

Date: January 4, 2024

To: Village of East Troy Plan Commission

From: Tim Schwecke, Zoning Administrator

Subject: Final development plan for a proposed planned development district consisting of 145 apartment units located on the south side of Main Street; Sawall Development, applicant

Application: 2023-37; <https://s.zoninghub.com/C1GJTZ5DB4>

Meeting: January 8, 2024 Plan Commission meeting

Description Sawall Development is looking to develop two apartment buildings as a planned development district on about 4.9 acres on the south side of Main Street. The developer has prepared a site plan showing the proposed layout of the buildings along with related parking areas. Each of the proposed buildings are four stories with surface and underground parking.

Procedure for establishing a planned unit development project As described in Village's zoning code there are three steps:

1. Concept review (COMPLETED)
2. General Development plan (GDP) – Plan Commission recommended approval and Village Board to consider the application (2020-05) on January 15, 2024.
3. Final Development Plan (FDP)

At the moment, we are in the third step with the review of the final development plan.

Building elevations The buildings have four-sided architecture with a number of vertical projections and a good mix of building materials (and colors). Each of the units open onto a ground-level patio or a balcony on the upper stories.

Access Two access points on Main Street are proposed. The Director of Public Works has reviewed and approved the locations.

Parking Surface and underground parking is proposed and complies with the required standards.

Stormwater Underground chambers under the parking lot will be used to manage stormwater onsite.

Landscaping and bufferyard A bufferyard with an opacity value of 0.4 must be located along the lot line with the single-family parcel to the west. That bufferyard must be depicted on the landscape plan (minimum width of 35 feet with 349 landscape points per 100 feet).

Fire department access The site plan should be revised to show the fire department (walking) access on the back of the proposed buildings, including the minimum distance from the wall, minimum width and maximum slope (as agreed upon with developer at the staff level). Several sheets depict the turning movements of a WB-50 truck and a typical fire truck.

Outdoor lighting A photometric plan is required.

Tree protection. The developer will need to submit a completed application for review, which is available here.

<https://villageofeastroy.zoninghub.com/highlights/procedures/procedure.aspx?id=920>

Primary environmental corridor The developer is working to define the extent of the primary environmental corridor with Southeastern Wisconsin Regional Planning Commission (SEWRPC).

Signage plan The Plan Commission will review the proposed monument sign and wall signage as a separate action item.

Public notice Aside from being included on a meeting agenda, no other special notice is required.

Role of Plan Commission With regard to a final planned development district, the Plan Commission is authorized to review and make a final decision.

Proposed motion for adoption: Table the review of the final development plan until a later date to allow the developer to finalize the extent of the primary environment corridor and revise plans as may be necessary.

Attachments:

1. Application materials

GENERAL NOTES

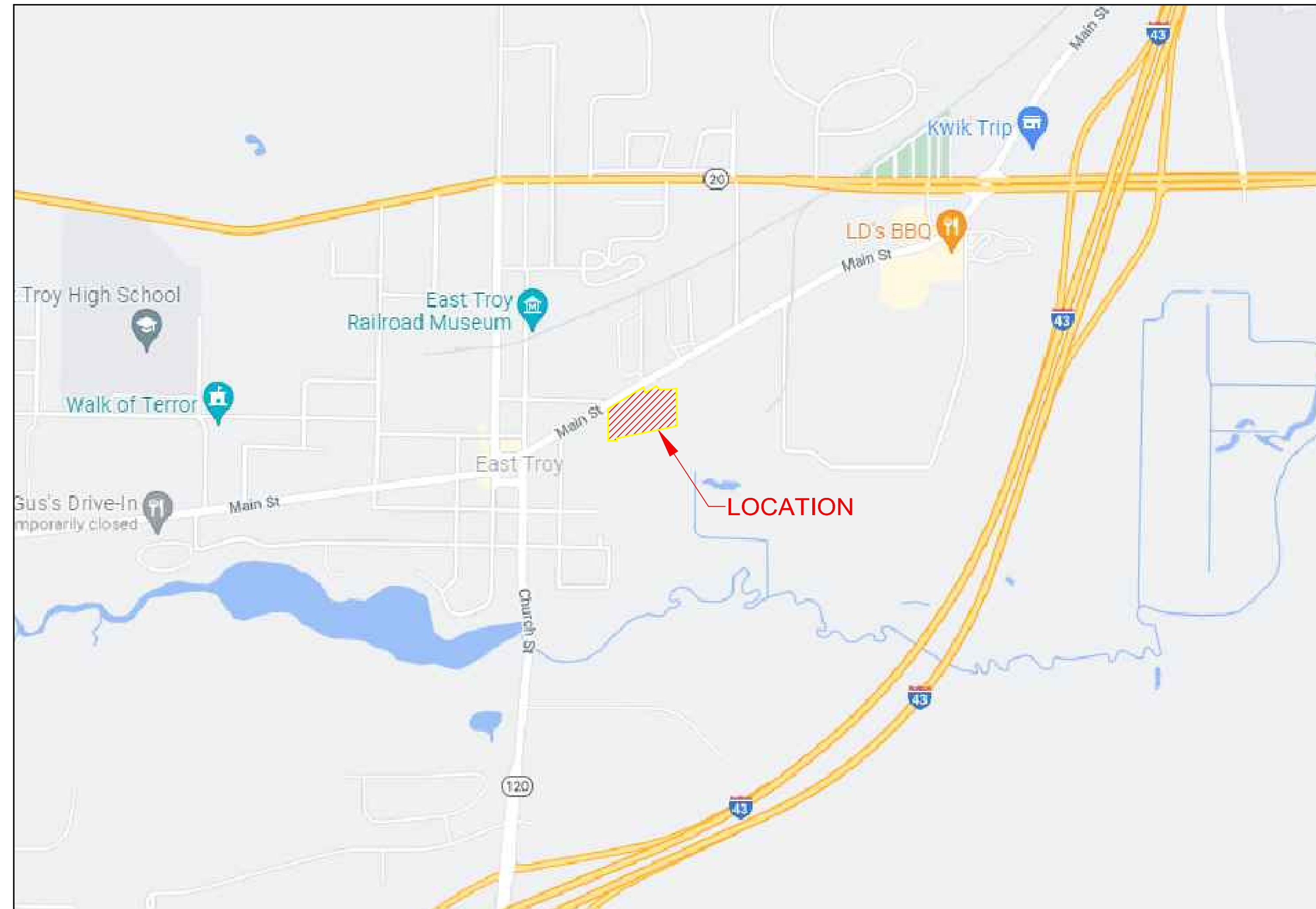
- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - VILLAGE OF DELAFIELD DEVELOPMENT STANDARDS, LATEST EDITION
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY.

OVERLOOK RIDGE SITE DEVELOPMENT PLANS

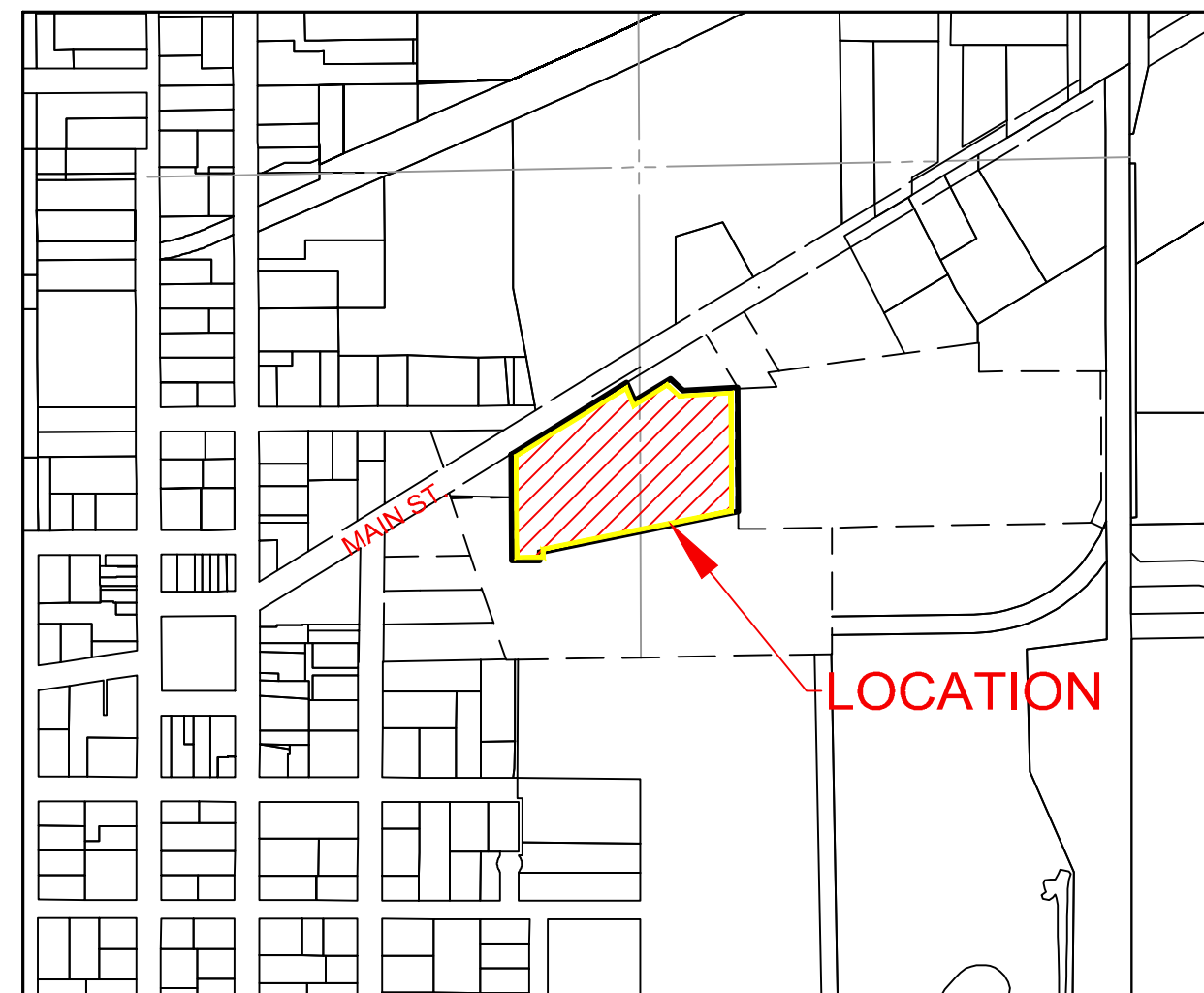
EAST TROY, WISCONSIN



4100 N. CALHOUN RD., SUITE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
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EMAIL: info@trioeng.com



LOCATION MAP
NOT TO SCALE



LOCATION MAP
SCALE: 1"=500'



PROJECT:
OVERLOOK RIDGE
VILLAGE OF EAST TROY, WISCONSIN
BY: SAWALL DEVELOPMENT
N63W23217 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY	
DATE	DESCRIPTION
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10/24/2023	PRELIM. UTILITY REV.
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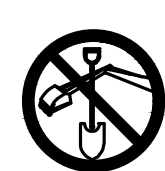
DATE:
NOVEMBER 7, 2023

JOB NUMBER:
21-046-974

DESCRIPTION:
COVER SHEET
SHEET

T1

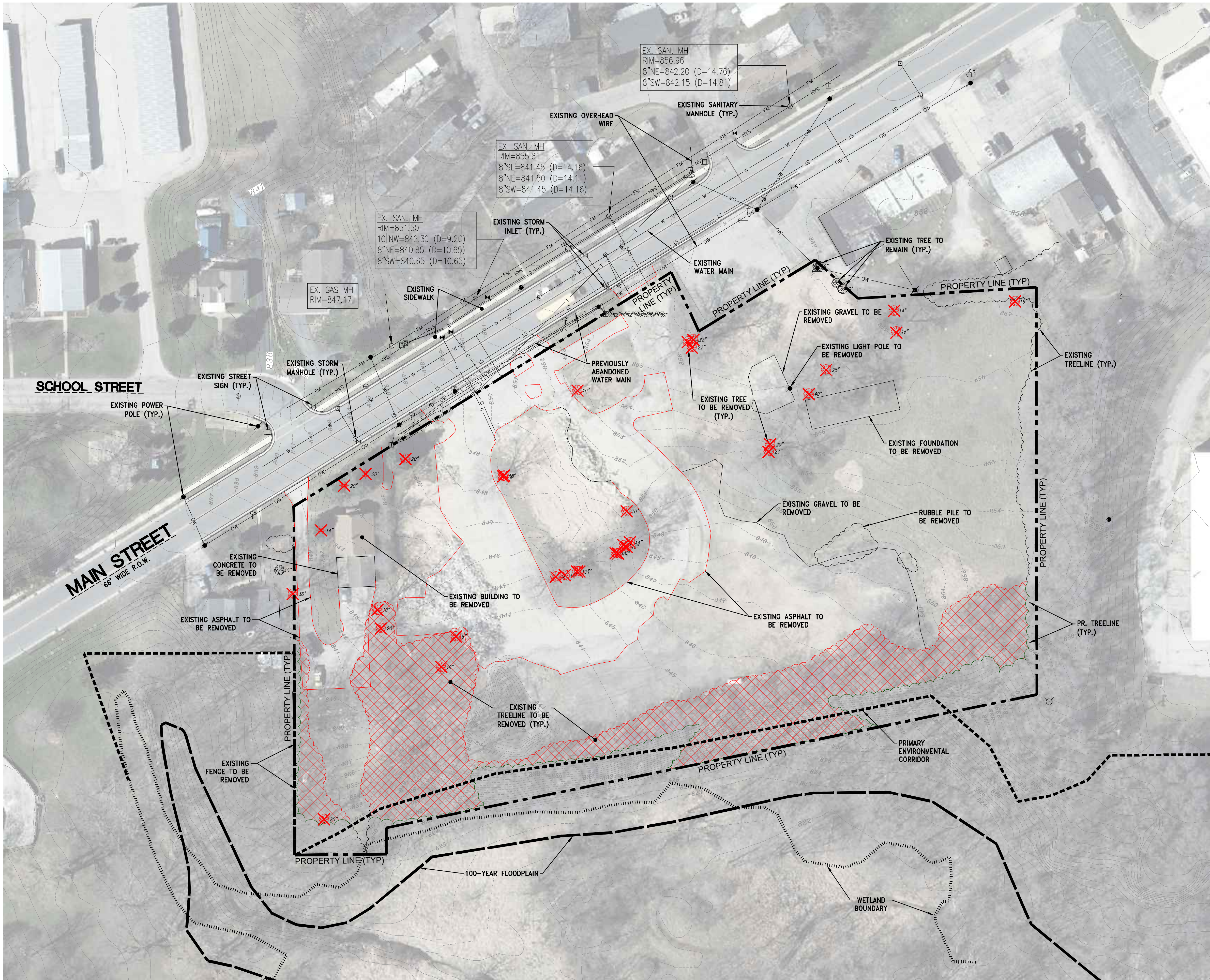
SHEET INDEX	
CIVIL	
T1	- COVER SHEET
C1.0	- EXISTING SITE PLAN
C1.1	- PROPOSED SITE PLAN
C2.0	- GRADING PLAN
C3.0	- EROSION CONTROL PLAN
C4.0	- UTILITY PLAN
C5.0-C5.1	- CONSTRUCTION NOTES AND DETAILS

 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
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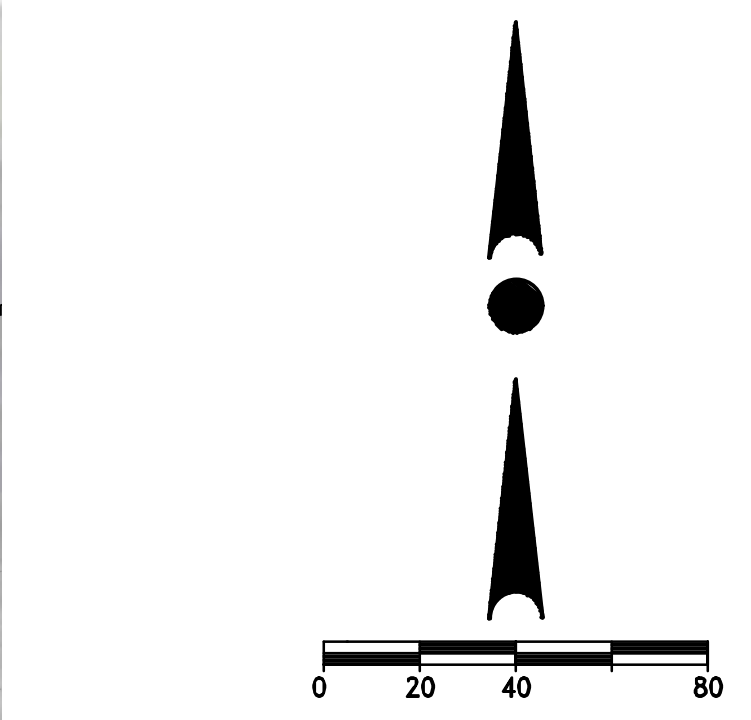
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LEGEND:

- - - 850	- EXISTING CONTOUR
- - - SAN	- EXISTING SANITARY SEWER
○	- EXISTING SANITARY MANHOLE
- - - W	- EXISTING WATER MAIN
⊕	- EXISTING HYDRANT
- - - ST	- EXISTING STORM SEWER
○	- EXISTING STORM MANHOLE
□	- EXISTING STORM INLET
⊠	- EXISTING TRANSFORMER
⊞	- EXISTING ELECTRIC PEDESTAL
⊠	- EXISTING TELEPHONE PEDESTAL
⊠	- EXISTING CATV PEDESTAL
●	- EXISTING POWER POLE



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WISCONSIN
Matthew
 BAILEY
 E-14633
 NASHOTWING
PROFESSIONAL ENGINEER

TRIO
 DESIGN • LAND SURVEYING
 CIVIL ENGINEERING

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PROJECT:
OVERLOOK RIDGE
 VILLAGE OF EAST TROY, WISCONSIN
 BY: SAWALL DEVELOPMENT
 N63W23217 MAIN ST.
 SUSSEX, WI 53089

REVISION HISTORY

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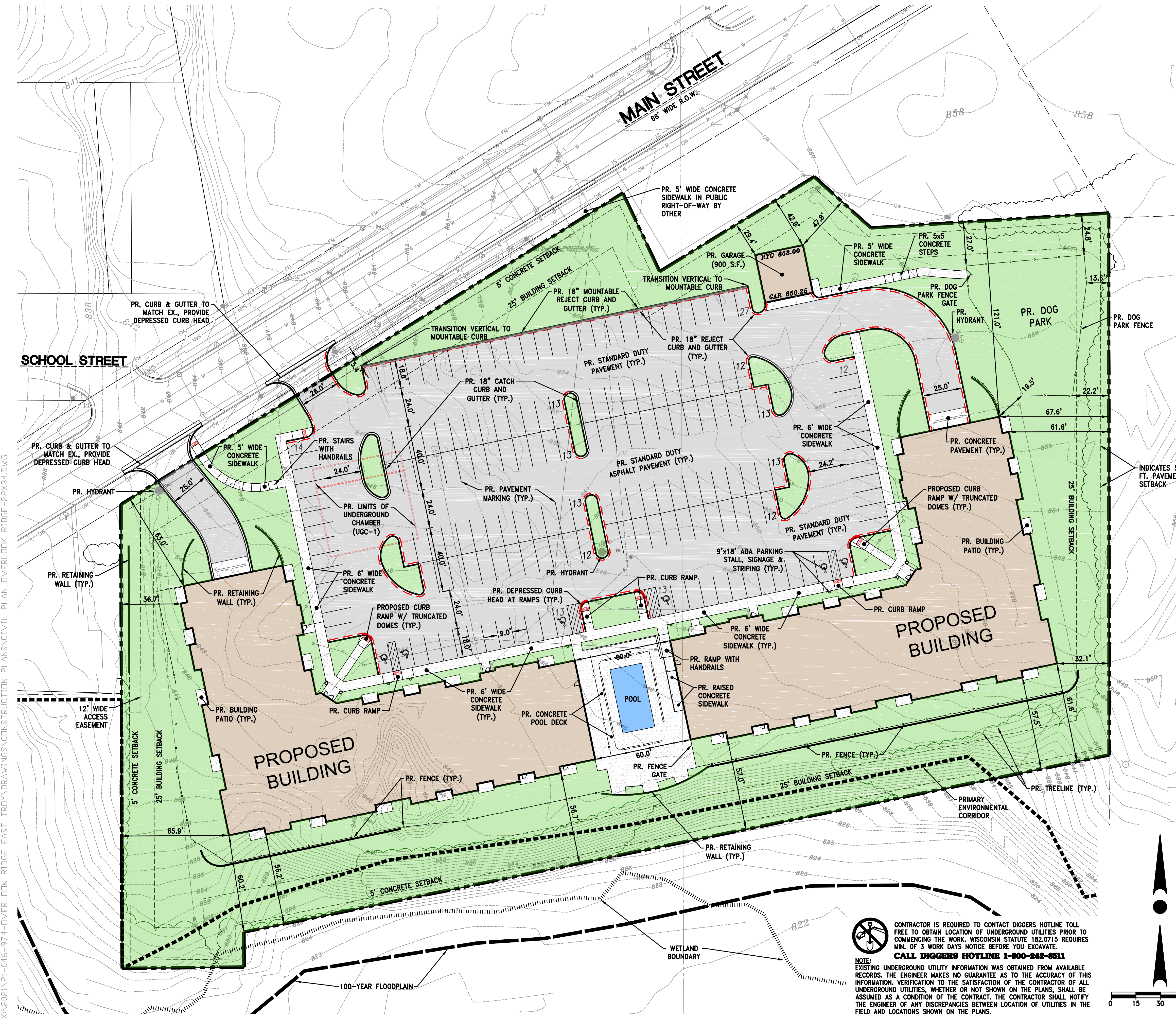
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DESCRIPTION:
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SHEET

C1.0



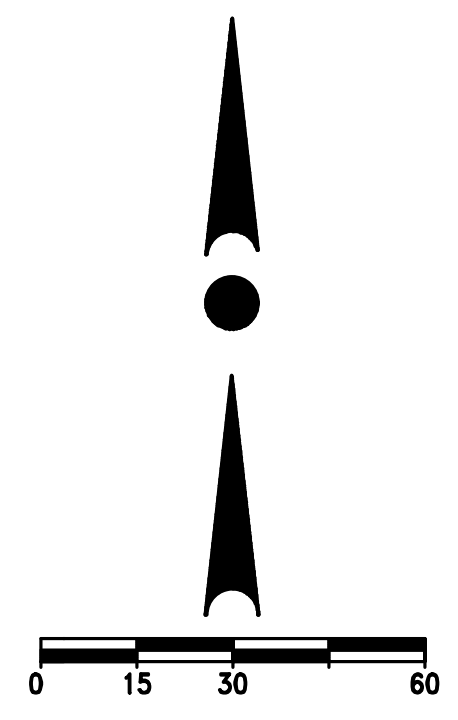
ZONING DATA	
EXISTING:	
HB - Highway Business	177,878 S.F. (4.084 acres)
SR4 - Suburban Residential	36,961 S.F. (0.848 acres)
PROPOSED PUD:	
MR10 - Multifamily Residential (Underlying Zoning)	214,839 S.F. (4.932 acres)
MR10 REQUIREMENTS	
Min Lot Area:	4,356 S.F. Per Unit
Max Density:	10 Units Per Acre
Max Building Coverage:	40% of Lot Area
Max Impervious Coverage:	50% of Lot Area
Max Building Height:	35 ft.
Min Lot Width:	90 ft.
Min Side Setback:	20 ft.
Min Rear Setback:	25 ft.
Min Street Setback:	25 ft.
Min Building Separation:	16 ft.
Min Pavement setback:	5 ft.
Min Accessory Building Setback:	10 ft.
Max Accessory Building Height:	18 ft.
PROPOSED PUD	
Min Lot Area:	1,481.65 S.F. Per Unit (145 Units)
Max Density:	30 Units Per Acre (145 Units)
Max Building Coverage:	40% of Lot Area
Max Impervious Coverage:	58% of Lot Area
Max Building Height:	50 ft.
Min Lot Width:	90 ft.
Min Side Setback:	20 ft.
Min Rear Setback:	25 ft.
Min Street Setback:	25 ft.
Min Building Separation:	16 ft.
Min Pavement setback:	5 ft.
Min Accessory Building Setback:	10.0 ft.
Max Accessory Building Height:	18 ft.
ADDITIONAL LOT DATA:	
FLOOR-AREA-RATIO:	0.20 (43,020 S.F. FLOOR AREA)

SITE DATA	
EXISTING LOT AREA DATA:	
TOTAL LOT AREA:	214,839 S.F. (4.932 Acres)
TOTAL PAVEMENT AREA:	38,133 S.F. (0.875 Acres) 17.75% of Lot
TOTAL BUILDING AREA:	12,977 S.F. (0.298 Acres) 6.04% of Lot
TOTAL GRAVEL AREA:	37,994 S.F. (0.872 Acres) 17.68% of Lot
TOTAL OPEN SPACE AREA:	125,735 S.F. (2.886 Acres) 58.53% of Lot
PROPOSED LOT AREA DATA:	
TOTAL LOT AREA:	214,839 S.F. (4.932 Acres)
TOTAL BUILDING AREA:	43,885 S.F. (1.007 Acres) 20.43% of Lot
TOTAL PAVEMENT AREA:	78,247 S.F. (1.796 Acres) 36.42% of Lot
TOTAL OPEN SPACE AREA:	92,707 S.F. (2.128 Acres) 43.15% of Lot
TOTAL PROPOSED DISTURBED AREA:	199,173 S.F. (4.573 Acres)
PARKING DATA:	
REQUIRED SPACES:	1 Per Unit (145 Total)
PROPOSED SURFACE SPACES:	174 SPACES
PROPOSED SURFACE ADA SPACES:	6 SPACES
PROPOSED COVERED SPACES:	108 SPACES
TOTAL PROPOSED SPACES:	288 SPACES

LEGEND:	
--- 850 ---	EXISTING CONTOUR
---	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
W	EXISTING WATER MAIN
⊙	EXISTING HYDRANT
ST	EXISTING STORM SEWER
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---	PROPOSED STORM INLET
---	PROPOSED STREET END SECTION
---	PROPOSED REJECT CURB & GUTTER

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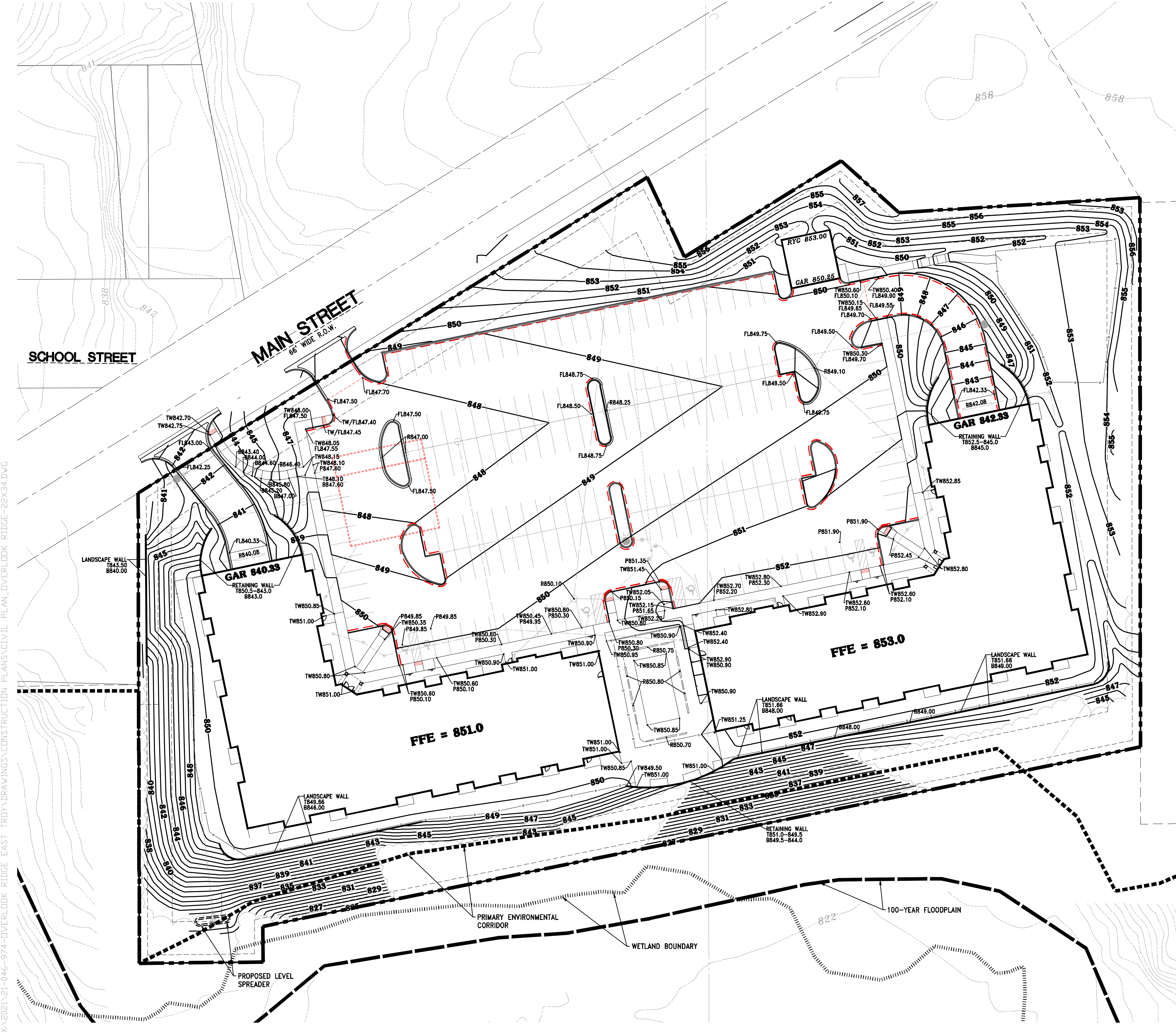
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LEGEND:

- - - - - EXISTING CONTOUR
- — — — — PROPOSED CONTOUR
- P871.20 — PROPOSED SPOT ELEVATION
- PROPOSED FLOW ARROW
- YARD 850.0 - PROPOSED YARD GRADE
- GAR 842.0 - PROPOSED GARAGE GRADE
- FFE 842.0 - FINISHED FLOOR ELEVATION
- PROPOSED OVERLAND FLOW ROUTE

"AMERICANS WITH DISABILITIES ACT" (ADA) MINIMAL REQUIREMENTS:

1. GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION.
2. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE PER CODE IS 36".
3. ALL PROPOSED SIDEWALKS SHALL HAVE A MAXIMUM OF 2.0% CROSS SLOPE AND A MAXIMUM OF 5.0% RUNNING SLOPE.
4. THE GENERAL CONTRACTOR/CONTRACTOR SHALL MEASURE THE SUBGRADE AND ACROSS FORMS PRIOR TO INSTALLATION OF ASPHALT OR CONCRETE IMPROVEMENTS TO ASSURE THE FINAL IMPROVEMENTS WILL MEET THESE MINIMAL ADA REQUIREMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE CIVIL ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.

RAMP:

5. AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 (5.00%) IS A RAMP AND SHALL COMPLY WITH THE RAMP REQUIREMENTS.
6. AN ACCESSIBLE ROUTE MAY CROSS OPEN PAVEMENT OR FOLLOW A RAMP AS REQUIRED BY SITE-SPECIFIC CONDITIONS. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE ACROSS OPEN PAVEMENT MUST NOT EXCEED 1:20 (5.00%), WITH A CROSS SLOPE NOT EXCEEDING 1:50 (2.00%). SLOPES EXCEEDING 1:20 (5.00%), BUT LESS THAN 1:12 (8.33%), CONSTITUTE RAMP DESIGN (HANDRAILS, CURBS, LANDINGS, RISE AND RUN LIMITS, ETC.) AS DETAILED ON THE CIVIL AND ARCHITECTURAL PLANS. NO RAMP SHALL HAVE A RUNNING SLOPE EXCEEDING 1:12 (8.33%), NOR HAVE A CROSS SLOPE EXCEEDING 1:50 (2.00%).

CURB RAMP:

7. A CURB RAMP SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB.
8. CURB RAMP HAVE A MAXIMUM RISE OF 6", MAXIMUM SLOPE OF 1:12 (8.33%) AND DO NOT REQUIRE HANDRAILS.
9. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS, OR GUARDRAILS, IT SHALL HAVE FLARED SIDES; THE MAXIMUM SLOPE OF THE FLARE SHALL BE 1:12 (8.33%).

GRADING PLAN NOTES:

1. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED USING INTERPOLATED EXISTING SURVEY GRADES. CONTRACTOR SHALL VERIFY ALL EXISTING MATCH GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES. IF DISCREPANCIES ARE PRESENT CONTRACTOR SHALL REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES UNLESS CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.

GRADE SPOT SHOT NOTE:

1. SPOT GRADE PREFIX REPRESENT THE SURFACE ELEVATION AT A SPECIFIC POINT. EACH ARE DEFINED AS FOLLOW: TOP OF CURB (TC), TOP OF SIDEWALK (TW), PAVEMENT (P), CURB & GUTTER FLANGE GRADE (FL) AND GROUND (G).
2. SPOT GRADE SUFFIX REPRESENTS DEFINES THE NATURE OF THE SPOT GRADE. EACH ARE DEFINED AS FOLLOW: HIGH POINT (HP) AND LOW POINT (LP).



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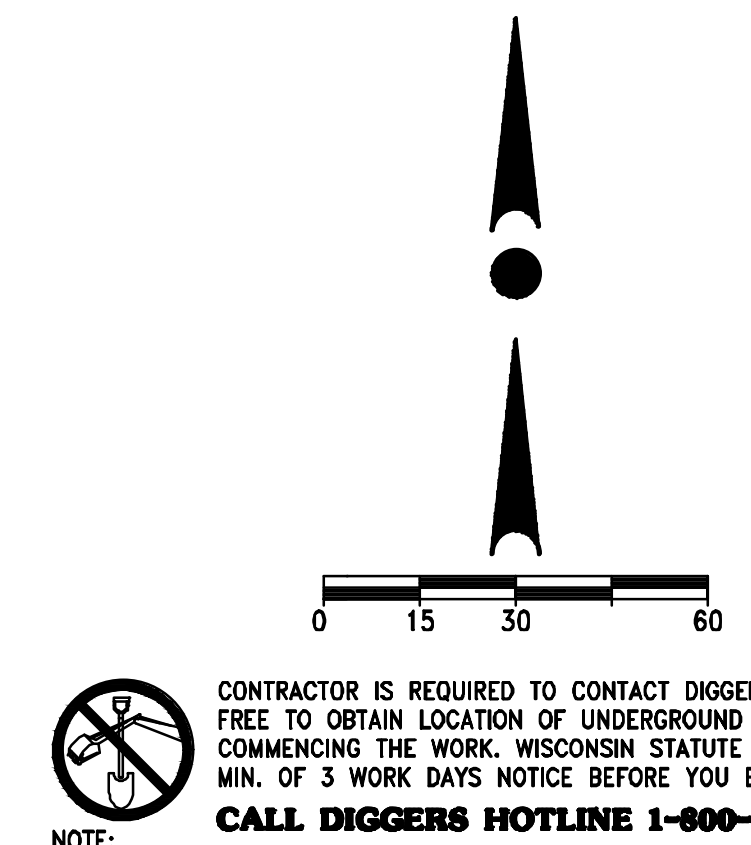
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LEGEND:

---	EXISTING CONTOUR
- - - -	EXISTING SANITARY SEWER
---	EXISTING WATER MAIN
- - - -	EXISTING STORM SEWER
---	PROPOSED SANITARY SEWER (PRIVATE)
---	PROPOSED SANITARY SEWER (PUBLIC)
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○	PROPOSED STORM MANHOLE
---	PROPOSED STORM INLET
---	PROPOSED STORM END SECTION

STORM SEWER NOTES

- UNLESS OTHERWISE NOTED, ALL PRIVATE STORM SEWER SHALL BE HIGH DENSITY POLYETHYLENE (HDPE), SMOOTH-WALL INTERIOR, CORRUGATED STORM SEWER PIPE. PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL, WITH WATER TIGHT JOINTS, HAVING A MANNING "N" VALUE OF 0.012, OR EQUAL.
- ALL PVC STORM SEWER PIPE SHALL BE ASTM D-3034, SDR 35, SCHEDULE 40 PIPE SHALL BE INSTALLED FOR ALL PIPE WITHIN THE PROPOSED BUILDING FOOTPRINT, PER MANUFACTURER SPECIFICATIONS.
- ALL STORM SEWER WITHIN ROCK POINTE WAY, SHALL BE R.C.P. MEETING SECTION 8.6.0 (SSSWCW) AND BE RUBBER GASKETED MEETING THE REQUIREMENTS SET FORTH IN WWSW CHAPTER 6.6.0.
- CONNECT TO BUILDING STORM SEWER CONVEYANCE PIPING PER SPS 382 SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR TO ADJUST STORM SEWER RIMS TO PROPOSED GRADES.

SANITARY SEWER NOTES

SANITARY SEWER

- ALL 8" PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.10.0 (SSSWCW).
- ALL SANITARY MANHOLES SHALL BE 48" DIA. WITH A NEEHAH R-1661 FRAME AND SELF-SEALING LID (NON LOCKING TYPE) WITH NO VENT HOLES AND MEET THE REQUIREMENTS SET FORTH IN SSSWCW.
- SDR-35 PVC PIPE SHALL BE USED FOR SANITARY SEWERS LESS THAN 16 FEET DEEP. C-900 PVC PRESSURE PIPE SHALL BE USED FOR SANITARY SEWERS DEEPER THAN 16 FEET.
- ALL SANITARY SEWER LATERALS SHALL BE 6" DIA. SDR-35 PVC & MADE OF GASKETED PVC FITTINGS MEETING ASTM D-3034.

TRACER WIRE NOTE

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10-GAUGE SOLID GREEN INSULATED COPPER WIRE, PER LANNON STANDARD SPECIFICATION SECTION 1.2.21. PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

WATER MAIN NOTES

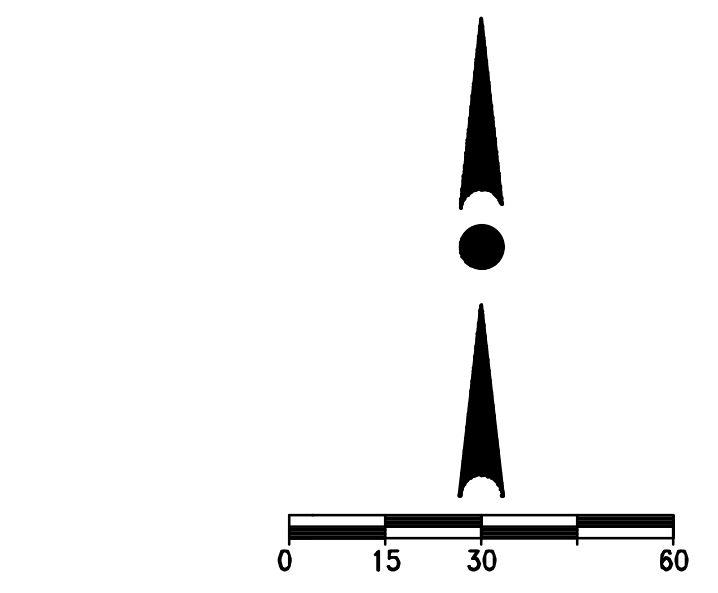
WATERMAIN

- ALL 6" & 8" WATERMAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC, C-900, CLASS 150 (DR-18). JOINTS SHALL BE MADE BY THE USE OF ELASTOMERIC SEAL CONFORMING TO ASTM D3159.
- HYDRANTS SHALL BE SET AT 2 FT. BEHIND THE BACK OF CURB, WITH THE NOZZLE ELEVATION 20 INCHES ABOVE TOP OF CURB. SEE LANNON DETAIL DRAWING 01-975-65A FOR FURTHER GUIDANCE.
- ANCHOR TEES SHALL BE USED FOR EACH HYDRANT BRANCH.
- ALL WATERMANS (AND SERVICES) CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDING AS SPECIFIED IN CH. 4.3.0, LAYING OF WATERMAIN, AND FILE NO. 36, PART VII (SSSWCW).
- REFER TO THE VILLAGE OF LANNON STANDARD SPECIFICATIONS, AUGUST 2019 AND STANDARD DETAIL DRAWINGS FOR FURTHER GUIDANCE.

TRACER WIRE NOTE

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10-GAUGE SOLID BLUE INSULATED COPPER WIRE, PER LANNON STANDARD SPECIFICATION SECTION 1.2.21. PLASTIC WIRE MAY BE TAPED TO PLASTIC PIPE. THE TRACER SHALL BE SECURED AT A MINIMUM OF 5-FOOT INTERVALS, PER LANNON STANDARD SPECIFICATION SECTION 1.2.21.

UTILITY NOTE:
EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. ACTUAL LOCATION OF EXISTING UTILITIES IN CLOSE PROXIMITY TO PROPOSED UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO INSTALLATION OF PROPOSED UTILITY. IF CONFLICTS ARE ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO INSTALLING PROPOSED UTILITIES.



NOTE:
CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. **CALL DIGGERS HOTLINE 1-800-242-8511**

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



4100 N. CALHOUN RD., SUITE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: info@trioeng.com

PROJECT:
OVERLOOK RIDGE
VILLAGE OF EAST TROY, WISCONSIN
BY: SAWALL DEVELOPMENT
N63W23217 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY

DATE	DESCRIPTION
08/21/2023	INITIAL SUBMITTAL
09/07/2023	PER VILLAGE COMMENTS
10/24/2023	PRELIM. UTILITY REV.
11/07/2023	DATA TABLE REV.

DATE:
NOVEMBER 7, 2023

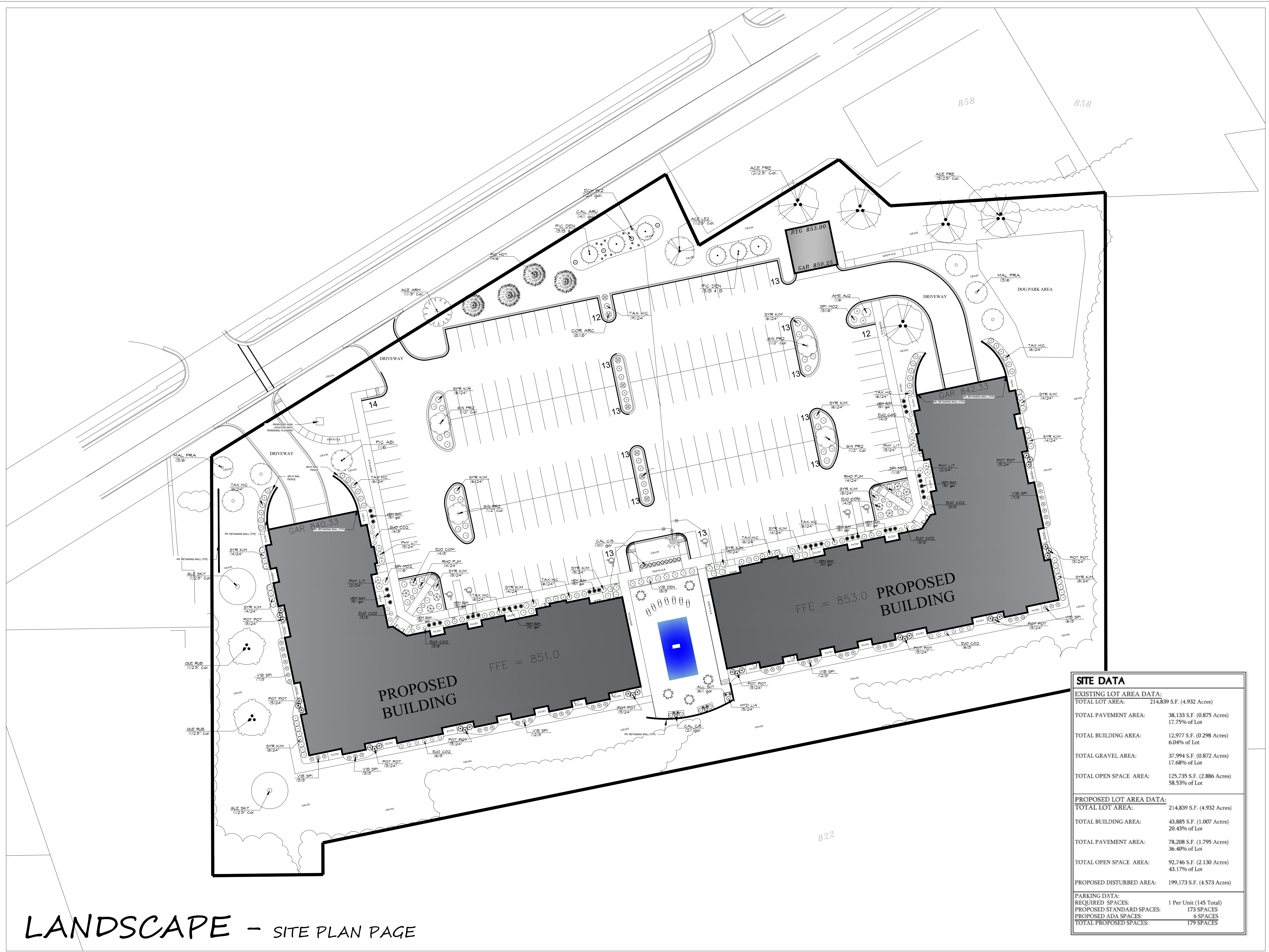
JOB NUMBER:
21-046-974

DESCRIPTION:
UTILITY PLAN

SHEET

C4.0

X:\2021\21-046-974-OVERLOOK RIDGE EAST TROY DRAWINGS\CONSTRUCTION PLANS\CIVIL PLAN_OVERLOOK RIDGE-22X34.DWG



LANDSCAPE - SITE PLAN PAGE

SITE DATA	
EXISTING LOT AREA DATA:	
TOTAL LOT AREA:	214,839 S.F. (4.932 Acres)
TOTAL PAVEMENT AREA:	38,133 S.F. (0.875 Acres) 17.75% of Lot
TOTAL BUILDING AREA:	12,977 S.F. (0.298 Acres) 6.04% of Lot
TOTAL GRAVEL AREA:	37,994 S.F. (0.872 Acres) 17.68% of Lot
TOTAL OPEN SPACE AREA:	125,735 S.F. (2.886 Acres) 58.53% of Lot
PROPOSED LOT AREA DATA:	
TOTAL LOT AREA:	214,839 S.F. (4.932 Acres)
TOTAL BUILDING AREA:	43,885 S.F. (1.007 Acres) 20.43% of Lot
TOTAL PAVEMENT AREA:	78,208 S.F. (1.795 Acres) 36.40% of Lot
TOTAL OPEN SPACE AREA:	92,746 S.F. (2.130 Acres) 43.17% of Lot
TOTAL PROPOSED DISTURBED AREA:	199,173 S.F. (4.573 Acres)
PARKING DATA:	
REQUIRED SPACES:	1 Per Unit (145 Total)
PROPOSED STANDARD SPACES:	173 SPACES
PROPOSED ADA SPACES:	6 SPACES
TOTAL PROPOSED SPACES:	179 SPACES

General Notes

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

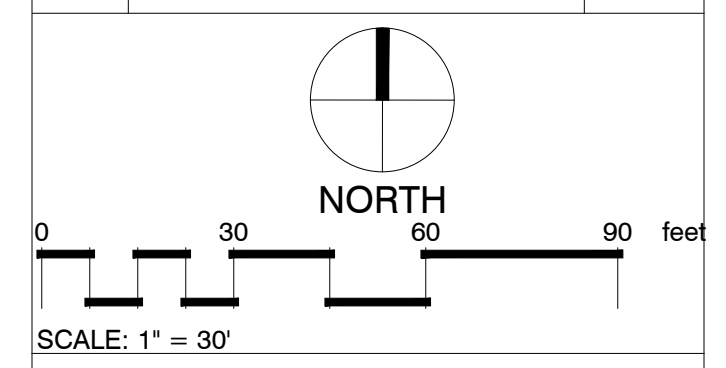
Reesman's
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Outdoor design build specialists

Division of
THE REESMAN
 COMPANY

28815 Bushnell Road
 Burlington, WI 53105
 Phone 262.342.1425
 Fax 262.539.2665
 www.reesmans.com

Drawn by: DKMETZ
 Checked by:
 Approval Date:
 Owner Approval Initials:

No.	Revision/Issue	Date
1	LANDSCAPE	9/5/23
2	LANDSCAPE	11/10/23



**OVERLOOK RIDGE
 EAST TROY
 WISCONSIN**

Project LANDSCAPE	Sheet
Date 8/25/23	L-100
Scale 1"=30'	

PLANT SCHEDULE WHOLE LANDSCAPE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
TREES						
	ACE FRE	Acer freemanii 'Jeffersred'™	Autumn Blaze Maple	2.5' Cal.	B&B	5
	ACE ARM	Acer rubrum 'Armstrong'	Armstrong Red Maple	1.5' Cal.	B&B	1
	ACE LE2	Acer saccharum 'Legacy'	Legacy Sugar Maple	2.5' Cal.	B&B	1
	AME AU2	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6'	B&B	1
	GIN PR2	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2' Cal	B&B	4
	GLE SKY	Gleditsia triacanthos 'Skyline'	Skyline Honey Locust	2.5' Cal	B&B	2
	MAL PRA	Malus x 'Prairifire'	Prairifire Crab Apple	6'	B&B	6
	QUE RUB	Quercus rubra	Red Oak	2.5' Cal	B&B	2
CONIFERS						
	PIC ABI	Picea abies	Norway Spruce	6'	B&B	1
	PIC DEN	Picea glauca 'Densata'	Black Hills Spruce	B & B	B&B	6
	PIC HO7	Picea pungens 'Hoopsii'	Hoopsii Blue Spruce	6'	B&B	4
SHRUBS						
	COR ARC	Cornus sanguinea 'Arctic Sun'™	Blood-Twig Dogwood	18"	Pot	8
	EVO CO2	Euonymus alatus 'Compactus'	Compact Burning Bush	3'	B&B	32
	EVO COM	Euonymus alatus 'Compactus'	Compact Burning Bush	3'	B&B	8
	HYD L14	Hydrangea paniculata 'LimeLight'™	LimeLight Hydrangeas	24"	Pot	5
	PHY LIT	Physocarpus opulifolius 'Little Devil'™	Dwarf Ninebark	24"	Pot	10
	POT POT	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	24"	Pot	30
	RHO FJM	Rhododendron azalea 'FJM'	Azalea	24"	Pot	8
	SPI MO2	Spiraea x bumalda 'Goldmound'	Gold Mound Spirea	18"	Pot	5
	SYR KIM	Syringa pubescens 'Miss Kim'	Miss Kim Korean Lilac	24"	B&B	90
	TAX HIC	Taxus x media 'Hicksii'	Hicks Yew	24"	B&B	57
	VIB SPI	Viburnum carlesii 'Spice Island'	Korean Spice Viburnum	3'	B&B	50
	VIB DEN	Viburnum dentatum 'Arrowwood'	Arrowwood-Viburnum	3'	B&B	8
ANNUALS/PERENNIALS						
	ALL SU7	Allium x 'Summer Beauty'	Summer Beauty Allium	1 gal	Pot	6
	ECH W12	Echinacea purpurea 'PowWow Wild Berry'	PowWow Wild Berry Coneflower	1 gal.	Pot	12
	HEM SUM	Hemerocallis x 'Summer Wine'	Daylily	1 gal	Pot	37
GRASSES						
	CAL ARU	Calamagrostis arundinacea 'Karl Foerster'	Karl Foerster Grass	1 gal	Pot	4
	CAL C15	Calamagrostis arundinacea 'Karl Foerster'	Karl Foerster Grass	1 gal	Pot	12



LANDSCAPE - WEST PLAN PAGE

General Notes

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

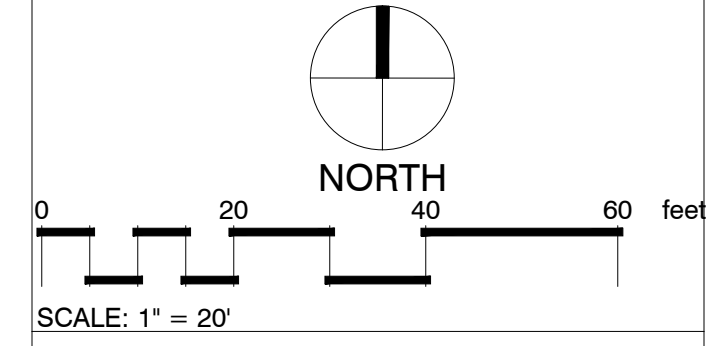
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 Outdoor design build specialists

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28815 Bushnell Road
 Burlington, WI 53105

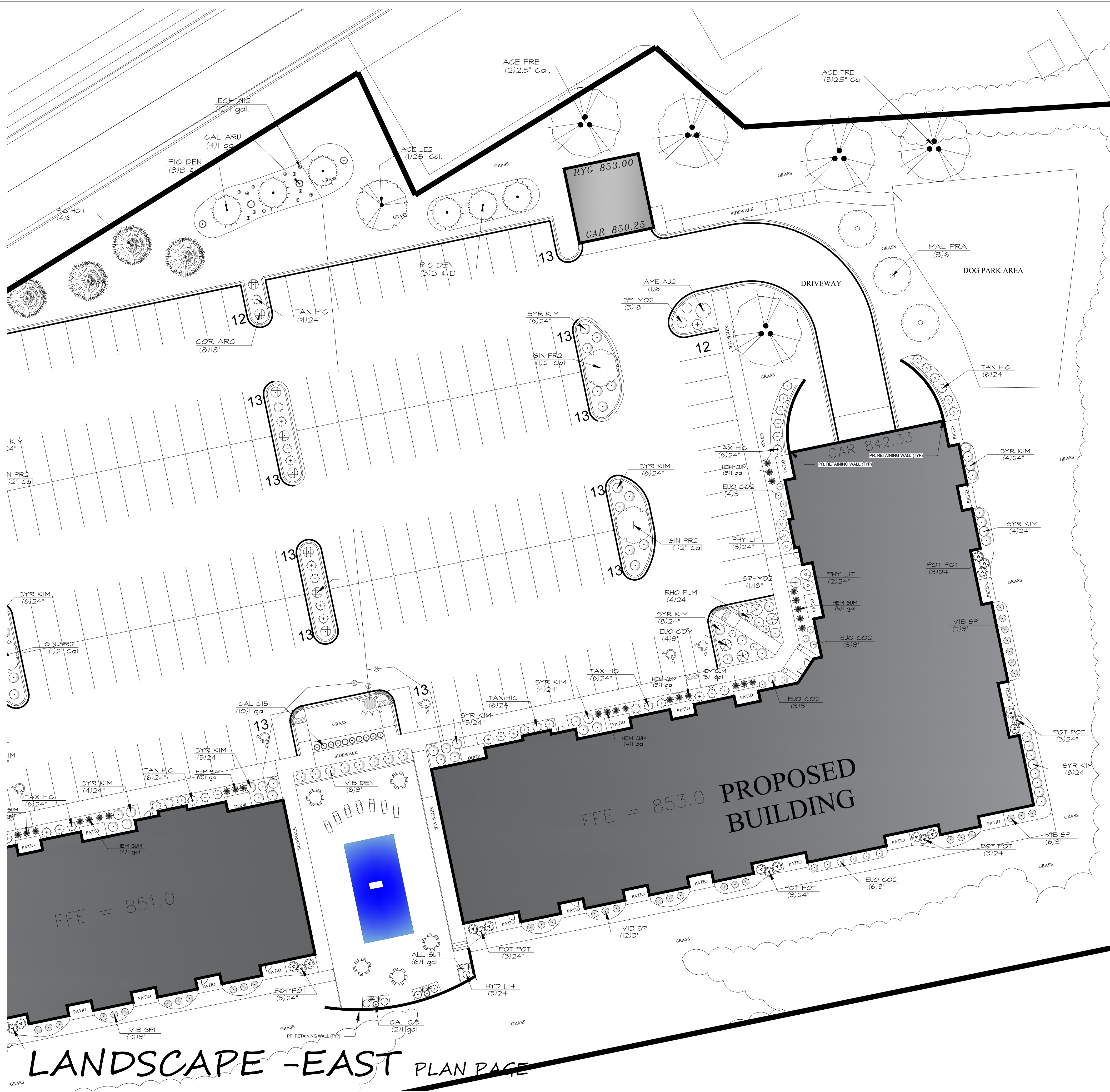
Phone 262.342.1425
 Fax 262.539.2665
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Drawn by:	DKMETZ	
Checked by:		
Approval Date:		
Owner Approval Initials:		
No.	Revision/Issue	Date
1	LANDSCAPE	9/5/23
2	LANDSCAPE	11/10/23



OVERLOOK RIDGE
 EAST TROY
 WISCONSIN

Project	LANDSCAPE	Sheet	
Date	8/25/23		L-100.1
Scale	1"=20'		



LANDSCAPE - EAST PLAN PAGE

PLANT SCHEDULE WHOLE LANDSCAPE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
TREES						
(Symbol)	ACE FRE	Acer freemanii 'Jefferson' TM	Autumn Blaze Maple	2.5' Cal.	B&B	5
(Symbol)	ACE ARM	Acer rubrum 'Armstrong'	Armstrong Red Maple	1.5' Cal.	B&B	1
(Symbol)	ACE LE2	Acer saccharum 'Legacy'	Legacy Sugar Maple	2.0' Cal.	B&B	1
(Symbol)	AME AU2	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6'	B&B	1
(Symbol)	GIN PR2	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2' Cal	B&B	4
(Symbol)	GLE SKY	Gleditsia tracanthos 'Skyline'	Skyline Honey Locust	2.5' Cal	B&B	2
(Symbol)	MAL FRA	Malus x 'Prairie Fire'	Prairie Fire Crab Apple	6'	B&B	6
(Symbol)	QUE RUB	Quercus rubra	Red Oak	2.5' Cal	B&B	2
CONIFERS						
(Symbol)	PIC ABI	Picea abies	Norway Spruce	6'	B&B	1
(Symbol)	PIC DEN	Picea glauca 'Demain'	Black Hills Spruce	B & B	B&B	6
(Symbol)	PIC HOY	Picea pungens 'Hoopsii'	Hoopsii Blue Spruce	6'	B&B	4
SHRUBS						
(Symbol)	COR ARC	Cornus sanguinea 'Arctic Sun' TM	Blood-Twig Dogwood	18"	Pot	8
(Symbol)	EVO CO2	Euonymus alatus 'Compactus'	Compact Burning Bush	3"	B&B	32
(Symbol)	EVO COM	Euonymus alatus 'Compactus'	Compact Burning Bush	3"	B&B	8
(Symbol)	HYD L4	Hydrangea paniculata 'Limelight' TM	Limelight Hydrangea	24"	Pot	5
(Symbol)	PHY LIT	Physocarpus opulifolius 'Little Devil' TM	Dwarf Ninebark	24"	Pot	10
(Symbol)	POT POT	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	24"	Pot	30
(Symbol)	RHO PJM	Rhododendron azalea 'PJM'	Azalea	24"	Pot	8
(Symbol)	SPI MO2	Spiraea x bumalda 'Goldmound'	Gold Mound Spirea	18"	Pot	5
(Symbol)	SYR KIM	Syringa pubescens 'Miss Kim'	Miss Kim Korean Lilac	24"	B&B	90
(Symbol)	TAX HIC	Taxus x media 'Hicksii'	Hicks Yew	24"	B&B	57
(Symbol)	VIB SPI	Viburnum carlesii 'Spice Island'	Korean Spice Viburnum	3"	B&B	50
(Symbol)	VIB DEN	Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum	3"	B&B	8
ANNUALS/PERENNIALS						
(Symbol)	ALL SU7	Allium x 'Summer Beauty'	Summer Beauty Allium	1 gal	Pot	6
(Symbol)	ECH W2	Echinacea purpurea 'PowWow Wild Berry'	PowWow Wild Berry Coneflower	1 gal	Pot	12
(Symbol)	HEM SUM	Hemerocallis x 'Summer Wine'	Daylily	1 gal	Pot	37
GRASSES						
(Symbol)	CAL ARU	Calamagrostis arundinacea 'Karl Foerster'	Karl Foerster Grass	1 gal	Pot	4
(Symbol)	CAL C15	Calamagrostis arundinacea 'Karl Foerster'	Karl Foerster Grass	1 gal	Pot	12

General Notes

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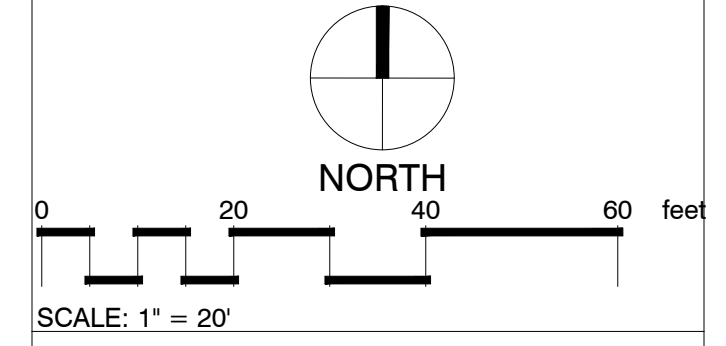
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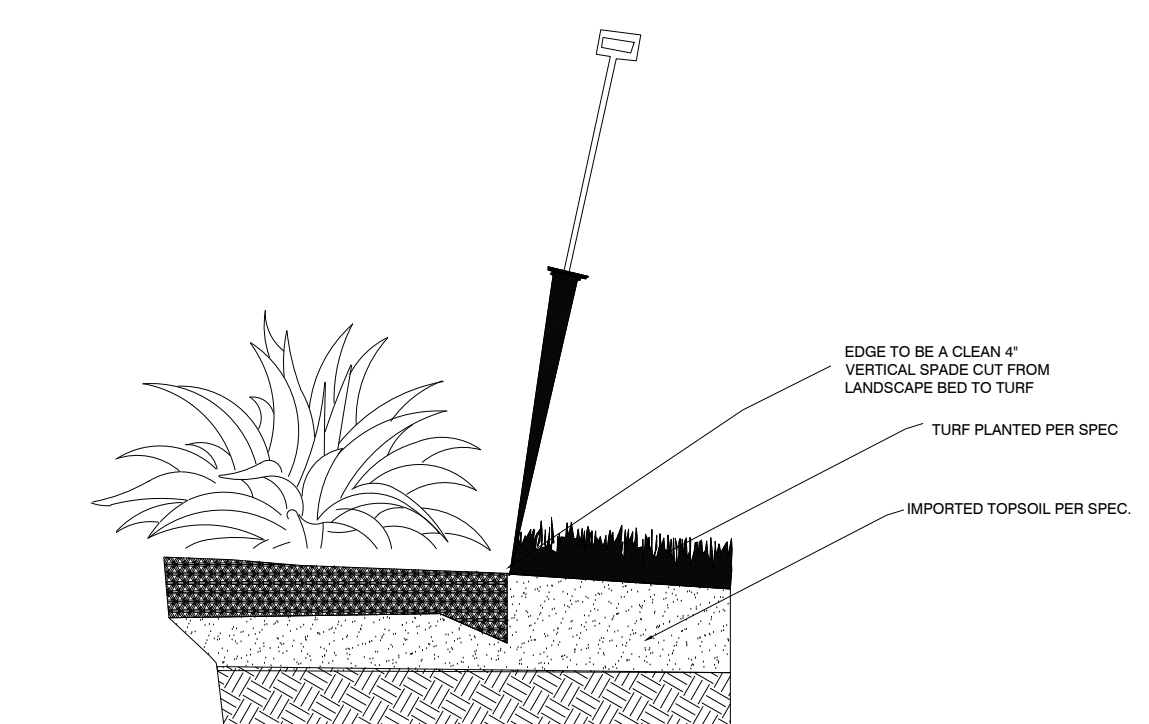
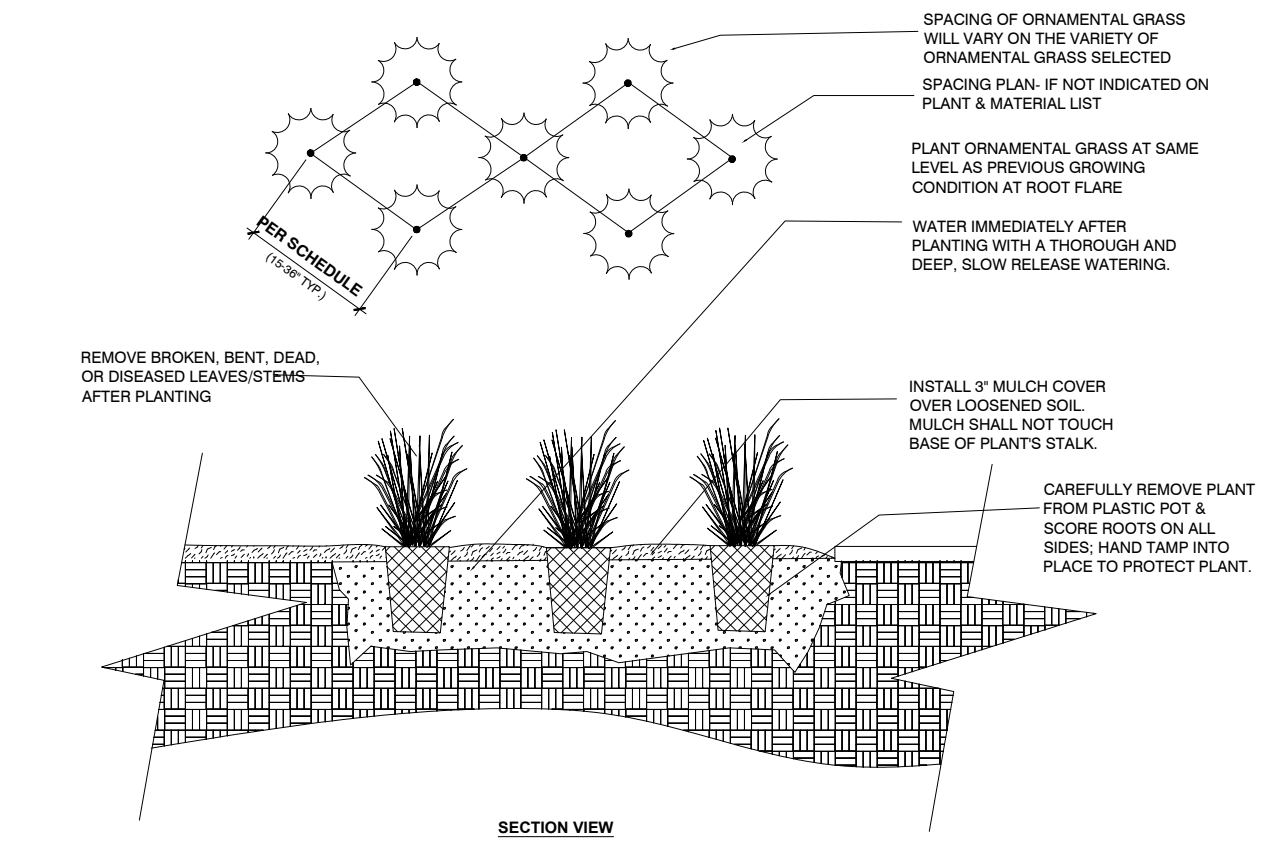
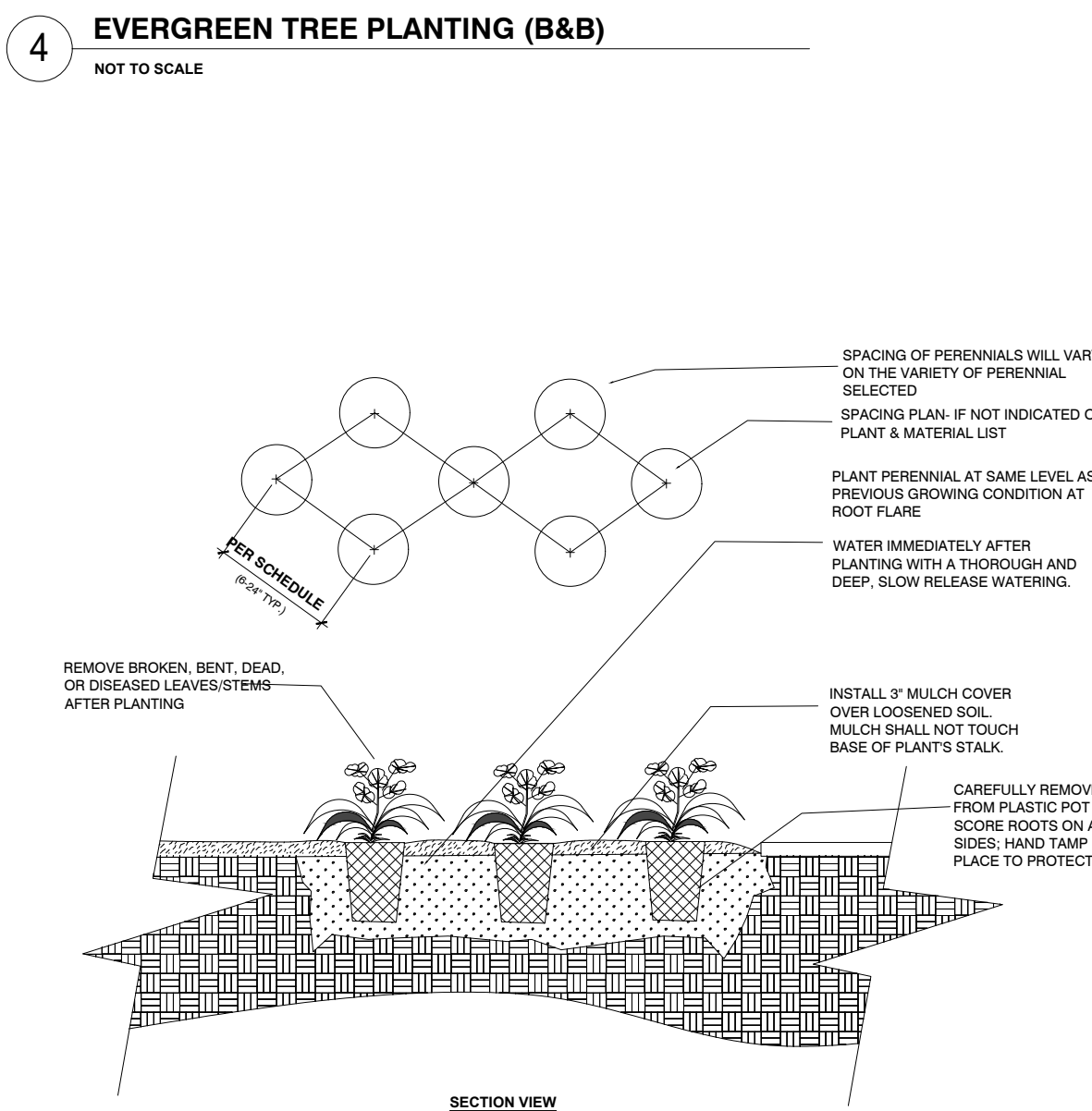
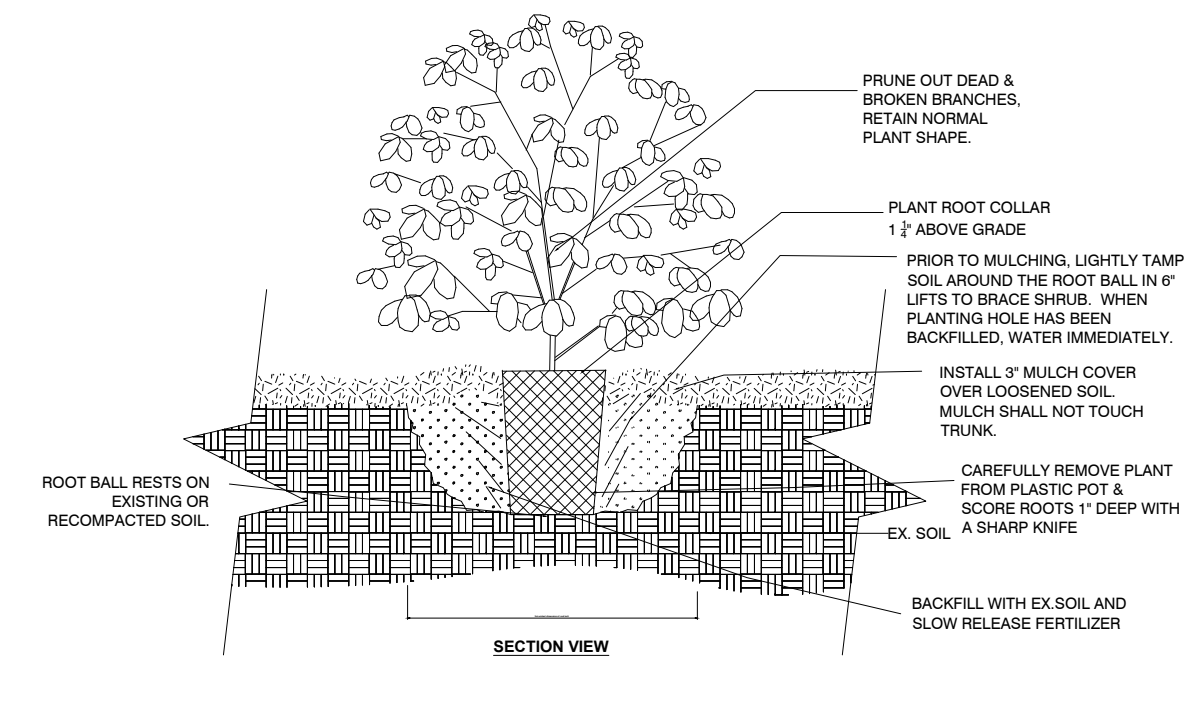
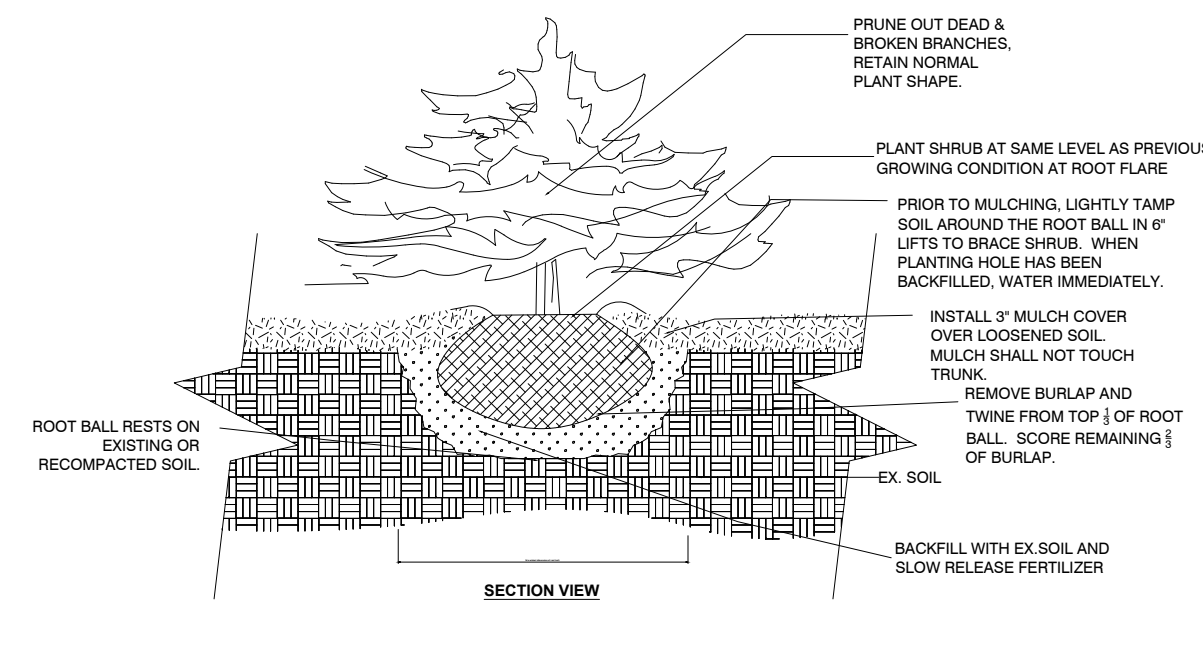
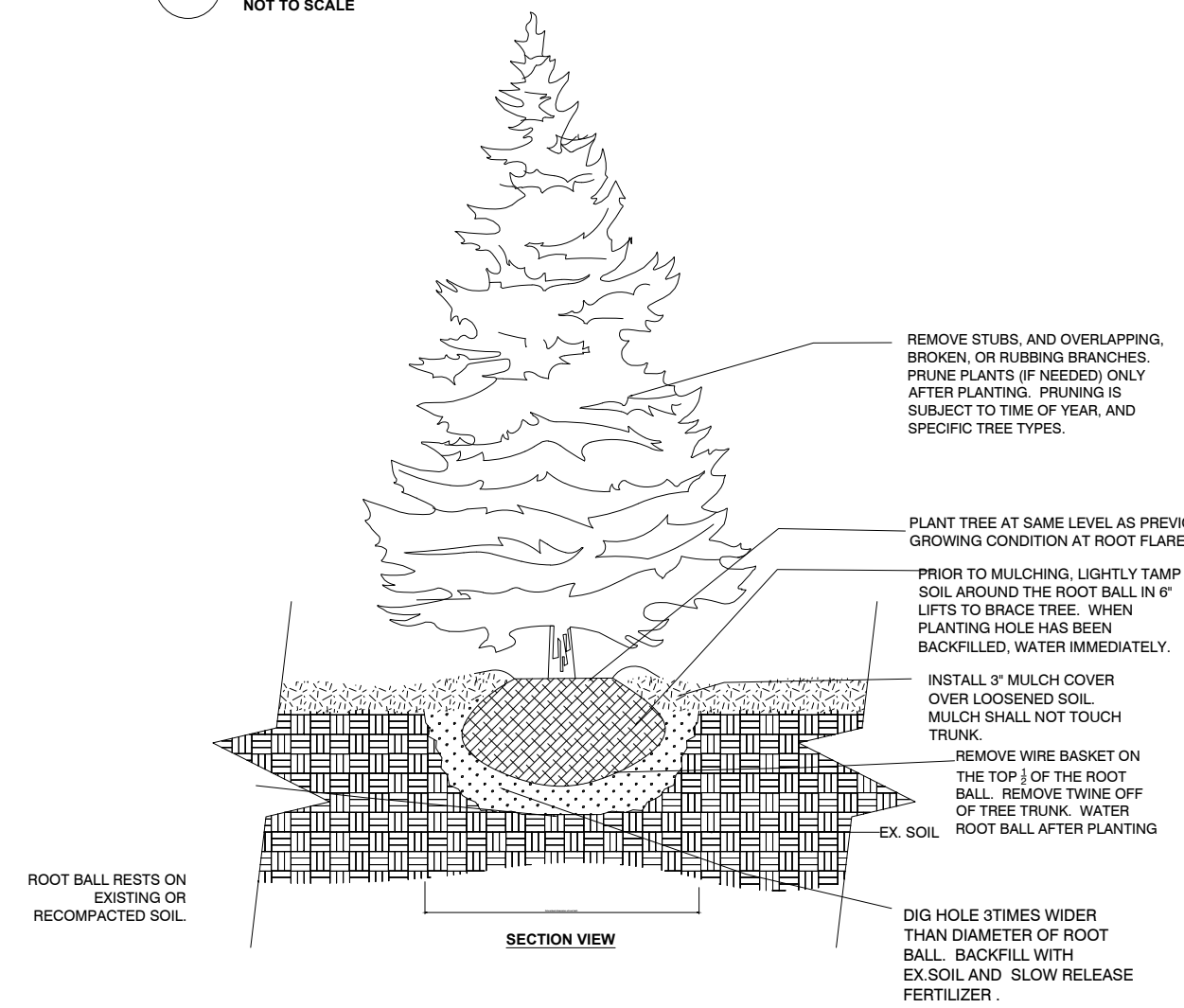
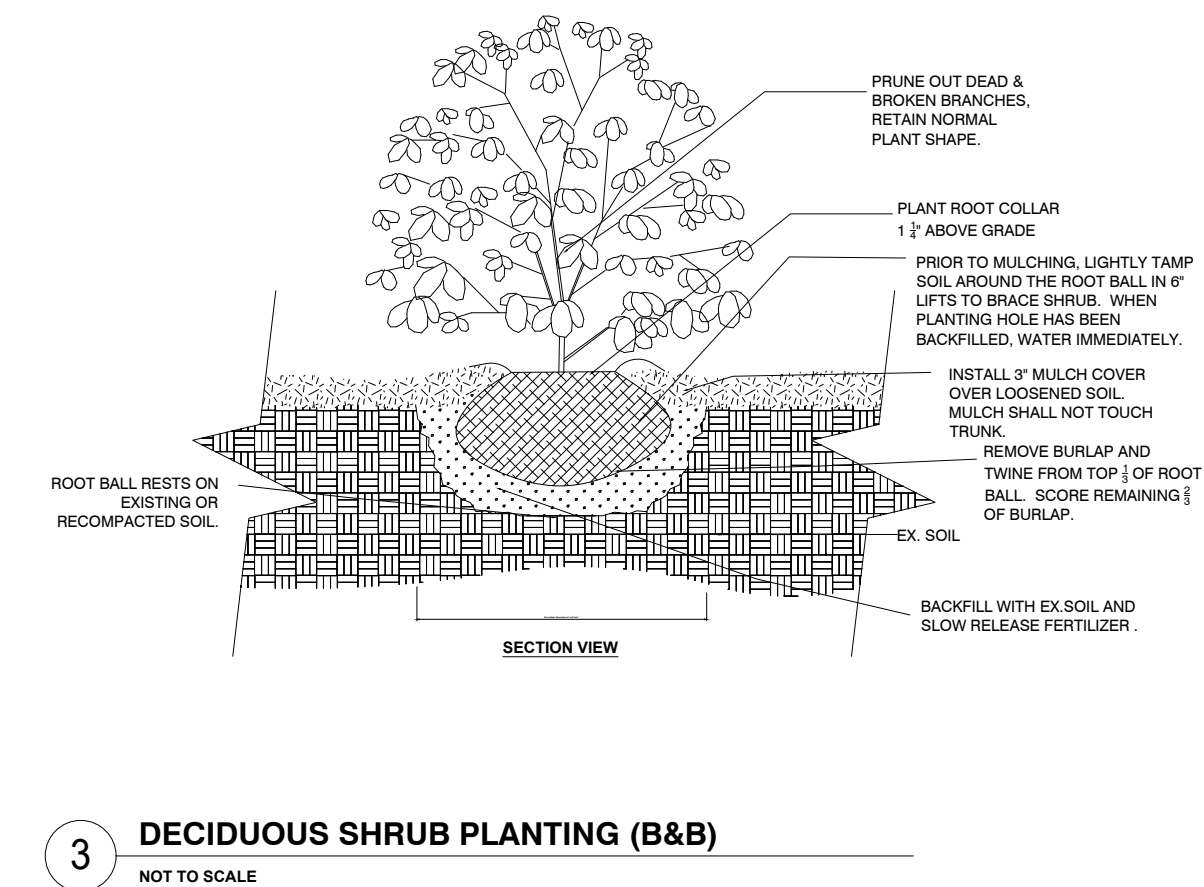
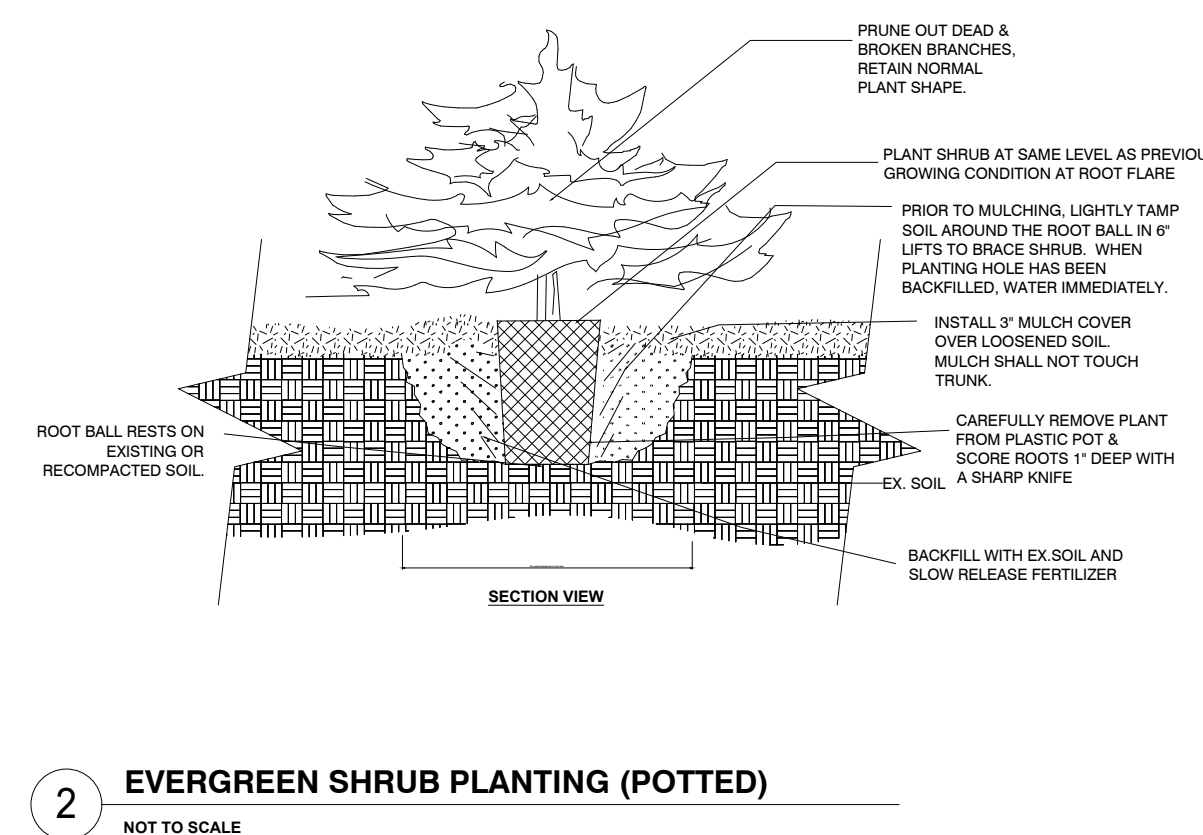
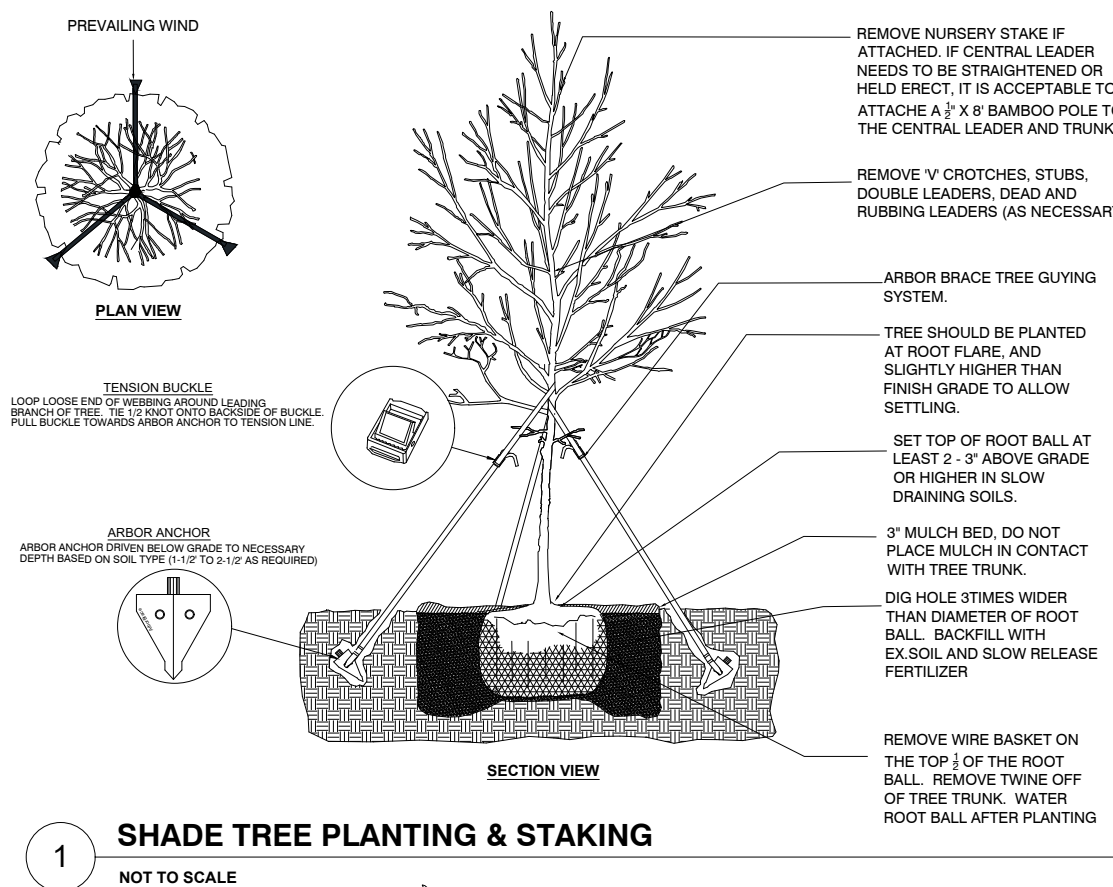
**OVERLOOK RIDGE
 EAST TROY
 WISCONSIN**

Project	Sheet
LANDSCAPE	
Date	L-100.2
8/25/23	
Scale	
1"=20'	

LANDSCAPE GENERAL NOTES

- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
 - Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor. Landscape Plan over-rides plant the Plant Schedule.
 - All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
 - Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
 - Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3' of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
 - Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide three slow release fertilizer packets for each tree planted.
 - Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 2/3 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
 - Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50/50 mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay, and stones from plant beds prior to planting. When hole(s) are 2/3 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide a slow-release fertilizer.
 - Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality bark mulch (pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 3" layer of shredded hardwood bark mulch, and groundcover areas a 3" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
 - Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
 - Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf.
 - Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Landscape Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.
- An acceptable quality seed installation is defined as having:
 No bare spots larger than one (1) square foot
 No more than 10% of the total area with bare areas larger than one (1) square foot
 A uniform coverage through all turf areas
- No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Cedar Creek Seed Farm 888-913-6807; or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.
 - Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
 - Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. ***ALL WARRANTY INFORMATION IS SPECIFIC TO THE LANDSCAPE CONTRACT. PLEASE REVIEW CONTRACT INFORMATION CAREFULLY*** Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
 - Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE DETAILS AND PROJECT NOTES



General Notes



28815 Bushnell Road
Burlington, WI 53105

Phone 262.342.1425
Fax 262.539.2665
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OVERLOOK RIDGE
EAST TROY
WISCONSIN

Project	LANDSCAPE	Sheet	
Date	8/25/23		D-100
Scale			

LANDSCAPE - DETAILS PAGE