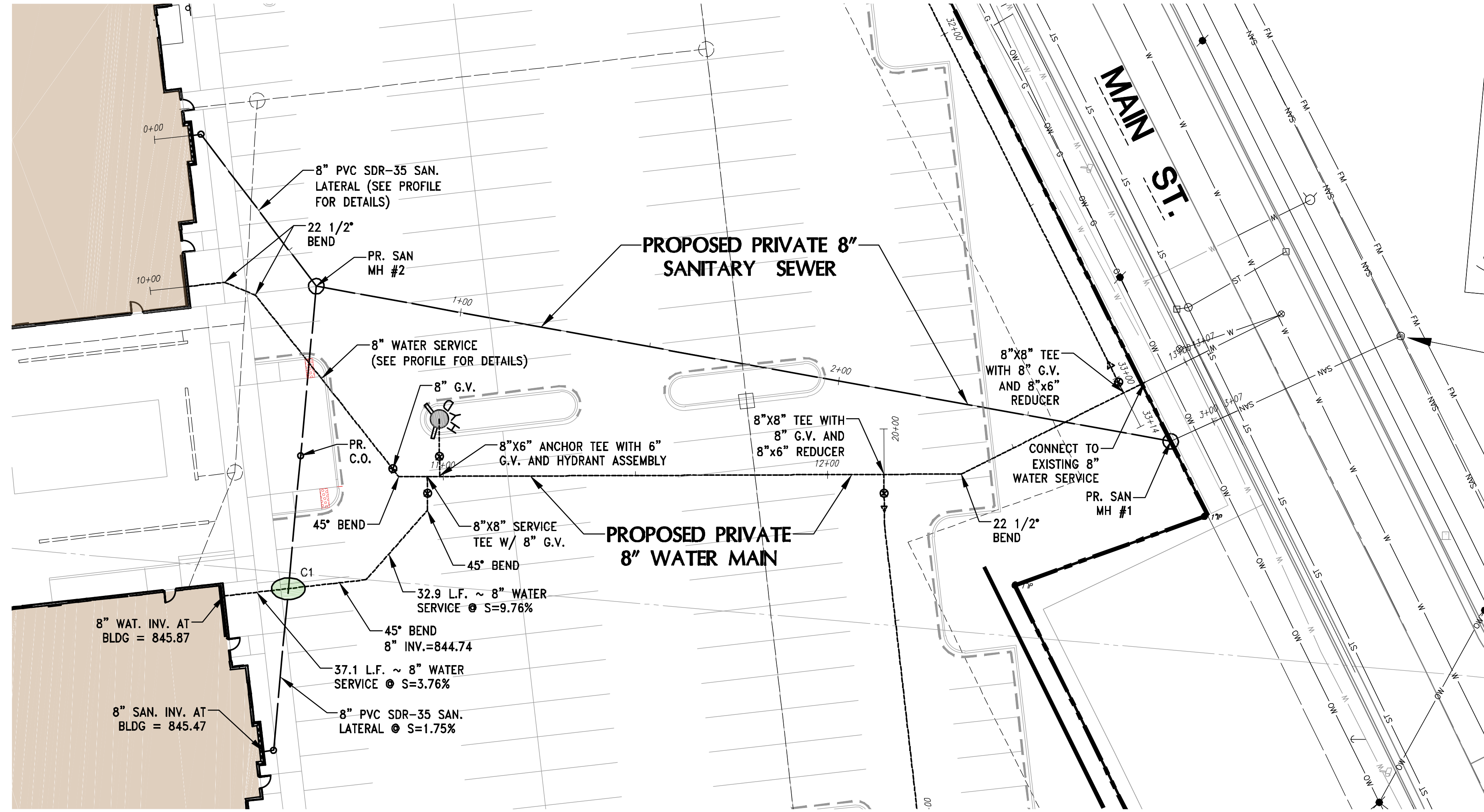
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SANITARY SEWER NOTES

- ALL 8" PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.10.0 (SSWCW).
- ALL SANITARY MANHOLES SHALL BE 48" DIA. WITH A NEENAH R-1661 FRAME AND SELF-SEALING LID (NON LOCKING TYPE) WITH NO VENT HOLES AND MEET THE REQUIREMENTS SET FORTH IN SSSWCW.
- SDR-35 PVC PIPE SHALL BE USED FOR SANITARY SEWERS LESS THAN 16 FEET DEEP.
- C-900 PVC PRESSURE PIPE SHALL BE USED FOR SANITARY SEWERS DEEPER THAN 16 FEET.

TRACER WIRE NOTE

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10-GAUGE SOLID GREEN INSULATED COPPER WIRE, PER LANNON STANDARD SPECIFICATION SECTION 1.2.21. PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE, IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

WATER MAIN NOTES

- ALL 8" & 6" WATERMAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC, C-900, CLASS 150 (DR-18). JOINTS SHALL BE MADE BY THE USE OF ELASTOMERIC SEAL CONFORMING TO ASTM D3139.
- HYDRANTS SHALL BE SET AT 2 FT. BEHIND THE BACK OF CURB, WITH THE NOZZLE ELEVATION 20 INCHES ABOVE TOP OF CURB. ANCHOR TEES SHALL BE USED FOR EACH HYDRANT BRANCH.
- ALL WATERMANS (AND SERVICES) CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDINGS AS SPECIFIED IN CH. 4.3.0, LAYING OF WATERMAIN, AND FILE NO. 36, PART VII (SSWCW).
- REFER TO THE VILLAGE OF EAST TROY STANDARD SPECIFICATIONS FOR FURTHER GUIDANCE.

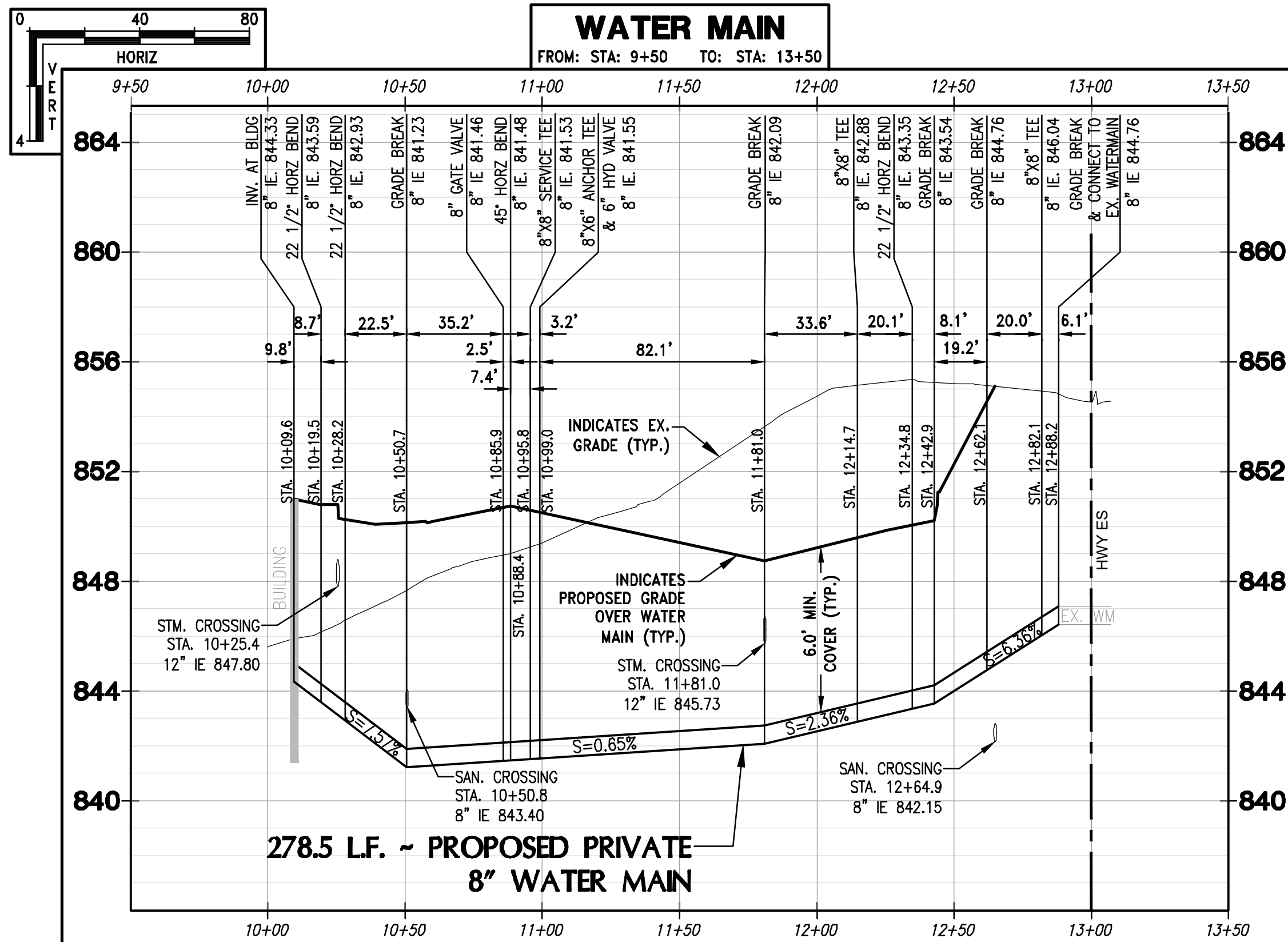
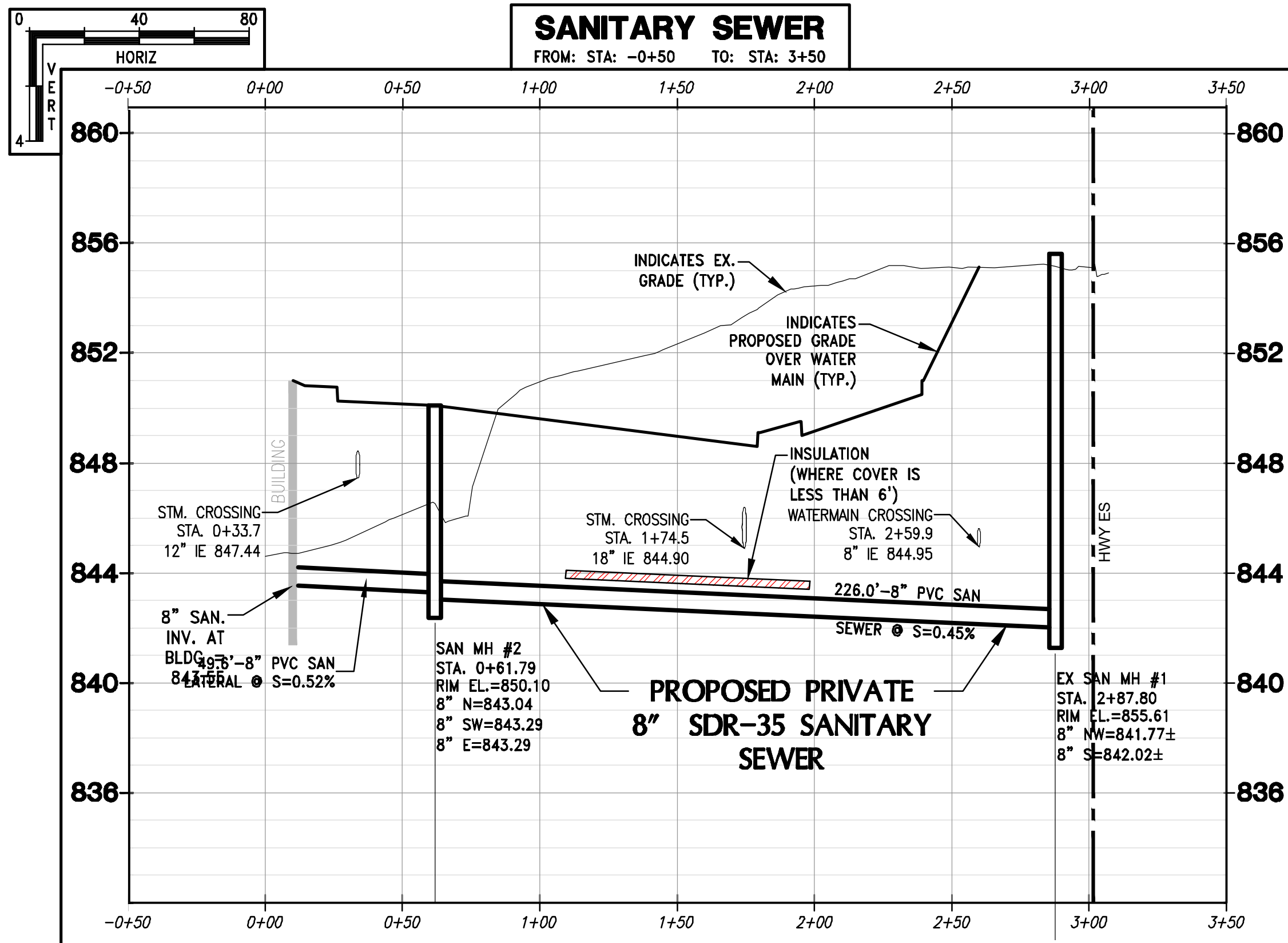
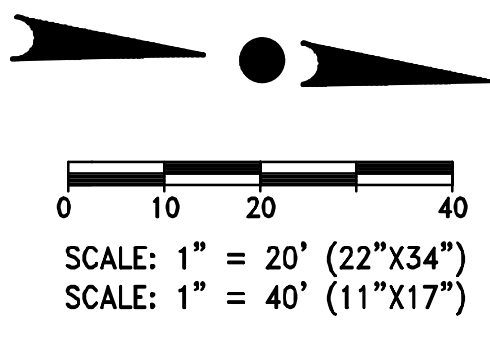
TRACER WIRE NOTE

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10-GAUGE SOLID BLUE INSULATED COPPER WIRE, PER LANNON STANDARD SPECIFICATION SECTION 1.2.21. PLASTIC WIRE MAY BE TAPED TO PLASTIC PIPE. THE TRACER SHALL BE SECURED AT A MINIMUM OF 5-FOOT INTERVALS, PER LANNON STANDARD SPECIFICATION SECTION 1.2.21.

UTILITY NOTE:
EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. ACTUAL LOCATION OF EXISTING UTILITIES IN CLOSE PROXIMITY TO PROPOSED UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO INSTALLATION OF PROPOSED UTILITY. IF CONFLICTS OR DISCREPANCIES ARE ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO INSTALLING PROPOSED UTILITIES.

UTILITY CROSSING TABLE:

C1	GROUND ELEV. = 851.95±
	INVERT OF 8" WAT. LATERAL = 845.18
	CROWN OF 8" SAN. LATERAL = 844.68



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PROJECT:
OVERLOOK RIDGE
VILLAGE OF EAST TROY, WISCONSIN
BY: SAWALL DEVELOPMENT
N63W23217 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY

DATE	DESCRIPTION
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02/16/2024	SEWER PLAN SUBMITTAL
03/22/2024	VILLAGE SUBMITTAL

DATE:
MARCH 22, 2024

JOB NUMBER:
21-046-974

DESCRIPTION:
SANITARY AND WATER MAIN PLAN & PROFILE

SHEET

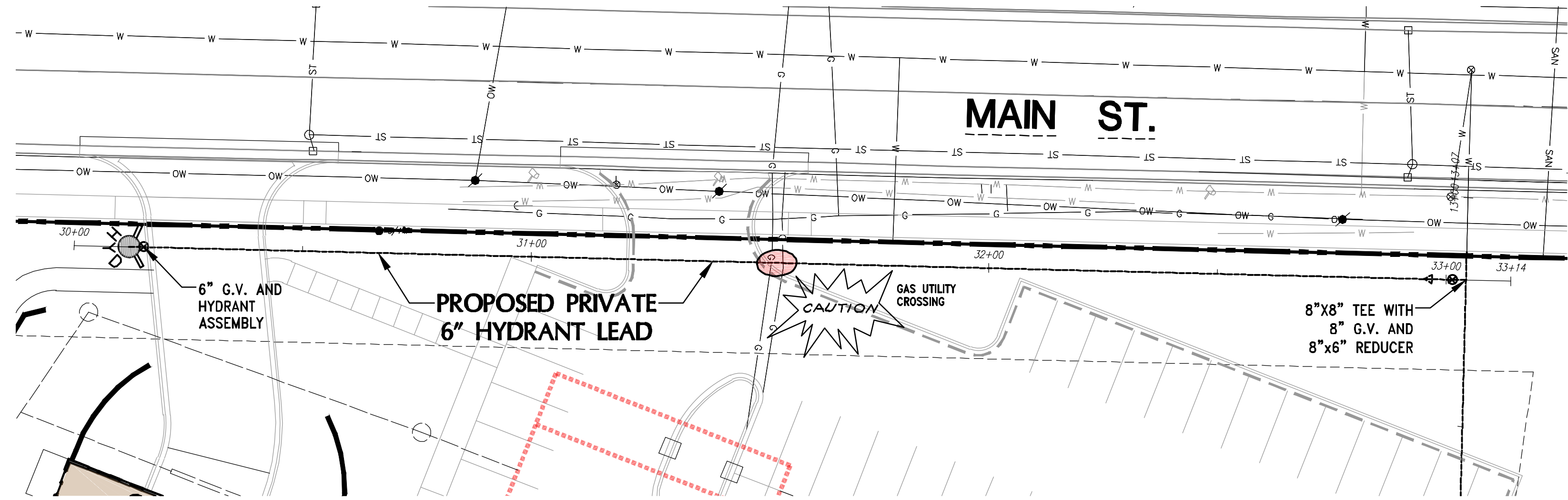
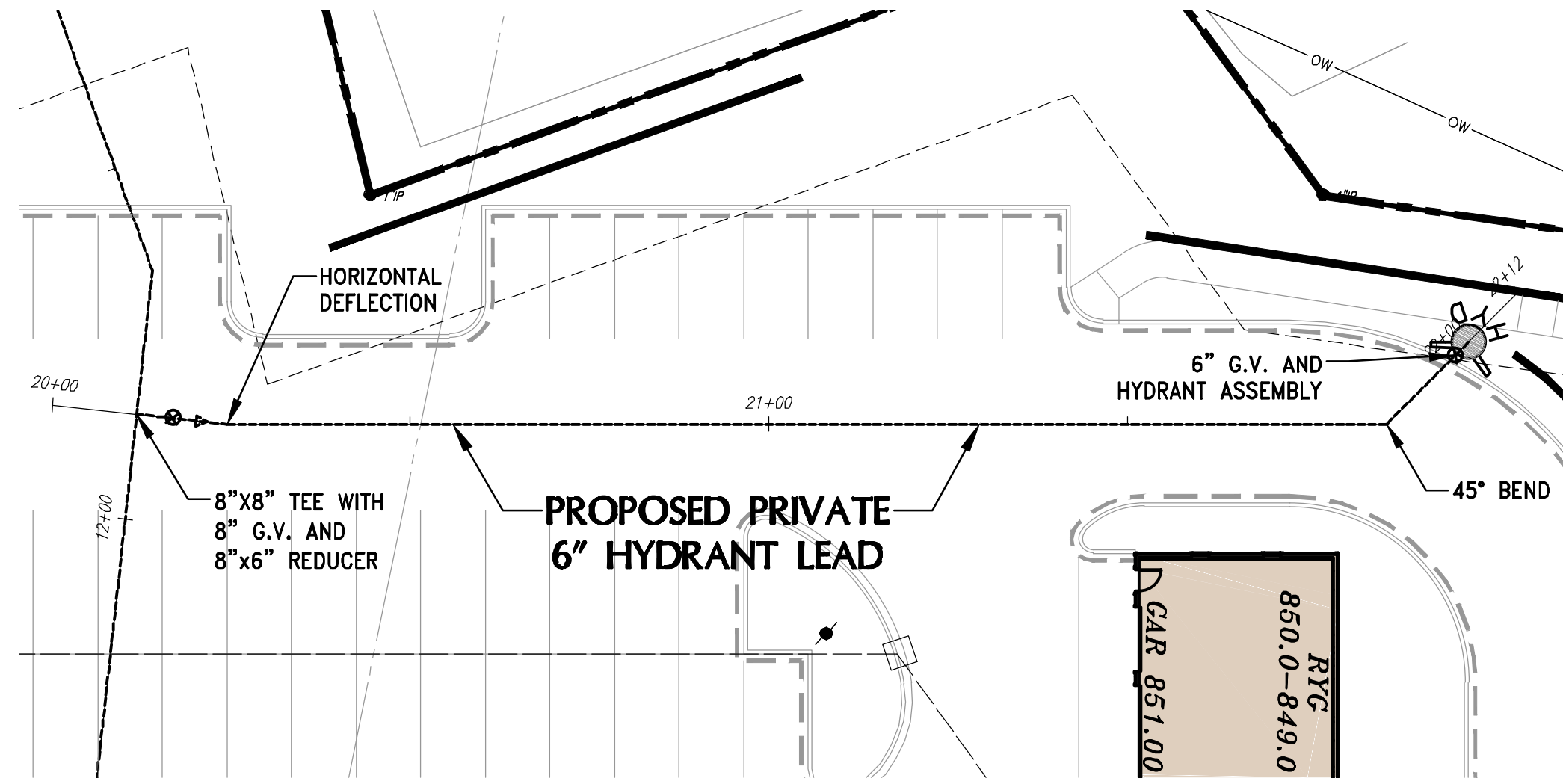
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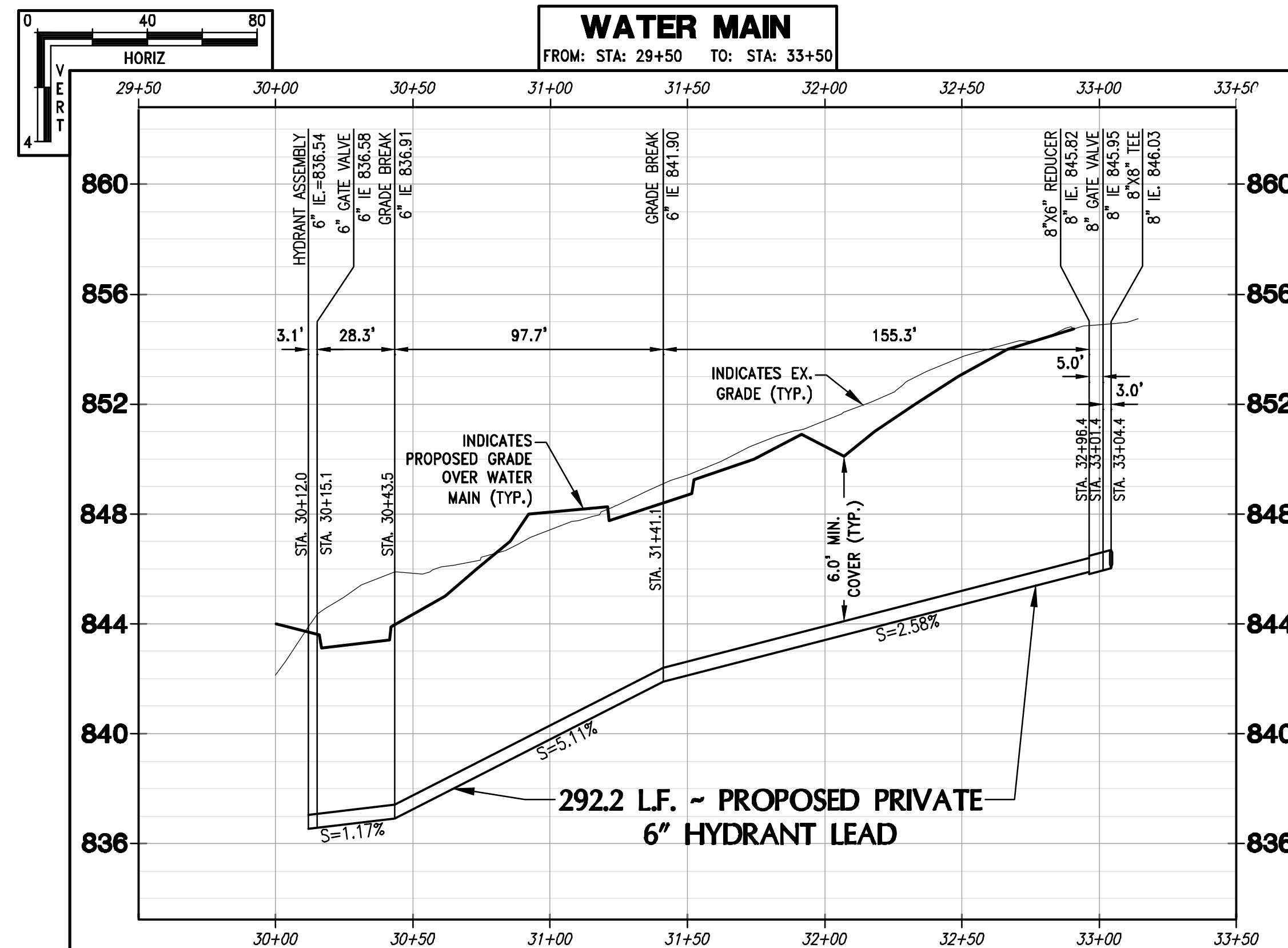
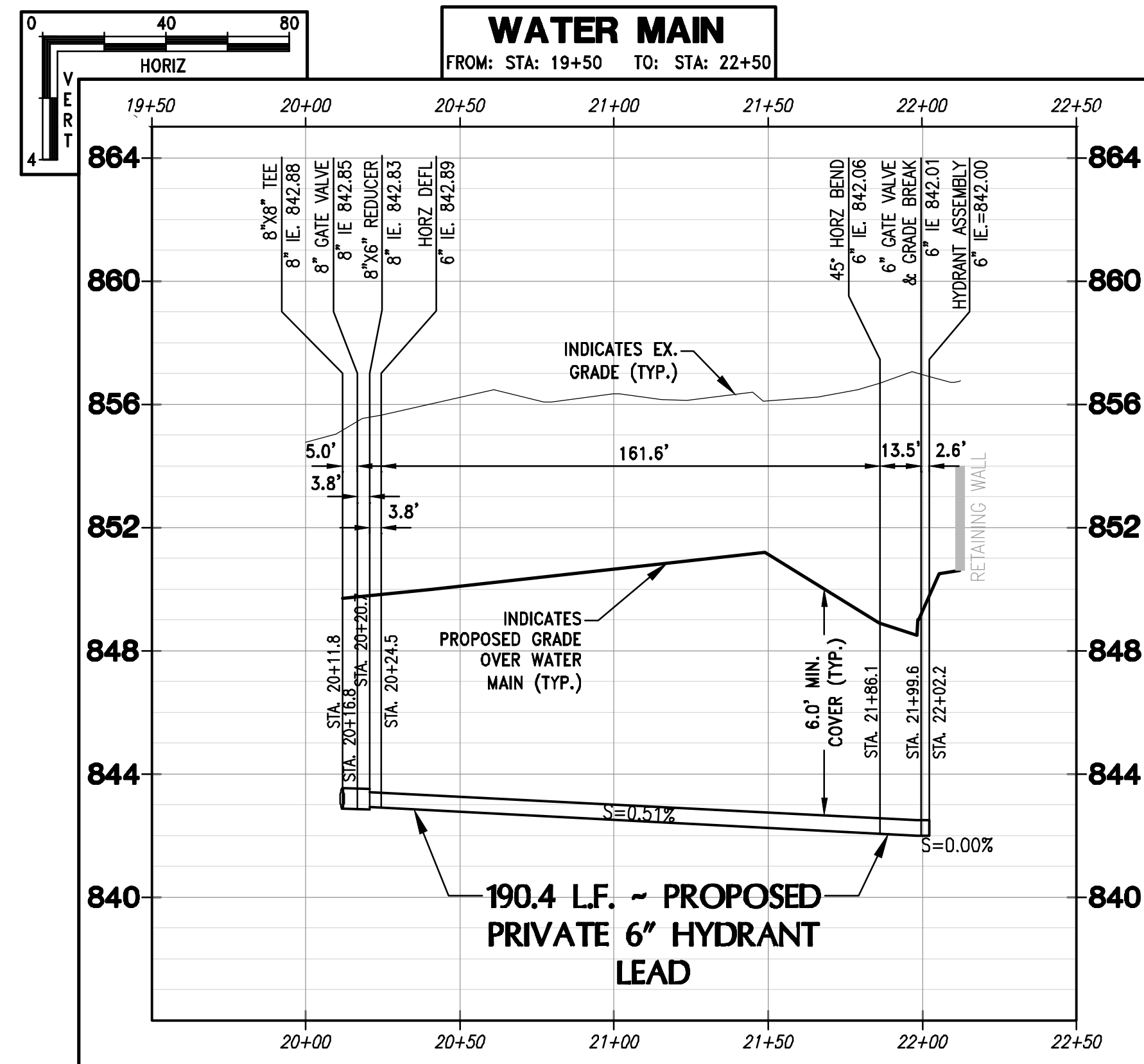
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NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



0 10 20 40
SCALE: 1" = 20' (22"x34")
SCALE: 1" = 40' (11"x17")

0 10 20 40
SCALE: 1" = 20' (22"x34")
SCALE: 1" = 40' (11"x17")



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OVERLOOK RIDGE
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BY: SAWALL DEVELOPMENT
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SUSSEX, WI 53089

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03/22/2024	VILLAGE SUBMITTAL

DATE:
MARCH 22, 2024

JOB NUMBER:
21-046-974

DESCRIPTION:
WATER MAIN
PLAN & PROFILE

SHEET

C4.2

COMPLIANT DOCUMENTATION:

THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
- THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
- WDR STORMWATER RUNOFF TECHNICAL STANDARDS.
- WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
- VILLAGE OF EAST TROY DEVELOPMENT STANDARDS, LATEST EDITION.

CONTRACTOR RESPONSIBILITY:

-EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD SURVEY. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

-THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

-THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL REQUIRED PERMITS, UNLESS OTHERWISE SPECIFIED.

-THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AS CONSTRUCTION ACTIVITIES ARE COMPLETED TO PROVIDE CONSTRUCTION OVERSIGHT AND INSPECTION IN ACCORDANCE WITH THE CONSTRUCTION INSPECTION PLAN.

-THE OWNER WILL PROVIDE ALL SURVEYING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR ADDITIONAL RESTAKING CAUSED BY CONTRACTOR'S NEGLIGENCE MAY BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE SUMS DUE HIM UNDER THIS CONTRACT.

-ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

-CONTRACTOR SHALL BE PREPARED FOR DEWATERING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE FOR DEWATERING AND REMOVAL OF ALL SEDIMENT PER VILLAGE, COUNTY AND WDR REQUIREMENTS PER TECHNICAL STANDARD 1061.

TRAFFIC CONTROL:

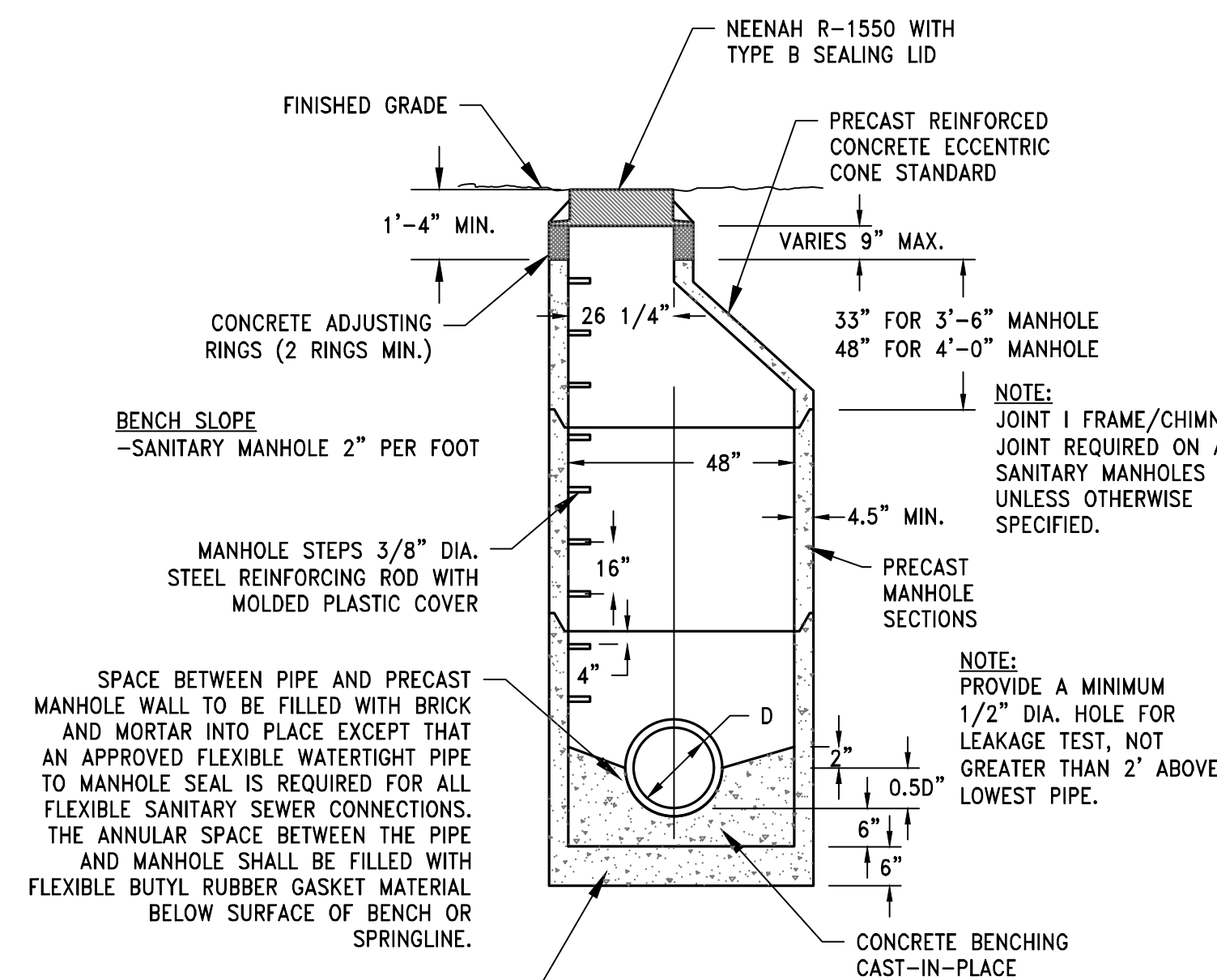
-PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE GRAVEL ENTRANCE TO THE PROPERTY.

CONSTRUCTION NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, STATE OF WISCONSIN, LATEST EDITION, UNLESS OTHERWISE CALLED FOR ON THE PLANS, SPECIFICATIONS OR SPECIAL PROVISIONS.
- ALL EROSION CONTROL MEASURES SPECIFIED ON THIS PLAN SHALL MEET THE DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE DEPARTMENT OF NATURAL RESOURCES WISCONSIN BEST MANAGEMENT PRACTICE HANDBOOK AND TECHNICAL STANDARDS.
- ALL EROSION CONTROL DEVICES (I.E., SILT FENCE, SILT SOCK, GRAVEL ENTRANCE, SILTATION BASIN, ETC.), SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING OR UTILITY CONSTRUCTION. GRADING ASSOCIATED WITH INSTALLATION OF EROSION OR SEDIMENTARY PRACTICES MAY OCCUR CONCURRENTLY WITH INSTALLATION OF PRACTICES.
- ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. REFER TO THE CONSTRUCTION SEQUENCING PLAN FOR ADDITIONAL INFORMATION.
- THE OWNER IS RESPONSIBLE FOR OBTAINING A GRADING AND/OR EROSION CONTROL PERMIT (OR ANY OTHER APPLICABLE PERMITS) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE, VILLAGE OF EAST TROY SEWER AND WATER UTILITY, AND GOVERNMENT UNITS WHOSE PROPERTY MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) DAYS BEFORE BREAKING GROUND. DIGGERS HOTLINE NUMBER IS 1-800-242-8511.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT AND PUBLIC ROADWAYS DURING CONSTRUCTION PER THE REQUIREMENTS SET FORTH BY THE LOCAL AND COUNTY AGENCIES. STREETS SHALL BE KEPT FREE OF SILT OR DIRT TRACKED FROM AREAS UNDER CONSTRUCTION BY SWEEPING OR OTHER APPROPRIATE MEASURES. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING OR OTHER APPROPRIATE METHODS.
- INLETS SHALL BE PROTECTED WITH AN EROSION BARRIER MEETING WDR TECHNICAL STANDARD 1060 UNTIL THE AREA HAS BEEN STABILIZED. FREQUENT INSPECTION AND TIMELY MAINTENANCE IS REQUIRED.
- UPON COMPLETION OF THE WORK AS SPECIFIED, RESPREAD A MINIMUM OF FOUR (4") INCHES OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND PROVIDE SEED, FERTILIZER AND MULCH PER THE STANDARD SPECIFICATIONS.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITHIN SEVEN DAYS AFTER BEING DISTURBED USING THE SEED MIX SPECIFIED ON THE PLANS.
- ALL EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND REPAIR BMP'S AS NEEDED.
- REFER TO EROSION CONTROL PLAN FOR SITE EROSION CONTROL ELEMENTS, REQUIREMENTS.

EROSION CONTROL NOTES:

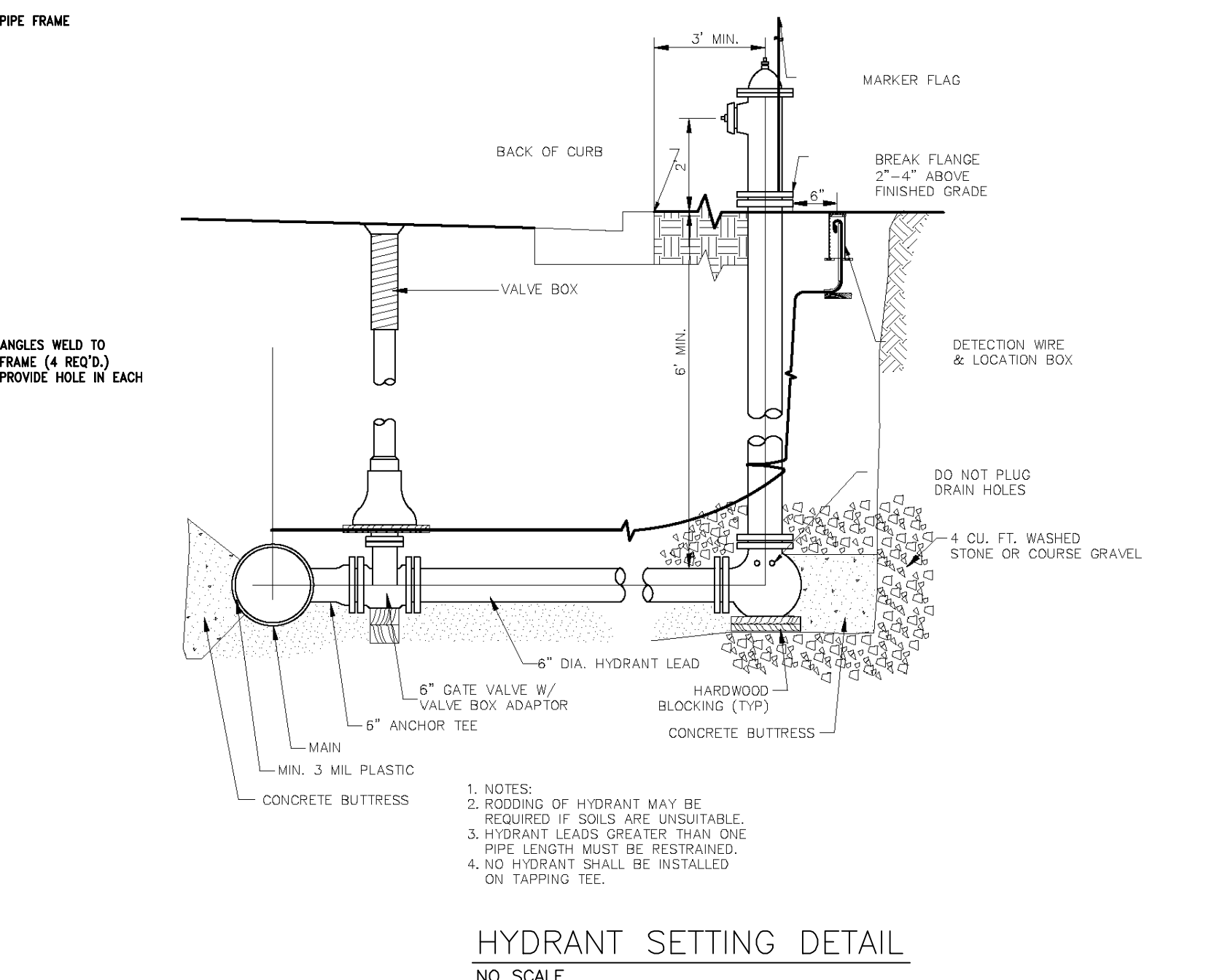
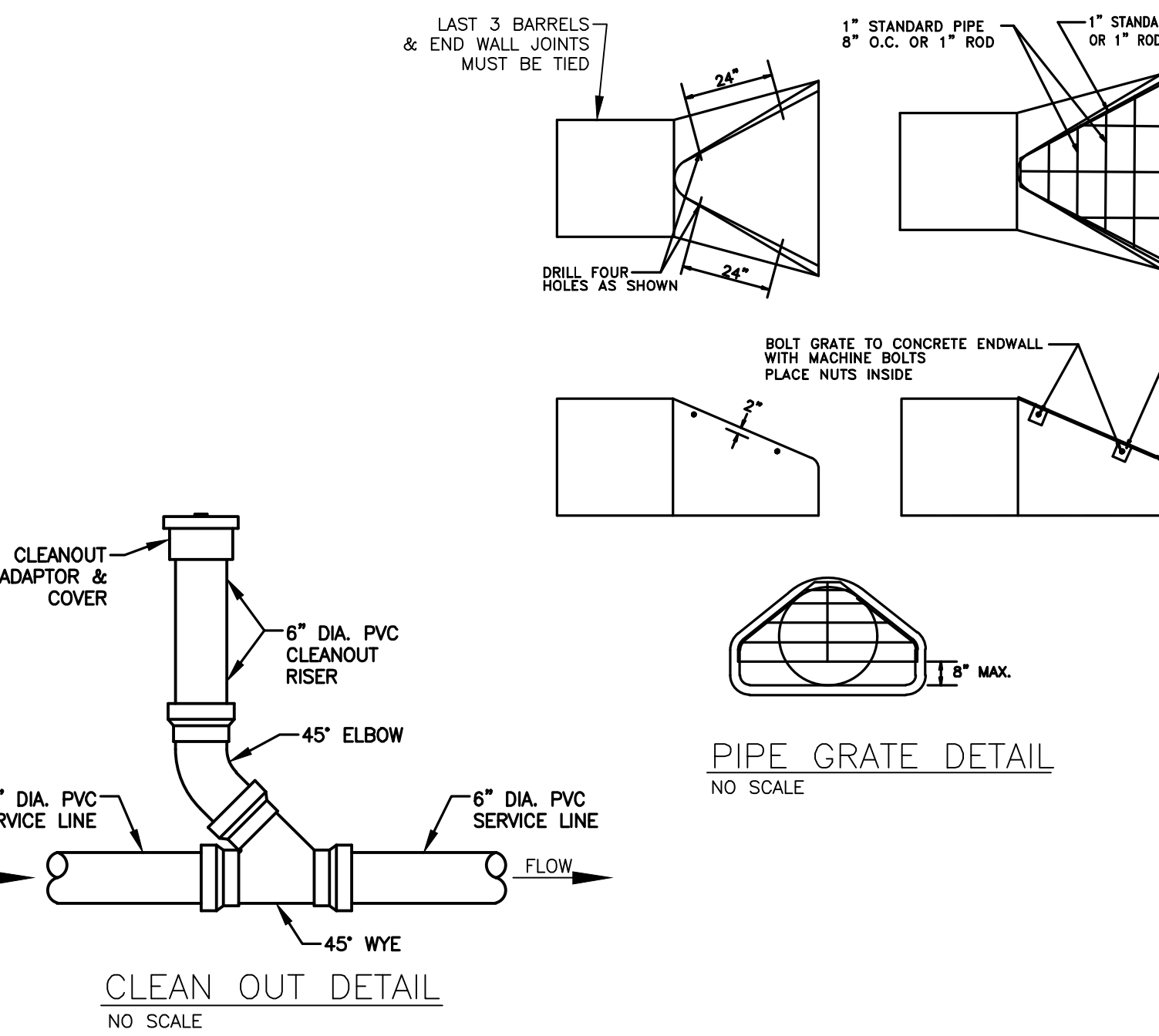
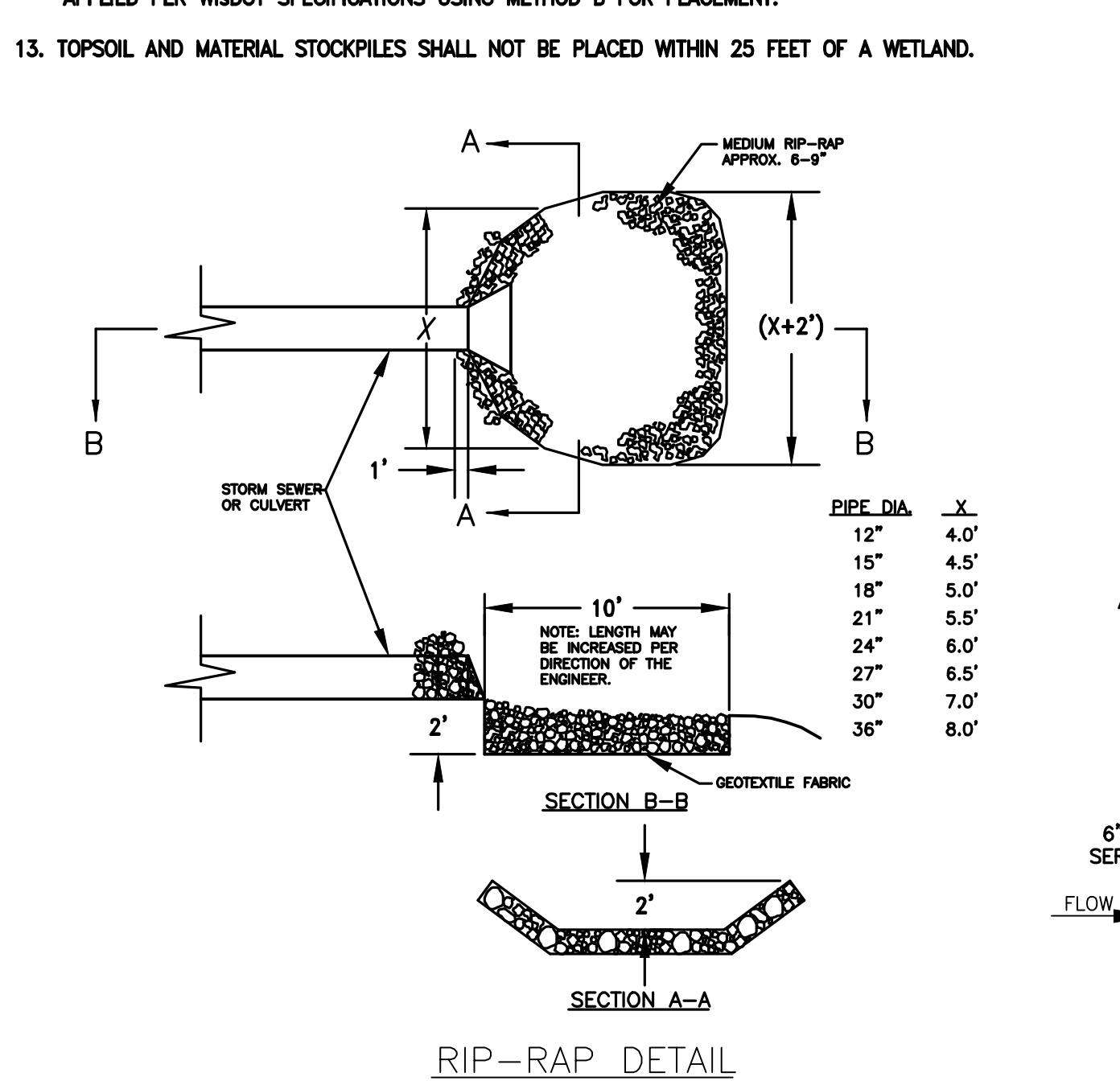
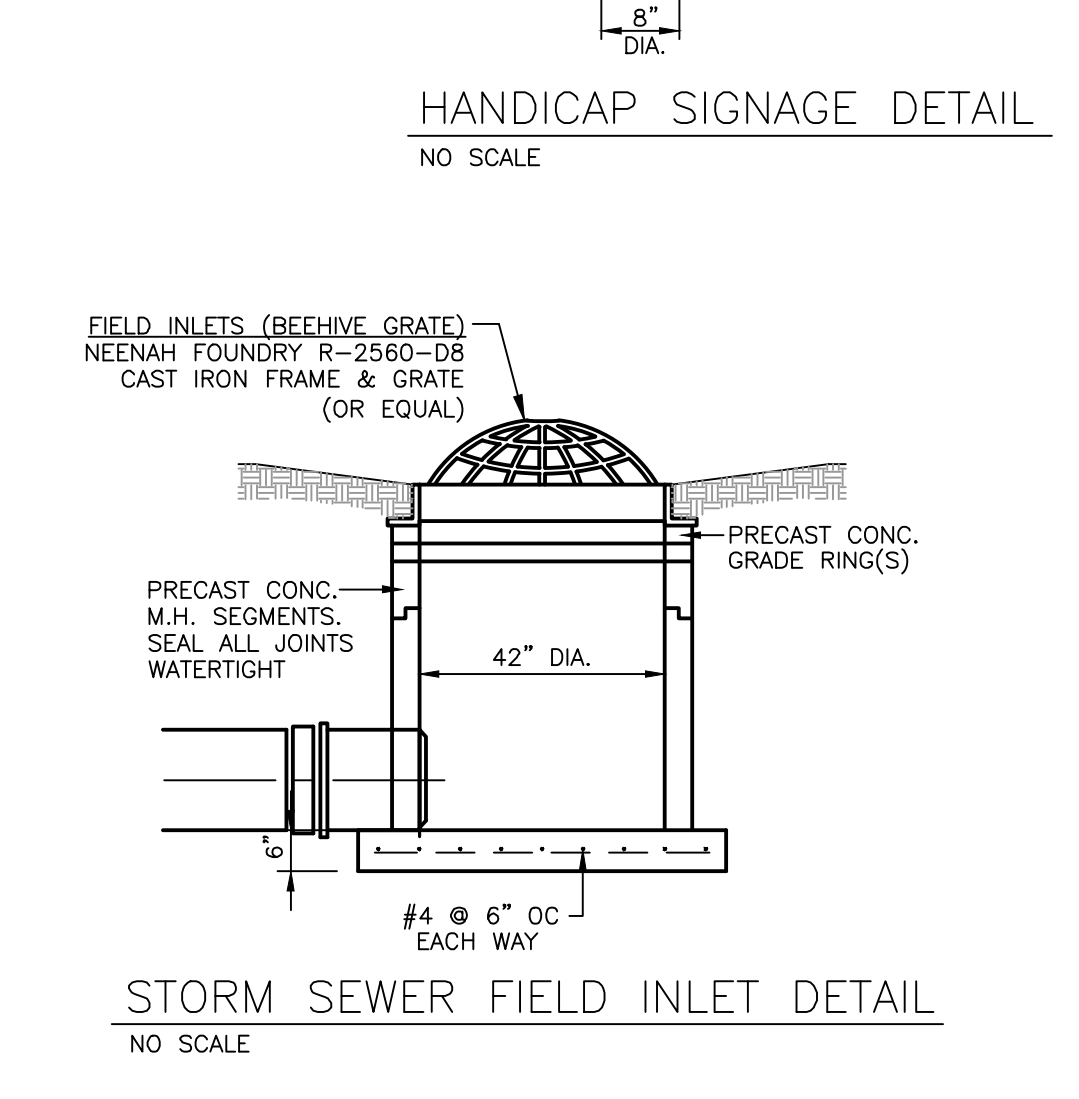
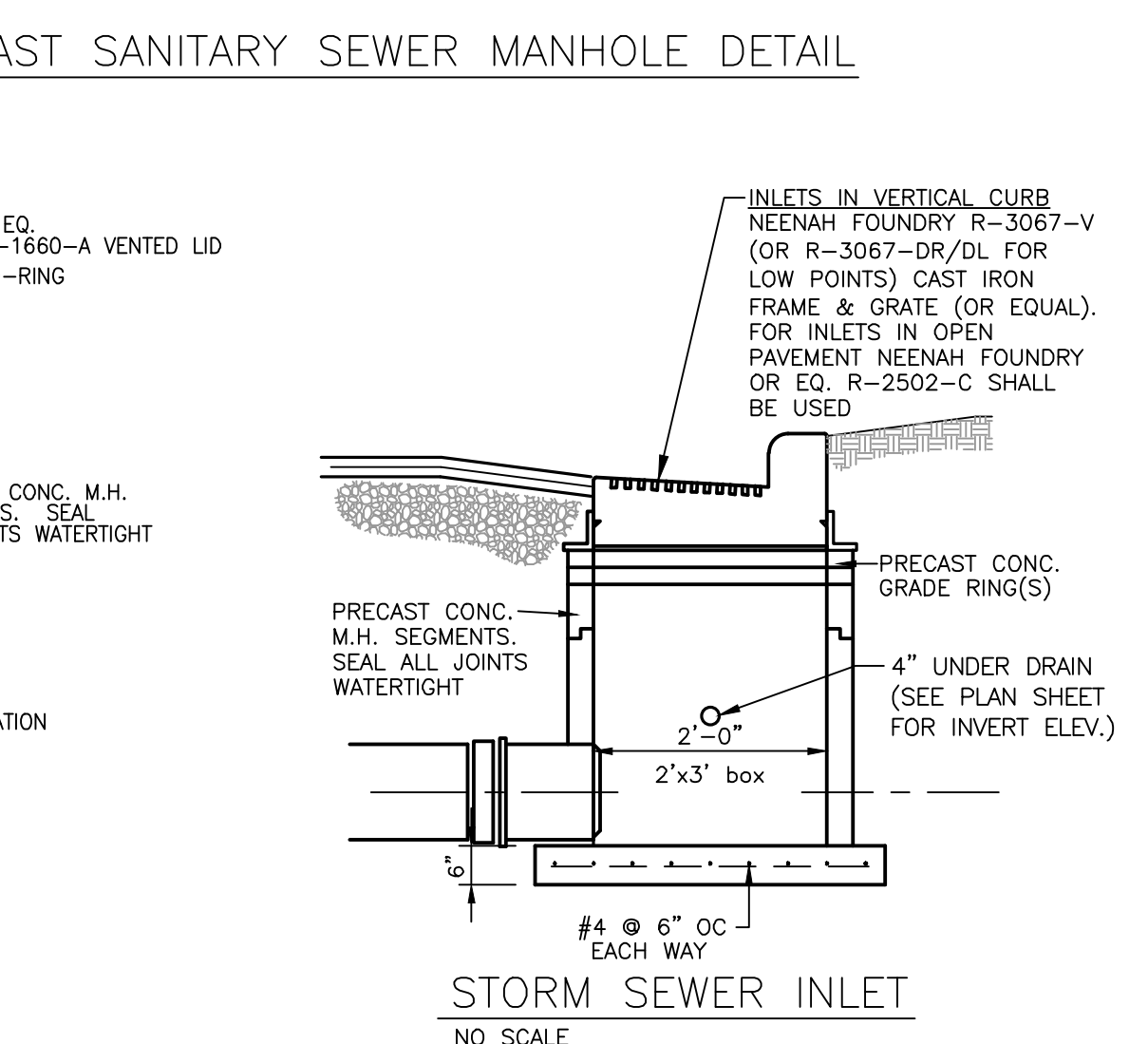
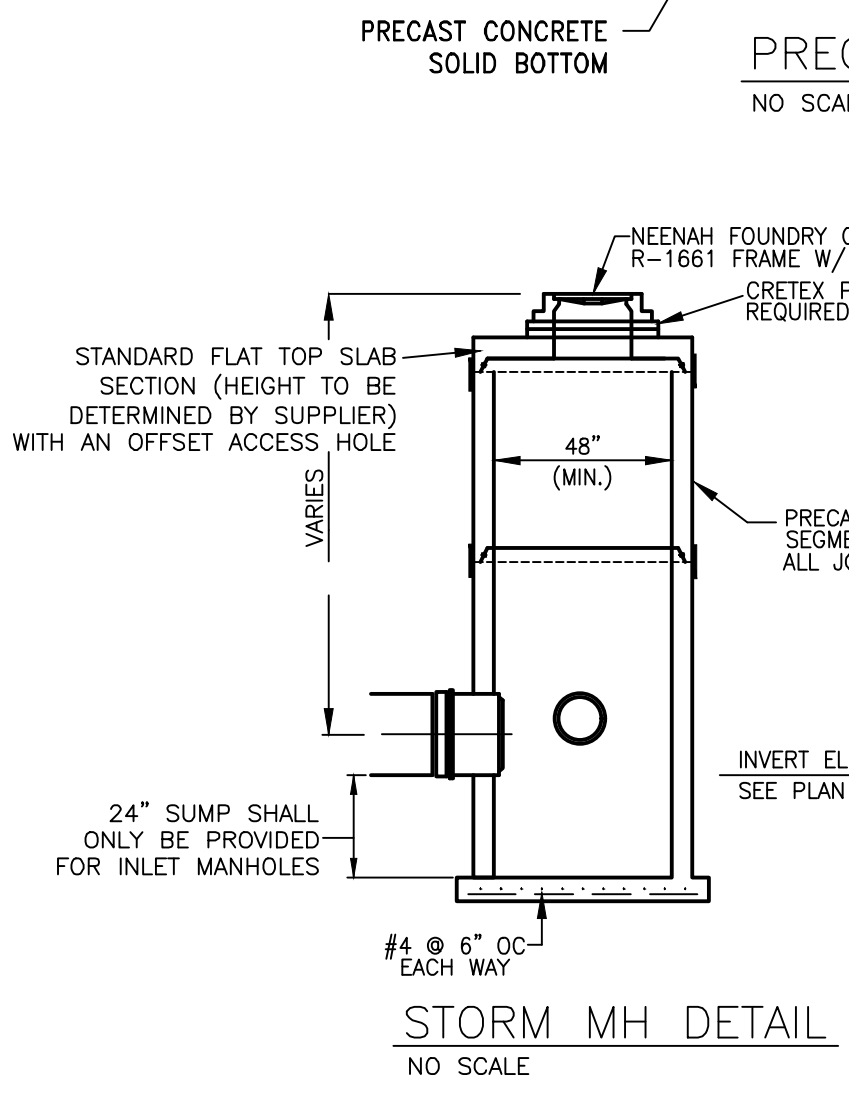
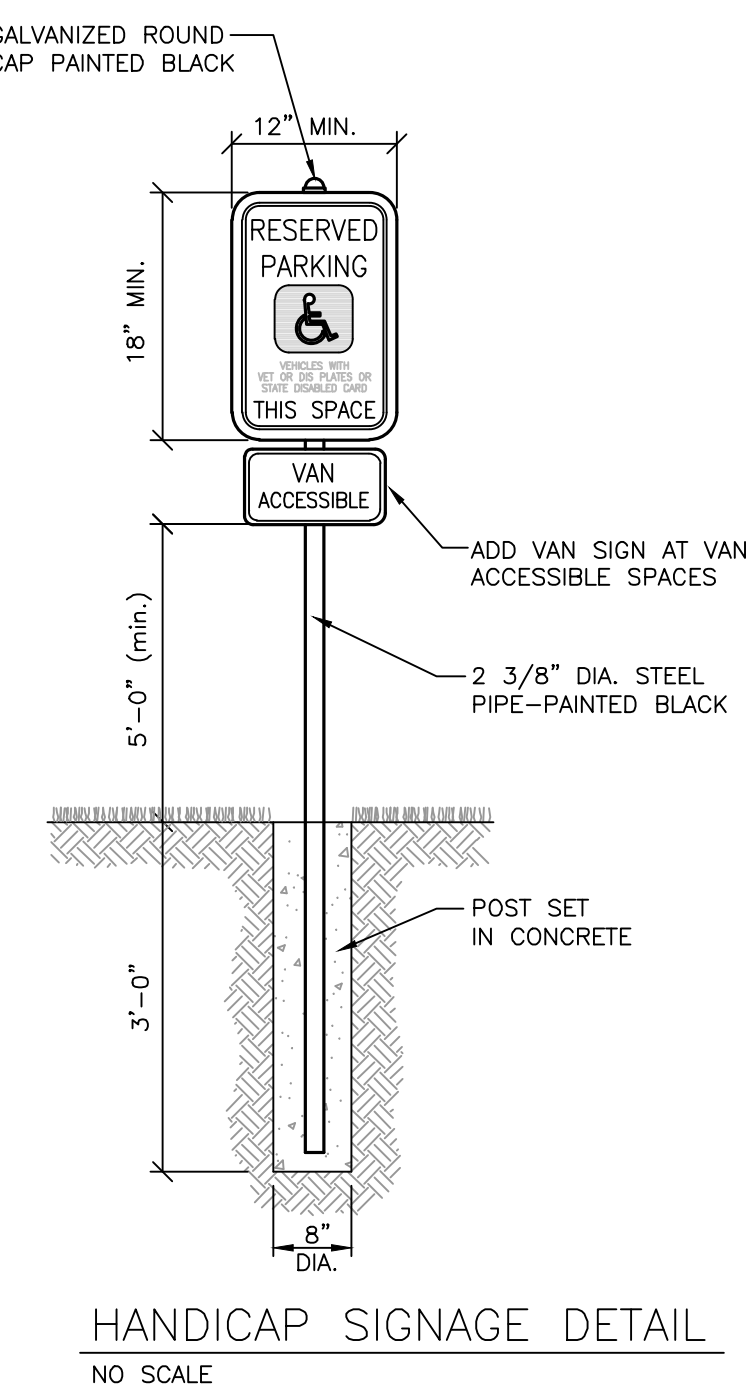
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER. CHANGES TO THE EROSION CONTROL PLAN MUST BE APPROVED BY THE WISCONSIN DNR AND THE VILLAGE OF EAST TROY PRIOR TO IMPLEMENTATION OF THOSE CHANGES.
- IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
- EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - PROTECT DOWNSTREAM OR ADJACENT WATERWAYS AND WETLANDS WITH SILT FENCE.
 - DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - PLACE SILT SOCK OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - MAINTAIN EXISTING SEDIMENT BASIN AS DICTATED BY SITE CONDITIONS.
 - PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
 - PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
 - CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 - ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARILY SEED AS OF THAT DATE. IF CONSTRUCTION ACTIVITIES DO TAKE PLACE AFTER THIS DATE, WINTER STABILIZATION IS REQUIRED FOR ALL LAND DISTURBANCES. ALL DISTURBED AREAS MUST EITHER BE WATTED AND/OR TREATED WITH SOIL STABILIZER PER WDR REFERENCED STANDARD BELOW. AREAS THAT ARE PROPOSED TO BE GRAVEL OR HARDCAPE SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OF DISTURBANCE, EITHER BY PLACING GRAVEL OR BY THE METHODS DESCRIBED ABOVE. THESE STABILIZATION METHODS MUST BE APPLIED PRIOR TO FROZEN GROUND CONDITIONS.
- TEMPORARY EROSION CONTROL MEASURES.
 - THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SODDING, HAS BEEN ESTABLISHED.
 - IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
- ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.
- ALL SEDIMENT BASINS, SWALES AND DIVERSION BERMS SHALL BE STABILIZED WITH SEED AND EROSION MAT PRIOR TO USE.
- TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDR TECHNICAL STANDARDS. EXCAVATIONS BELOW THE WATER TABLE MAY REQUIRE SPECIALIZED METHODS OF DEWATERING. THE CONTRACTOR SHALL DETERMINE THE ACTUAL SEASONAL HIGH GROUND WATER LEVEL FOR THE SITE AT THE TIME OF CONSTRUCTION, AND DETERMINE IF EXCAVATIONS WILL BE CONDUCTED BELOW THAT ELEVATION. FOR EXCAVATIONS BELOW THE SEASONAL HIGH WATER TABLE, A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO DETERMINE THE APPROPRIATE METHODS OF DEWATERING, BASED ON ACTUAL WATER ELEVATION, SOIL CONDITIONS AND DEPTH OF EXCAVATIONS. PLEASE NOTE THAT THE SEASONAL HIGH WATER TABLE SHOULD BE EXPECTED TO FLUCTUATE THROUGHOUT THE YEAR DEPENDING ON VARIATIONS IN CLIMATOLOGICAL CONDITIONS AND OTHER FACTORS. THE DEWATERING METHODS DETERMINED THROUGH THE STEPS ABOVE SHALL BE REVISED AS CONDITIONS FLUCTUATE.
- INSTALL SILT FENCE IN ACCORDANCE WITH WDR TECHNICAL STANDARD DETAILS
- ALL RIP RAP AT PIPE OUTLETS SHALL BE 3'x5' MEDIUM RIP RAP OVER TYPE HR GEOTEXTILE FABRIC PER WisDOT SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.
- EROSION CONTROL INSPECTION AND MAINTENANCE
 - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 - REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
- ALL AREAS TO BE SEEDED AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WisDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.
- TOPSOIL AND MATERIAL STOCKPILES SHALL NOT BE PLACED WITHIN 25 FEET OF A WETLAND.



MANHOLE SIZES (UNLESS OTHERWISE NOTED)

PIPE DIA. [D]	MANHOLE DIA.	WALL THICKNESS
8" THRU 27"	3'-6"	4 1/2"
30"	4'-0"	5"
36"	5'-0"	6"
42"	6'-0"	7"

*ALL PUBLIC MANHOLES SHALL BE A MIN. OF 48" DIA.



WISCONSIN PROFESSIONAL ENGINEER
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 E-44863
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PROJECT:
OVERLOOK RIDGE
 VILLAGE OF EAST TROY, WISCONSIN
 BY: SAWALL DEVELOPMENT
 N63W23217 MAIN ST.
 SUSSEX, WI 53089

REVISION HISTORY

DATE	DESCRIPTION
08/21/2023	INITIAL SUBMITTAL
09/07/2023	PER VILLAGE COMMENTS
10/24/2023	PRELIM. UTILITY REV.
11/07/2023	DATA TABLE REV.
11/30/2023	BID SET
02/16/2024	SEWER PC SUBMITTAL
03/22/2024	VILLAGE SUBMITTAL

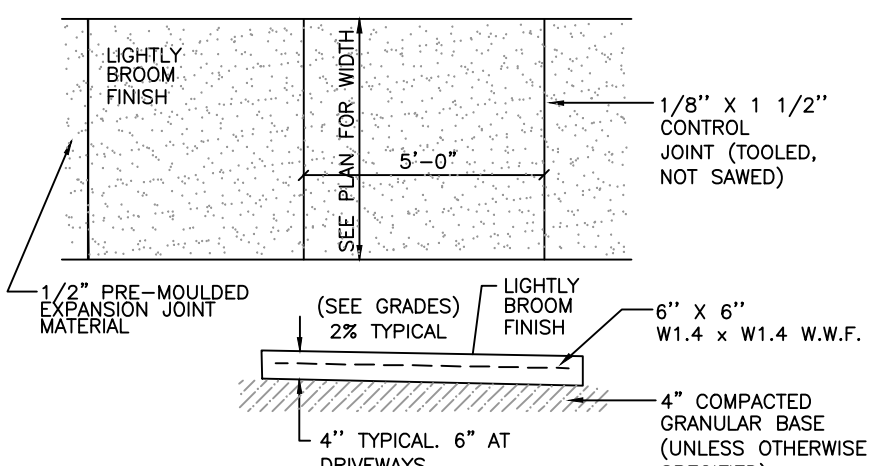
DATE:
 MARCH 22, 2024

JOB NUMBER:
 21-046-974

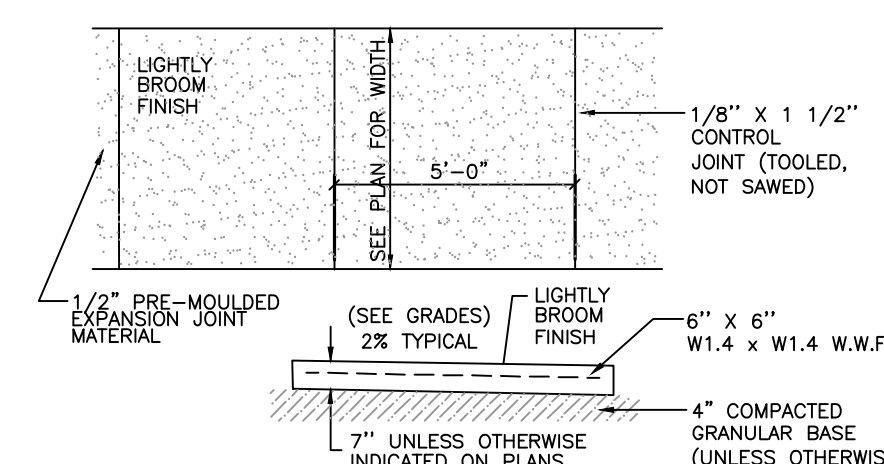
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SHEET
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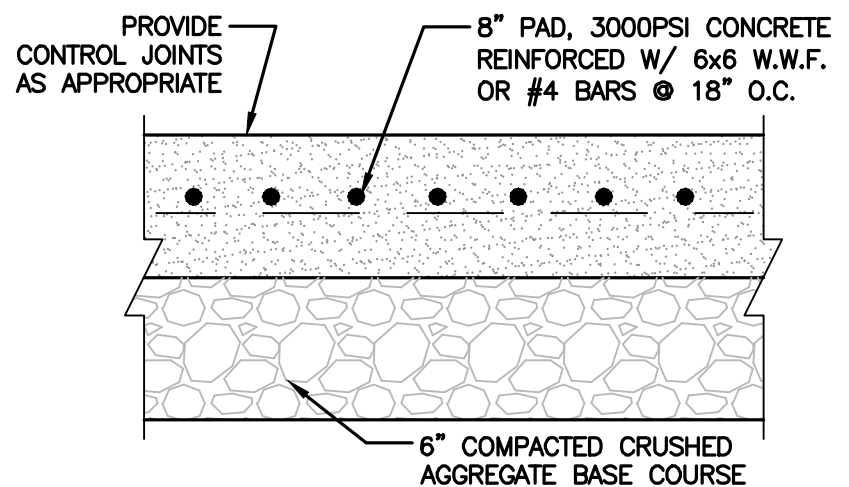
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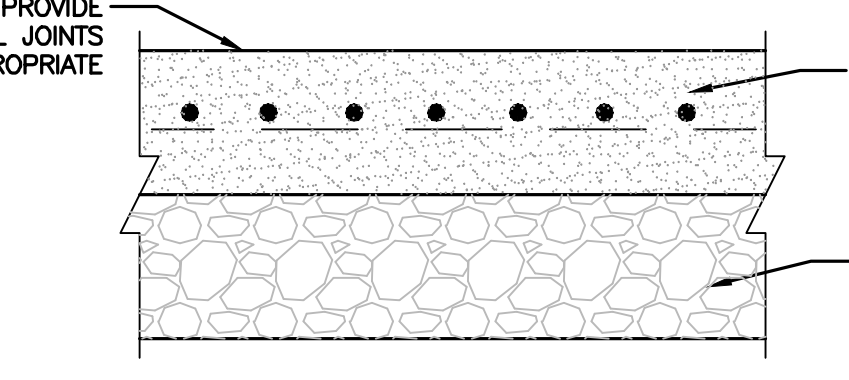
PRIVATE CONCRETE SIDEWALK
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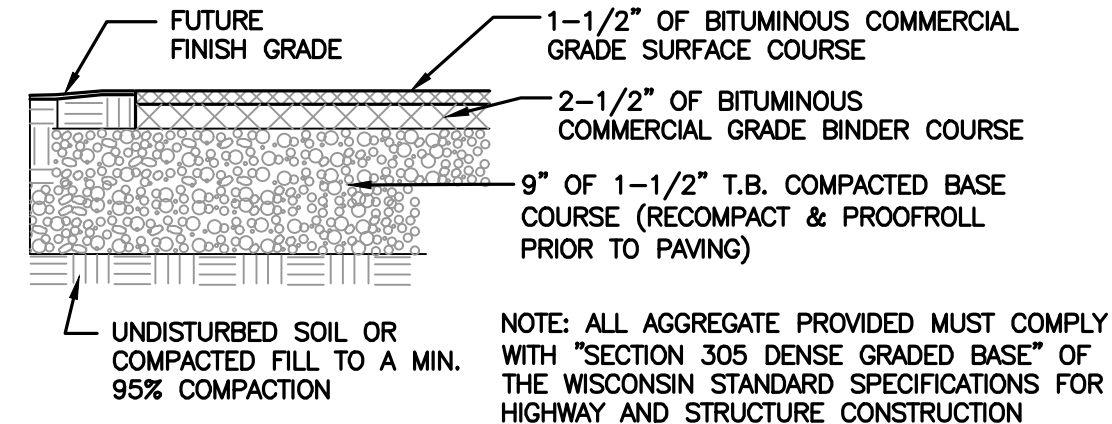
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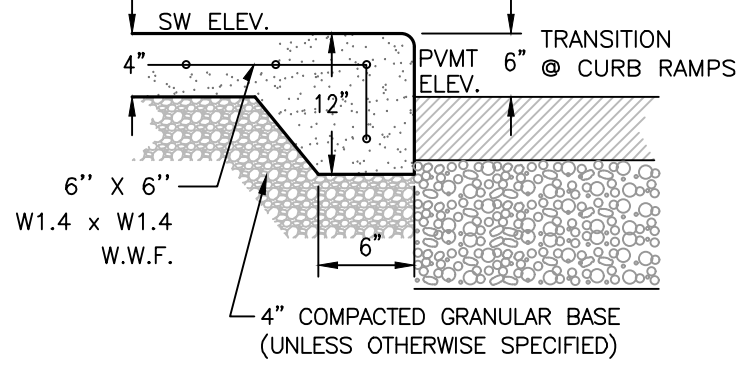
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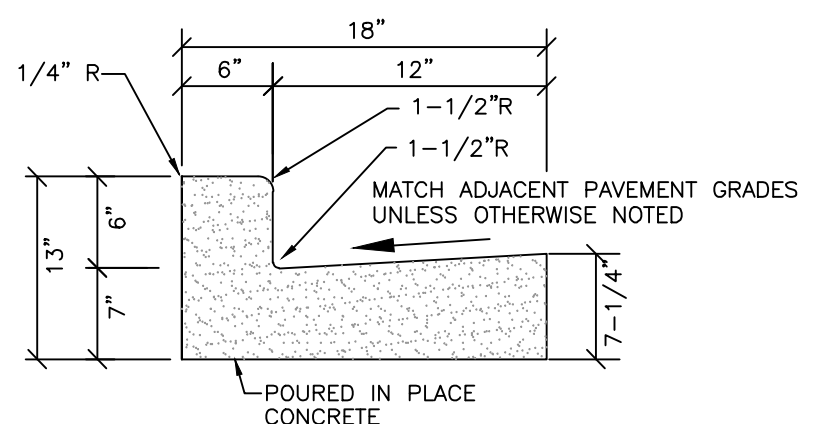
CONCRETE PAVEMENT DETAIL
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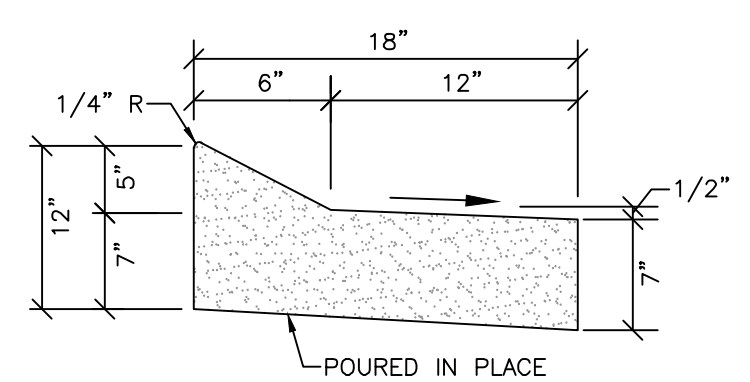
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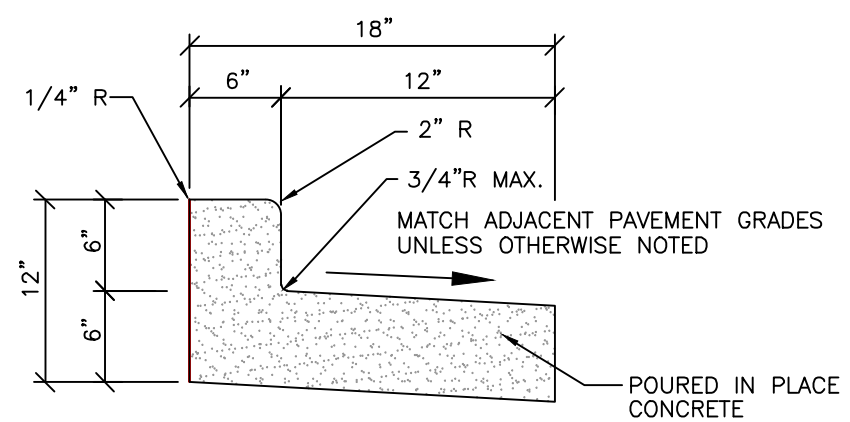
INTEGRAL SIDEWALK & BARRIER CURB
(WHERE SIDEWALK ADJOINS DRIVEWAYS/PARKING AREAS)
NO SCALE



18" CONCRETE CATCH CURB & GUTTER
NO SCALE

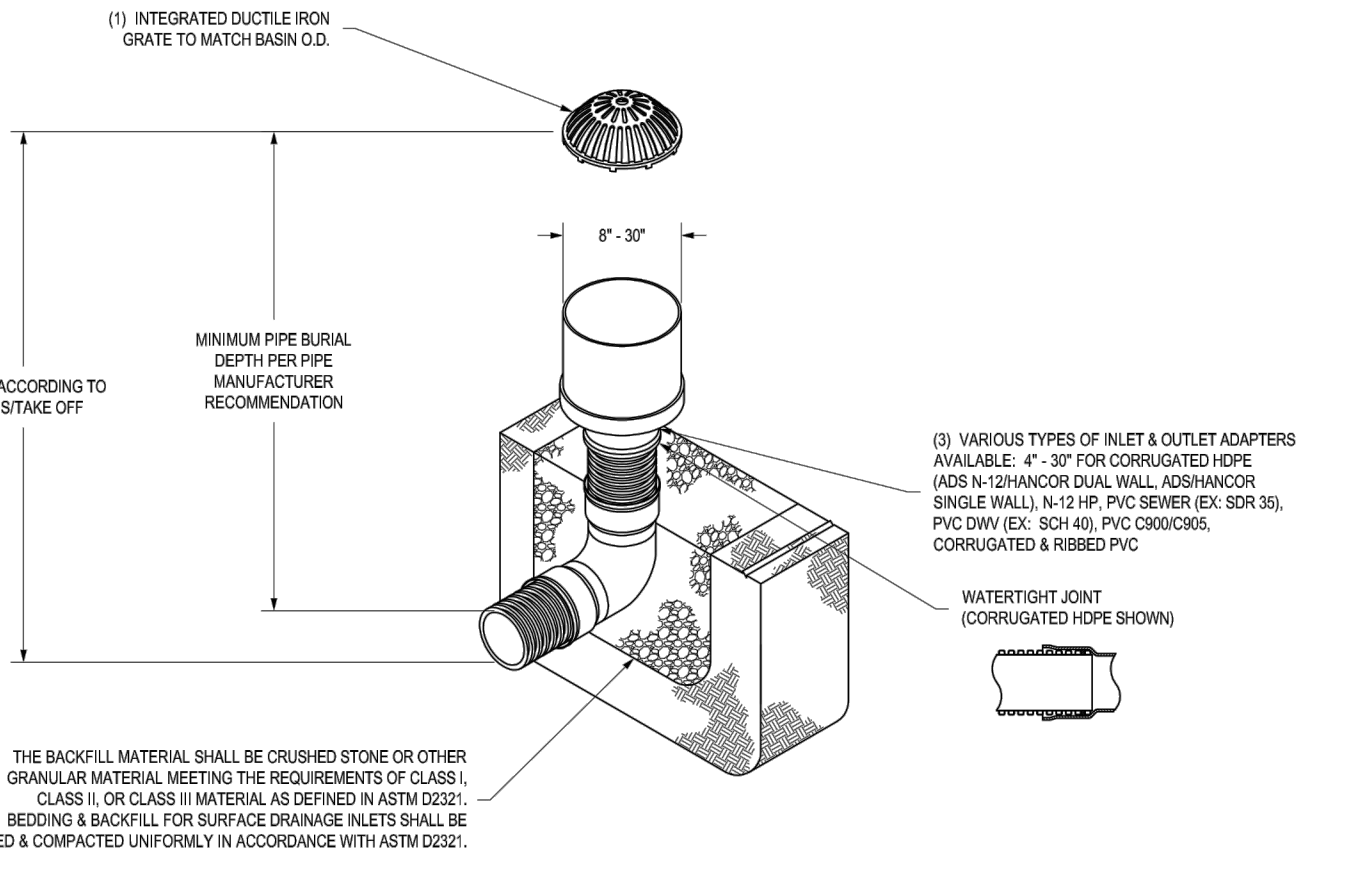


18" REJECT MOUNTABLE CONCRETE CURB DETAIL
NO SCALE



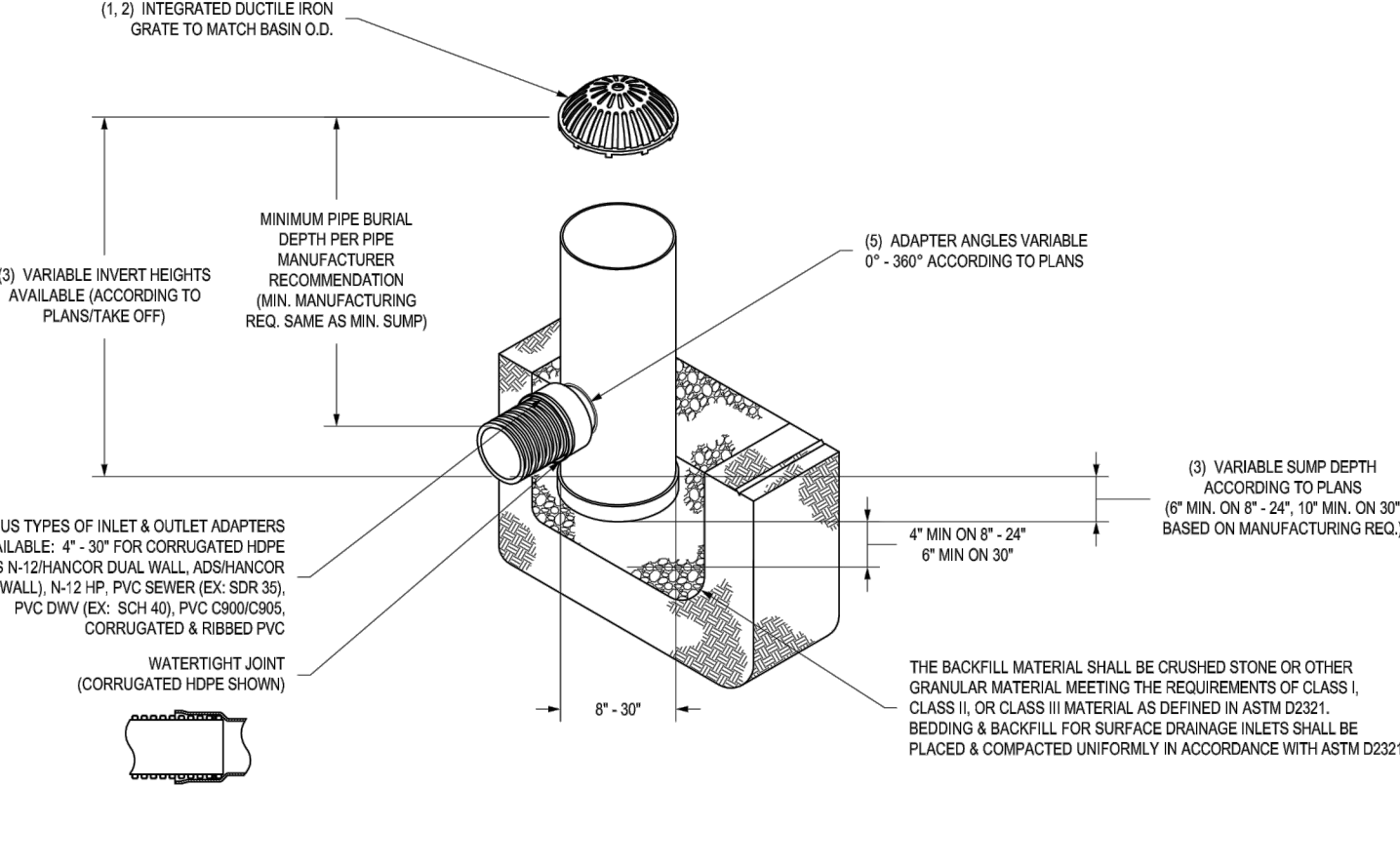
18" REJECT CURB & GUTTER DETAIL
NO SCALE

NYLOPLAST INLINE DRAIN WITH DOME GRATE



1 - 6" x 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE TO 10-50-05.	2 - DRAINAGE CONNECTION STUB JOINT THREATS SHALL CONFORM TO ASTM D3212 FOR JOINTS FOR DRAIN AND SEWER PLASTIC PIPE USING FLEXIBLE ELASTOMERIC SEALS.	3 - 6" x 30" DOME GRATES HAVE LOAD RATING
THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN.	REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.	DATE: 03-15-16
DRAWN BY: ERC	MATERIAL: NYLOPLAST	DATE: 03-25-10
REVISIONS:	PROJECT NO. NAME:	DATE: 03-11-14
DWG SIZE: A	SCALE: 1/4" = 1'-0"	SHEET: 1 OF 1
DWG NO.: 700-110-307	TITLE: NYLOPLAST	REV: D

NYLOPLAST DRAIN BASIN WITH DOME GRATE



1 - 6" x 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE TO 10-50-05.	2 - 6" x 30" DOME GRATES FIT ONTO THE DRAIN BASIN WITH THE USE OF A PVC BOOT TOP. SEE DRAWING NO. 700-110-040.	3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. REVISIONS ARE NEEDED FOR BARRIERS OR DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 700-110-040.	4 - DRAINAGE CONNECTION STUB JOINT THREATS SHALL CONFORM TO ASTM D3212 FOR JOINTS FOR DRAIN AND SEWER PLASTIC PIPE USING FLEXIBLE ELASTOMERIC SEALS.	5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 300° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS. SEE DRAWING NO. 700-110-012.	6 - 6" x 30" DOME GRATES HAVE LOAD RATING
THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN.	REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.	DATE: 03-11-14			
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REVISIONS:	PROJECT NO. NAME:	DATE: 03-11-14			
DWG SIZE: A	SCALE: 1/4" = 1'-0"	SHEET: 1 OF 1			
DWG NO.: 700-110-307	TITLE: NYLOPLAST	REV: D			

Section 2722
Engineered Surface Drainage Products

GENERAL
PVC surface drainage inlets shall be of the inline drain type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

MATERIALS
The inline drain required for this contract shall be manufactured from PVC pipe stock, utilizing a thermo-molding process to reform the pipe stock to the furnished configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D3212 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F477. The pipe bell spigot shall be joined to the inline drain body by use of a swage mechanical joint. The raw material used to manufacture the pipe stock that is used to manufacture the inline drain body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grates furnished for all surface drainage inlets shall be ductile iron grates for sizes 8", 10", 12", 15", 18", 24" and 30" shall be made specifically for each fitting so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for inline drains shall be capable of supporting H-20 wheel loading for traffic areas or H-10 loading for pedestrian areas. 12" and 15" square grates will be hinged to the frame using pins. Metal used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05 for ductile iron. Grates shall be provided painted black.

INSTALLATION
The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1, class 2, or class 3 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For H-20 load rated installations, a concrete ring will be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.

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DRAWN BY: CJA	MATERIAL: NYLOPLAST	DATE: 03-10-00
REVISIONS:	PROJECT NO. NAME:	DATE: 03-11-14
DWG SIZE: A	SCALE: 1/4" = 1'-0"	SHEET: 1 OF 1
DWG NO.: 700-110-400	TITLE: NYLOPLAST	REV: H

Section 2721
Engineered Surface Drainage Products

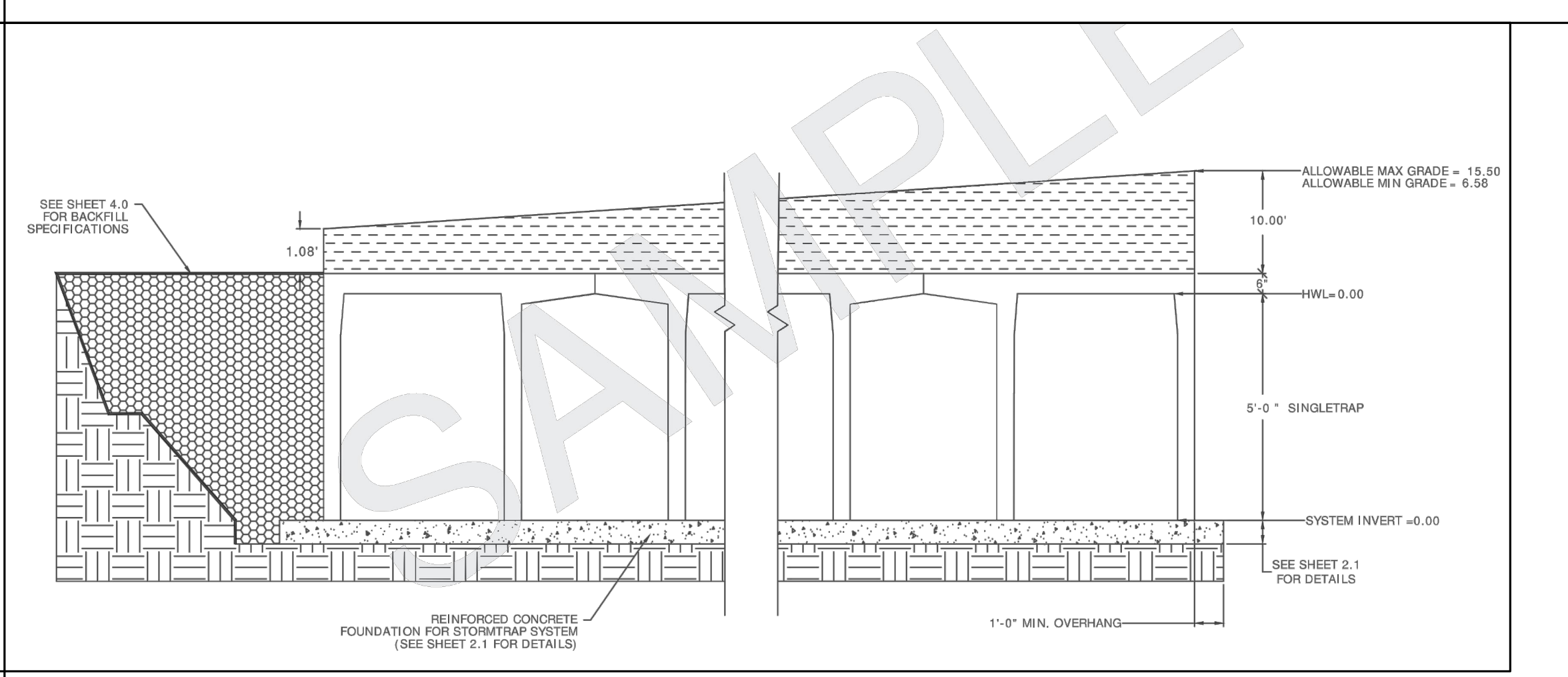
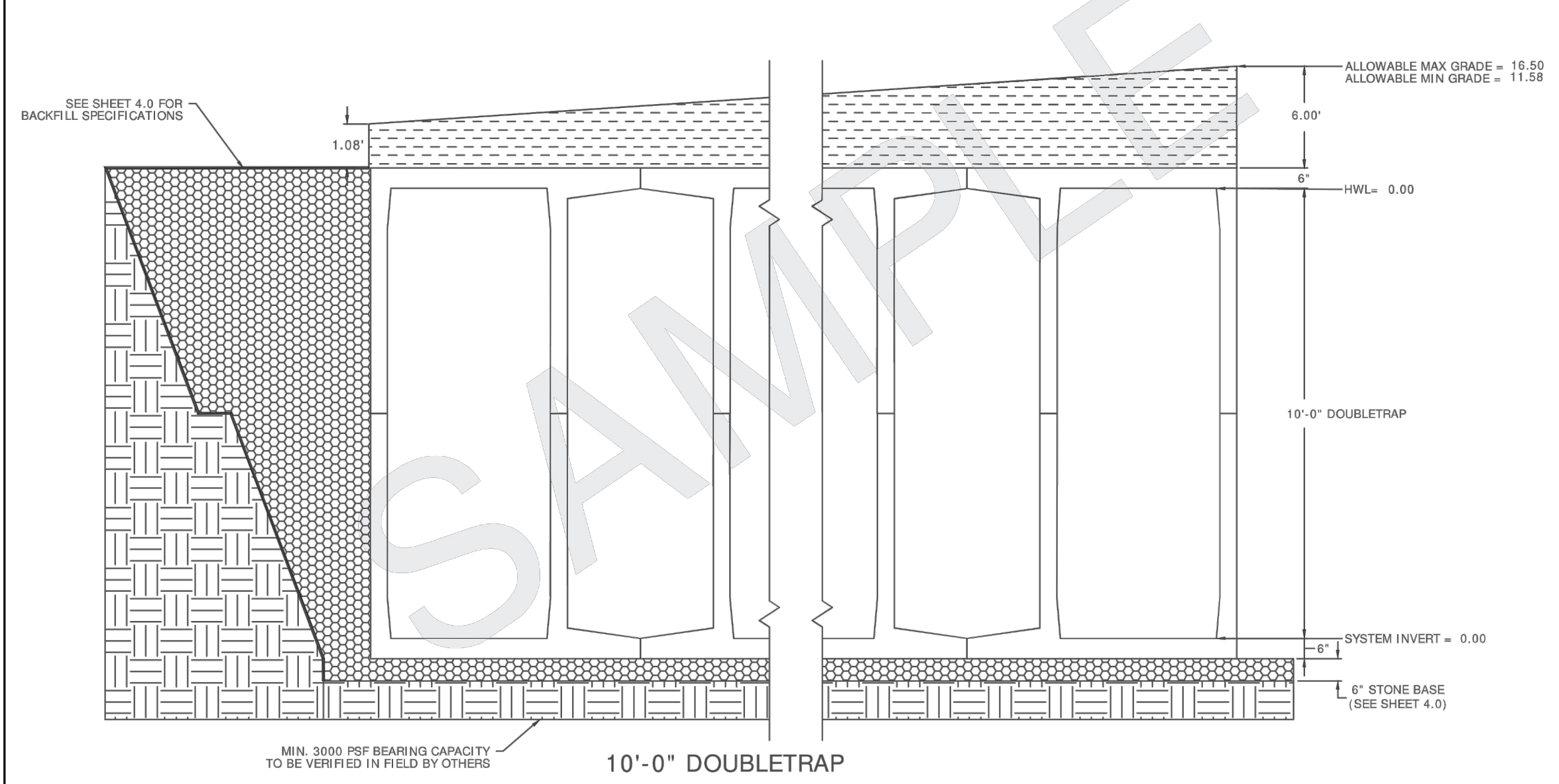
GENERAL
PVC surface drainage inlets shall include the drain basin type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

MATERIALS
The drain basins required for this contract shall be manufactured from PVC pipe stock, utilizing a thermoforming process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D3212 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F477. The pipe bell spigot shall be joined to the main body of the drain basin or catch basin. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grates and frames furnished for all surface drainage inlets shall be ductile iron for sizes 8", 10", 12", 15", 18", 24" and 30" and shall be made specifically for each basin so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for drain basins shall be capable of supporting various wheel loads as specified by Nyloplast. 12" and 15" square grates will be hinged to the frame using pins. Ductile iron used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05. Grates and covers shall be provided painted black.

INSTALLATION
The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1, class 2, or class 3 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For load rated installations, a concrete slab shall be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.

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DRAWN BY: CJA	MATERIAL: NYLOPLAST	DATE: 03-10-00
REVISIONS:	PROJECT NO. NAME:	DATE: 03-11-14
DWG SIZE: A	SCALE: 1/4" = 1'-0"	SHEET: 1 OF 1
DWG NO.: 700-110-011	TITLE: NYLOPLAST	REV: H



PROPOSED STORMTRAP OR APPROVED EQUAL:
THE ABOVE STORMTRAP DETAILS ARE FOR REFERENCE ONLY. ACTUAL DESIGN PLANS SHALL BE REQUESTED FROM THE MANUFACTURE MEETING REQUIRED DESIGN SPECIFICATIONS. THE SINGLE TRAP WILL BE UTILIZED FOR THE LIVE STORAGE AREA, WHILE THE DOUBLE TRAP WILL BE UTILIZED FOR THE PORTION OF THE SYSTEM CONTAINING THE WET POOL.



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PROJECT:
OVERLOOK RIDGE
VILLAGE OF EAST TROY, WISCONSIN
BY: SAWALL DEVELOPMENT
N63W23217 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY	
DATE	DESCRIPTION
08/21/2023	INITIAL SUBMITTAL
09/07/2023	PER VILLAGE COMMENTS
10/24/2023	PRELIM. UTILITY REV.
11/07/2023	DATA TABLE REV.
11/30/2023	BID SET
02/16/2024	SEWERPC SUBMITTAL
03/22/2024	VILLAGE SUBMITTAL

DATE:
MARCH 22, 2024

JOB NUMBER:
21-046-974

DESCRIPTION:
CONSTRUCTION
NOTES AND
DETAILS

SHEET
C5.1