

**FEES MUST BE PAID AT TIME OF APPLICATION**

\$200 Plan Commission Consultation

\$1,085 Rezoning

\$1,240 PDD < 5 acres

\$2,095 PDD 5-20 acre site

\$3,460 PDD > 20 acre site

Date Paid: _____ Received by: _____

REZONING & PDD APPLICATION

Pursuant to Section 17.51 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.****1****APPLICANT OR AGENT**Fiduciary Real Estate Development, Inc.789 N Water St, Ste 200Milwaukee, WI 53202Phone (262) 366-4376E-Mail tderosa@fred-inc.com**PROPERTY OWNER**Phone ()E-Mail**2****PROPERTY ADDRESS OR GENERAL LOCATION****TAX KEY NUMBER**

NEC of County Line Road and Lannon Road

323986, 323995 & 323987

3**REZONING REQUEST**

FROM

A-1

TO

PDD RM-3, RS-6 & M-1

4**METES AND BOUNDS LEGAL DESCRIPTION OF PROPERTY – REQUIRED**

Attach pages as necessary

5

PURPOSE OF REZONING REQUEST

Briefly describe why the applicant is rezoning the property. Include a description of the proposed use, including any new construction and number of employees, if applicable.

6

SUPPORTING DOCUMENTATION:

- ☒ Plat of Survey (1:100)
- ☒ Site Plan and elevations for new construction (can be conceptual)

7

READ AND INITIAL THE FOLLOWING:

- ☒ I understand that the Village is under no obligation to rezone property and that density and lot coverages provided in the Zoning Code are maximums. Actual build out will depend on myriad factors including topography and other natural conditions, surrounding neighborhood context and the detailed design of a project.
- ☒ I understand that Village Staff, Plan Commission and/or Village Board may request additional information to properly evaluate this request and failure to provide such information may in itself be sufficient cause to deny the petition.
- ☒ I am aware that this rezoning shall go into effect immediately upon the final approval of the Village Board and its execution of the rezoning ordinance
- ☒ I understand that Village Staff is required to post one or more signs along the street frontage of and/or on the property subject of this application that indicate to nearby property owners and the general public that a public hearing of my application will be held before the Village Plan Commission and/or Village Board prior to action taken on this application; I hereby grant Village Staff permission to enter onto the property for the expressed purpose of installing said sign(s) provided Village Staff is responsible for installing, maintaining and removing said signs in a reasonable manner and time frame.

8

SIGNATURES – ALL APPLICATIONS MUST BE SIGNED BY OWNER!


Applicant

06/01/2022

Date



Owner

 Kevin S. Dutton
 Agent for Owner

6/1/22

Date



Fee Must Accompany Application

☐ \$1,165 Paid _____ Date _____

☐ \$200 PC Consultation Only
Paid _____ Date _____

COMPREHENSIVE PLAN AMENDMENT APPLICATION

Please read and complete this application carefully. All applications must be signed and dated. Attach additional sheets and/or include supplemental information in support of your application.

APPLICANT OR AGENT:

Fiduciary Real Estate Development, Inc.

PROPERTY OWNER(S):

Address: 789 N Water St, Ste 200
Milwaukee, WI 53202

Address: _____

Phone: 262-366-4376

Phone: _____

E-Mail: tderosa@fred-inc.com

E-Mail: _____

☒ **REQUEST TO AMEND LAND USE MAP**

Current Land Use Map Designation(s):

Commercial & Industrial/Office

Proposed Land Use Map Designation(s):

Low Density Residential, High Density Residential & Industrial/Office

Address of Property, Parcel ID Number(s) or General Location (¼ section ¼ section):

323986, 323995 & 323987

Legal Description of Property or Area (metes and bounds description):

Attach separate legal description if necessary

Size of Property or Area:

Acres: 89.13 Square Feet: 3,882,502.8

Comprehensive Plan Amendment Application

Page 2 of 3

Land Use and Zoning of Adjacent Properties (example: residential; Rs-2):

Adjacent Property Land Uses		Zoning
North	Agricultural	A-1 & A-2
South	Residential	RS-2 & RS-3
East	Institutional	RS-4 & I
West	Residential	A-1 & RS-4

☐ REQUEST TO AMEND PLAN TEXT

Section(s) of Comprehensive Plan to be Amended:

Proposed Text Amendment:

Attach separate pages as necessary

Detailed Explanation and Justification for Proposed Amendment(s):

Required for both Land Use Amendment and Text Amendments
Attach separate pages as necessary

Comprehensive Plan Amendment Application

Page 3 of 3

APPLICATION SUBMITTAL REQUIREMENTS (to be submitted at time of application):

All Amendment Applications:

- ☐ Complete Application Form (Affidavit of Understanding and signatures required)
- ☐ Application Fee
- ☐ Additional Sheet(s) for explanation of and justification for proposed amendment(s)

Land Use Plan Map Amendment Only:

- ☐ Legal Description of the land subject of map amendment in electronic/digital file format (e.g. Microsoft Word)
- ☐ Detailed Plat of Survey or Site Plan of the land subject to the map amendment at a scale of 1" = 50' or other suitable scale necessary to accurately present:
 - o Exterior boundary of the land subject of the map amendment
 - o Concept plan showing general size, shape and relative location of existing and future roads, lots, structures, wetlands, floodplain or other natural features, environmental etc. as may be necessary to further explain and/or support the proposed map amendment.

AFFIDAVIT OF UNDERSTANDING

Please read and indicate that you understand and agree to the following (initials in box):



I understand that Village Staff, the Plan Commission and/or the Village Board may request additional information to properly evaluate this application and failure to provide such information may be sufficient justification to deny this application;



I understand that, regardless of the justification and/or information provided in support of my application, the Village is under no obligation to approve my application nor amend the Comprehensive Plan as requested;



I am aware that the approval of an application to amend the Land Use Plan Map only amends the Land Use Map and does not otherwise revise or change the zoning of the land affected by the Map amendment, and, if I am applying for a Map amendment in order to pursue actual development of the land affected by the amendment, I may be required to obtain separate permits and/or approvals (e.g. rezoning, land division, site plan, etc.) from the Village or other agencies as a prerequisite to the development of such land.



I understand that Village Staff is required to post one or more signs along the street frontage of and/or on the property of this application that indicate to nearby property owners and the general public that a public hearing of my application will be held before the Village Plan Commission and/or Village Board prior to action being taken on this application; I hereby grant Village Staff permission to enter onto the property for the expressed purpose of installing said sign(s) provided Village Staff is responsible for installing, maintaining and removing said signs in a reasonable manner and timeframe.

ALL APPLICATIONS MUST BE SIGNED BY THE APPLICANT/AGENT AND PROPERTY OWNER(S)



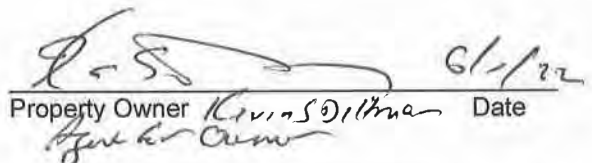
Applicant/Agent

06/01/2022

Date

Applicant/Agent

Date

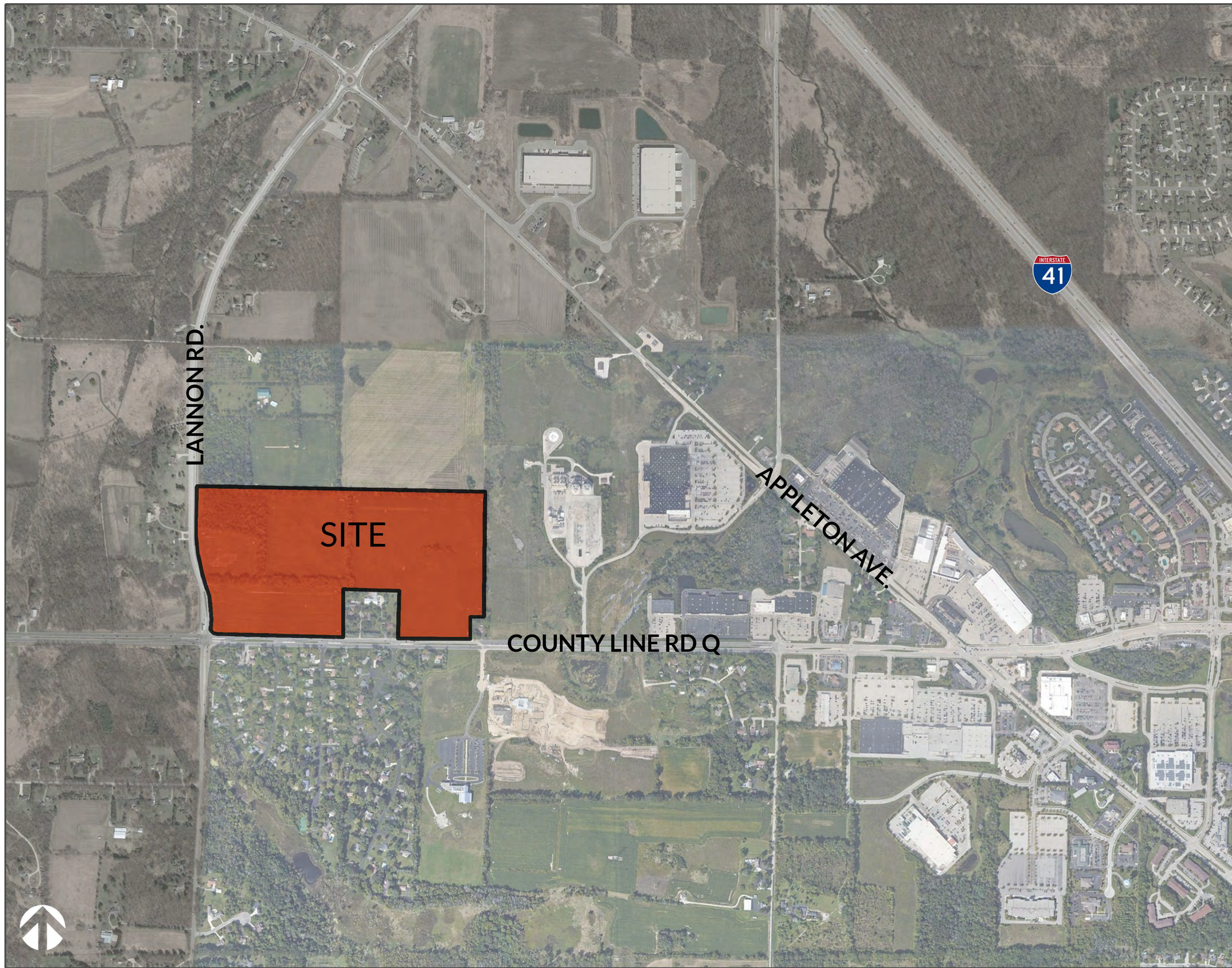


Property Owner

Date

Property Owner

Date



SITE CONTEXT MAP

NOT TO SCALE

**PROPOSED DEVELOPMENT AT
COUNTY LINE Q AND LANNON ROAD**
Germantown, Wisconsin

DEVELOPERS

THE DICKMAN COMPANY



**FIDUCIARY REAL ESTATE
DEVELOPMENT INC.**



DATE: 6 JUNE 2022

CONCEPTUAL DEVELOPMENT SUBMISSION



1414 UNDERWOOD AVE. WAUWATOSA, WI 53213 414.431.3131 TEL 414.431.0531 FAX WWW.AGARCH.COM





SITE STATISTICS

MULTIFAMILY

TWO STORY WALKUP BUILDINGS WITH 20 UNIT CONFIGURATIONS
ALONG WITH A CLUBHOUSE AND POOL

20 UNIT BUILDING - 25,797 SF (1,072 SF/UNIT*)
*SF/UNIT DOES NOT INCLUDE GARAGE
TOTAL AREA: 412,752 SF

UNIT MIX	
STUDIO	32
ONE BEDROOM	128
TWO BEDROOM	128
THREE BEDROOM	32
TOTAL UNIT COUNT	320

SITE AREA	33.1 ACRES (9.66 UNITS/ACRE)
LOT COVERAGE	241,557 SF (16.8%)
% OF IMPERVIOUS SURFACE	670,550.9 SF (46.7%)

SETBACKS (RM-3)	
PRIMARY BUILDING	ACCESSORY BUILDING
FRONT 35'	FRONT 35'
SIDE 25'	SIDE 25'
REAR 35'	REAR 12'

PARKING	
ENCLOSED STALLS	232 (.72 STALLS/UNIT)
SURFACE STALLS	488 (1.52 STALLS/UNIT)
CLUBHOUSE STALLS	21
TOTAL	741 (2.31 STALLS/UNIT)

INDUSTRIAL

2 BUILDINGS

BUILDING 1: 156,00 SQFT
BUILDING 2: 208,000 SQFT

TOTAL SQFT: 546,000 SQFT

SINGLE FAMILY RESIDENTIAL

39 INDIVIDUAL LOTS RANGING FROM 12,000 SF - 19,000 SF

SITE AREA 846,685.3 SF (19.44 ACRES)



SEASONS AT GERMANTOWN

Germantown, Wisconsin

OWNER
FIDUCIARY REAL ESTATE
DEVELOPMENT INC.



DATE: 6 JUNE 2022

CONCEPTUAL DEVELOPMENT SUBMISSION

 Architecture
A Sense of
Community

1414 UNDERWOOD AVE. WAUWATOSA, WI 53213 414.431.3131 TEL 414.431.0531 FAX WWW.AGARCH.COM

RENDERING IS REPRESENTATIVE ONLY... SEE DOCUMENTS FOR SPECIFIC DETAILS

PLOT PARAMETERS: FILE: K:\PROMO\2101_FRED PLAINFIELD IL\CAODGN\00000000.DECIGN AND DEVELOPMENT COVER
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 USING DRIVER: L:\XWORKS\SPACESTANDARDS\PLTFCG\ACPDF.PLT CPG LAST SAVE: 6/1/2021

























WINDOW NOTES

PROVIDE 1/2" WIDE PREFINISHED MUNTINS IN INSULATING GLASS AIR SPACE PER ELEVATIONS.

FIELD VERIFY ALL CUSTOM WINDOWS.

ALL GLASS LOCATIONS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF A DOOR IN THE CLOSED POSITION WILL BE SAFETY GLASS WHEN THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

ALL GLASS IN ANY DOOR SHALL BE SAFETY GLASS.

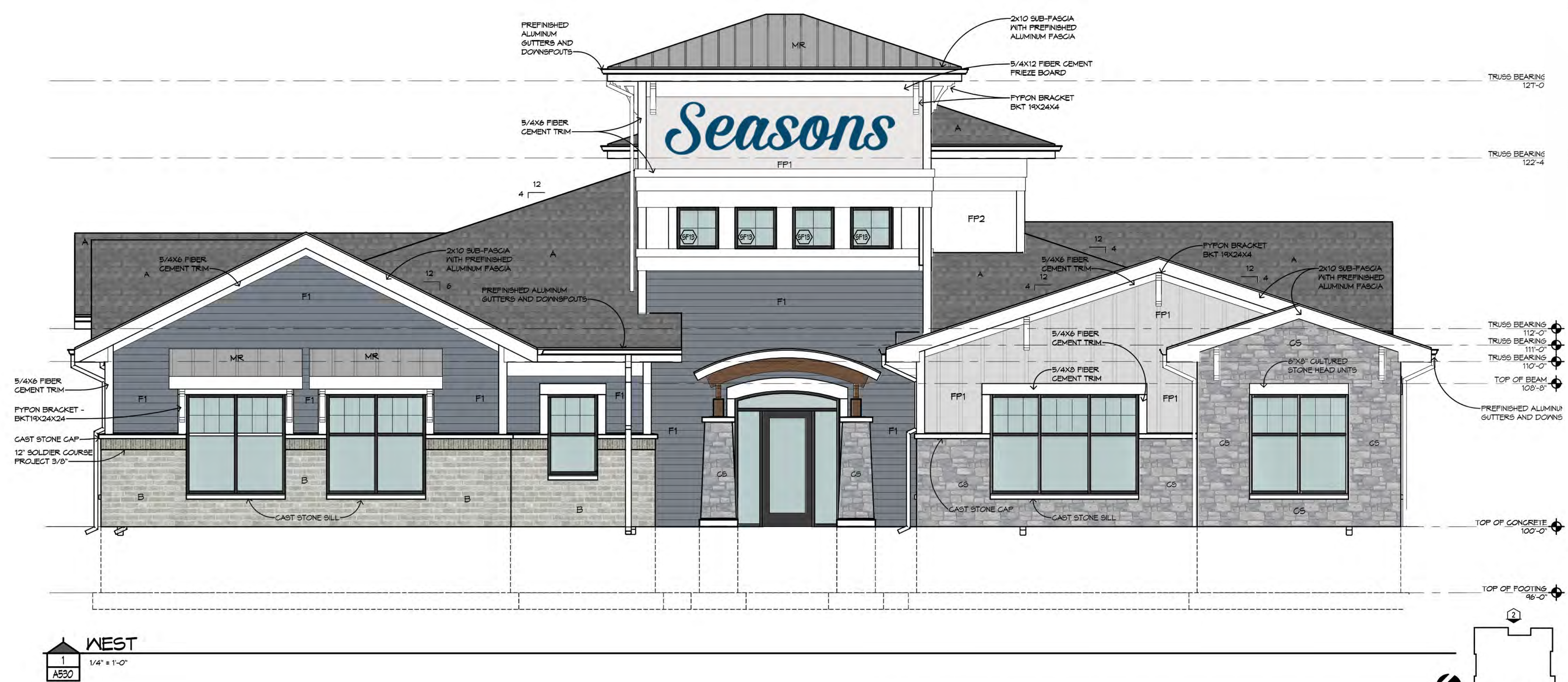
EXTERIOR ELEVATION GENERAL NOTES

- 1. ALL CONDUIT, METERS, VENTS, ETC. TO BE PAINTED TO MATCH ADJACENT SURFACE.
- 2. GUTTERS AND DOWNSPOUTS ARE PREFINISHED ALUMINUM.
- 3. SEE SHEET A530 FOR STOREFRONT SCHEDULE.
- 4. FIBER CEMENT TRIM TO BE ARCTIC WHITE.

EXTERIOR ELEVATION KEY NOTES:

- A THREE DIMENSIONAL ASPHALT SHINGLES
- B BRICK - GLACIER GREY
- CS MANUFACTURED STONE - CINDER LIMESTONE
- F1 FIBER CEMENT SIDING WITH 5" LAP - NIGHT GRAY
- FP1 VERTICAL FIBER CEMENT PANEL BATTENS @ 16" O.C. - PEARL GREY - BATTENS TO MATCH
- FP2 SMOOTH FIBER CEMENT PANEL - ARCTIC WHITE
- MR STANDING SEAM METAL ROOF

EAST
2
A530
1/4" = 1'-0"



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1. ALL CONDUIT, METERS, VENTS, ETC. TO BE PAINTED TO MATCH ADJACENT SURFACE.

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3. SEE SHEET A530 FOR STOREFRONT SCHEDULE.

4. FIBER CEMENT TRIM TO BE ART1G WHITE.

EXTERIOR ELEVATION KEY NOTES:

A THREE DIMENSIONAL ASPHALT SHINGLES

B BRICK - GLACIER GREY

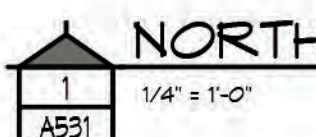
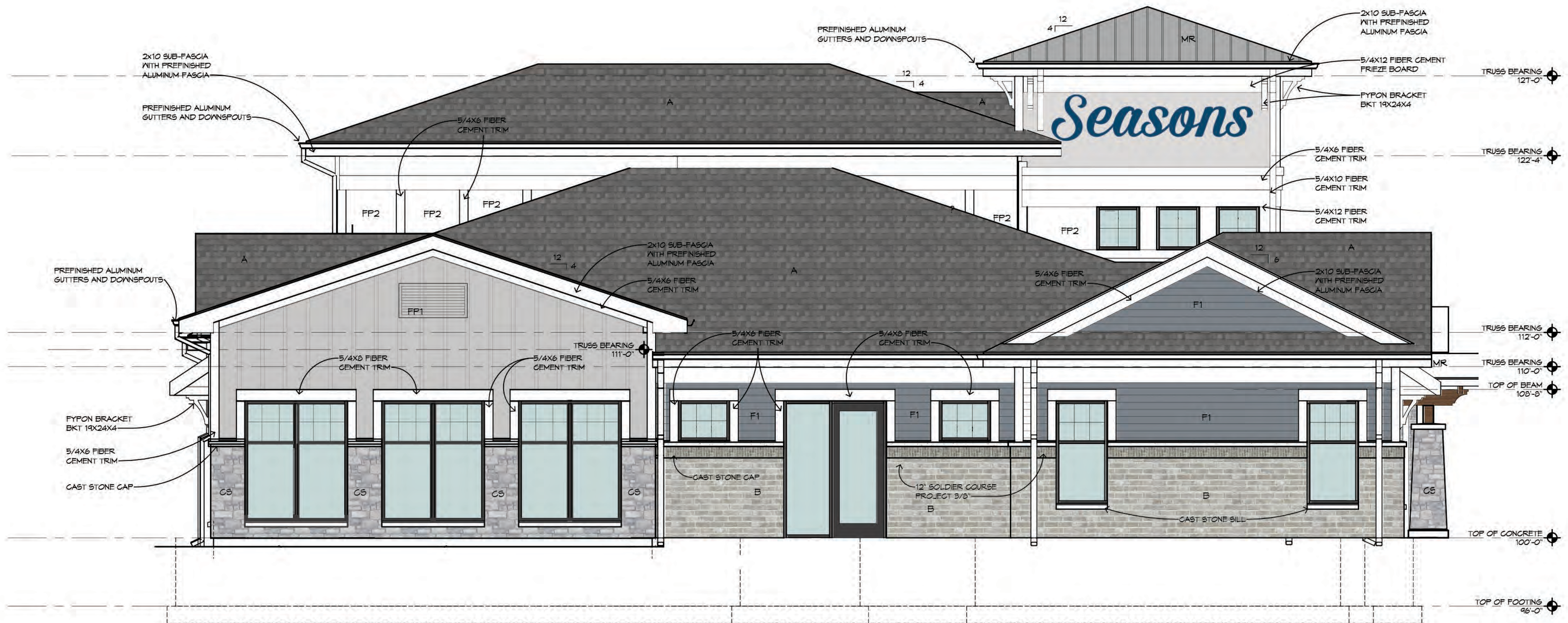
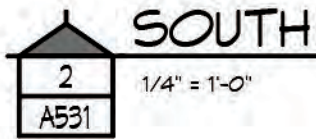
CS MANUFACTURED STONE - GINGER LIMESTONE

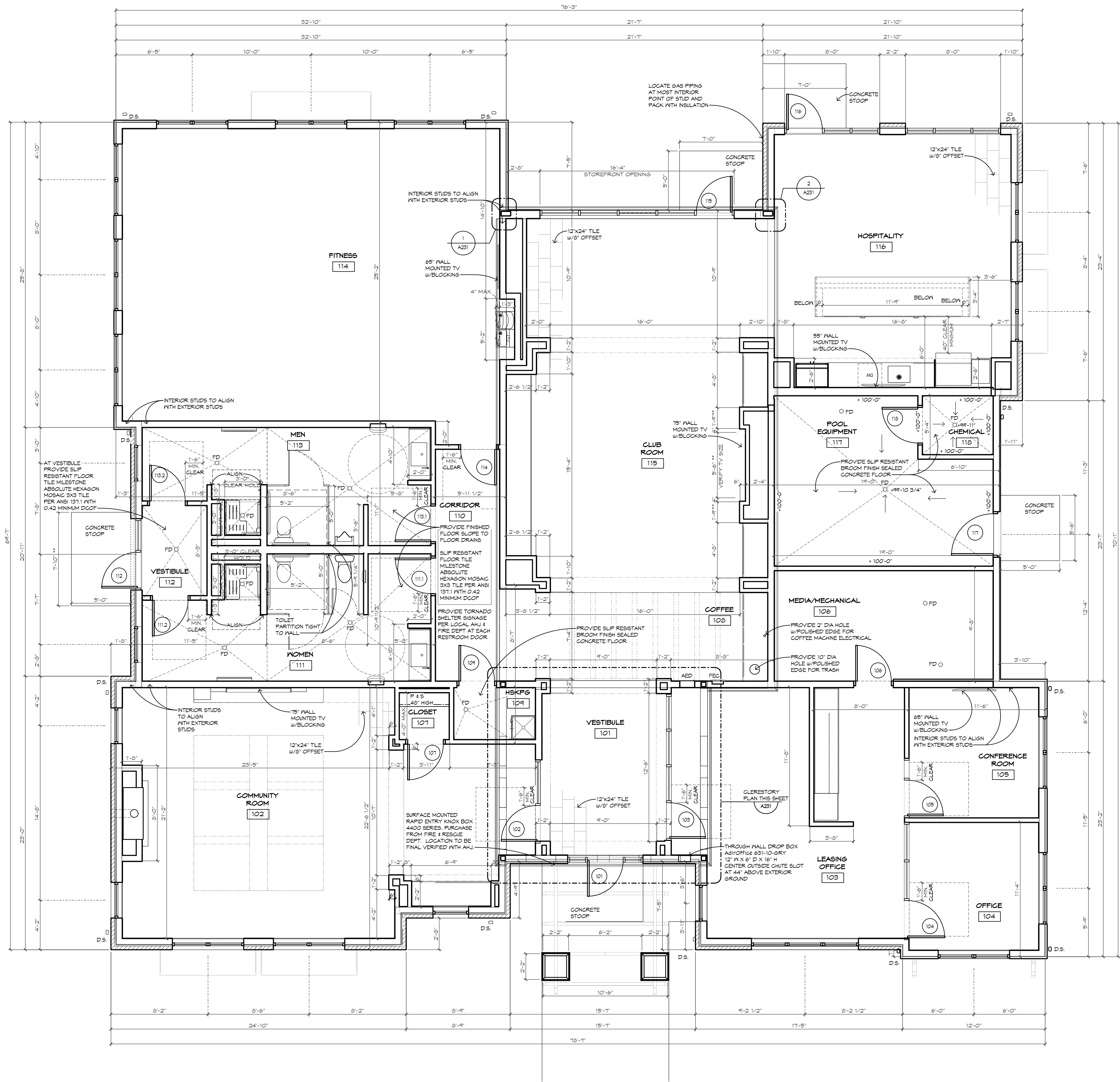
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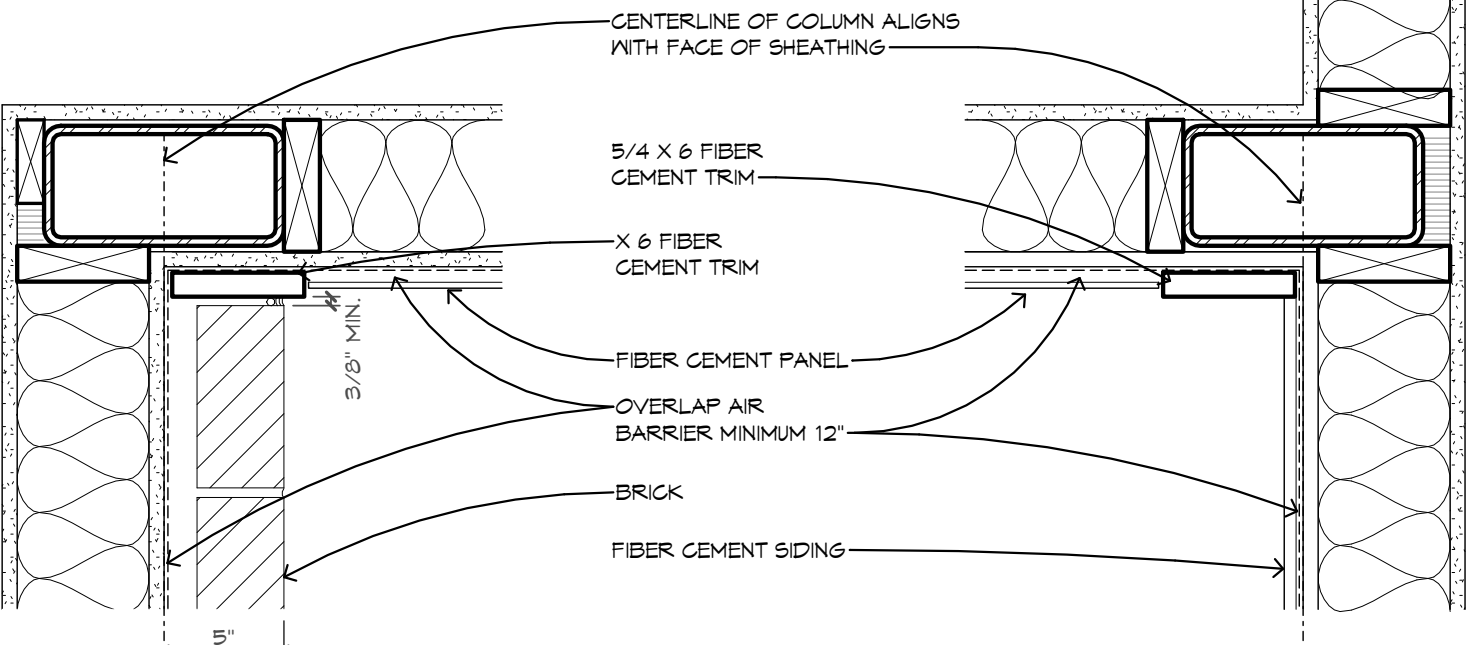
MR STANDING SEAM METAL ROOF





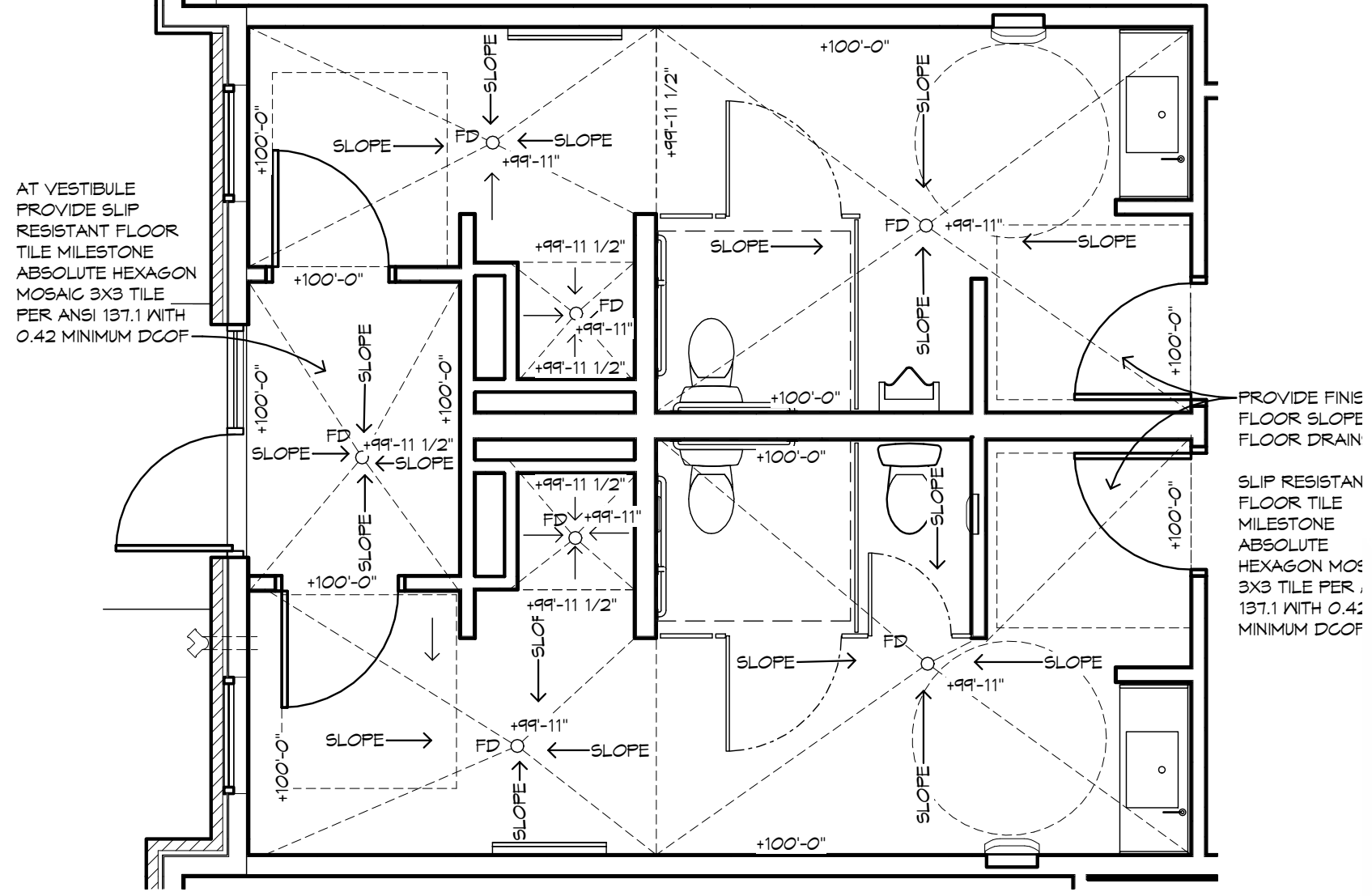
FLOOR PLAN
GENERAL NOTES

- DIMENSIONS AT EXTERIOR WALLS ARE TO FACE OF BRICK OR SHEATHING. ALIGN WITH FOUNDATION WALL BELOW.
 - ALL OTHER DIMENSIONS ARE TO FACE OF STUD.
 - VERIFY ALL ROUGH AND MASONRY OPENINGS (M.O.) WITH APPROVED SHOP DRAWINGS.
 - FIELD VERIFY ALL TOPS, MIRRORS AND CABINETRY DIMENSIONS.
 - VERIFY WALL CONSTRUCTION WITH WALL TYPES.
 - COORDINATE WALL AND FLOOR CERAMIC TILE PATTERN WITH OWNER.
 - COORDINATE LOCATION OF RENT DROP BOX WITH OWNER.
 - PROVIDE TORNADO SHELTER SIGNAGE AT RESTROOMS PER LOCAL AHJ & FIRE DEPARTMENT REQUIREMENT
- DIMENSIONS SHOWN AS ROUGH OPENINGS FOR SPECIFIC PRODUCTS BASED ON CURRENT INFORMATION AVAILABLE AT TIME OF DRAWING PREPARATION. CONTRACTOR TO VERIFY AS APPROPRIATE.
- PLUS OR MINUS - FOR REFERENCE ONLY.
- WALL TYPES: SHEET AT330
DOOR SCHEDULE: SHEET AT130
STOREFRONT SCHEDULE: SHEET A530
ROOM FINISH SCHEDULE: SEE SPECIFICATIONS
- FEC: FIRE EXTINGUISHER WITH RECESSED CABINET PER SECTION 10522 - SEE DETAIL 19/AT430
- AED: AUTOMATED EXTERNAL DEFIBRILLATOR AND CABINET WITH AUDIBLE ALARM. PHILIPS HEARTSTART ONSITE AED SEMI-RECESSED AED CABINET WITH AUDIBLE ALARM 1805RS3-1 aeduniverse.com - SEE DETAIL 19/AT430 SM

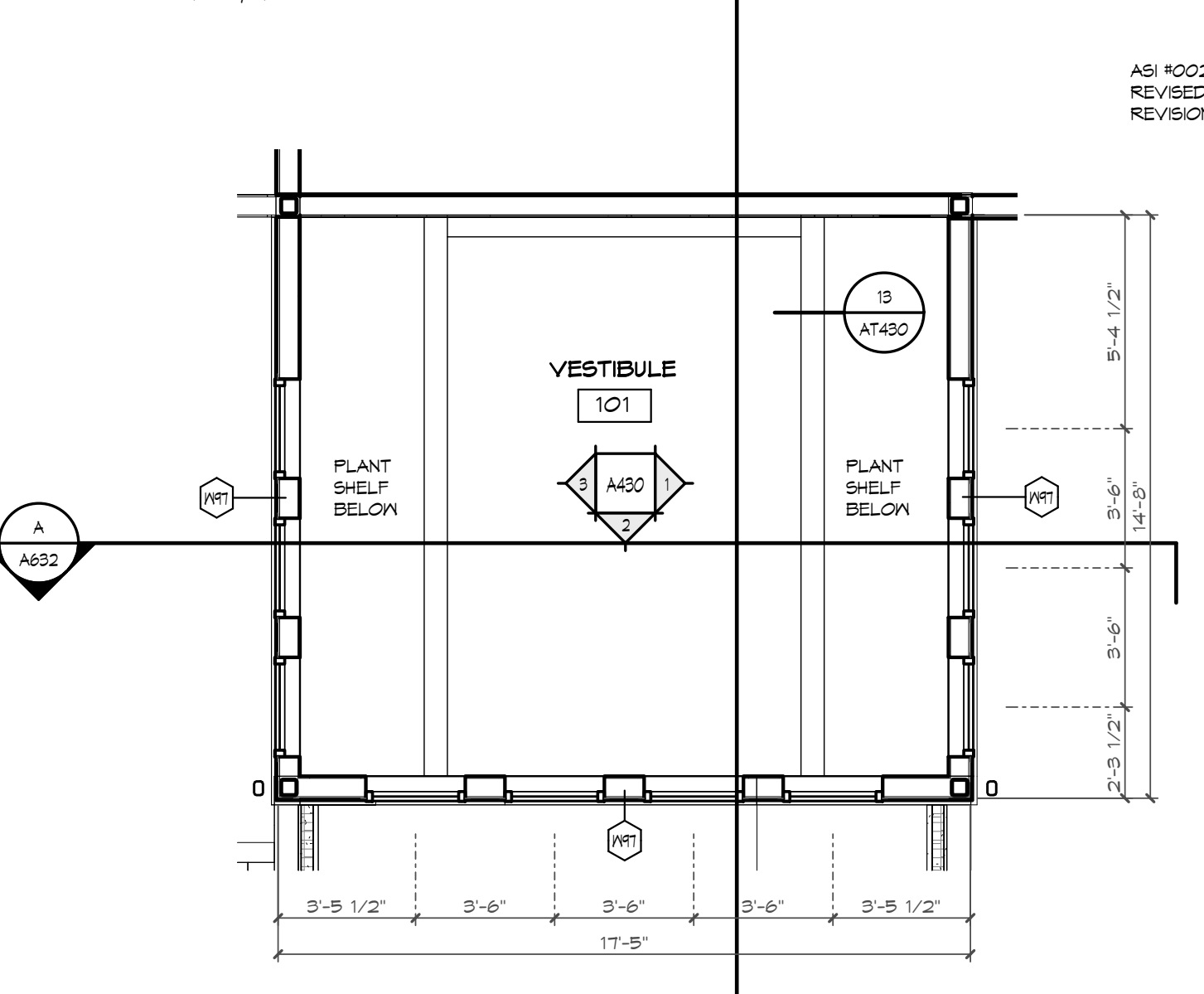


2 PLAN DETAIL
A231 1/2" = 1'-0"

1 PLAN DETAIL
A231 1/2" = 1'-0"



FLOOR SLOPE PLAN
1/4" = 1'-0" WOMEN 111, MEN 113

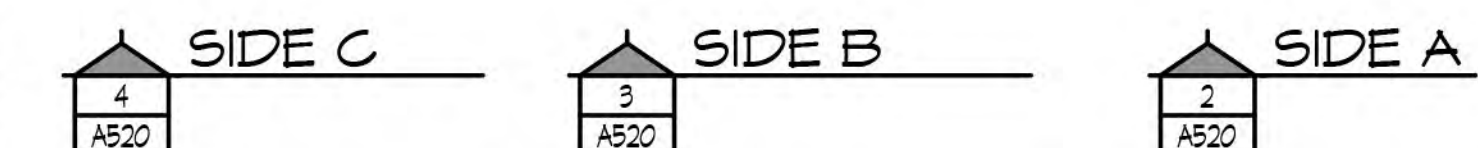


CLERESTOREY PLAN
1/4" = 1'-0"

1. PROVIDE CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUTS WHICH SPILL ONTO GRADE OR ROOFS.
2. ALL CONDUIT, METERS, VENTS, ETC. TO BE PAINTED TO MATCH ADJACENT SURFACE.
3. GUTTERS AND DOWNSPOUTS ARE PREFINISHED ALUMINUM.
4. SEE SHEET A522 FOR RAINCOV SCHEDULES.

EXTERIOR ELEVATION KEY NOTES:

- A THREE DIMENSIONAL ASPHALT SHINGLES
- B BRICK GLACIER GREY
- F1 FIBER CEMENT SIDING WITH 6" EXPOSURE
- FF1 VERTICAL FIBER CEMENT PANEL BATTENS AT 16" O.C.
- FF2 FIBER CEMENT PANELS



Architecture

1414 UNDERWOOD AVE.
WAUWATOSA, WI 53213

414.431.3131 TEL
414.431.0531 FAX

WWW.AGARCH.COM

*A r c h i t e c t u r e
E n g i n e e r i n g
P l a n n i n g*

REVISIONS

NO.	DATE	DESCRIPTION
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REVISIONS		
NO.	DATE	DESCRIPTION

SHEET NO.

1/8" EXTERIOR ELEVATIONS - 20 UNIT A520

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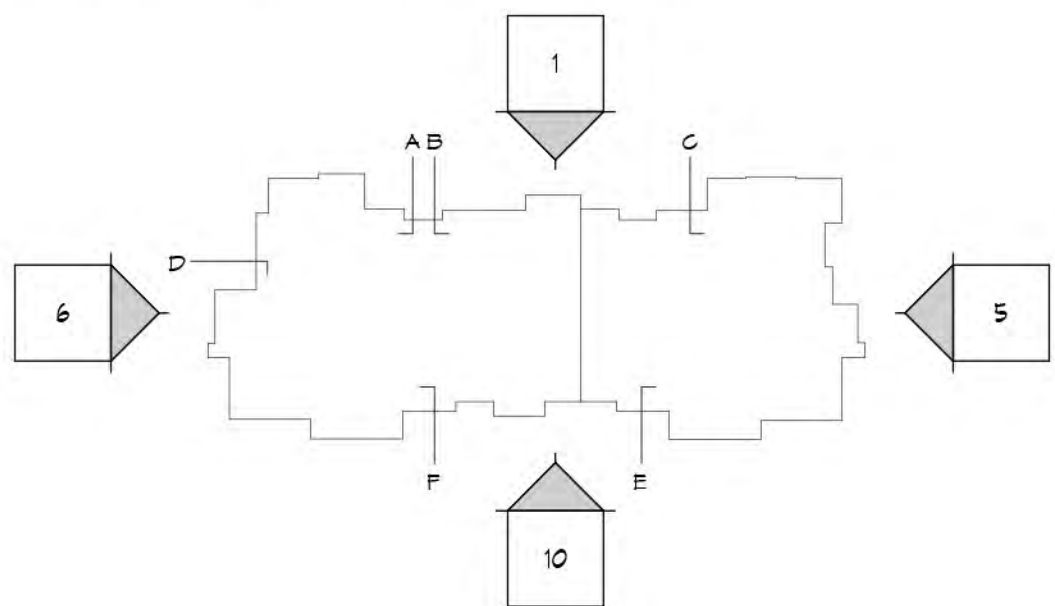
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4. SEE SHEET A522 FOR WINDOW SCHEDULES.

EXTERIOR ELEVATION KEY NOTES:

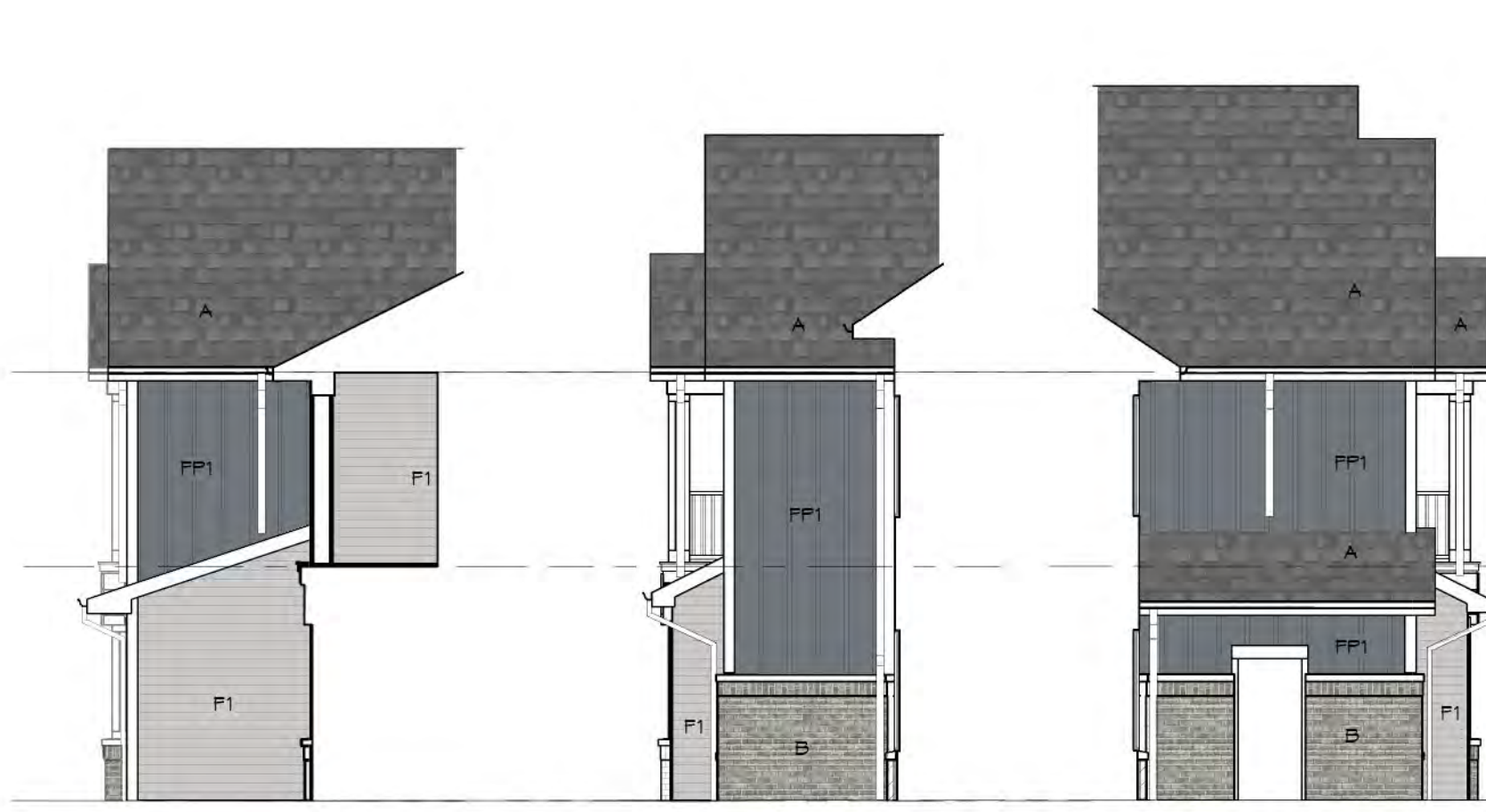
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- B BRICK GLAZER GREY
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- FP1 VERTICAL FIBER CEMENT PANEL BATTENS AT 16" O.C.
- FP2 FIBER CEMENT PANELS

- F1 - PEARL GREY SIDING
- F2 - NIGHT GREY SIDING
- FP1 - NIGHT GREY BOARD AND BATTEI
- FP2 - ARCTIC WHITE



20 UNIT REAR ELEVATION

10
A520



SIDE F
SIDE E
SIDE D

4
A520

3
A520

2
A520



20 UNIT LEFT ELEVATION

6
A520

TRUSS BEARING
120'-1"

SECOND FLOOR - TOP OF
SUB FLOOR
110'-11 1/8"

TOP OF CONCRETE
100'-0"

TOP OF FOOTING - SEE
STRUCTURAL
98'-0"

COMPLIANT DOOR HANDLE
W/ RECESSED THRESHOLD & ADA
AT TYPE B UNITS ONLY
6'-0" x 8'-0" SLIDING DOOR TYPE SB



20 UNIT RIGHT ELEVATION

5
A520



20 UNIT FRONT ELEVATION

1
A520

2
A520

3
A520

4
A520

SIDE C

SIDE B

SIDE A

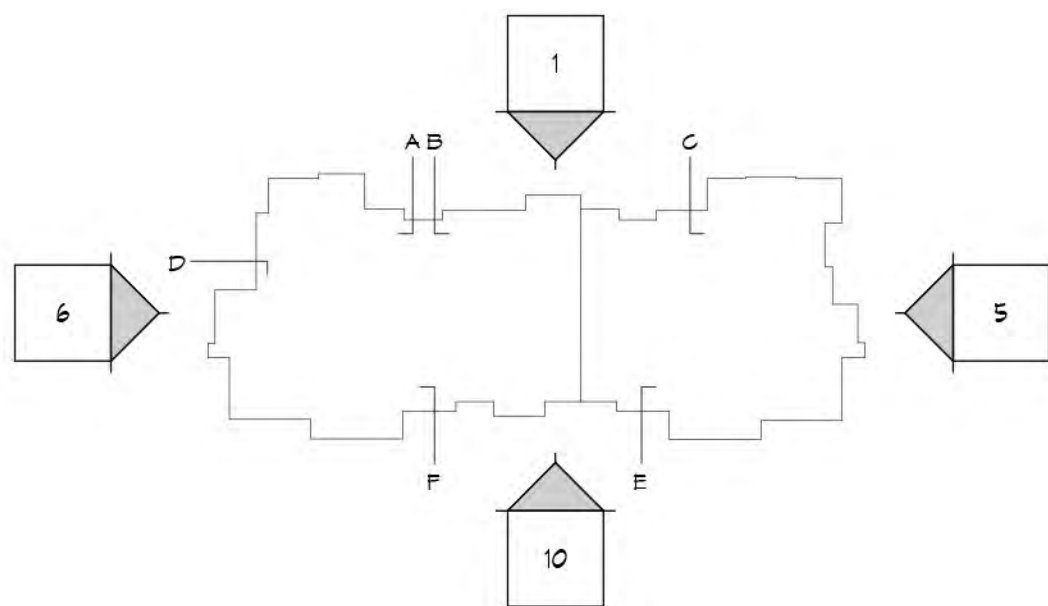
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- FP2 FIBER CEMENT PANELS

- F1 - AGED PEWTER
- FP1 - COBBLESTONE
- FP2 - ARCTIC WHITE



20 UNIT REAR ELEVATION

10
A520



SIDE F

SIDE E

SIDE D



20 UNIT LEFT ELEVATION

6
A520



20 UNIT RIGHT ELEVATION

5
A520

COMPLIANT DOOR HANDLE
W/RECESSED THRESHOLD & ADA
AT TYPE B UNITS ONLY
6-0X8-0 SLIDING DOOR TYPE 9B



20 UNIT FRONT ELEVATION

1
A520

SIDE A

2
A520

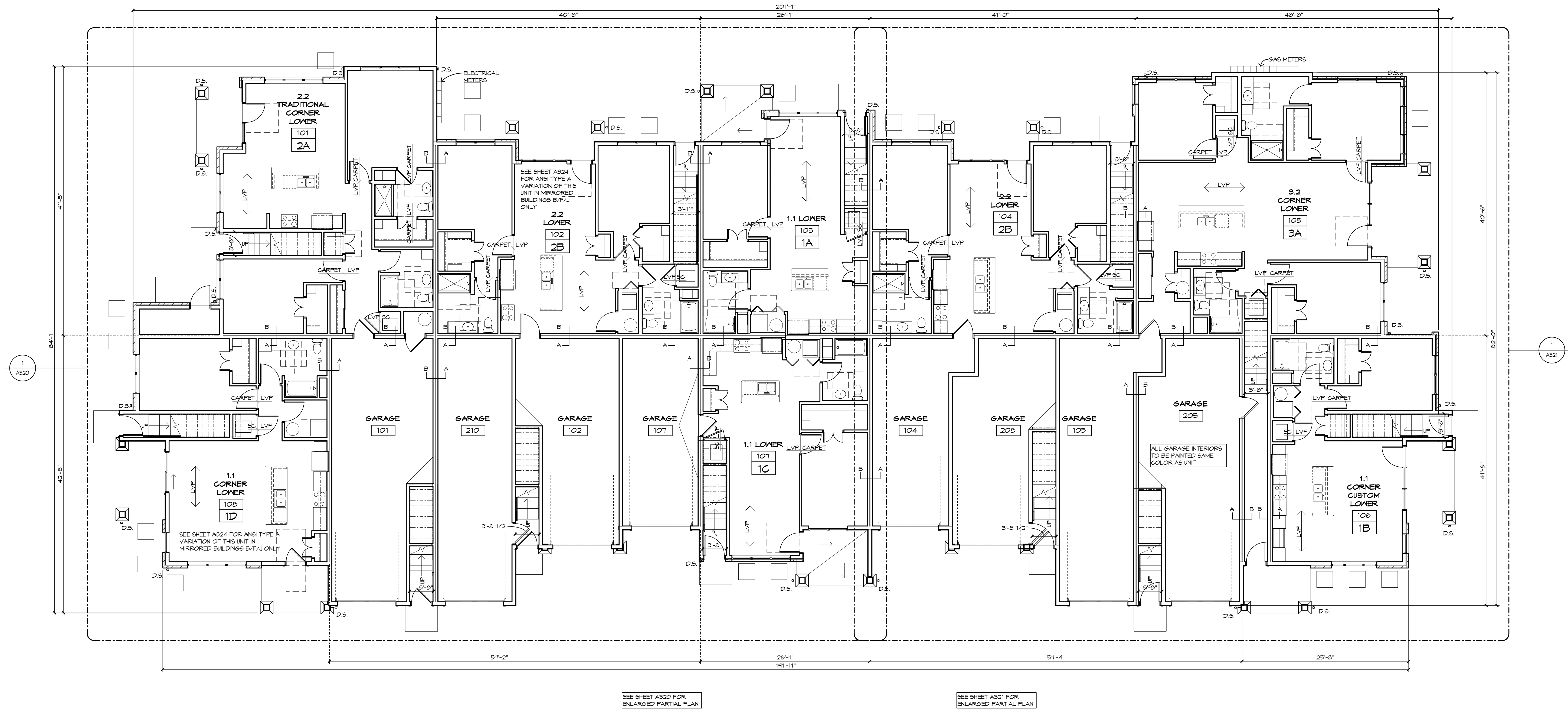
SIDE B

3
A520

SIDE C

4
A520

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6/20/2015 9:44:45 AM
BIM 360/Project 2015/FIELD Planfield IL/Project 2015_A/02_10 Unit_Plan.dwg



FLOOR PLAN GENERAL NOTES

DIMENSIONS AT EXTERIOR WALLS ARE TO FACE OF BRICK OR SHEATHING. ALIGN WITH FOUNDATION WALL BELOW.

UPPER FLOOR EXTERIOR DIMENSIONS ARE TO THE FACE OF MASONRY BELOW. ALIGN FRAMING WITH FRAMING BELOW.

ALL OTHER DIMENSIONS ARE TO FACE OF STUD.

VERIFY ALL ROUGH AND MASONRY OPENINGS (M.O.) WITH APPROVED SHOP DRAWINGS.

< LVP > INDICATES VINYL PLANK FLOORING

INSTALLATION DIRECTION

----- INDICATES 1 HOUR WALL

----- INDICATES 2 HOUR WALL

6'-6" * DIMENSIONS SHOWN AS ROUGH OPENINGS FOR SPECIFIC PRODUCTS BASED ON CURRENT INFORMATION AVAILABLE AT TIME OF DRAWING PREPARATION. CONTRACTOR TO VERIFY AS APPROPRIATE.

6'-6" ** PLUS OR MINUS - FOR REFERENCE ONLY.

1/4" UNIT PLANS SHEET A320 - A324

WALL TYPES SHEET AT320

DOOR SCHEDULE SHEET AT120

WINDOW SCHEDULE SHEET A525

ROOM FINISH SCHEDULE SEE SPEC

FIRE RATED WALL CONSTRUCTION MUST RUN CONTINUOUS BEHIND TUBS, SHOWERS, ETC.
VERIFY WALL CONSTRUCTION WITH WALL TYPES.

A TYPICAL DIMENSING WALL SEE SHEET AT320
SIDE A INSTALL EXTRA LAYER OF DRYWALL PER WALL TYPE
B CONTRACTOR OPTION INSTALL OPPOSITE SIDE AS NEEDED

FLOORING TRANSITION LOCATIONS
LOCATE CENTER OF DOOR TYPICAL

CARPET
LVP = LUXURY VINYL PLANK
SC = SEALED CONCRETE @ LOWER LEVEL HVAC ONLY
SV = SHEET VINYL @ UPPER LEVEL HVAC ONLY

AS 1002 REVISIONS:
REVISIONS PER RFI-002 RESPONSE
REVISIONS PER RFI-033 RESPONSE
REVISIONS PER RFI-034 RESPONSE
ADDED FLOORING TRANSITIONS NOTES
ADDED FLOORING INSTALLATION DIRECTIONS

The Seasons of Germantown
MULTIFAMILY
Germantown
Wisconsin



1414 UNDERWOOD AVE.
WAUWATOSA, WI 53213

414.431.3131 TEL
414.431.0531 FAX

WWW.AGARCH.COM

Architecture
Engineering
Planning

REVISIONS
NO. DATE DESCRIPTION

1
2101
A221

THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL
NOT BE COPIED IN ANY FORM OR MANNER WITHOUT
WRITTEN AUTHORIZATION OF ITS DESIGN OR CREATOR

DATE

PROJECT
2101
SHEET NO.

1/8" FIRST FLOOR PLAN - 20 UNIT A221

DIMENSIONS AT EXTERIOR WALLS ARE TO FACE OF BRICK OR SHEATHING. ALIGN WITH FOUNDATION WALL BELOW

UPPER FLOOR EXTERIOR DIMENSIONS ARE TO THE FACE OF MASONRY BELOW. ALIGN FRAMING WITH FRAMING BELOW

ALL OTHER DIMENSIONS ARE TO FACE OF STUD.

VERIFY ALL ROUGH AND MASONRY OPENINGS (M.O.) WITH APPROVED SHOP DRAWINGS.

----- LVP ----- INDICATES VINYL PLANK FLOORING
----- INDICATES INSTALLATION DIRECTION
----- INDICATES 1 HOUR WALL
----- INDICATES 2 HOUR WALL

6'-6" ±
6'-6" ±

DIMENSIONS SHOWN AS RUGH OPENING FOR SPECIFIC FINISHES. BASED ON CURRENT INFORMATION AVAILABLE AT TIME OF DRAWING PREPARATION. CONTRACTOR TO VERIFY AS APPROPRIATE.

PLUS OR MINUS - FOR REFERENCE ONLY

1/4" UNIT PLANS

WALL TYPES

DOOR SCHEDULE

WINDOW SCHEDULE

ROOM FINISH SCHEDULE

SHEET A320 - A324

SHEET A325

SHEET AT120

SHEET A523

SEE SPEC

PRE RATED WALL CONSTRUCTION MUST RUN CONTINUOUS
BEHIND TUBS, SHOWERS, ETC.

VERIFY WALL CONSTRUCTION WITH WALL TYPES.

A } TYPICAL DEMISING WALL SEE SHEET AT320
B } SIDE A INSTALL EXTRA LAYER OF DRYWALL PER WALL
CONTRACTOR OPTION INSTALL OPPOSITE SIDE AS NEEDED

LOCATE CENTER OF DOOR TYPICAL

CARPET
LVP = LUXURY VINYL PLANK
SC = SEALED CONCRETE @ LOWER LEVEL HVAC ONLY
SV = SHEET VINYL @ UPPER LEVEL HVAC ONLY

ASI #002 REVISIONS:
REVISIONS PER RFI-002 RESPONSE
REVISIONS PER RFI-033 RESPONSE
ADDED FLOORING TRANSITIONS NOTES
ADDED FLOORING INSTALLATION DIRECTIONS

1414 UNDERWOOD AVE.
WAUWATOSA, WI 53213

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Architecture
Engineering
Planning

REVISIONS		
NO.	DATE	DESCRIPTION

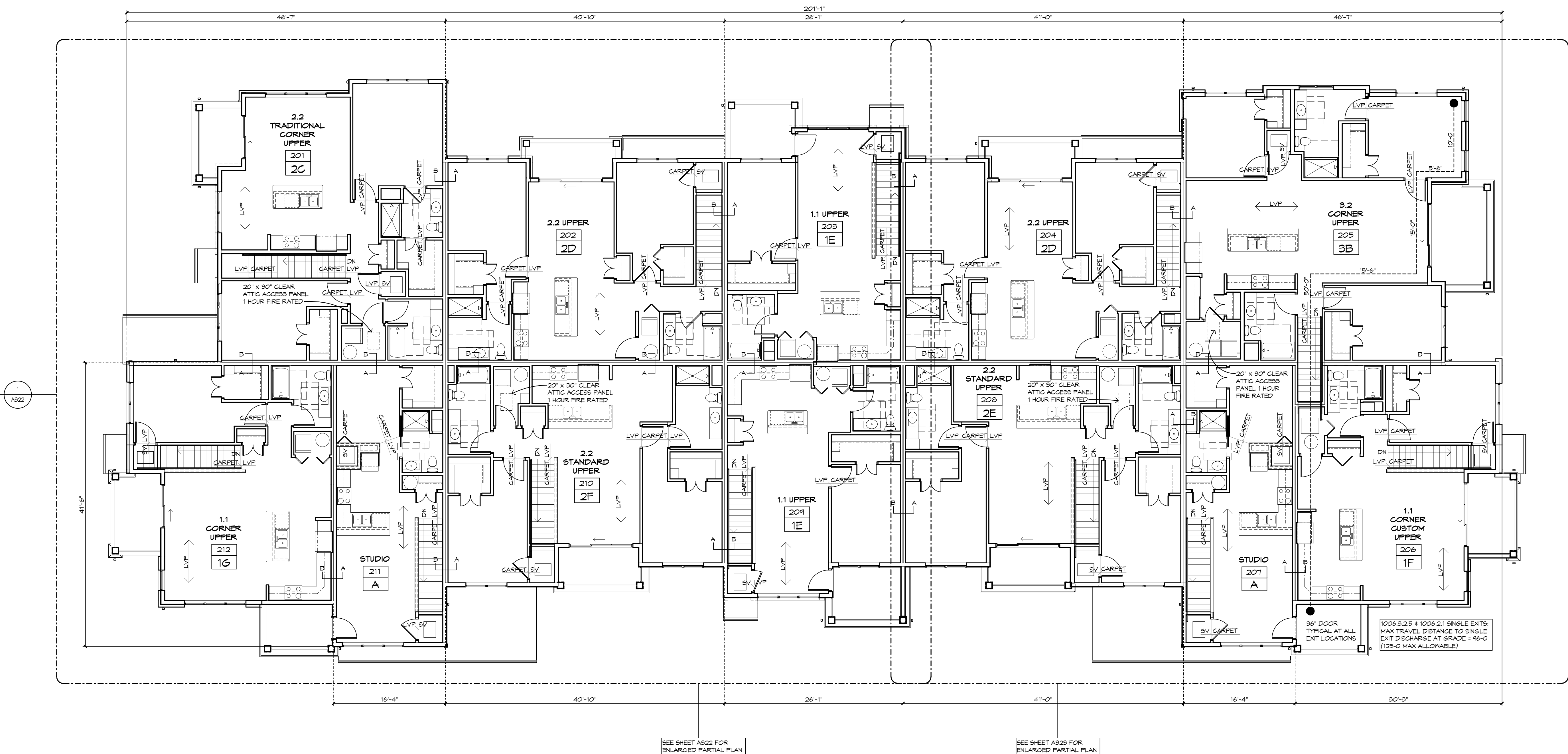
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DATE

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2101
SHEET NO.

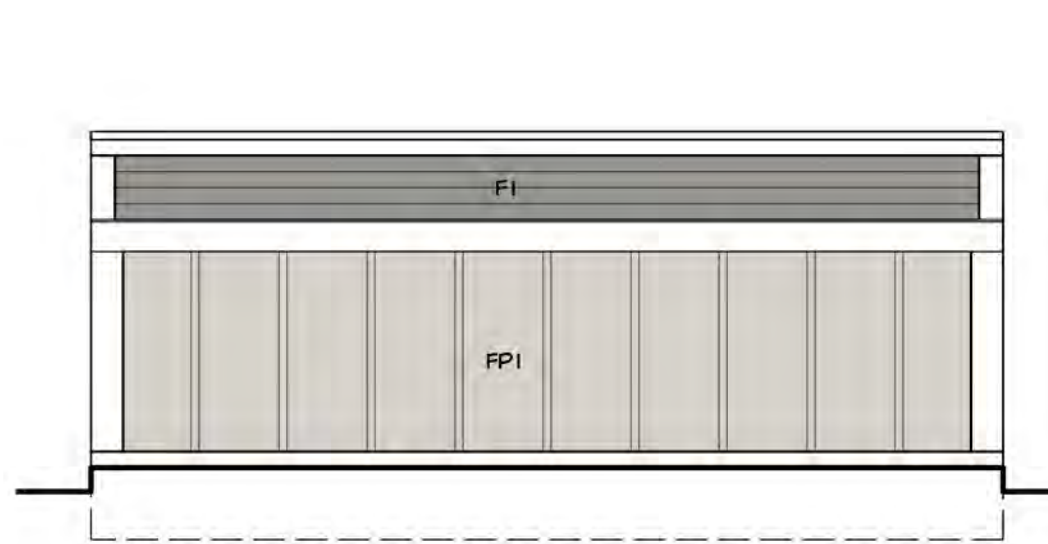
A222

1/8" SECOND FLOOR PLAN - 20 UNIT A222

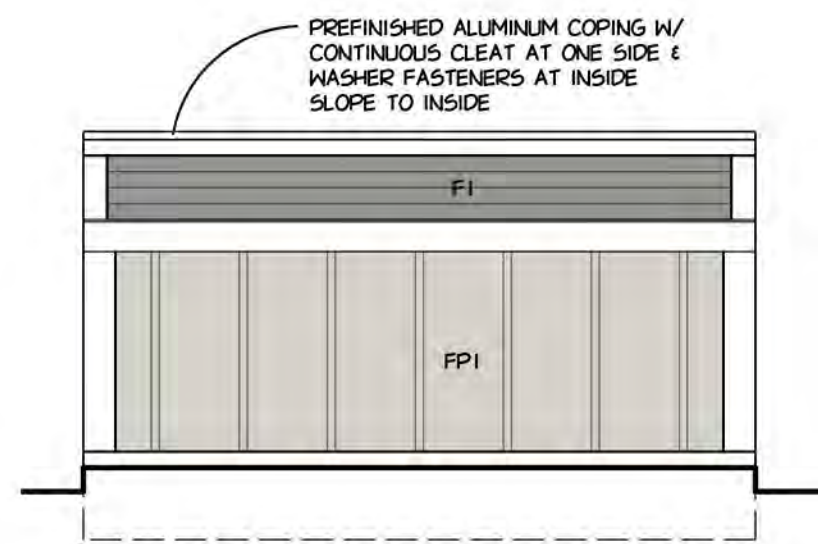


SHEET PRINTED ON:
5/10/2021 9:25:53 AM
FILE PATH:
\\BM 360c\\Promo 2101-FRED Plainfield IL\\Promo 2101 Arch 20 Unit R10.zvt

- F1 - AGED PEWTER
FP1 - COBBLESTONE
FP2 - ARCTIC WHITE



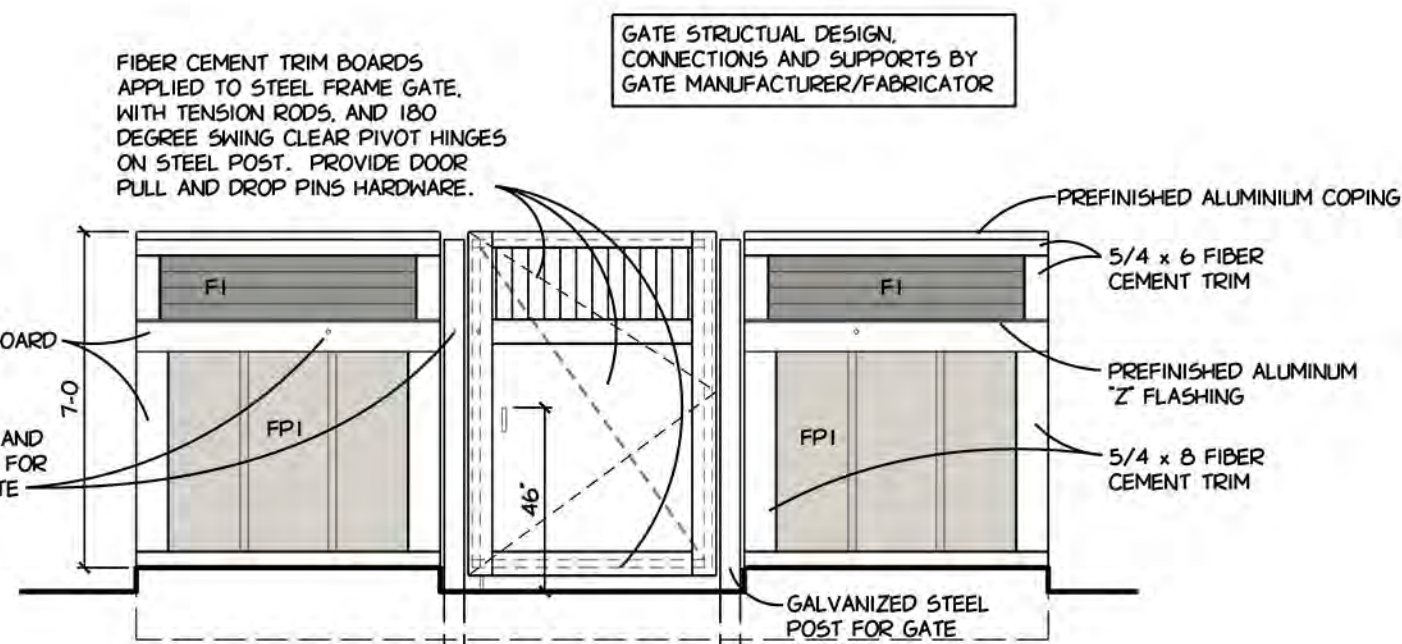
LARGE TRASH ENCLOSURE
BACK ELEVATION 1/4" = 1'-0" 6 231



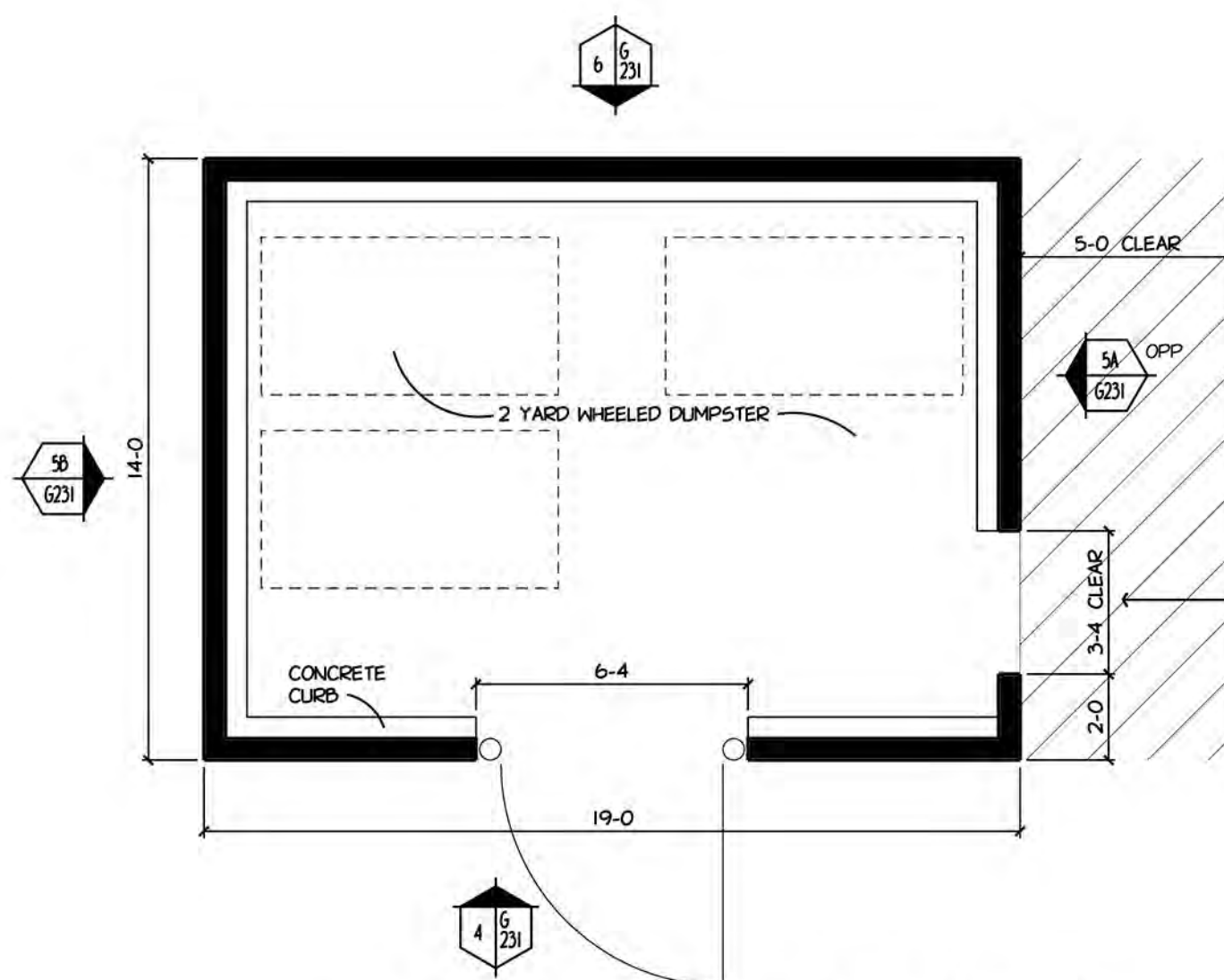
LARGE TRASH ENCLOSURE
SIDE ELEVATION 1/4" = 1'-0" 5B 6 231



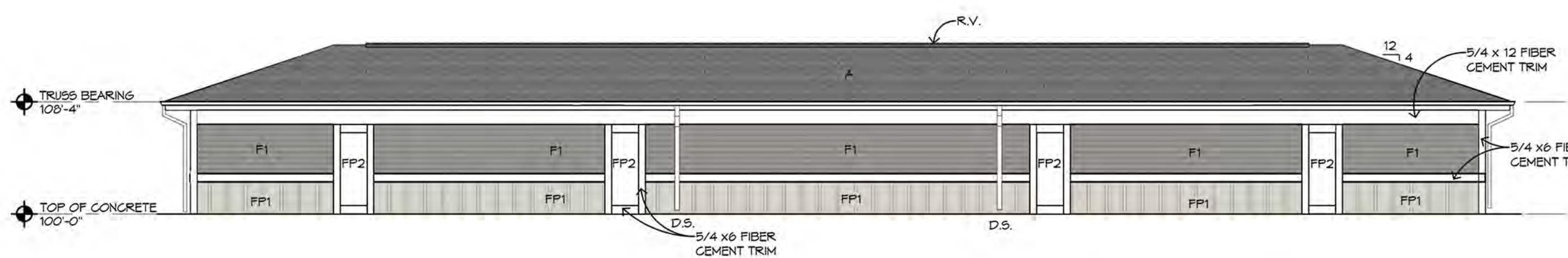
LARGE TRASH ENCLOSURE
SIDE ELEVATION 1/4" = 1'-0" 5A 6 231



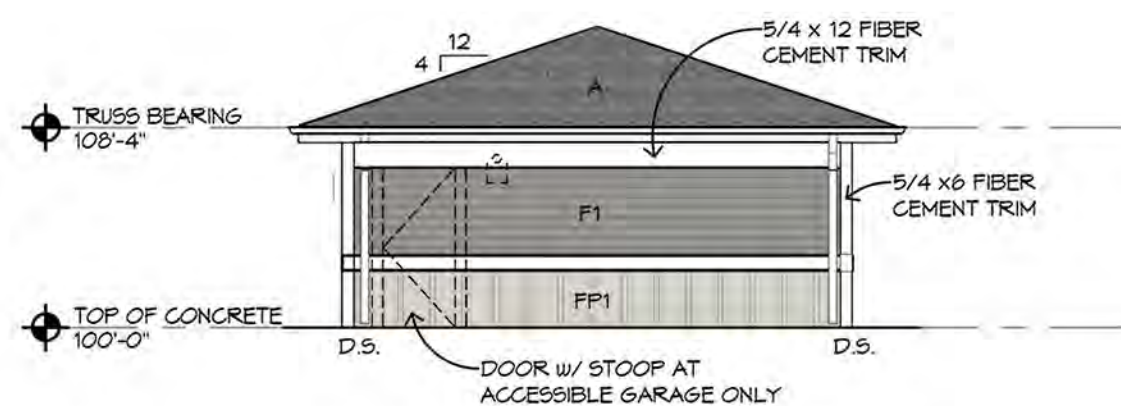
LARGE TRASH ENCLOSURE
FRONT ELEVATION 1/4" = 1'-0" 4 6 231



TRASH ENCLOSURE PLAN 3 1/4" = 1'-0" 6231



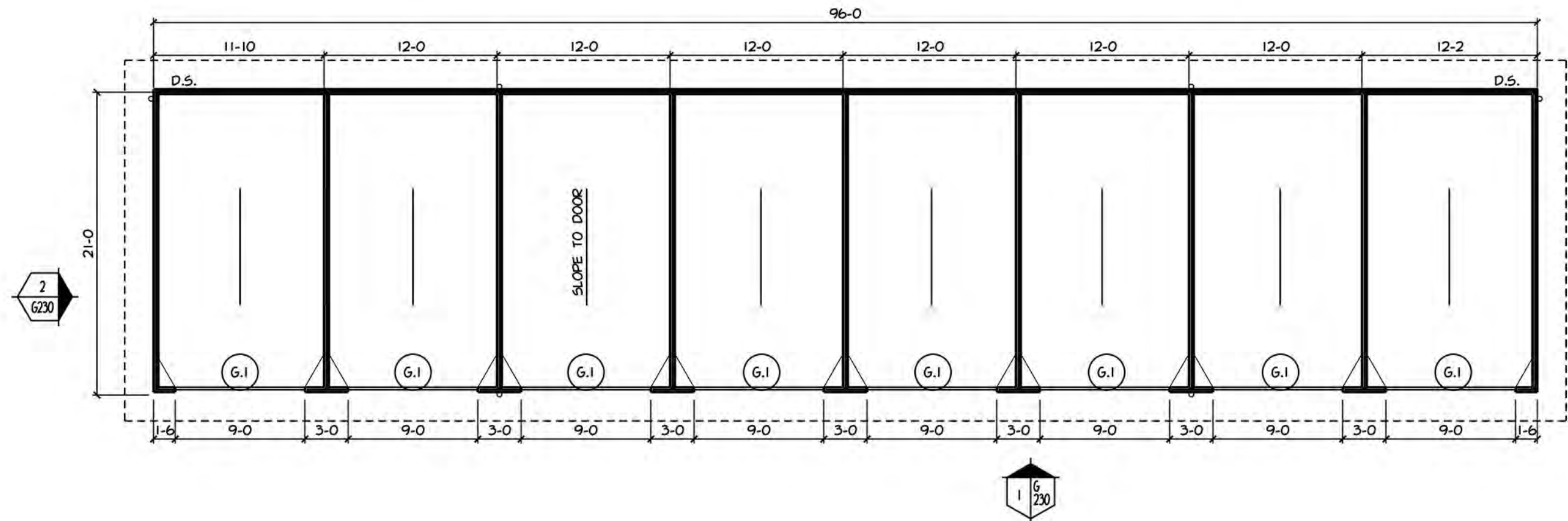
8 CAR GARAGE ELEVATION 1/8" = 1'-0" 3 6 230



GARAGE SIDE ELEVATION 1/8" = 1'-0" 2 6 230

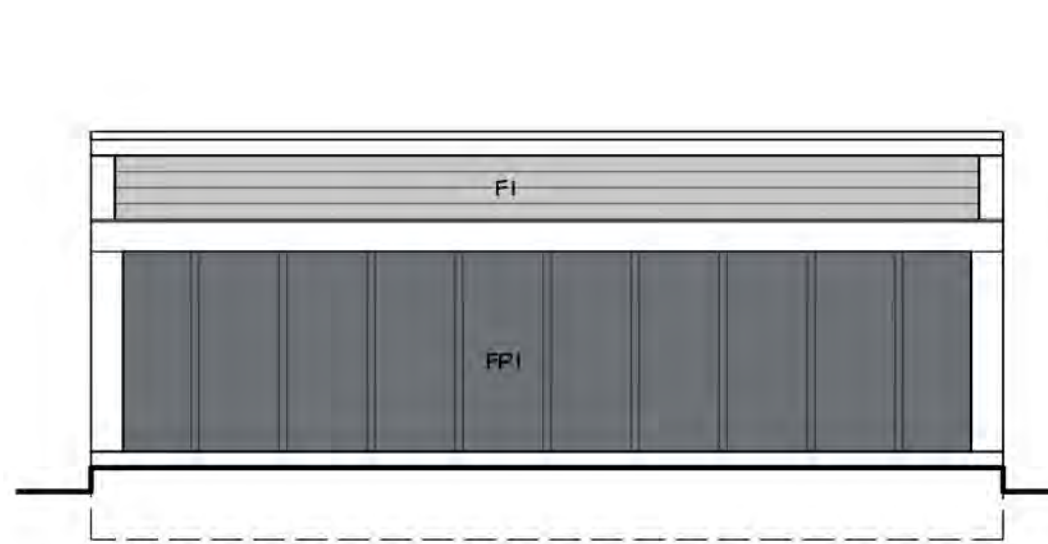


8 CAR GARAGE ELEVATION 1/8" = 1'-0" 1 6 230

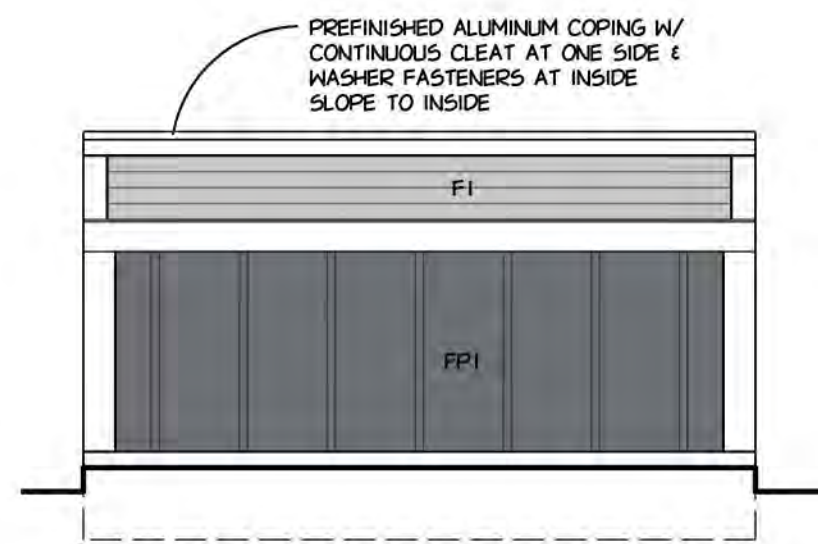


8 CAR GARAGE FLOOR PLAN 1 1/8" = 1'-0" 6230

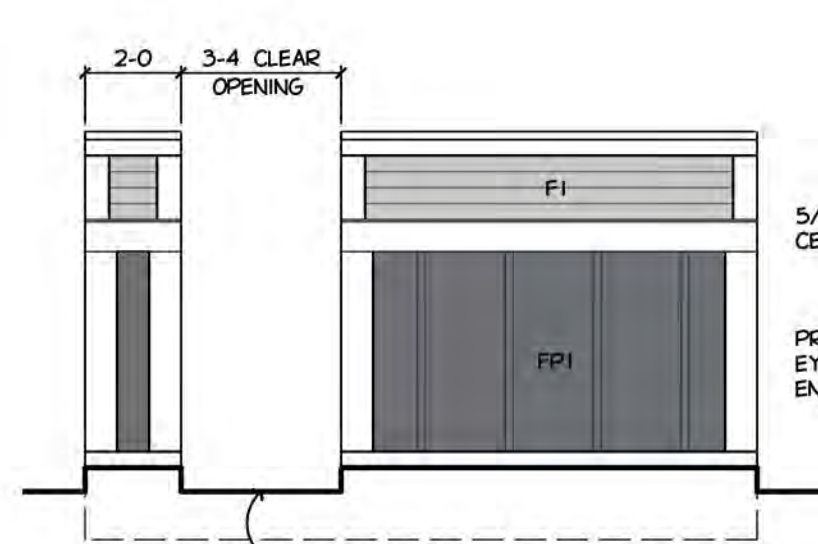
- F1 - PEARL GREY
FP1 - NIGHT GREY
FP2 - ARCTIC WHITE



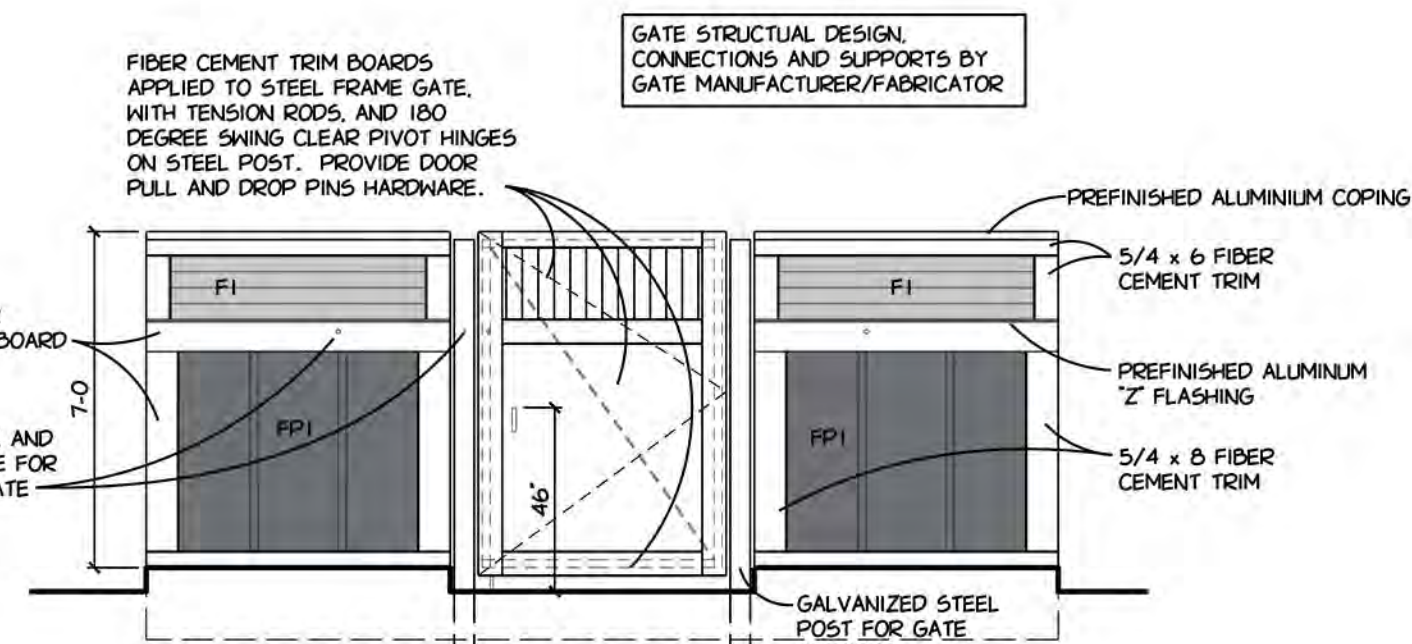
LARGE TRASH ENCLOSURE
BACK ELEVATION 1/4" = 1'-0" 6/231



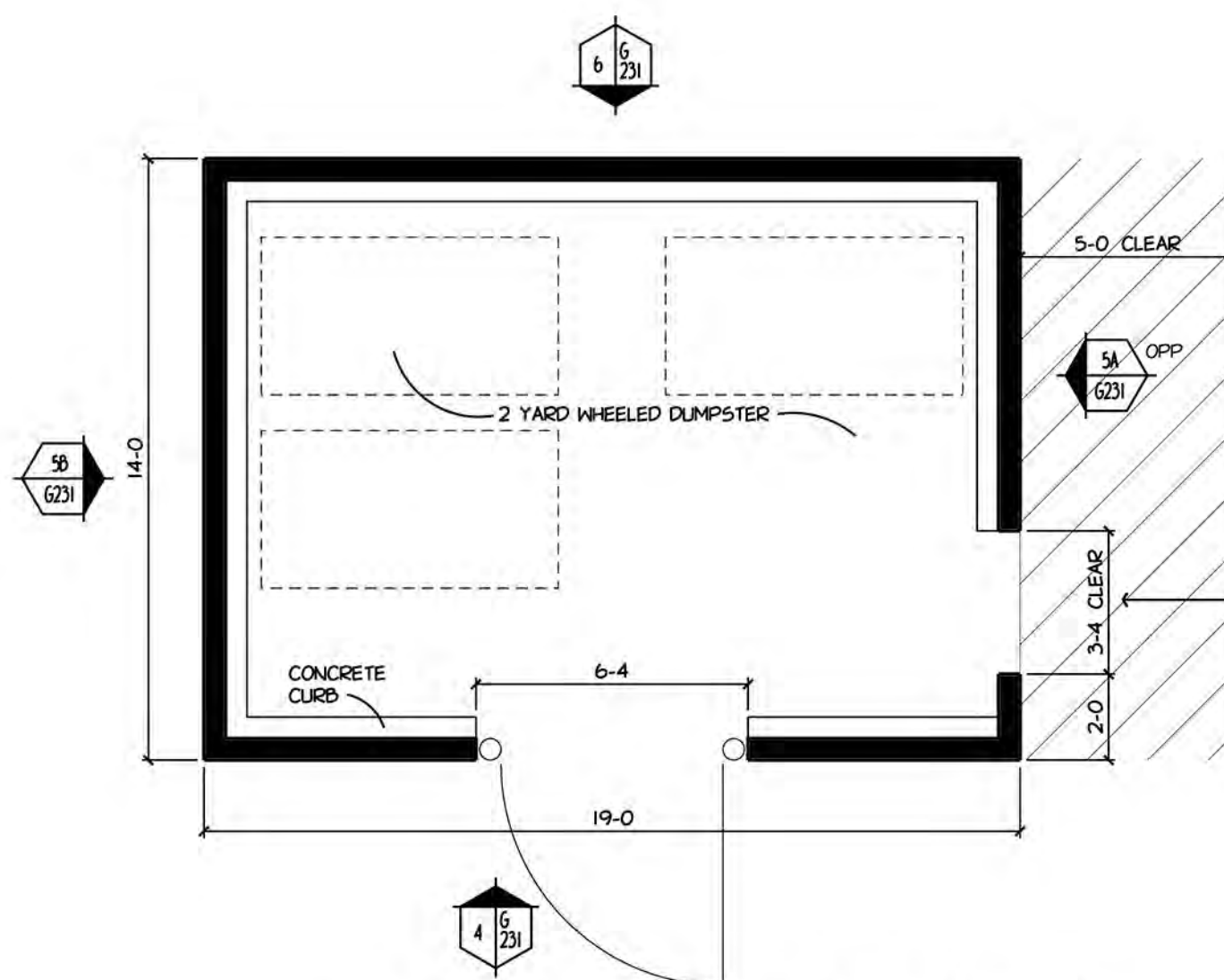
LARGE TRASH ENCLOSURE
SIDE ELEVATION 1/4" = 1'-0" 5B/231



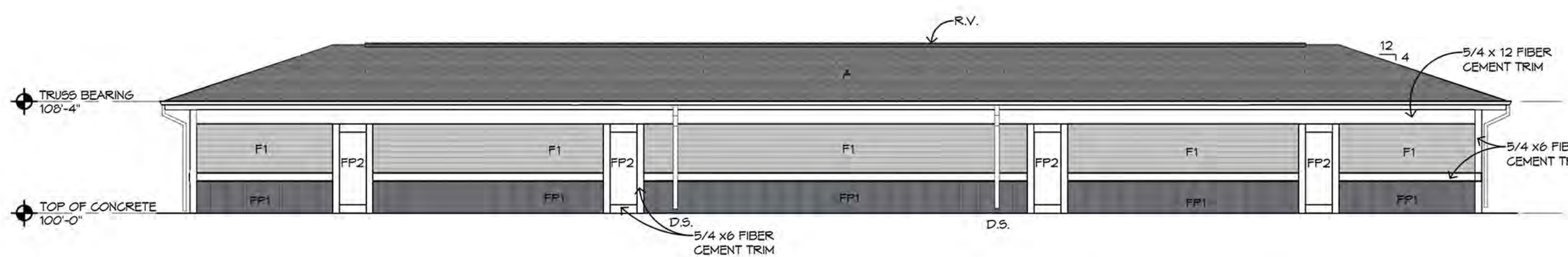
LARGE TRASH ENCLOSURE
SIDE ELEVATION 1/4" = 1'-0" 5A/231



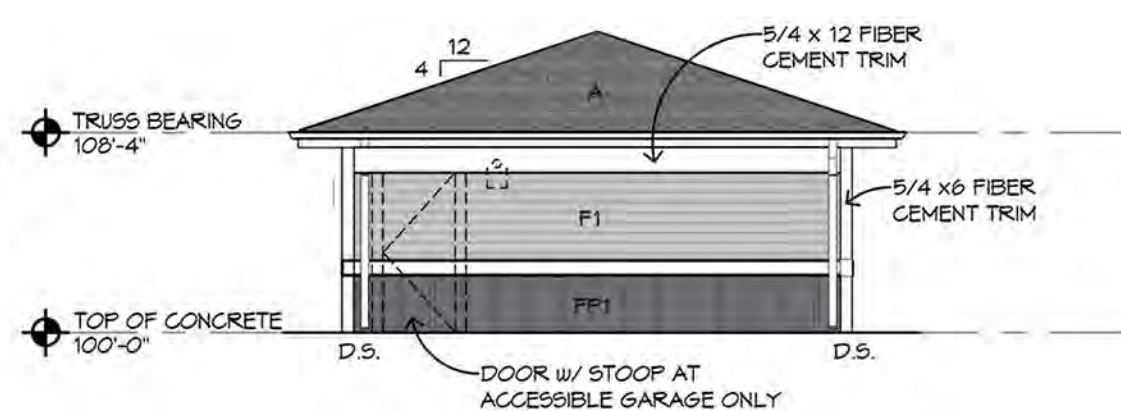
LARGE TRASH ENCLOSURE
FRONT ELEVATION 1/4" = 1'-0" 4/231



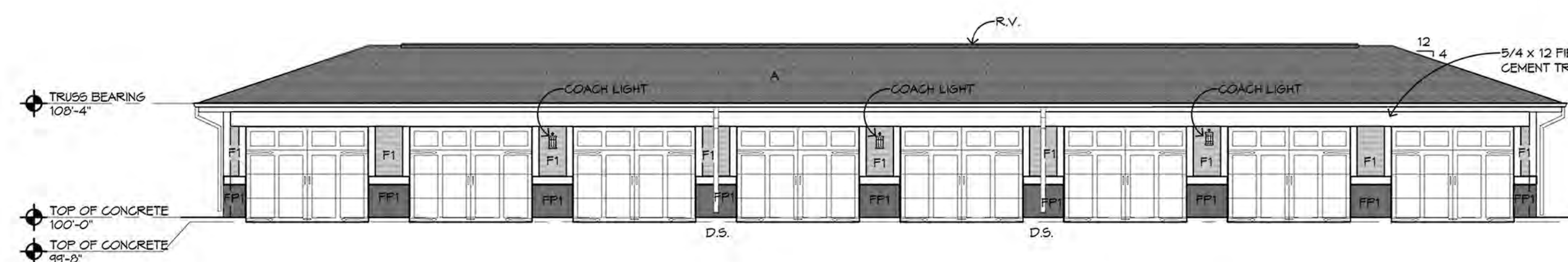
TRASH ENCLOSURE PLAN 3/231 1/4" = 1'-0"



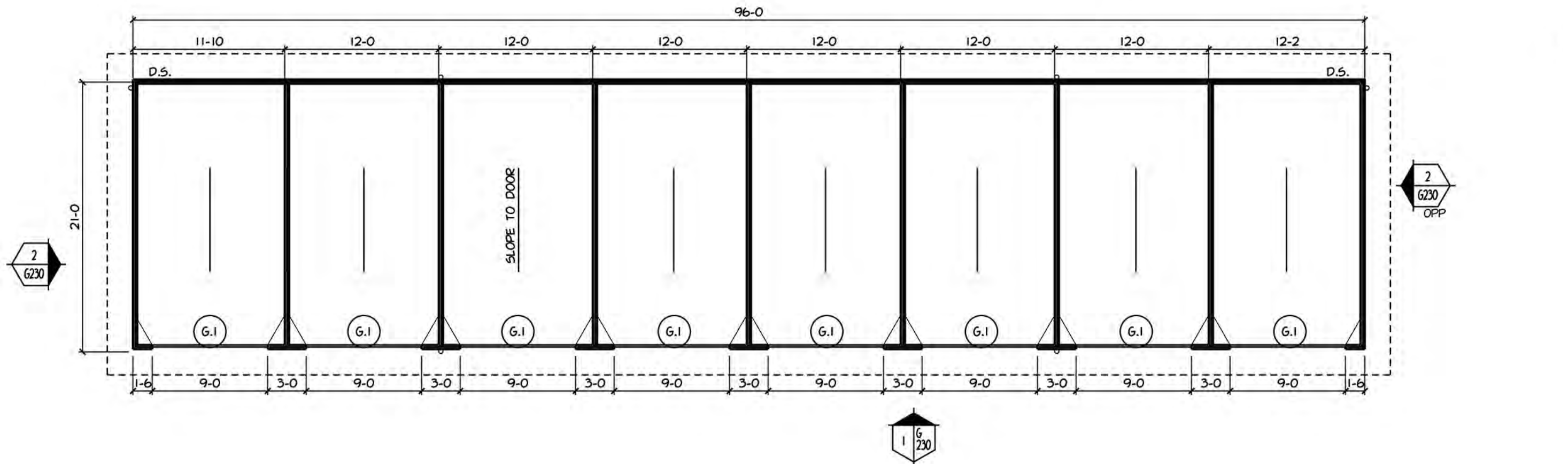
8 CAR GARAGE ELEVATION 1/8" = 1'-0" 3/230



GARAGE SIDE ELEVATION 1/8" = 1'-0" 2/230



8 CAR GARAGE ELEVATION 1/8" = 1'-0" 1/230



8 CAR GARAGE FLOOR PLAN 1/230 1/8" = 1'-0"



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DRAWN BY
DRF
DATE
30 OCT 2020
PROJECT
941
SHEET NO.

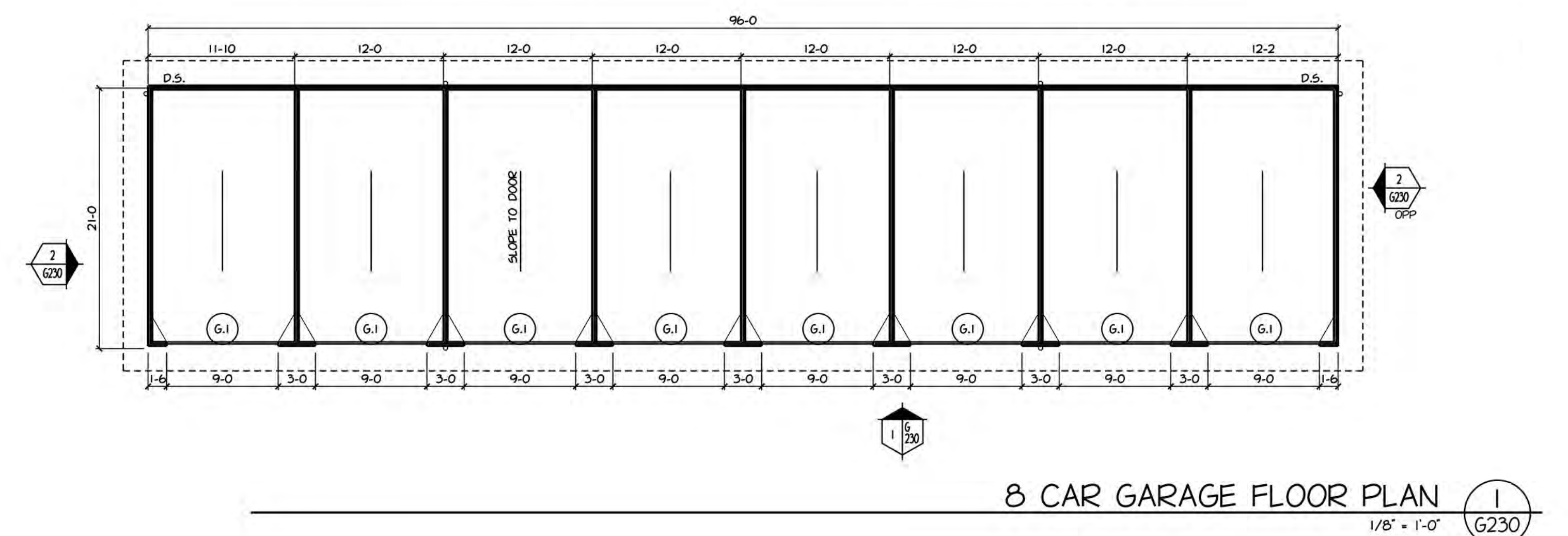
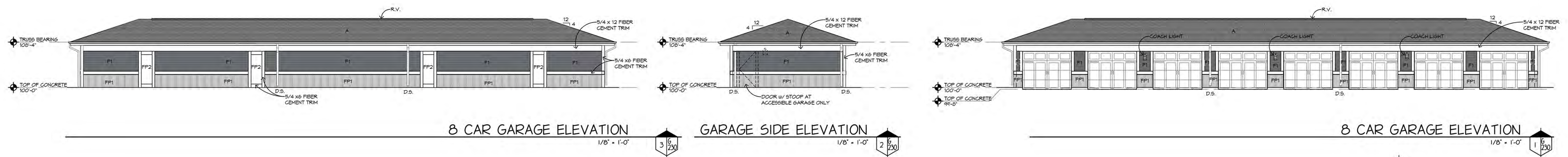
SITE DETAILS G230
TYPICAL

The Seasons of Germantown
MULTIFAMILY
Germantown
Wisconsin

PLOT PARAMETERS: FILE: N:\2020\14\G230\14230_Plan_Cur_Setup_Subsurface_Sheet
PLOT DATE: 4/21/2020 2:54:58 PM BY: USER: JAC
LAST SHEET: 17/2200

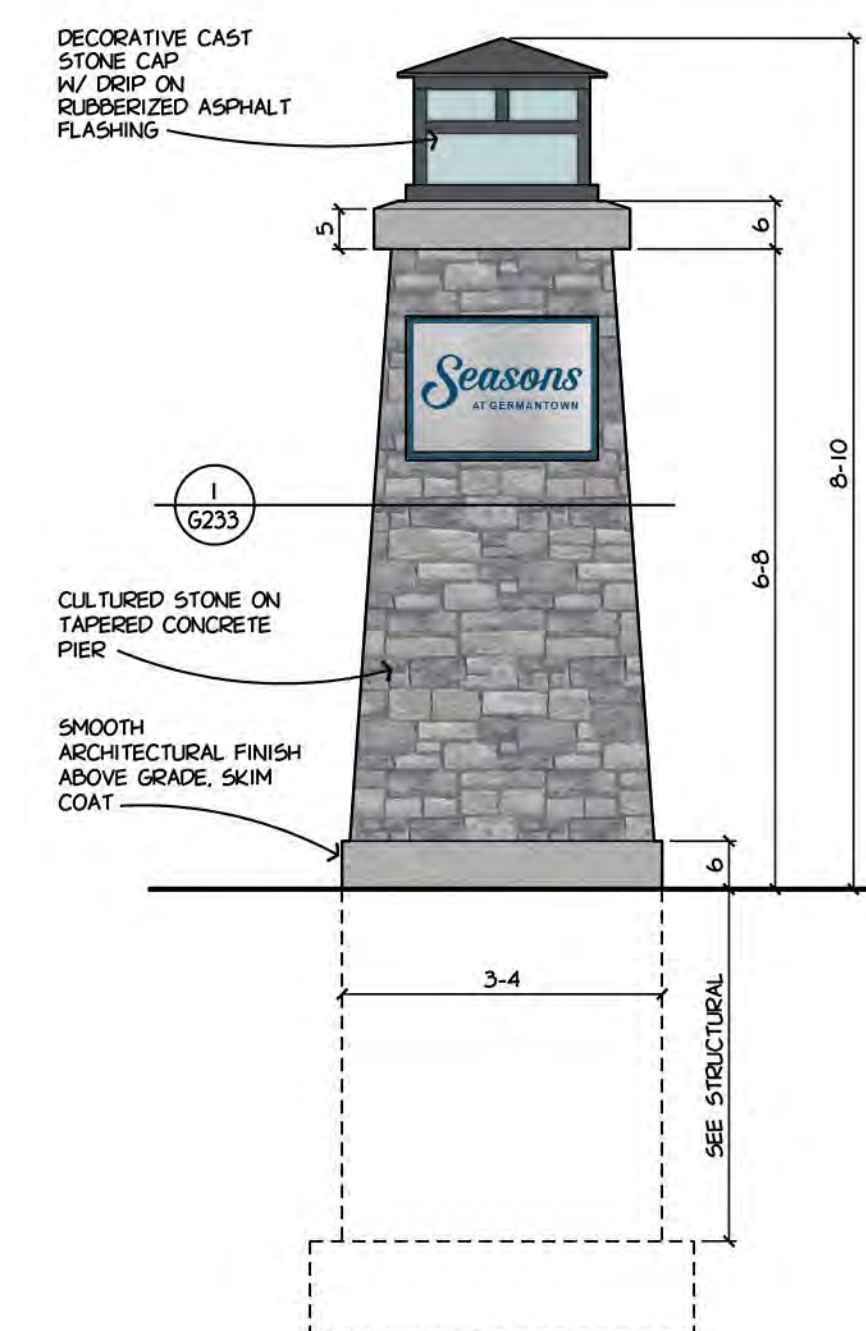
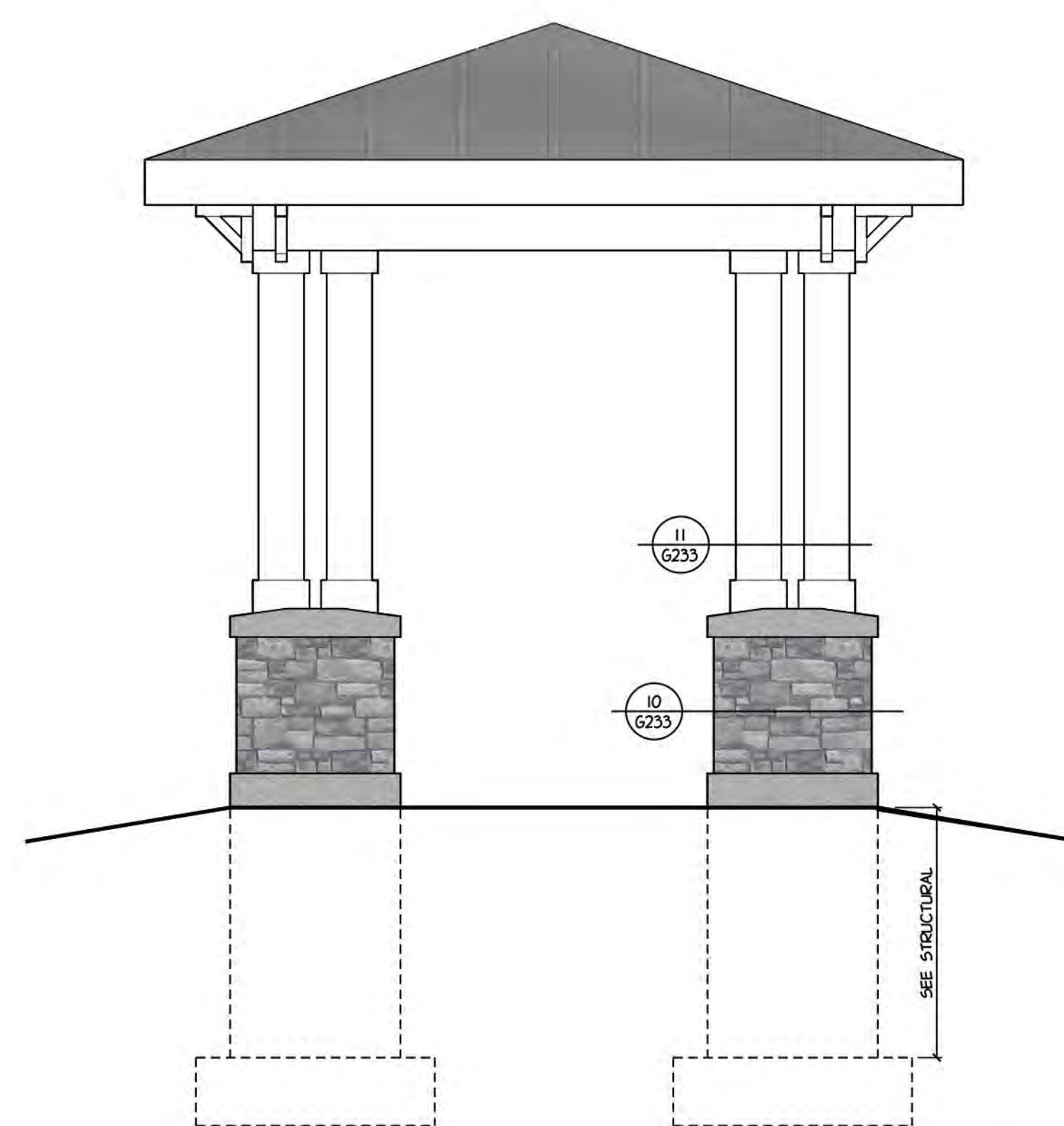
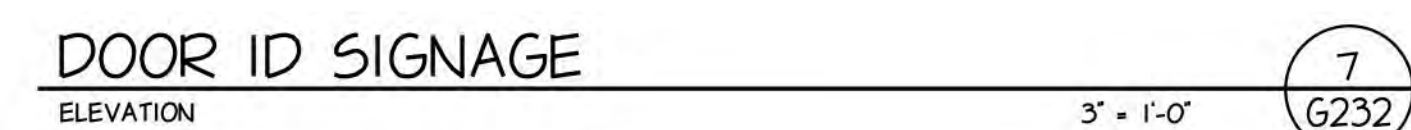
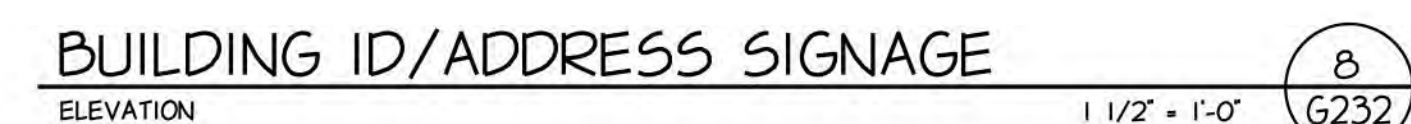
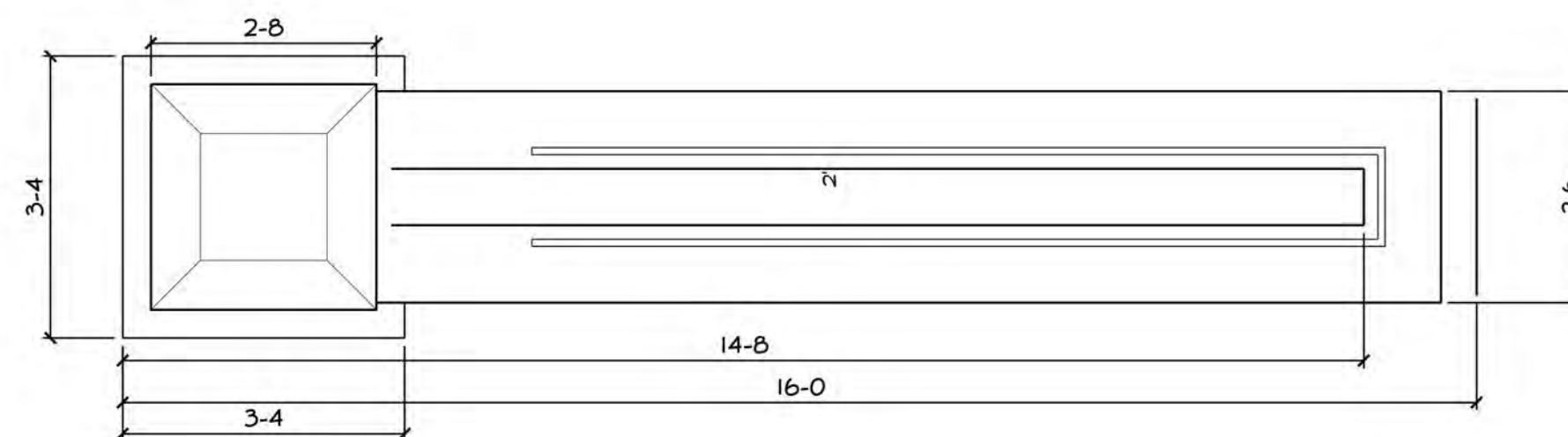
The image displays four elevation drawings of a large trash enclosure, each with specific dimensions and material callouts.

- Back Elevation:** Shows a rectangular structure with a top section labeled 'F1' and a larger bottom section labeled 'FP1'. The overall width is 1'4" = 1'-0". A small detail shows a 6/32" dimension.
- Side Elevation:** Similar to the back elevation, showing 'F1' and 'FP1' sections. It includes a callout for 'PREFINISHED ALUMINUM COPING W/ CONTINUOUS CLEAT AT ONE SIDE (WASHER FASTENERS AT INSIDE SLOPE TO INSIDE)'. The width is 1'4" = 1'-0". A small detail shows a 50/32" dimension.
- Side Elevation:** Shows a side view with a '2-0' dimension for the top section and a '3-4' dimension for the opening. It includes a callout for 'ACCESSIBLE ACCESS W/O CONCRETE CURB OR THRESHOLD'. The width is 1'4" = 1'-0". A small detail shows a 5A/32" dimension.
- Front Elevation:** Shows the front view with a '3-4' dimension for the opening. It includes several callouts: 'WITH TENSION RODS, AND 180 DEGREE SWING CLEAR PIVOT HINGES ON STEEL POST. PROVIDE DOOR PULL AND DROP PIN HARDWARE.', '5/4 x 6 FIBER CEMENT TRIM BOARD', '7-0' dimension for the top section, '46" dimension for the opening, 'PROVIDE HOOK AND EYE HARDWARE FOR ENCLOSURE GATE', 'PREFINISHED ALUMINUM COPING', '5/4 x 6 FIBER CEMENT TRIM', 'PREFINISHED ALUMINUM Z' FLASHING', '5/4 x 6 FIBER CEMENT TRIM', and 'GALVANIZED STEEL POST FOR GATE SUPPORT'. The width is 1'4" = 1'-0". A small detail shows a 4/32" dimension.



G230
TYPICAL

PLOT PARAMETERS: FILE: K:\200101\CADDOW\230-PLAN COMMISSION SUBMISSION.PLOT SHEET
PLOTTED ON: 4/21/2020 2:04:58 PM BY USER: JUK AT SCALE: 0.1" = 1' IN.
USING DRIVER: L:\XWORKSPACE\STANDARDS\PICTCG\VPDFE.PICTCG LAST SAVE: 4/21/2020

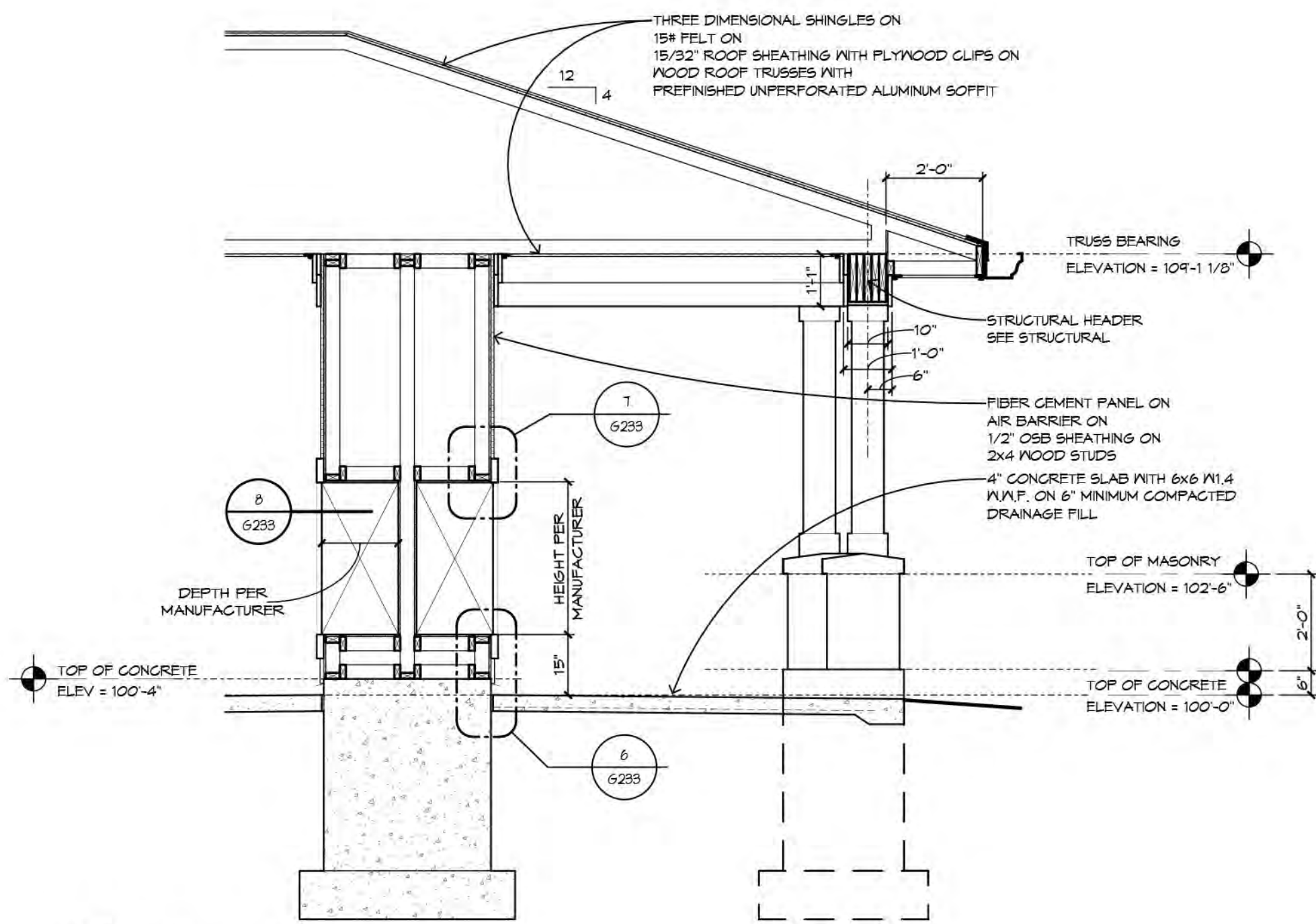


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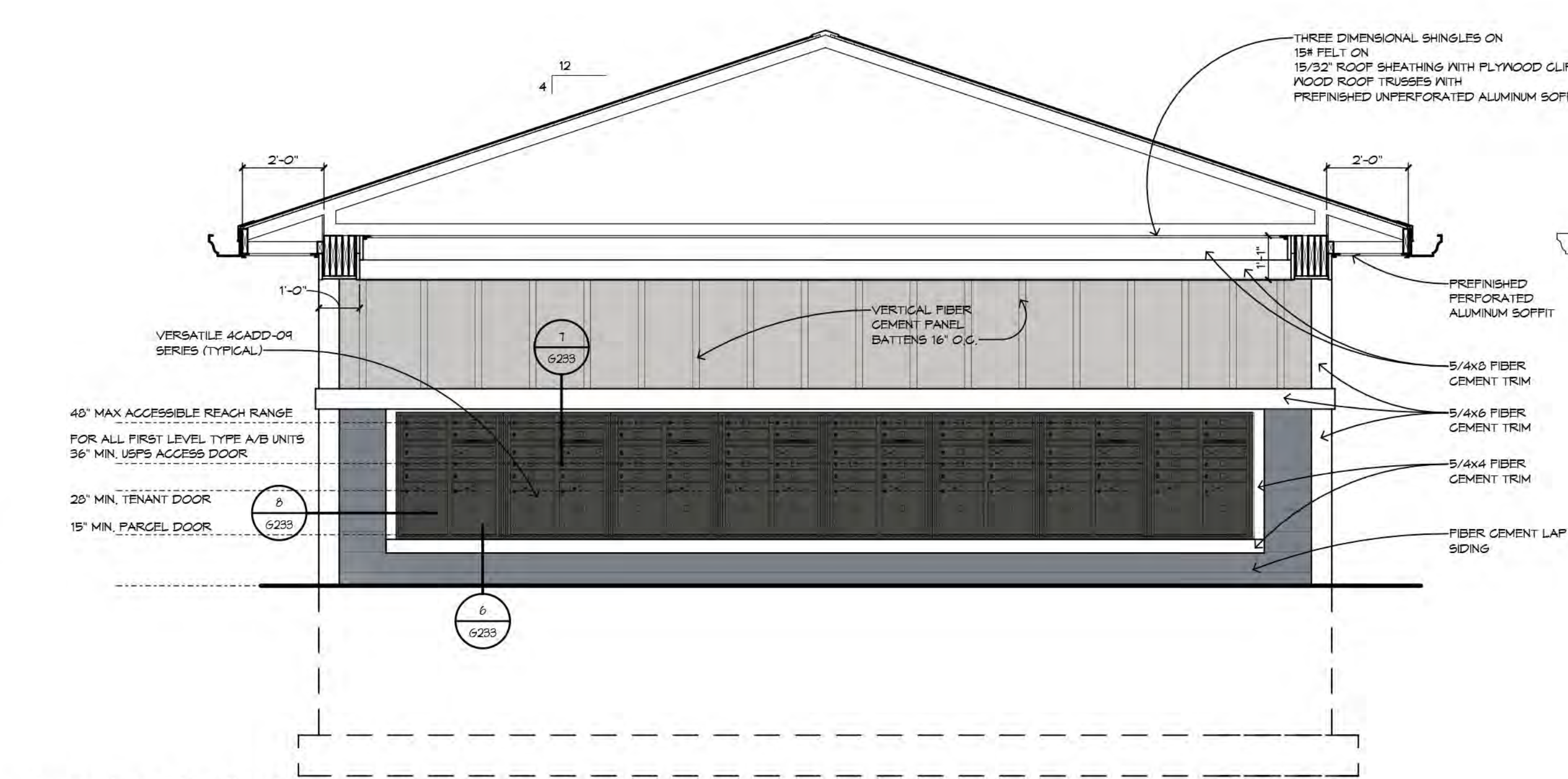
REVISIONS		
NO	DATE	DESCRIPTION

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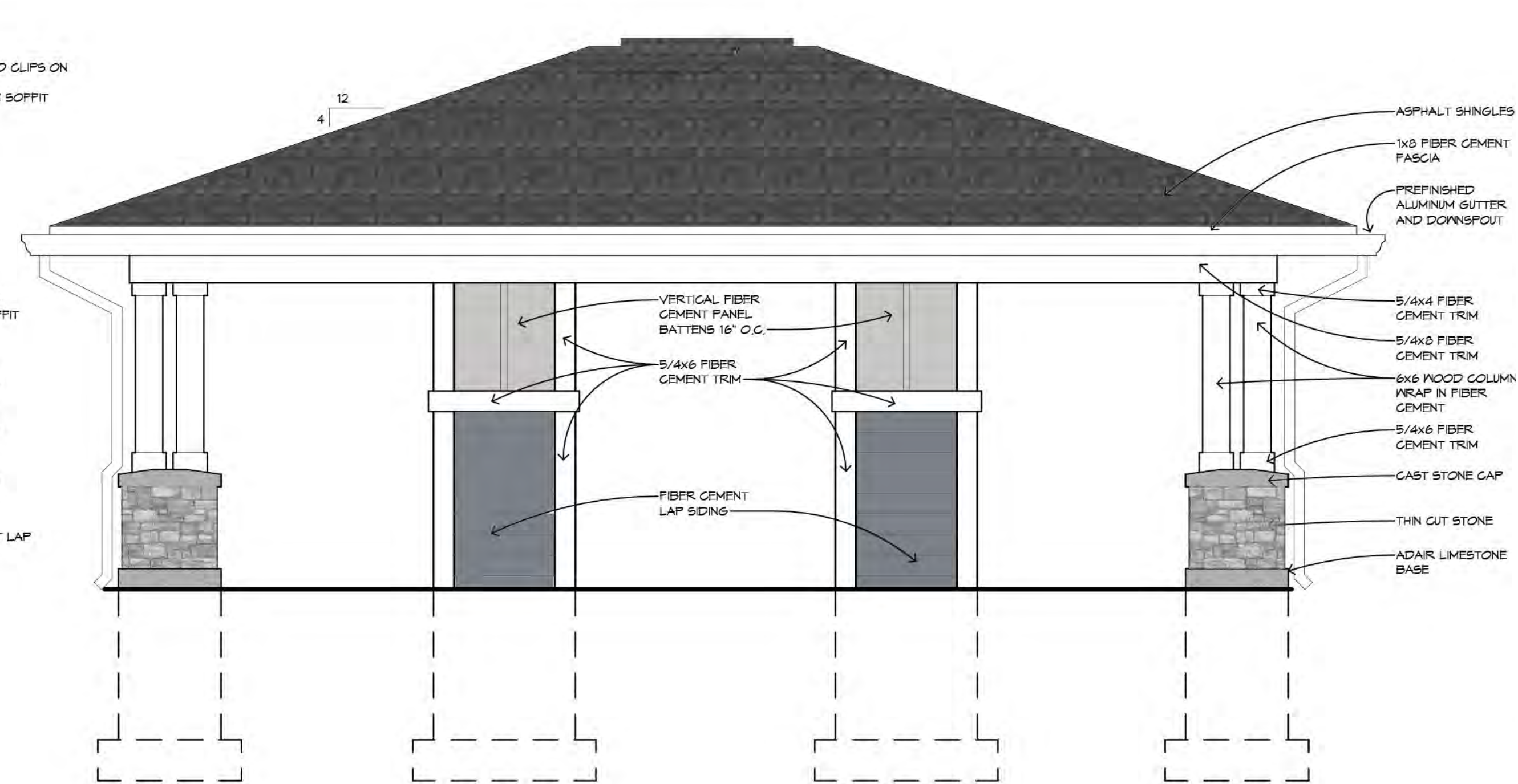
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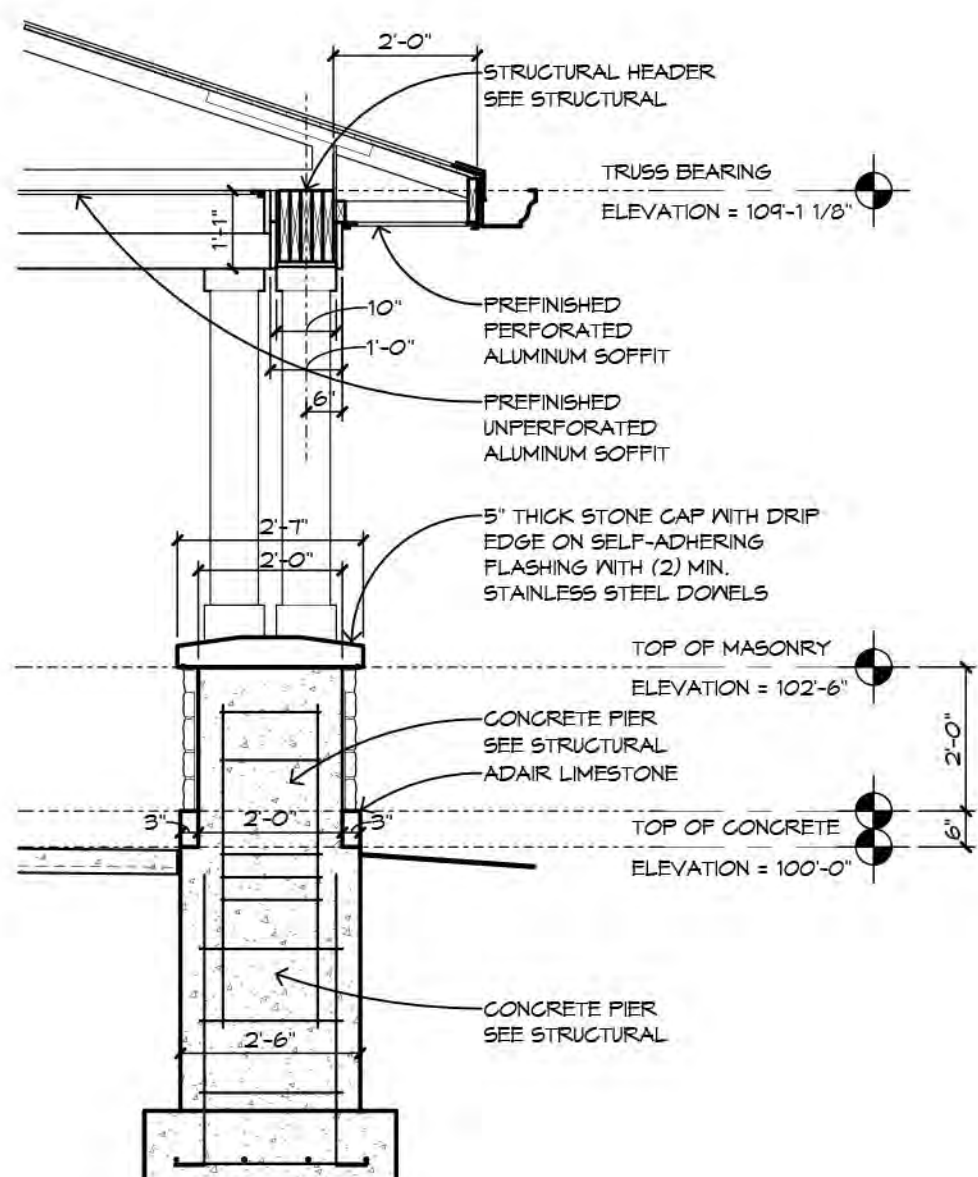
10 MAIL PAVILION
3/8" = 1'-0" BUILDING SECTION



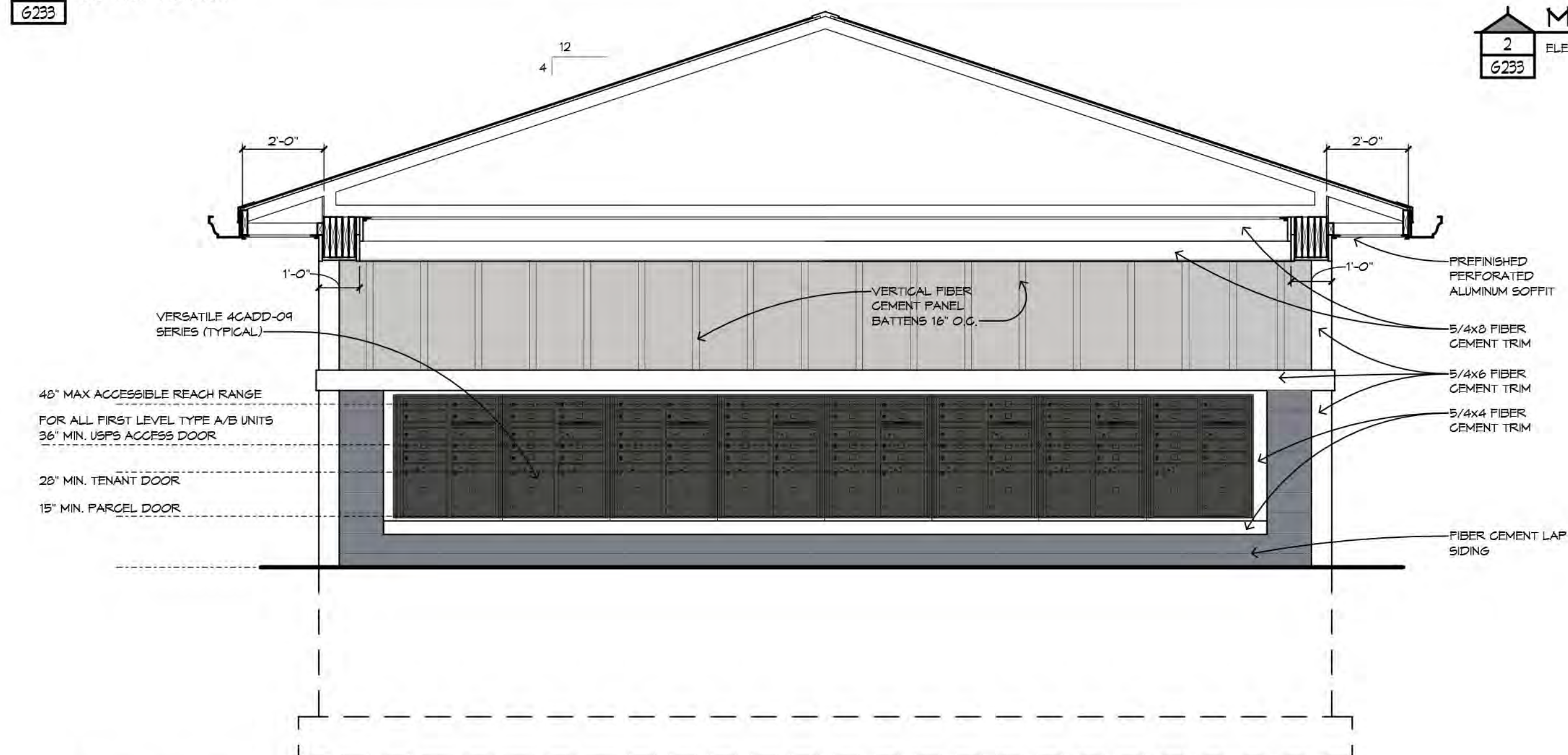
5 MAIL PAVILION
3/8" = 1'-0" ELEVATION



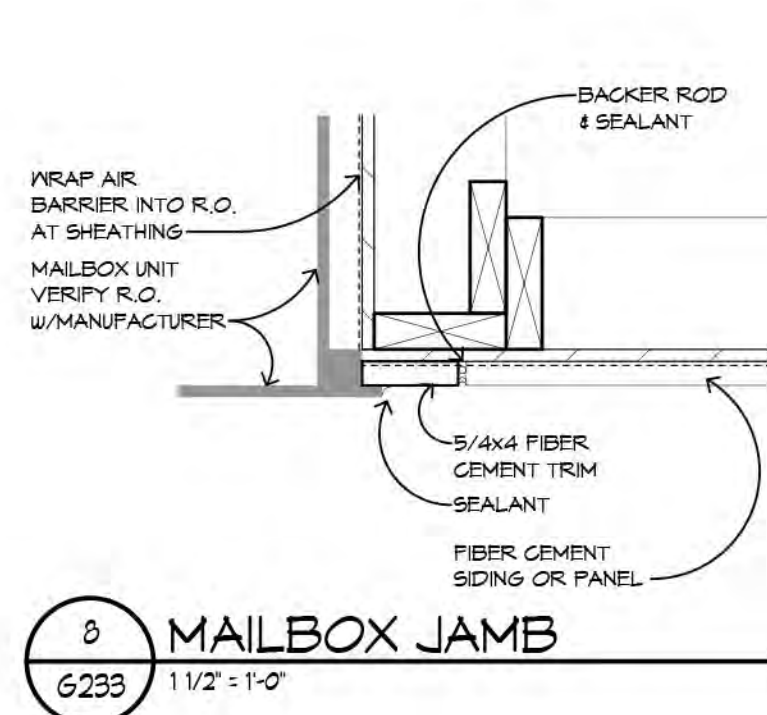
2 MAIL PAVILION
3/8" = 1'-0" ELEVATION



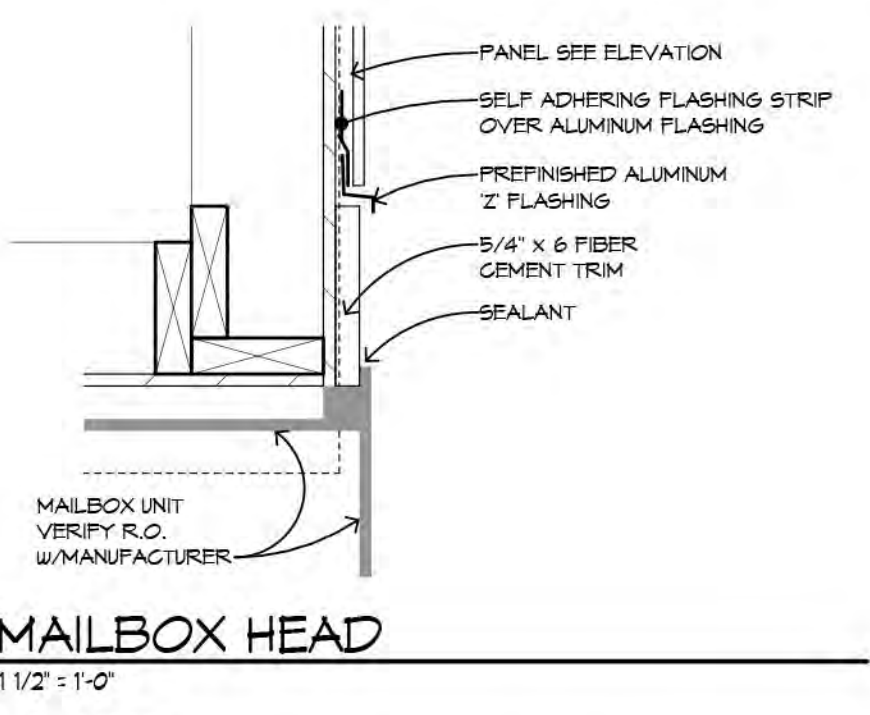
9 MAIL PAVILION
3/8" = 1'-0" SECTION



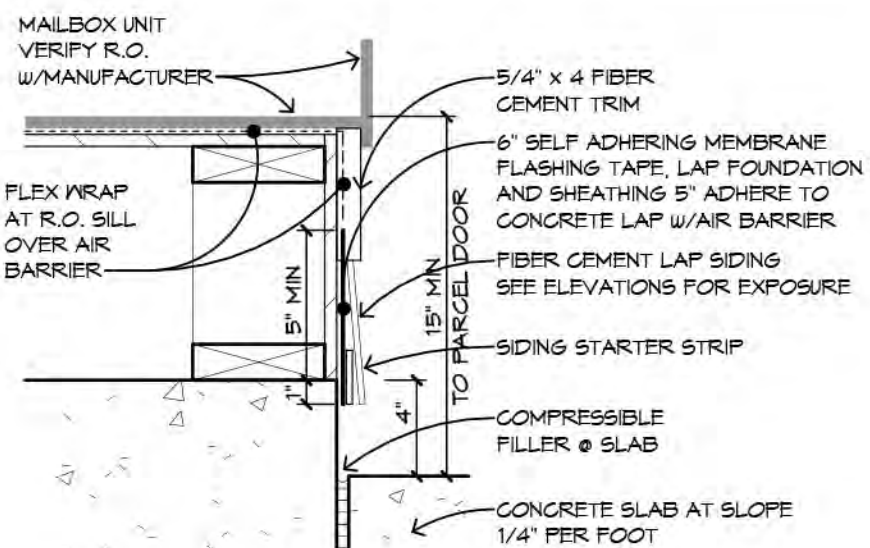
4 MAIL PAVILION
3/8" = 1'-0" ELEVATION



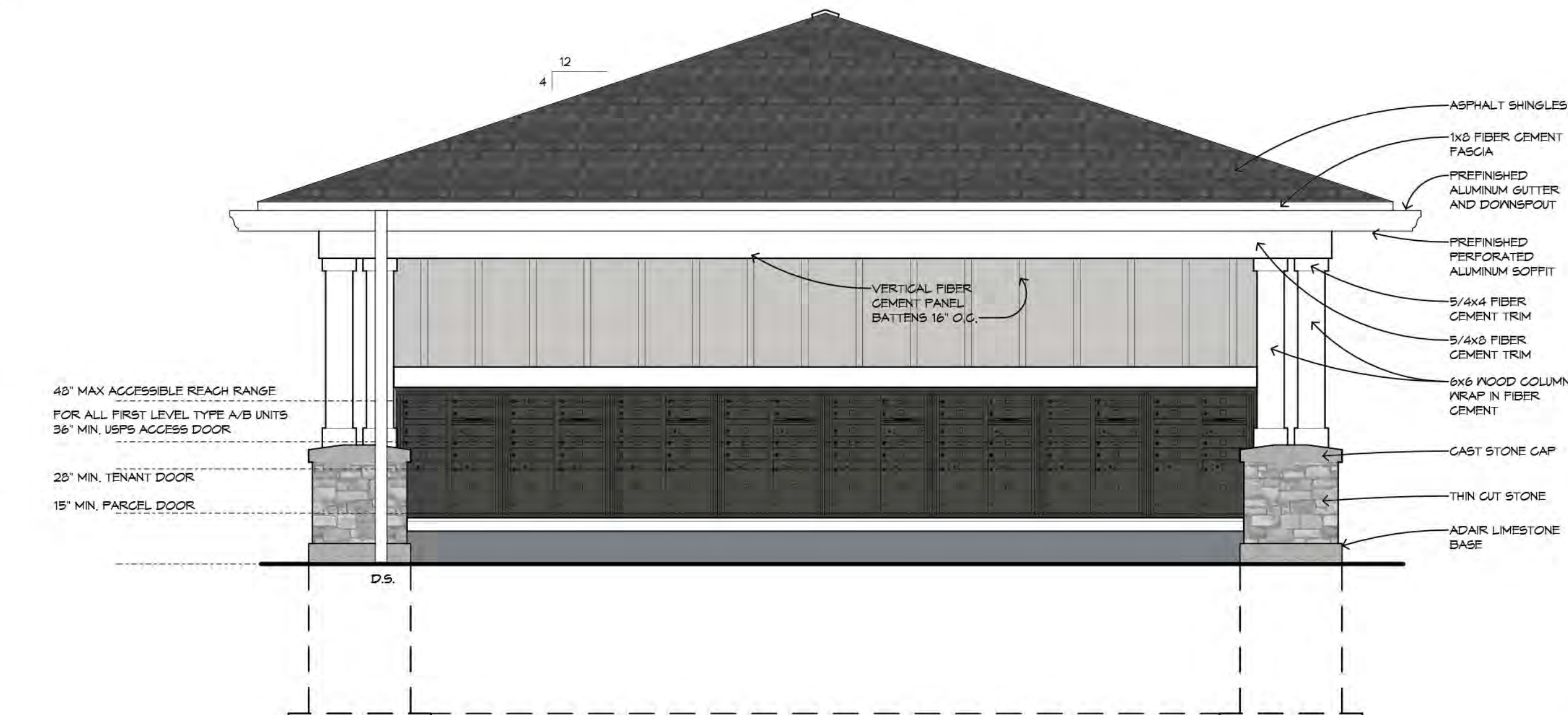
8 MAILBOX JAMB
1/2" = 1'-0"



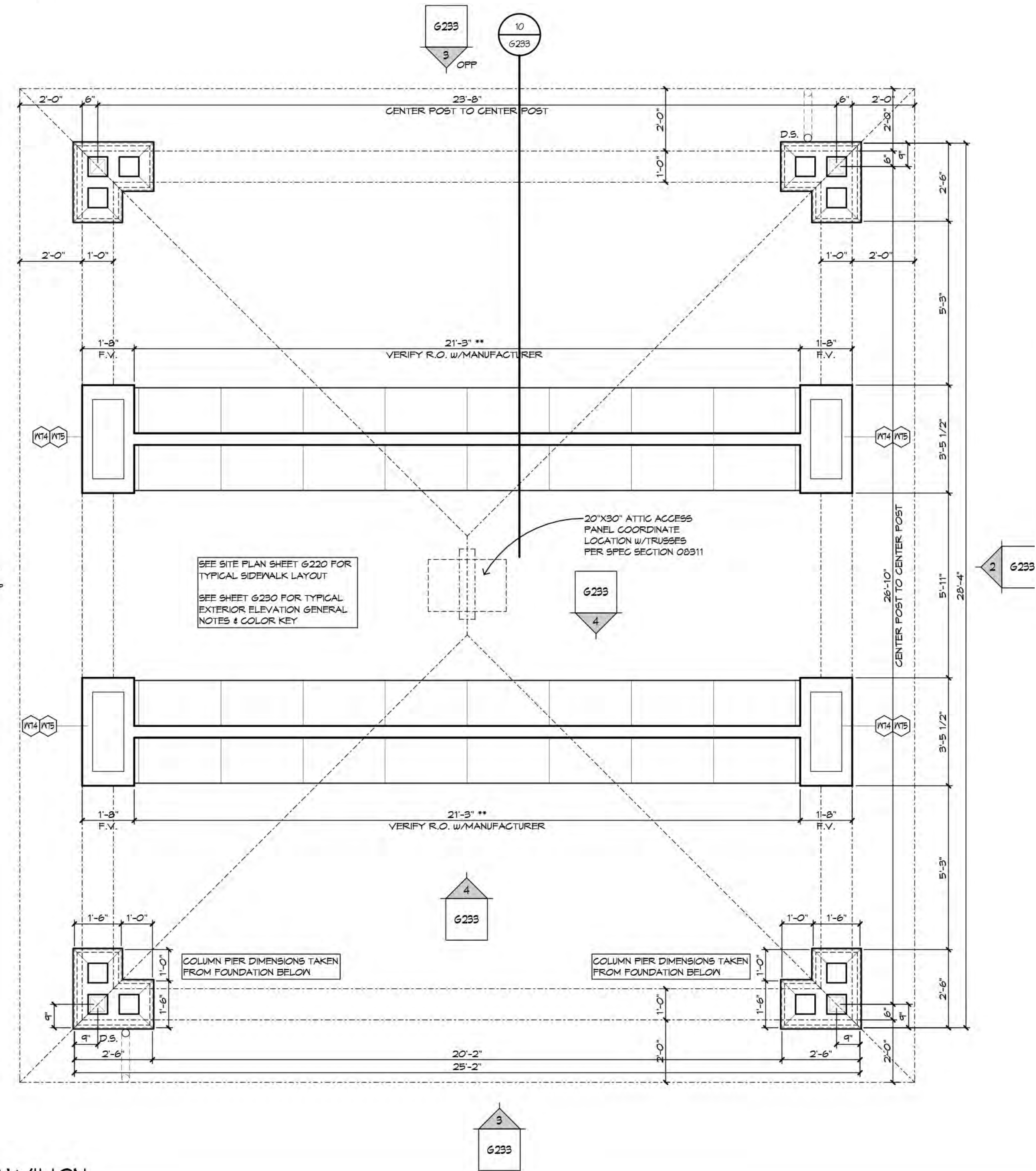
7 MAILBOX HEAD
1/2" = 1'-0"



6 MAILBOX SILL
1/2" = 1'-0"



3 MAIL PAVILION
3/8" = 1'-0" ELEVATION



MAIL PAVILION
3/8" = 1'-0" FLOOR PLAN



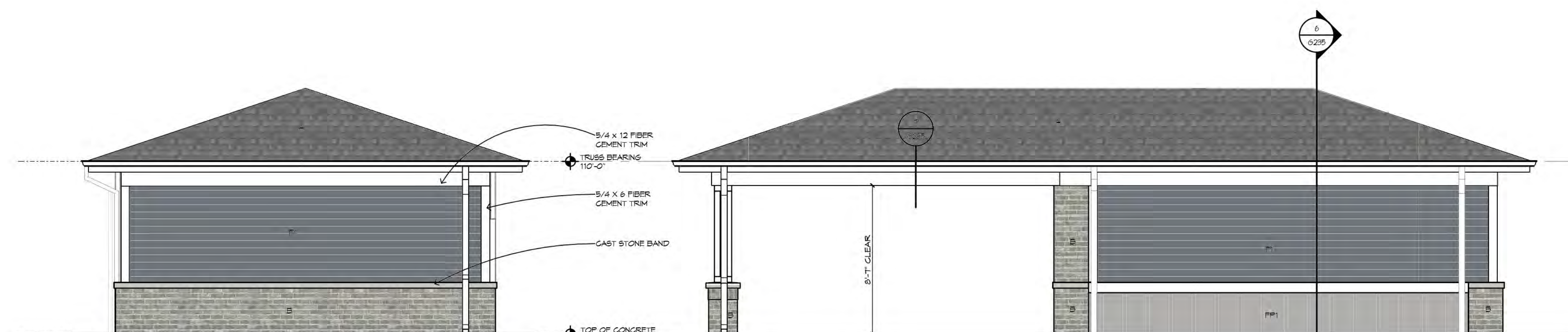
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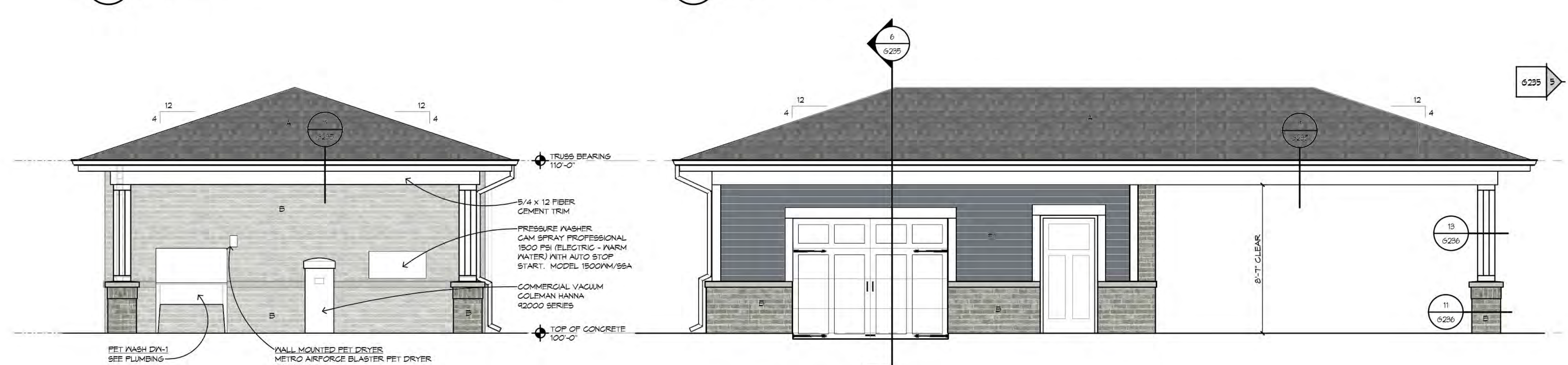
SHEET NO.

SITE DETAILS G234



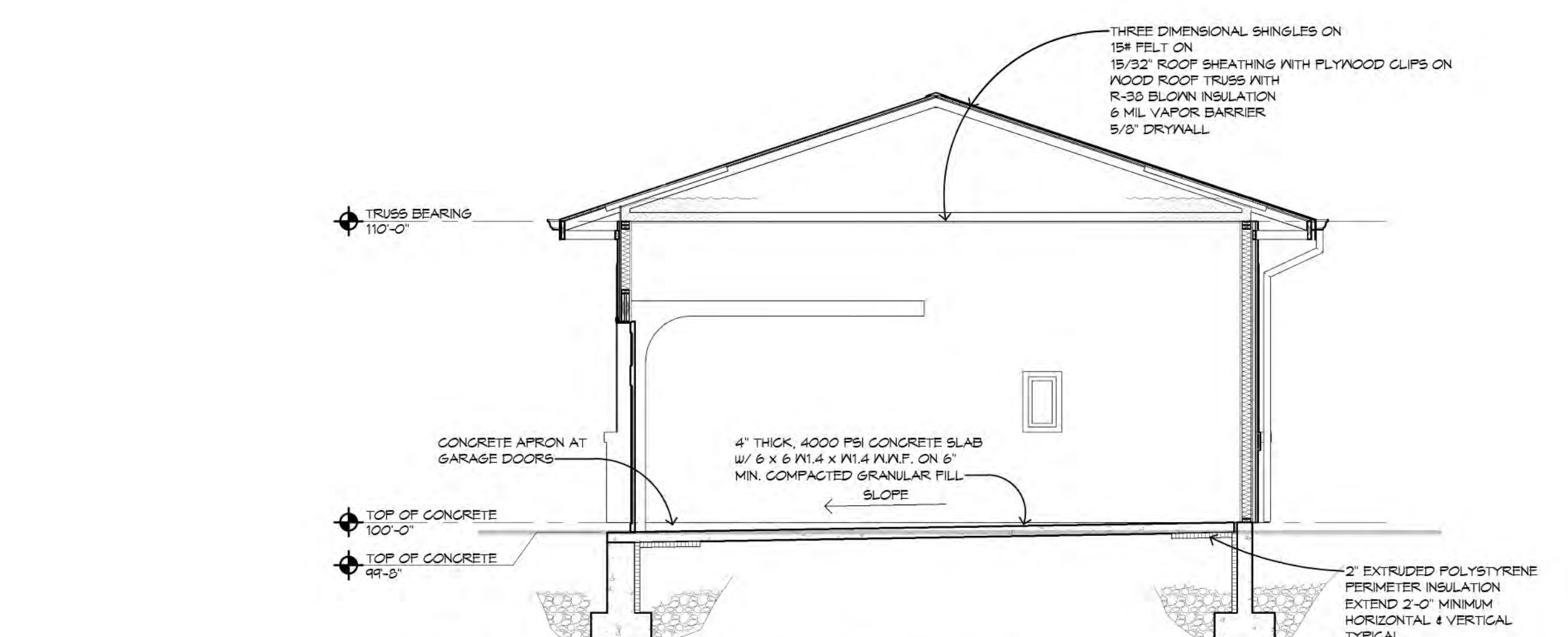
5
6235
1/4" = 1'-0"
MAINTENANCE GARAGE SIDE
ELEVATION

4
6235
1/4" = 1'-0"
MAINTENANCE GARAGE BACK
ELEVATION

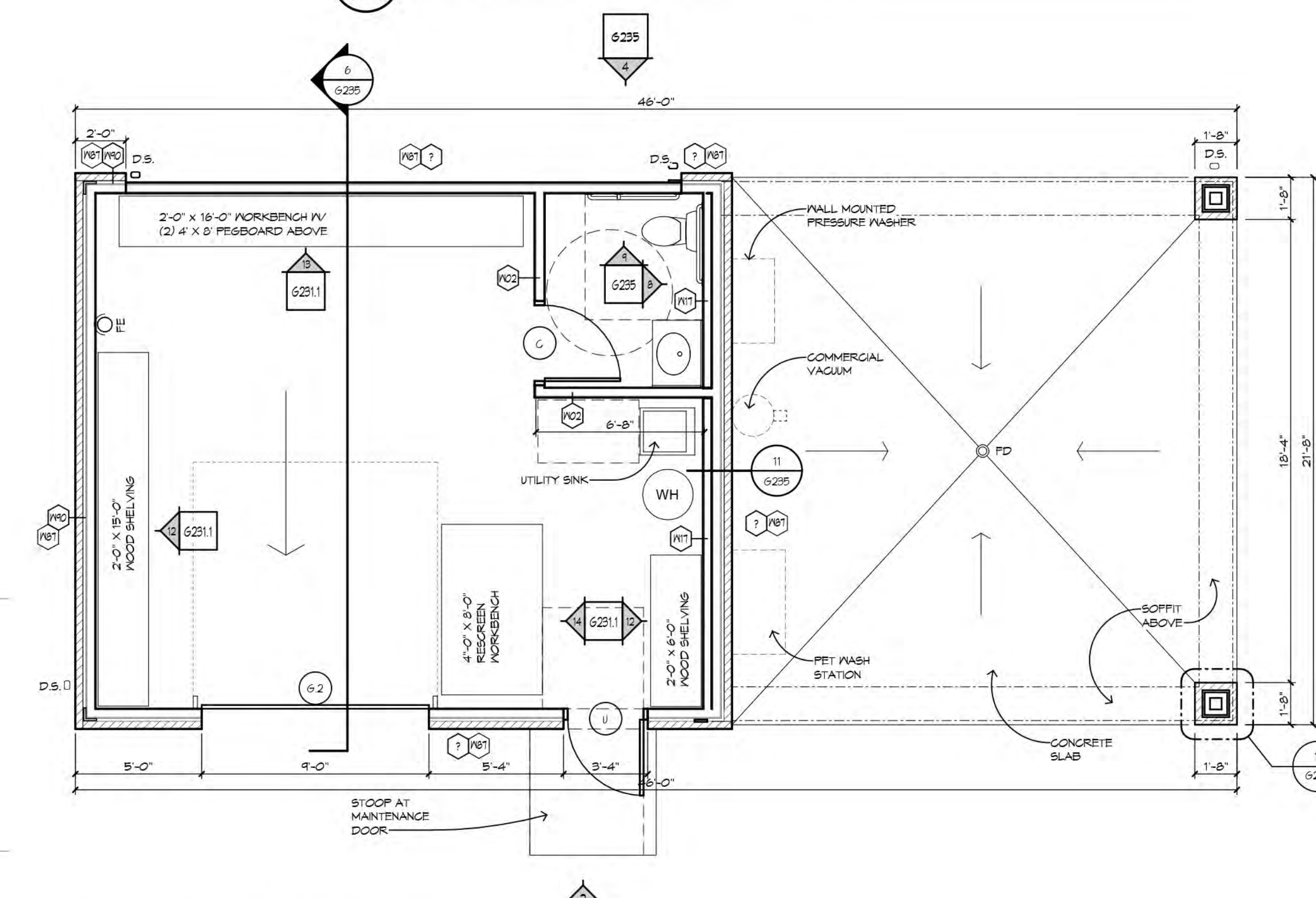


3
6235
1/4" = 1'-0"
MAINTENANCE GARAGE SIDE
ELEVATION

2
6235
1/4" = 1'-0"
MAINTENANCE GARAGE FRONT
ELEVATION

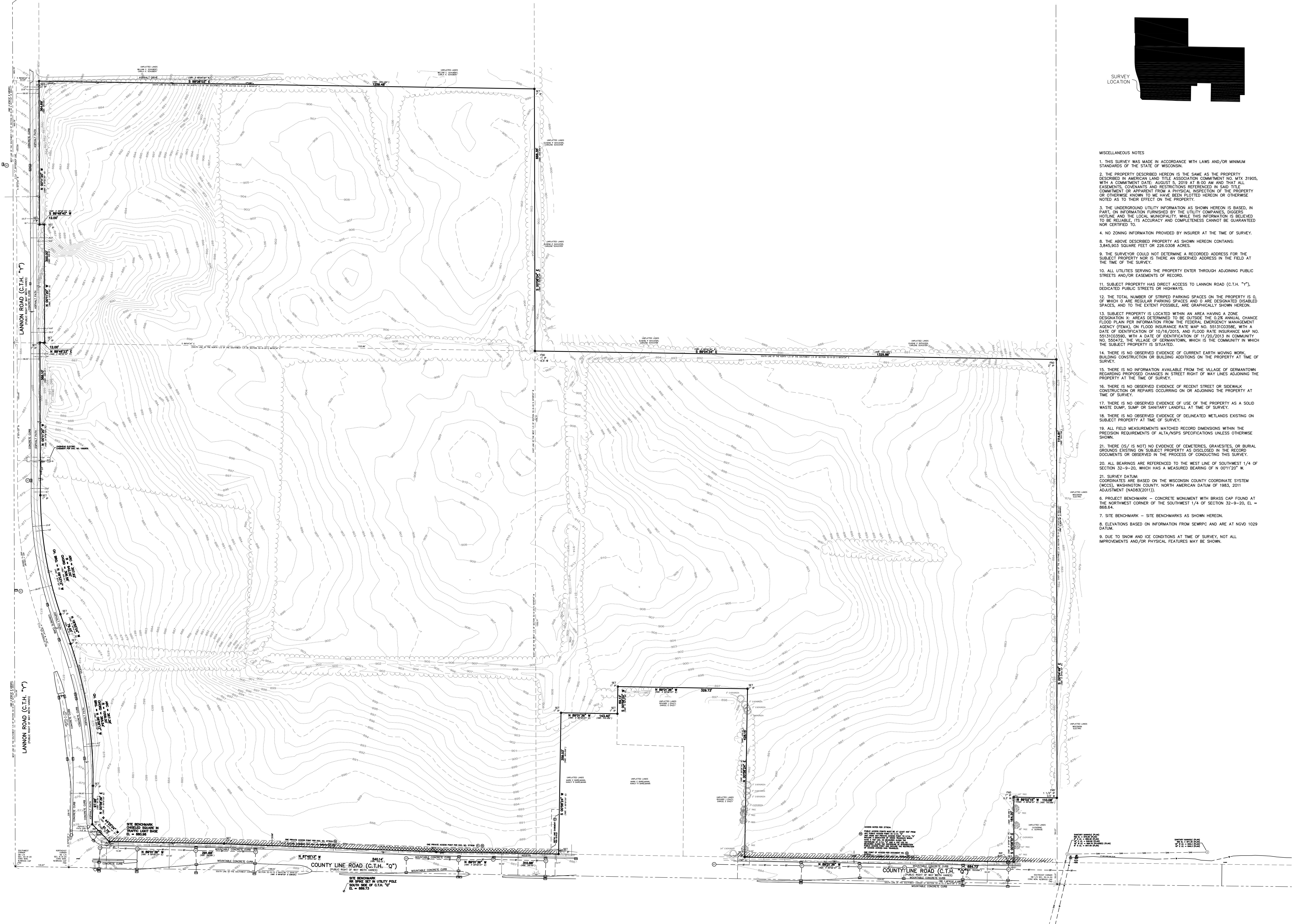


6
6235
MAINTENANCE GARAGE SECTION



1
6235
1/4" = 1'-0"
MAINTENANCE GARAGE FLOOR
PLAN

NORTHWEST CORNER
SW 1/4 SEC. 32-9-20
CONC. MON. W/BRASS CAP

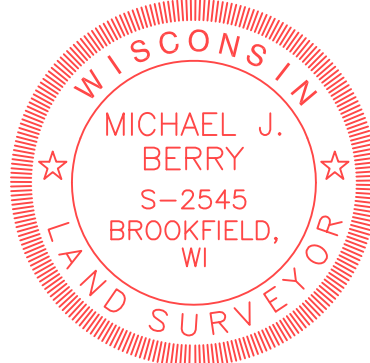


TO: CENTRAL LAND COMPANY III, LLC; A WISCONSIN LIMITED LIABILITY COMPANY; KRISTI E. LESWING, SUCCESSOR TRUSTEE OF THE CLARENCE A. MOHRHUSEN FAMILY TRUST FOR THE BENEFIT OF BONITA MOHRHUSEN PURSUANT TO THE CLARENCE A. MOHRHUSEN 1972 TRUST, AND UNDIVIDED 1/3 INTEREST AND KRISTI E. LESWING, SUCCESSOR TRUSTEE OF THE CLARENCE A. MOHRHUSEN FAMILY TRUST FOR THE BENEFIT OF MARY M. DITTMAR PURSUANT TO THE CLARENCE A. MOHRHUSEN 1972 TRUST, AN UNDIVIDED 1/3 INTEREST AND CARRIE DOINE, AN UNDIVIDED 1/3 INTEREST; AMERICAN LAND TITLE ASSOCIATION, ITS SUCCESSORS AND ASSIGNS.

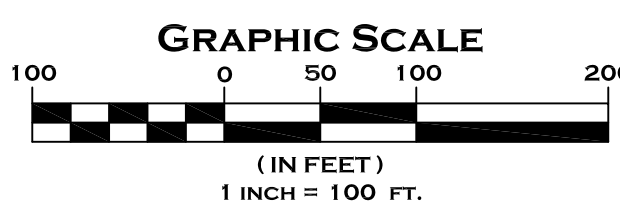
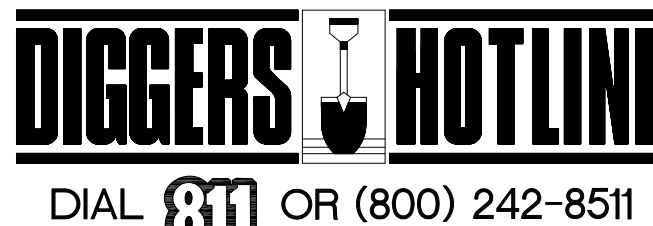
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 11, 13, 16, 17, AND 18 OF TABLE A THEREOF, PURSUANT TO THE "ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION," UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

FEB. 19, 2020
DATE

MICHAEL J. BERRY
REGISTERED LAND SURVEYOR S-2545



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LEGEND	
— SAN —	SANITARY SEWER
— ST —	STORM SEWER
— WM —	WATER MAIN
— G —	BURIED GAS LINE
— TEL —	BURIED TELEPHONE LINE
— E —	BURIED ELECTRIC LINE
— FO —	BURIED FIBER OPTIC LINE
— U —	OVERHEAD UTILITY LINES
— CATV —	BURIED CABLE TELEVISION LINES
— COMB —	COMBINATION SEWER
— M —	METAL FENCE
— T —	EDGE OF TREES AND BRUSH
— S —	SITE BENCHMARK
— F —	FIRE DEPARTMENT CONNECTION
— E —	ELECTRIC TRANSFORMER
— M —	ELECTRIC METER
— B —	ELECTRIC BOX AT GRADE
— T —	TELEPHONE BOX AT GRADE
— P —	TELEPHONE PEDESTAL
— TV —	TV PEDESTAL
— G —	GAS METER
— A —	AIR CONDITIONER
— U —	UTILITY POLE
— W —	WOOD SIGN
— M —	METAL SIGN
— F —	FLAG POLE
— B —	BOLLARD
— L —	BOLLARD LIGHT
— Y —	YARD LIGHT
— H —	HYDRANT
— V —	WATER VALVE
— G —	GAS VALVE
— M —	MANHOLE
— S —	STORM MANHOLE
— B —	CATCH BASIN
— I —	CURB INLET
— P —	METAL LIGHT POLE
— C —	CONCRETE LIGHT POLE
— W —	WOOD LIGHT POLE
— B —	MAIL BOX
— O —	FIBER OPTIC MARKER
— G —	GLY GLY WIRE

ALTA/NSPS LAND TITLE SURVEY

FOR
93 ACRES GERMANTOWN
LANNON RD & COUNTY LINE RD
GERMANTOWN, WI

DRAWN BY:	NJF	DATE:	FEB 18, 2020
CHECKED BY:	MJB	DRAWING No.	AL - 0
CSE JOB No.:	19 - 086	SHEET	1 OF 4

VICINITY MAP

NOT TO SCALE

SURVEY
LOCATION

MISCELLANEOUS NOTES

1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
2. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN AMERICAN LAND TITLE ASSOCIATION COMMITMENT NO. MTX 31905, WITH A COMMITMENT DATE, AUGUST 6, 2019 AT 8:00 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
4. NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY.
5. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 3,845,500 SQUARE FEET OR 28,038 ACRES.
6. THE SURVEYOR COULD NOT DETERMINE A RECORDED ADDRESS FOR THE SUBJECT PROPERTY NOR IS THERE AN OBSERVED ADDRESS IN THE FIELD AT THE TIME OF THE SURVEY.
7. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
8. SUBJECT PROPERTY HAS DIRECT ACCESS TO LANNON ROAD (C.T.H. "Y"), DEDICATED PUBLIC STREETS OR HIGHWAYS.
9. THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY IS 0, OF WHICH 0 ARE REGULAR PARKING SPACES AND 0 ARE DESIGNATED DISABLED SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.
10. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION N. AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 501310020E, WITH A DATE OF IDENTIFICATION OF 10/16/2015, AND FLOOD RATE INSURANCE MAP NO. 501310020E, WITH A DATE OF IDENTIFICATION OF 11/20/2013 IN COMMUNITY NO. 500472, THE VILLAGE OF GERMANTOWN, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
11. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.
12. THERE IS NO INFORMATION AVAILABLE FROM THE VILLAGE OF GERMANTOWN REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
13. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT TIME OF SURVEY.
14. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT TIME OF SURVEY.
15. THERE IS NO OBSERVED EVIDENCE OF DELINEATED WETLANDS EXISTING ON SUBJECT PROPERTY AT TIME OF SURVEY.
16. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
17. THERE (IS/IS NOT) NO EVIDENCE OF CEMETERIES, GRAVESTONES, OR BURIAL GROUNDS EXISTING ON SUBJECT PROPERTY AS DISCLOSED IN THE RECORD DOCUMENTS OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY.
18. ALL BEARINGS ARE REFERENCED TO THE WEST LINE OF SOUTHWEST 1/4 OF SECTION 32-9-20, WHICH HAS A MEASURED BEARING OF N 00°12'00" W.
19. SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WASHINGTON COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)).
20. PROJECT BENCHMARK - CONCRETE MONUMENT WITH BRASS CAP FOUND AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 32-9-20, EL. = 868.64.
21. SITE BENCHMARK - SITE BENCHMARKS AS SHOWN HEREON.
22. ELEVATIONS BASED ON INFORMATION FROM SENPC AND ARE AT MOVD 1029 DATUM.
23. DUE TO SNOW AND ICE CONDITIONS AT TIME OF SURVEY, NOT ALL IMPROVEMENTS AND/OR PHYSICAL FEATURES MAY BE SHOWN.

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:
THAT PART OF THE NORTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER (NW 1/4 - SW 1/4) AND OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER (SW 1/4-SW 1/4) AND OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER (SE 1/4-SW 1/4) OF SECTION 32 TOWNSHIP 9 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE S. 1/4 CORNER OF SAID SECTION 32-9-20; THENCE N. 01 DEGREES 44'32" W. ALONG THE EAST LINE OF THE S.W. 1/4 OF SAID SECTION 32-9-20 (RECORDED AS N. 01 DEGREES 25'14" W.), 219,222 FT. TO AN EXISTING 1" I.P.; SAID POINT BEING THE POINT OF THE BEGINNING OF LANDS TO BE DESCRIBED; THENCE CONTINUING N. 01 DEGREES 24'32" W. ALONG SAID EAST LINE, 114,478 FT. TO A SET 1" I.P.; THENCE S. 89 DEGREES 30'34" W. 1325,809 FT. TO A SET 1" I.P.; THENCE N. 00 DEGREES 22'09" W., 665,595 FT. TO AN EXISTING 1" I.P. IN A ROCK; THENCE S. 89 DEGREES 30'34" W. 1294,445 FT. TO AN EXISTING 1" I.P.; SAID POINT ALSO BEING ON THE EASTERLY R.O.W. LINE OF C.T.H. "Y" (LANNON ROAD); THENCE S. 12 DEGREES 14'51" E. 233,364 FT. TO AN EXISTING 1" I.P.; THENCE S. 22 DEGREES 57'49" E. 175,906 FT. TO A SET 1" I.P.; THENCE ALONG THE ARC OF A CURVE, 86,951 FT. (CHORD BEARING OF S. 16 DEGREES 55'14" E. 86,796 FT. TO A SET 1" I.P.; THENCE S. 84 DEGREES 49'42" E. 76,644 FT. TO A SET 1" I.P.; AND POINT BEING ON THE NORTHERLY R.O.W. LINE OF THE C.T.H. "O" (COUNTY LINE ROAD); THENCE N. 89 DEGREES 38'57" E. ALONG SAID R.O.W. LINE, 1148,251 FT. TO A SET 1" I.P.; THENCE N. 00 DEGREES 21'03" W. 84,630 FT. TO AN EXISTING 1" I.P.; THENCE N. 89 DEGREES 38'57" E. 143,400 FT. TO A SET 1" I.P.; THENCE S. 00 DEGREES 21'03" E. 77,870 FT. TO A SET 1" I.P.; THENCE S. 89 DEGREES 23'34" E. 170,370 FT. TO AN EXISTING 1" I.P.; THENCE S. 00 DEGREES 54'50" E. 283,320 FT. TO A SET 1" I.P.; SAID POINT BEING ON THE NORTHERLY R.O.W. LINE OF C.T.H. "O" (COUNTY LINE ROAD); THENCE N. 89 DEGREES 38'57" E. ALONG SAID R.O.W. LINE, 26,604 FT. TO A SET 1" I.P.; THENCE N. 00 DEGREES 21'03" W. 170,000 FT. TO A SET 1" I.P.; THENCE N. 89 DEGREES 38'57" E. 110,000 FT. TO A SET 1" I.P.; THENCE S. 00 DEGREES 21'03" E. 170,000 FT. TO A SET 1" I.P.; SAID POINT ALSO BEING ON THE NORTHERLY R.O.W. LINE OF C.T.H. "O" (COUNTY LINE ROAD); THENCE N. 89 DEGREES 38'57" E. ALONG SAID R.O.W. LINE, 702,830 FT. TO A POINT ON THE NORTH R.O.W. OF SAID C.T.H. "O" (COUNTY LINE ROAD); THENCE N. 01 DEGREES 24'32" W. 169,188 FT. TO AN EXISTING 1" I.P.; THENCE N. 89 DEGREES 38'57" E. 110,000 FT. TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION THEREOF HERETOFORE DESCRIBED IN TRUSTEE'S DEEDS RECORDED IN VOLUME 781, PAGES 172, 174 AND 176, AS DOCUMENT NO. S. 140159, 140170 AND 140171.

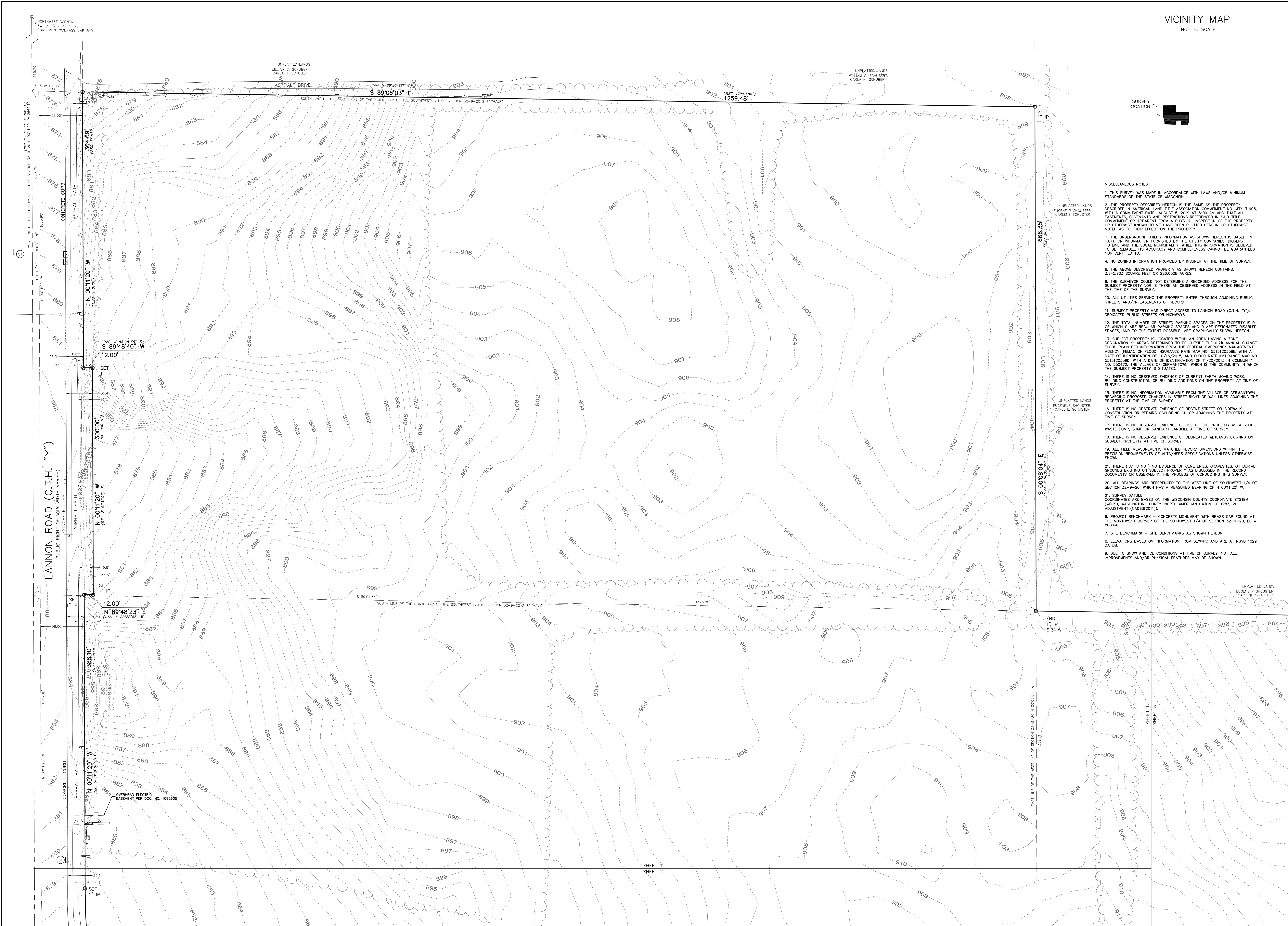
FURTHER EXCEPTING THEREFROM THAT PORTION THEREOF HERETOFORE CONTAINED IN AWARD OF DAMAGES RECORDED APRIL 29, 2005, AS DOCUMENT NO. 108620.

FURTHER EXCEPTING THEREFROM THAT PORTION THEREOF HERETOFORE CONTAINED IN CONVEYANCE RECORDED DECEMBER 27, 1936, AS DOCUMENT NO. 168158.

TAX KEY NO.'S: GTRV 323-995, GTRV 323-987 AND GTRV 323-986

SCHEDULE B-III EXCEPTIONS:

10. COVENANTS, CONDITIONS, AND RESTRICTIONS AS CONTAINED IN AWARD OF DAMAGES RECORDED SEPTEMBER 2, 1976, IN VOLUME 620, ON PAGE 125, AS DOCUMENT NO. 377634, SHOWN HEREON.
11. COVENANTS, CONDITIONS, AND RESTRICTIONS AS CONTAINED IN AWARD OF DAMAGES RECORDED SEPTEMBER 2, 1976, IN VOLUME 630, ON PAGE 136, AS DOCUMENT NO. 377639, SHOWN HEREON.
12. COVENANTS, CONDITIONS, AND RESTRICTIONS AS CONTAINED IN DECLARATION OF EASEMENT RECORDED AUGUST 5, 1994, IN VOLUME 1448, ON PAGE 621, AS DOCUMENT NO. 674121, SHOWN HEREON.
13. CHARGES AND/OR ASSESSMENTS AS DISCLOSED IN DECLARATION OF EASEMENT RECORDED AUGUST 5, 1994, IN VOLUME 1448, ON PAGE 621, AS DOCUMENT NO. 674121, SHOWN HEREON.
14. WISCONSIN ELECTRIC DISTRIBUTION EASEMENT OVERHEAD TO WISCONSIN ELECTRIC POWER COMPANY RECORDED JANUARY 23, 1999, AS DOCUMENT NO. 816168, NOT ON DOES NOT TOUCH SUBJECT PROPERTY, NOT SHOWN HEREON.
15. WISCONSIN ELECTRIC DISTRIBUTION EASEMENT UNDERGROUND TO WISCONSIN ELECTRIC POWER COMPANY RECORDED MAY 23, 2000, AS DOCUMENT NO. 856645, SHOWN HEREON.
16. WE ENERGIES DISTRIBUTION EASEMENT OVERHEAD TO WISCONSIN ELECTRIC POWER COMPANY RECORDED MAY 23, 2000, AS DOCUMENT NO. 856645, SHOWN HEREON.



VICINITY MAP
NOT TO SCALE

CSE
CAPITOL SURVEY ENTERPRISES
220 REGENCY CT. STE. 210
BROOKFIELD, WI 53005
PH: (262) 786-6600
FAX: (414) 443-1317
WWW.CAPITOLSURVEY.COM

CJ
engineering
civil design and consulting
9206 W. Center Street
Milwaukee, WI 53222
PH: (414) 443-1312
FAX: (414) 443-1317
www.cj-engineering.com

MISCELLANEOUS NOTES
1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
2. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN AMERICAN LAND TITLE ASSOCIATION COMMITMENT NO. MTX 31905, WITH A COMMITMENT DATE OF AUGUST 5, 2019 AT 8:59 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
4. NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY.
8. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 3,845,803 SQUARE FEET OR 288,038.00 ACRES.
9. THE SURVEYOR COULD NOT DETERMINE A RECORDED ADDRESS FOR THE SUBJECT PROPERTY NOR IS THERE AN OBSERVED ADDRESS IN THE FIELD AT THE TIME OF THE SURVEY.
10. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
11. SUBJECT PROPERTY HAS DIRECT ACCESS TO LANNON ROAD (C.T.H. "Y"), DEDICATED PUBLIC STREETS OR HIGHWAYS.
12. THE TOTAL NUMBER OF STRIPES PARKING SPACES ON THE PROPERTY IS 0, OF WHICH 0 ARE REGULAR PARKING SPACES AND 0 ARE DESIGNATED DISABLED SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.
13. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION. AREAS DESIGNATED TO BE OUTSIDE THE 0.25 ANNUAL CHANCE FLOOD PLAN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. 58103C0001 WITH A DATE OF IDENTIFICATION OF 10/16/2019, AND FLOOD RATE INSURANCE MAP NO. 58103C0001, THE VILLAGE OF GERMANTOWN, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
14. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.
15. THERE IS NO INFORMATION AVAILABLE FROM THE VILLAGE OF GERMANTOWN REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
16. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT TIME OF SURVEY.
17. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL AT TIME OF SURVEY.
18. THERE IS NO OBSERVED EVIDENCE OF DELINEATED WETLANDS EXISTING ON SUBJECT PROPERTY AT TIME OF SURVEY.
19. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
21. THERE IS/IS NOT NO EVIDENCE OF CEMETERIES, GRAVESTONES OR BURIAL GROUNDS EXISTING ON SUBJECT PROPERTY AS DISCLOSED IN THE RECORD DOCUMENTS OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY.
22. ALL BEARINGS ARE REFERENCED TO THE WEST LINE OF SOUTHWEST 1/4 OF SECTION 32-9-20, WHICH HAS A MEASURED BEARING OF N 001°12'00" W.
23. SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WASHINGTON COUNTY NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83/2011).
6. PROJECT BENCHMARK - CONCRETE MONUMENT WITH BRASS CAP FOUND AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 32-9-20, D.L. N. 868.64.
7. SITE BENCHMARK - SITE BENCHMARKS AS SHOWN HEREON.
8. ELEVATIONS BASED ON INFORMATION FROM SEMPC AND ARE AT NGVD 1929 DATUM.
9. DUE TO SNOW AND ICE CONDITIONS AT TIME OF SURVEY, NOT ALL IMPROVEMENTS AND/OR PHYSICAL FEATURES MAY BE SHOWN.

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:
THAT PART OF THE NORTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER (NW 1/4 - SW 1/4) AND OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER (SW 1/4-SW 1/4) AND OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER (SE 1/4-SW 1/4) OF SECTION 32, TOWNSHIP 9 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE S. 1/4 CORNER OF SAID SECTION 32-9-20, THENCE N. 01 DEGREES 24'32" W. ALONG THE EAST LINE OF THE SW 1/4 OF SAID SECTION 32-9-20 (RECORDED AS N. 01 DEGREES 25' 14" W.), 219,222 FT. TO AN EXISTING 1" I.P., SAID POINT BEING THE POINT OF THE BEGINNING OF LANDS TO BE DESCRIBED; THENCE CONTINUING N. 01 DEGREES 24'32" W. ALONG SAID EAST LINE 1114,708 FT. TO A SET 1" I.P., THENCE S. 89 DEGREES 35'54" W. 1325,800 FT. TO A SET 1" I.P.; THENCE N. 00 DEGREES 22'09" W. 665,595 FT. TO AN EXISTING 4" ROD; THENCE S. 89 DEGREES 35'54" W. 1204,465 FT. TO AN EXISTING 1" I.P.; SAID POINT ALSO BEING ON THE EASTERLY R.O.W. OF C.T.H. 106 (LANNON ROAD); THENCE S. 01 DEGREES 30'10" E. ALONG SAID R.O.W. LINE 1440,115 FT. TO A SET 1" I.P.; THENCE ALONG THE ARC OF A CURVE, 234,725 FT. (CHORD BEARING OF S. 12 DEGREES 30'10" E., 233,364 FT.) TO A SET 1" I.P.; THENCE S. 22 DEGREES 57'49" E. 175,906 FT. TO A SET 1" I.P.; THENCE ALONG THE ARC OF A CURVE, 96,907 FT. (CHORD BEARING OF S. 18 DEGREES 55' 14" E., 86,796 FT. TO A SET 1" I.P.; THENCE S. 64 DEGREES 49'42" E., 76,644 FT. TO A SET 1" I.P.; SAID POINT BEING ON THE NORTHERLY R.O.W. LINE OF THE C.T.H. 106 (COUNTY LINE ROAD); THENCE N. 89 DEGREES 38'57" E. ALONG SAID R.O.W. LINE 1149,251 FT. TO A SET 1" I.P.; THENCE N. 00 DEGREES 21'03" W. 364,030 FT. TO AN EXISTING 1" I.P.; THENCE N. 89 DEGREES 38'57" E. 143,400 FT. TO A SET 1" I.P.; THENCE S. 89 DEGREES 21'03" E. 77,870 FT. TO A SET 1" I.P.; THENCE S. 89 DEGREES 23'34" E. 170,370 FT. TO AN EXISTING 1" I.P.; THENCE S. 00 DEGREES 54'50" E. 283,325 FT. TO A SET 1" I.P.; SAID POINT BEING ON THE NORTHERLY R.O.W. LINE OF THE C.T.H. 106 (COUNTY LINE ROAD); THENCE N. 89 DEGREES 38'57" E. ALONG SAID R.O.W. LINE 143,400 FT. TO A SET 1" I.P.; THENCE N. 00 DEGREES 21'03" W. 170,000 FT. TO A SET 1" I.P.; THENCE N. 89 DEGREES 38'57" E. 110,000 FT. TO A SET 1" I.P.; THENCE S. 00 DEGREES 21'03" E. 170,000 FT. TO A SET 1" I.P.; SAID POINT ALSO BEING ON THE NORTHERLY R.O.W. LINE OF C.T.H. 106 (COUNTY LINE ROAD); THENCE N. 89 DEGREES 38'57" E. ALONG SAID R.O.W. 702,830 FT. TO A POINT ON THE NORTH R.O.W. OF SAID C.T.H. 106 (COUNTY LINE ROAD); THENCE N. 01 DEGREES 29'35" W. 189,186 FT. TO AN EXISTING 1" I.P.; THENCE N. 89 DEGREES 38'01" E. 110,000 FT. TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION THEREOF HERETOFORE DESCRIBED IN TRUSTEES DEEDS RECORDED IN VOLUME 761, PAGES 172, 174 AND 176, AS DOCUMENT NO.'S 440169, 440170 AND 440171.

FURTHER EXCEPTING THEREFROM THAT PORTION THEREOF HERETOFORE CONTAINED IN AWARD OF DAMAGES RECORDED APRIL 29, 2005, AS DOCUMENT NO. 108250.

FURTHER EXCEPTING THEREFROM THAT PORTION THEREOF HERETOFORE CONTAINED IN CONVEYANCE RECORDED DECEMBER 27, 1938, AS DOCUMENT NO. 188138.

TAX KEY NO.'S: GTNV 323-995, GTNV 323-987 AND GTNV 323-986

SCHEDULE B-H EXCEPTIONS:

10. COVENANTS, CONDITIONS, AND RESTRICTIONS AS CONTAINED IN AWARD OF DAMAGES RECORDED SEPTEMBER 2, 1976, IN VOLUME 620, ON PAGE 125, AS DOCUMENT NO. 377634, SHOWN HEREON.

11. COVENANTS, CONDITIONS, AND RESTRICTIONS AS CONTAINED IN AWARD OF DAMAGES RECORDED SEPTEMBER 2, 1976, IN VOLUME 630, ON PAGE 136, AS DOCUMENT NO. 377639, SHOWN HEREON.

12. COVENANTS, CONDITIONS, AND RESTRICTIONS AS CONTAINED IN DECLARATION OF EASEMENT RECORDED AUGUST 5, 1994, IN VOLUME 1448, ON PAGE 621, AS DOCUMENT NO. 674121, SHOWN HEREON.

13. CHARGES AND/OR ASSESSMENTS AS DISCLOSED IN DECLARATION OF EASEMENT RECORDED AUGUST 5, 1994, IN VOLUME 1448, ON PAGE 621, AS DOCUMENT NO. 674121, SHOWN HEREON.

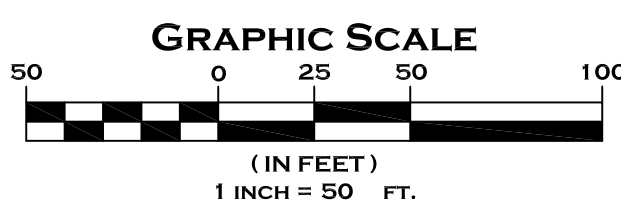
14. WISCONSIN ELECTRIC DISTRIBUTION EASEMENT OVERHEAD TO WISCONSIN ELECTRIC POWER COMPANY RECORDED JANUARY 22, 1999, AS DOCUMENT NO. 816098, NOT ON DOES NOT TOUCH SUBJECT PROPERTY, NOT SHOWN HEREON.

15. WISCONSIN ELECTRIC DISTRIBUTION EASEMENT UNDERGROUND TO WISCONSIN ELECTRIC POWER COMPANY RECORDED MAY 23, 2000, AS DOCUMENT NO. 856645, SHOWN HEREON.

16. WE ENERGIES DISTRIBUTION EASEMENT OVERHEAD TO WISCONSIN ELECTRIC POWER COMPANY RECORDED MAY 23, 2000, AS DOCUMENT NO. 856645, SHOWN HEREON.

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DIAL 811 OR (800) 242-8511



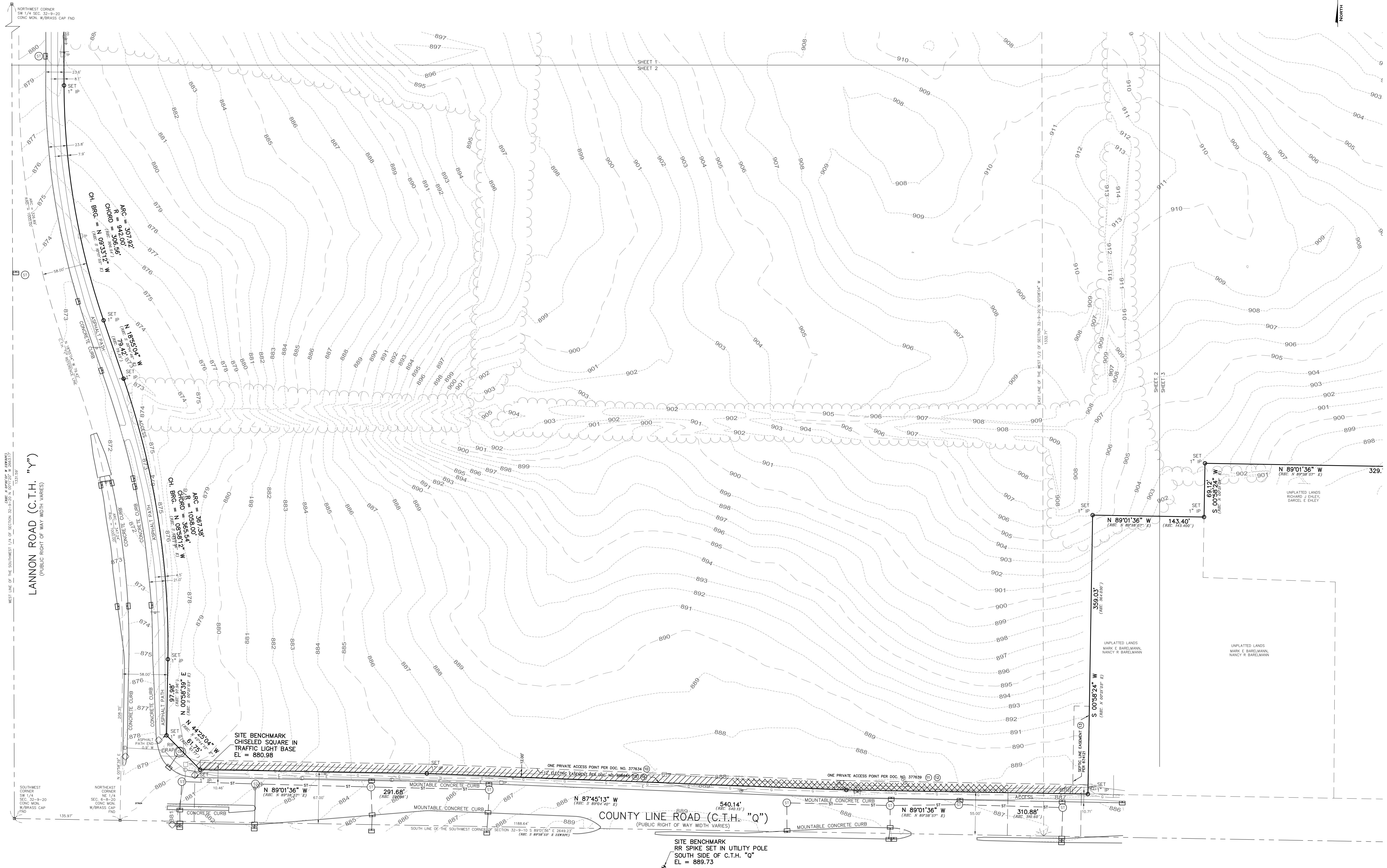
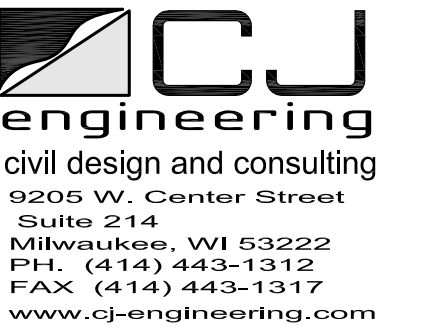
LEGEND	
— SAN —	SANITARY SEWER
— ST —	STORM SEWER
— W —	WATER MAIN
— G —	BURIED GAS LINE
— TEL —	BURIED TELEPHONE LINE
— E —	BURIED ELECTRIC LINE
— FO —	BURIED FIBER OPTIC LINE
—//—	OVERHEAD UTILITY LINES
—//—	BURIED CABLE TELEVISION LINES
— COMB —	COMBINATION SEWER
— WOOD FENCE —	WOOD FENCE
— METAL FENCE —	METAL FENCE
— EDGE OF TREES AND BRUSH —	EDGE OF TREES AND BRUSH
— SITE BENCHMARK —	SITE BENCHMARK
— FIRE DEPARTMENT CONNECTION —	FIRE DEPARTMENT CONNECTION
— ELECTRIC TRANSFORMER —	ELECTRIC TRANSFORMER
— ELECTRIC METER —	ELECTRIC METER
— ELECTRIC FEDESTAL —	ELECTRIC FEDESTAL
— ELECTRIC BOX AT GRADE —	ELECTRIC BOX AT GRADE
— TELEPHONE BOX AT GRADE —	TELEPHONE BOX AT GRADE
— TELEPHONE FEDESTAL —	TELEPHONE FEDESTAL
— TV FEDESTAL —	TV FEDESTAL
— GAS METER —	GAS METER
— AIR CONDITIONER —	AIR CONDITIONER
— UTILITY PILE —	UTILITY PILE
— WOOD SIGN —	WOOD SIGN
— METAL SIGN —	METAL SIGN
— FLAG POLE —	FLAG POLE
— BOLLARD —	BOLLARD
— FIBER OPTIC MARKER —	FIBER OPTIC MARKER
— YARD LIGHT —	YARD LIGHT
— HYDRANT —	HYDRANT
— WATER VALVE —	WATER VALVE
— GAS VALVE —	GAS VALVE
— MANHOLE —	MANHOLE
— STORM MANHOLE —	STORM MANHOLE
— CATCH BASIN —	CATCH BASIN
— CURB INLET —	CURB INLET
— METAL LIGHT POLE —	METAL LIGHT POLE
— CONCRETE LIGHT POLE —	CONCRETE LIGHT POLE
— WOOD LIGHT POLE —	WOOD LIGHT POLE
— MAIL BOX —	MAIL BOX
— FIBER OPTIC MARKER —	FIBER OPTIC MARKER
— GUY WIRE —	GUY WIRE

ALTA/NSPS LAND TITLE SURVEY

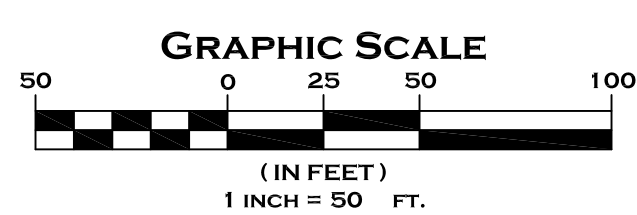
FOR

93 ACRES GERMANTOWN
LANNON RD & COUNTY LINED
GERMANTOWN, WI

DRAWN BY:	NJF	DATE:	FEB 18, 2020
CHECKED BY:	MJB	DRAWING NO.:	AL - 0
CSE JOB NO.:	19 - 086	SHEET	2 OF 4



www.DiggersHotline.com

[illegible]

ALTA/NSPS LAND TITLE SURVEY
FOR

93 ACRES GERMANTOWN
LANNON RD & COUNTY LINE RD
GERMANTOWN, WI

DRAWN BY:	NJF	DATE:	FEB 18, 2020
CHECKED BY:	MJB	DRAWING NO.	AL - 0
CSE Job No.:	19 - 086	SHEET	3 OF 4



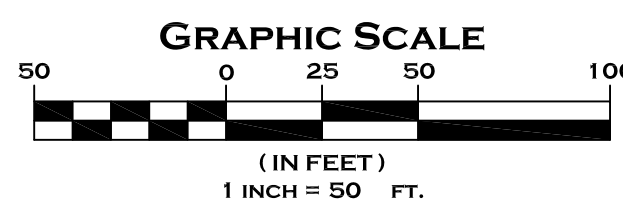
CSE
CAPITOL SURVEY ENTERPRISES
220 REGENCY CT. STE. 210
BROOKFIELD, WI 53045
PH: (262) 786-6600
FAX: (414) 786-6608
WWW.CAPITOLSURVEY.COM

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engineering
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9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH: (414) 443-1312
FAX: (414) 443-1317
www.cj-engineering.com



LEGEND		
— SAN —	SANITARY SEWER	⊠ ELECTRIC TRANSFORMER
— ST —	STORM SEWER	⊠ ELECTRIC METER
— W —	WATER MAIN	⊠ ELECTRIC PEDESTAL
— G —	BURNED GAS LINE	⊠ ELECTRIC BOX AT GRADE
— TEL —	BURNED TELEPHONE LINE	⊠ TELEPHONE PEDESTAL
— E —	BURNED ELECTRIC LINE	⊠ TELEPHONE PEDESTAL
— FO —	BURNED FIBER OPTIC LINE	⊠ GAS METER
— CATV —	BURNED CABLE TELEVISION LINES	⊠ AIR CONDITIONER
— COMB —	COMBINATION SEWER	⊠ UTILITY POLE
— WOOD FENCE —	WOOD FENCE	⊠ WOOD SIGN
— METAL FENCE —	METAL FENCE	⊠ METAL SIGN
— EDGE OF TREES AND BRUSH —	EDGE OF TREES AND BRUSH	⊠ FLAG POLE
— SITE BENCHMARK —	SITE BENCHMARK	⊠ BOLLARD LIGHT
— FIRE DEPARTMENT CONNECTION —	FIRE DEPARTMENT CONNECTION	⊠ YARD LIGHT
		⊠ HYDRANT
		⊠ WATER VALVE
		⊠ GAS VALVE
		⊠ MANHOLE
		⊠ STORM MANHOLE
		⊠ CATCH BASIN
		⊠ CURB INLET
		⊠ METAL LIGHT POLE
		⊠ CONCRETE LIGHT POLE
		⊠ WOOD LIGHT POLE
		⊠ MAIL BOX
		⊠ FIBER OPTIC MARKER
		⊠ GUY WIRE

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DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511



ALTA/NSPS LAND TITLE SURVEY
FOR
93 ACRES GERMANTOWN
LANNON RD & COUNTY LINE RD
GERMANTOWN, WI

DRAWN BY:	NJF	DATE:	FEB 18, 2020
CHECKED BY:	MJB	DRAWING NO.:	AL-0
CSE JOB NO.:	19-086	SHEET	4 OF 4

PROPOSED NEW MULTI-TENANT BUILDING:

Q & Y BUSINESS PARK DEVELOPMENT

NE INTERSECTION COUNTY HWY Q & Y
GERMANTOWN, WISCONSIN 53022



1 SITE PERSPECTIVE - BUILDING 1
NO SCALE



2 SITE PERSPECTIVE - BUILDING 1
NO SCALE



3 SITE PERSPECTIVE - BUILDING 2
NO SCALE

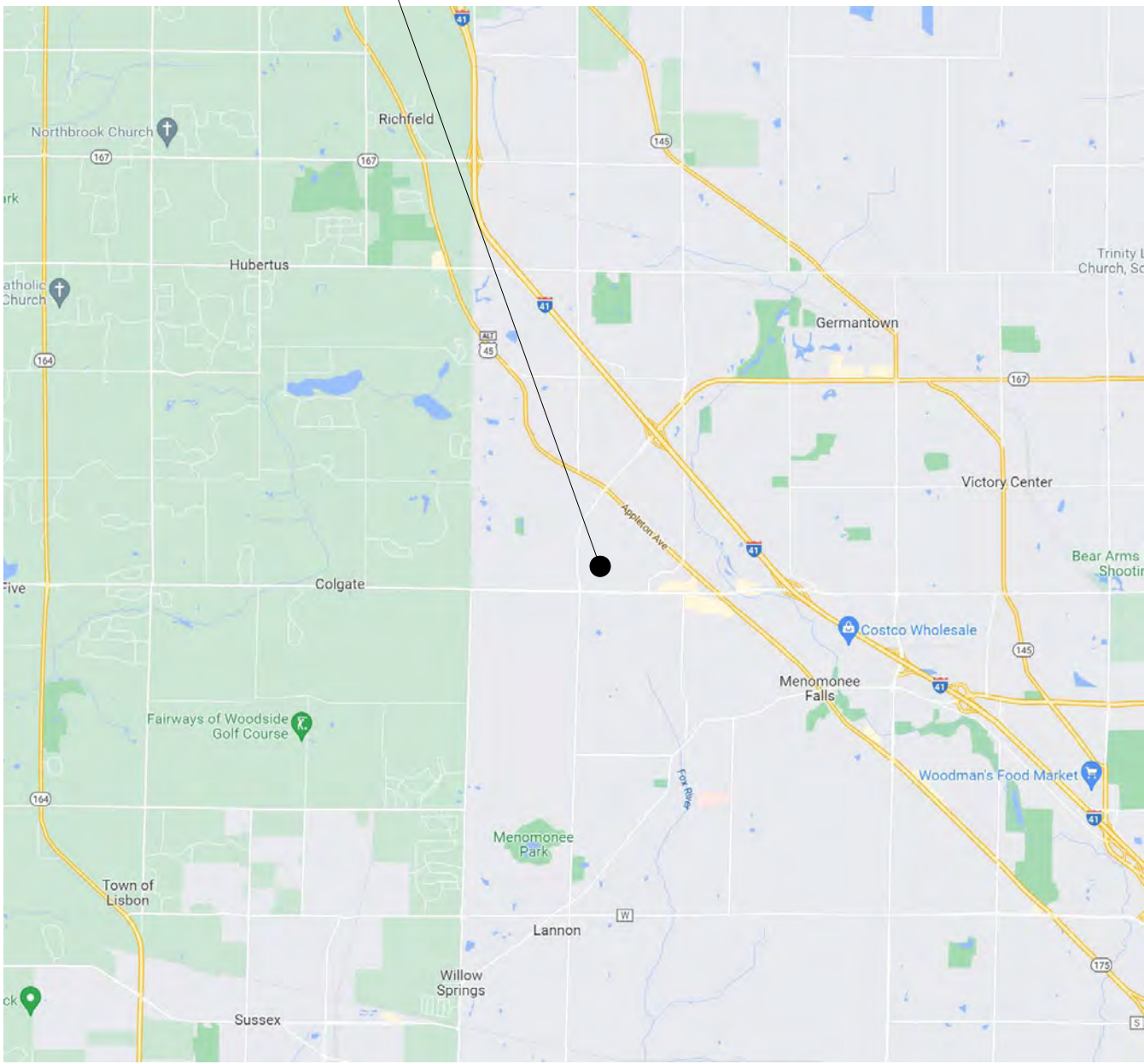


4 SITE PERSPECTIVE - BUILDING 2
NO SCALE

PLAN COMMISSION SUBMITTAL

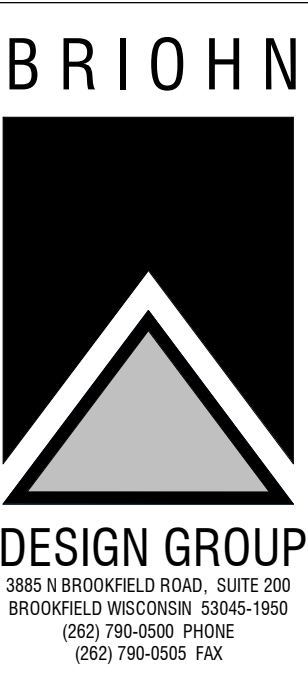
OWNER :	GENERAL CONTRACTOR :	ARCHITECT :
THE DICKMAN COMPANY SAM DICKMAN JR.	BRIOHN BUILDING CORPORATION PEYTON PAQUIN	BRIOHN DESIGN GROUP LLC DOMENICO FERRANTE, AIA
626 EAST WISCONSIN AVE., SUITE 1020 MILWAUKEE, WI 53202	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX
CIVIL ENGINEER:	LANDSCAPE DESIGNER:	
C.J. ENGINEERING CHRISTOPHER A JACKSON, P.E., P.L.S.		
9205 W CENTER ST., SUITE 214 MILWAUKEE, WISCONSIN 53222 (414) 443-1312 X222 PHONE		

PROJECT LOCATION:



6 SITE LOCATION MAP
1/2" = 1/4"

PROJECT INFORMATION:	
CODE:	SPS 360-366 WISCONSIN COMMERCIAL BUILDING CODE (IBC 2015, IECC 2015/2009, IEBC 2015, IMC 2015 AND IFGC 2015) SPS 314 FIRE PREVENTION (REFERENCED NFPA) SPS 316 ELECTRICAL SPS 381-387 PLUMBING
OCCUPANCY:	F-1 (MANUFACTURING) (PRIMARY) S-1 (STORAGE MODERATE HAZARD) (SECONDARY) B (BUSINESS - OFFICE) (SECONDARY)
CLASS OF CONSTRUCTION:	TYPE 2B
SPRINKLER SYSTEM:	FULL - NFPA 13
NUMBER OF STORIES:	1
TOTAL SITE AREA:	3,614,789 SF 82.99 ACRES
TOTAL BUILDING AREA:	REFER TO PLANS
NOTE:	ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SPRINKLER ENGINEERING BY DESIGN-BUILD CONTRACTORS



TITLE SHEET

PROPOSED BUILDING:
Q & Y BUSINESS PARK
DEVELOPMENT
NE INTERSECTION COUNTY HWY Q & Y
GERMANTOWN, WI 53022

Revision	
Date	
JOB:	3192
DRAWN:	NS
CHECKED:	DF
DATE:	06/07/2022
SHEET:	T1.1

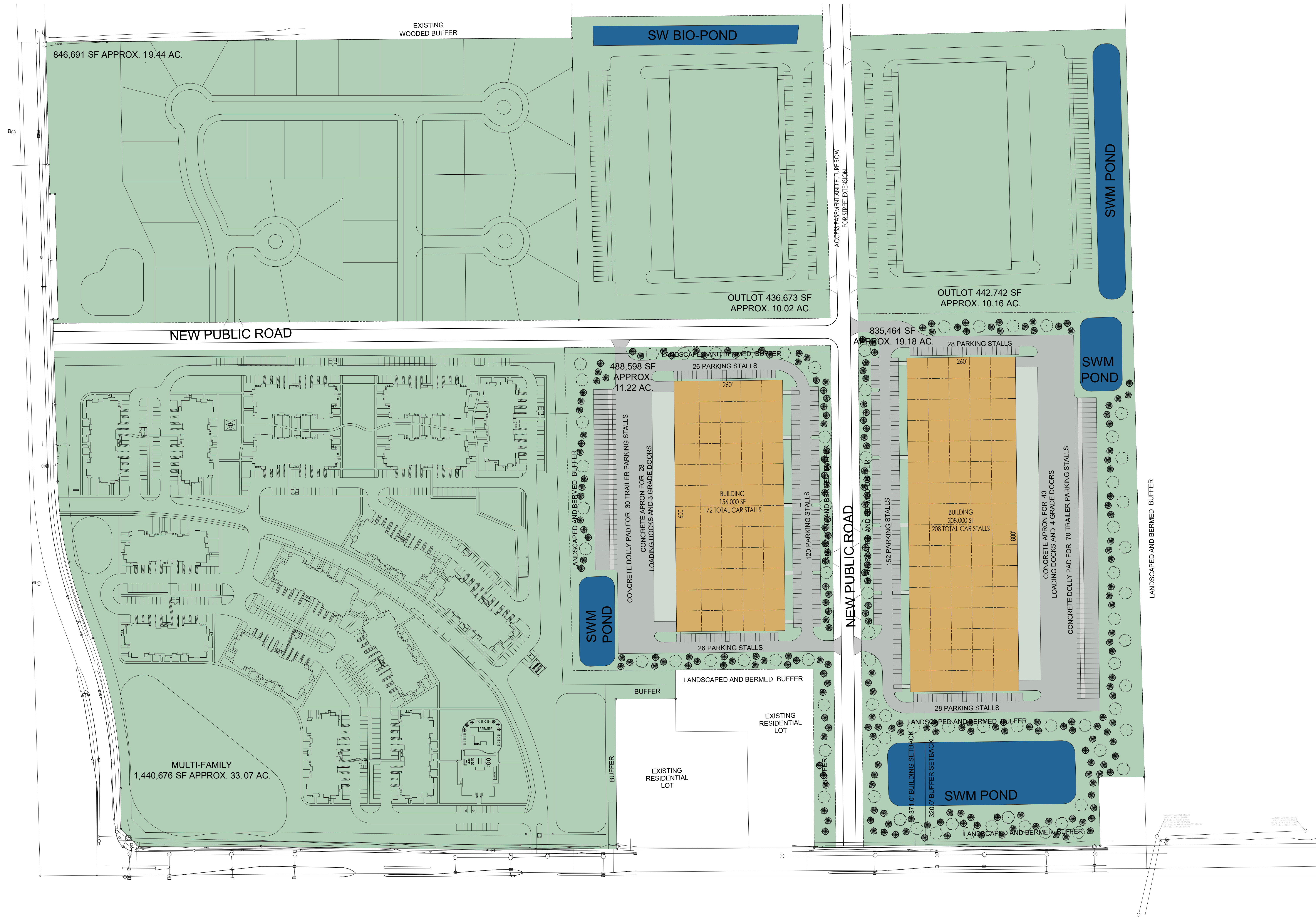


Q & Y BUSINESS PARK
DEVELOPMENT
NE INTERSECTION COUNTY HWY Q & Y
GERMANTOWN, WI 53022

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JOB:	3192
DRAWN:	NS
CHECKED:	DF
DATE:	06/07/2022
HEET:	

A0.1



1 Overall Site Plan
1" = 100'-0"

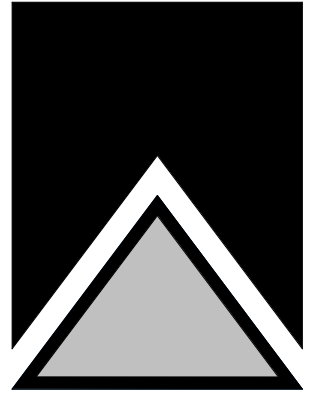
KEYNOTE LEGEND FLOOR PLAN	
MARK	FLOOR PLAN CODED NOTES
F14	6" DIAMETER X 4'-0" TALL CONCRETE FILLED STEEL PIPE BOLLARD(S), PAINTED SAFETY YELLOW.
F16	PAINTED "SAFETY YELLOW" OSHA 7" SHAPED GUARDS 4'-0" TALL AT OVERHEAD DOOR TRACK LOCATIONS BOLTED TO PRECAST WALL.
F27	DOCK EQUIPMENT: PROVIDE DOCK LEVELER, WITH DOCK SEALS & BUMPERS.
F30	PAINT COLUMNS "SAFETY YELLOW" FULL HEIGHT.
F33	9'-0" X 10'-0" COMPACTOR DOOR OPENING.



1 OVERALL FIRST FLOOR PLAN

1" = 30'-0"

BRIORN



DESIGN GROUP
3805 N BROADFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53005-1950
(262) 780-6500 PHONE
(262) 780-6505 FAX

OVERALL FLOOR PLAN

SHEET TITLE

PROPOSED BUILDING:
Q & Y BUSINESS PARK
DEVELOPMENT
NE INTERSECTION COUNTY HWY Q & Y
GERMANTOWN, WI 53022

PROGRESS SET
NOT FOR CONSTRUCTION

Revision

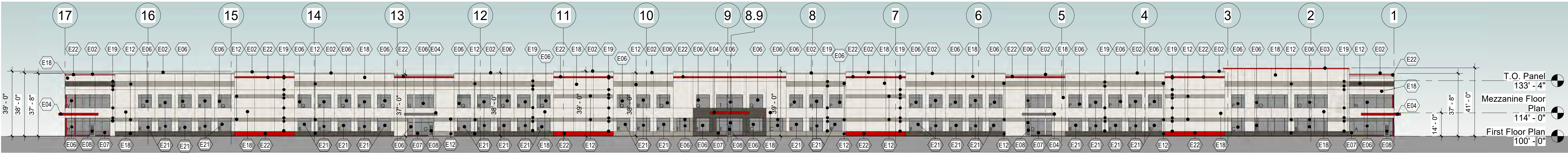
Date

JOB: 3192
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CHECKED: DF
DATE: 04/18/2022
SHEET:

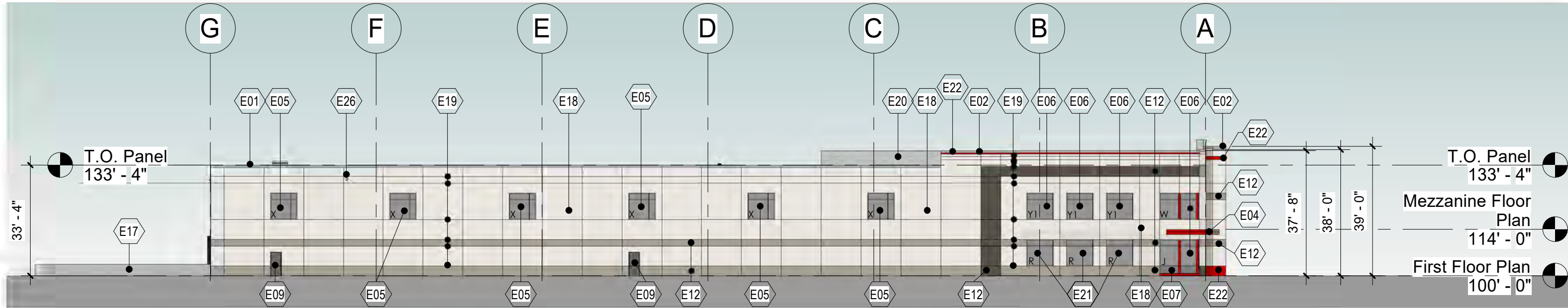
A1.0



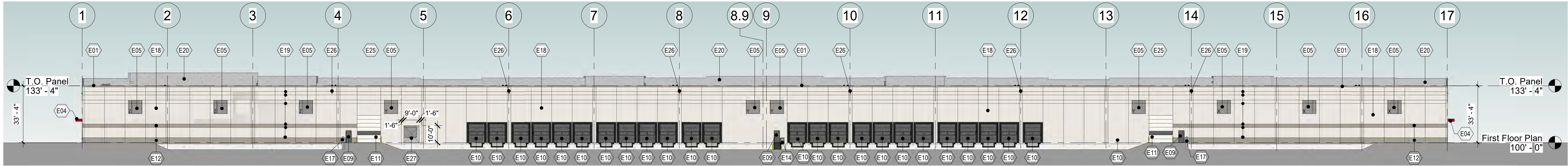
APPLICABLE
TO ALL
PLAN VIEWS



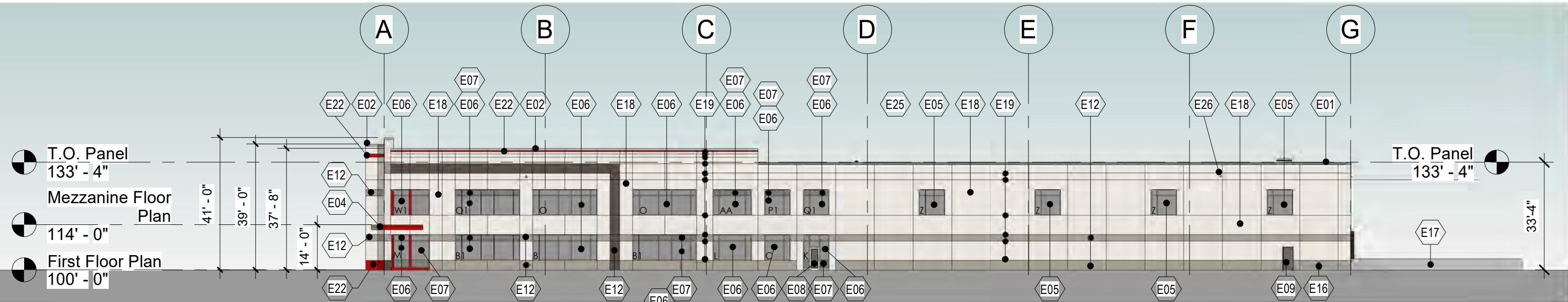
1 SOUTH ELEVATION
1" = 30'-0"



2 WEST ELEVATION
1" = 30'-0"



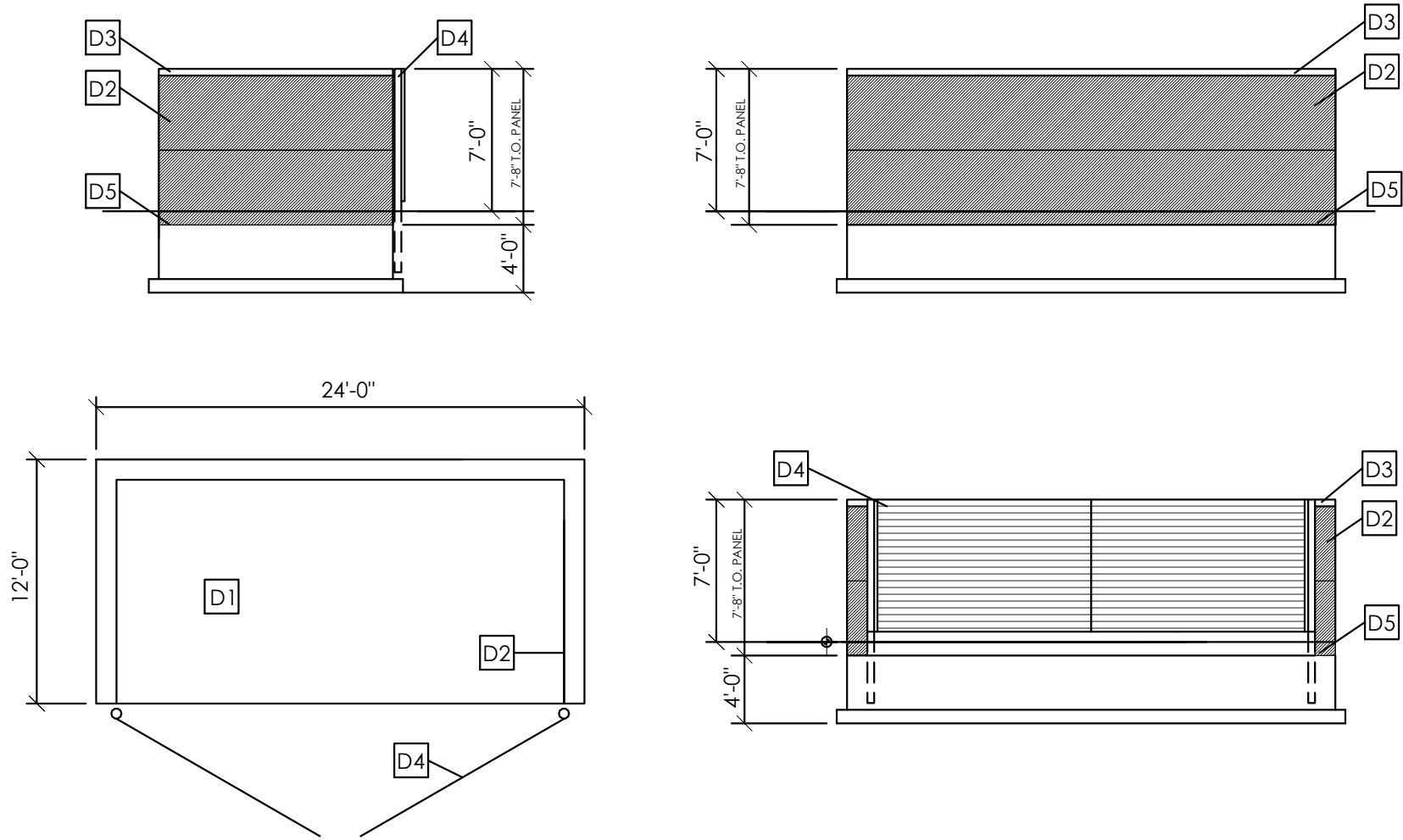
3 NORTH ELEVATION
1" = 30'-0"



4 EAST ELEVATION
1" = 30'-0"

DUMPSTER ENCLOSURE CODED NOTES:

- D1 6" THICK CONCRETE REINFORCED FLOOR SLAB ON COMPACTED GRAVEL BASE.
- D2 PRECAST WALL PANELS FINISH AND COLOR TO MATCH BUILDING
- D3 PREFINISHED METAL COPING, (24 GA.) COLOR: TO MATCH WALL COLOR
- D4 HORIZONTAL COMPOSITE SLATS ON GALVANIZED STEEL GATE FRAME. SLAT COLOR: GREY TO MATCH WALL COLOR. PROVIDE GALVANIZED SUPPORT POSTS.
- D5 REINFORCED POURED CONCRETE FOUNDATION WALL AND FOOTING - REFER TO STRUCTURAL DRAWINGS



5 TRASH ENCLOSURE
1/8" = 1'-0"

KEYNOTE LEGEND ELEVATION

MARK	ELEVATION CODED NOTES
E01	PRE FINISHED METAL 24 GA. GRAVEL STOP COLOR SHALL BE "CLEAR ANODIZED FINISH".
E02	PRE FINISHED METAL 24 GA. METAL CAP/COPING FINISH COLOR SHALL BE "CLEAR ANODIZED FINISH".
E03	PRE FINISHED METAL 24 GA. METAL CAP/COPING FINISH COLOR SHALL BE "RED FINISH".
E04	PRE FINISHED METAL 24 GA. METAL CANOPY AND SOFFT FINISH COLOR SHALL BE "RED OR GREY FINISH" AS INDICATED ON ELEVATIONS.
E05	FIXED AND THERMALLY BROKEN PRE FINISHED ALUMINUM FRAMED AND 1" INSULATED LOW-E TINTED CLERSORY WINDOW UNITS.
E06	FIXED AND THERMALLY BROKEN PRE FINISHED ALUMINUM FRAMED AND 1" INSULATED LOW-E TINTED STANDARD WINDOWS UNITS - VISION.
E07	FIXED AND THERMALLY BROKEN PRE FINISHED ALUMINUM FRAMED AND 1" INSULATED LOW-E TINTED STANDARD WINDOWS UNITS - SPANDREL.
E08	FIXED AND THERMALLY BROKEN PRE FINISHED ALUMINUM FRAMED AND 1" INSULATED LOW-E TINTED STANDARD WINDOW AND ENTRY UNITS.
E09	3'-0" x 7'-0" INSULATED AND PAINTED GALVANIZED HOLLOW METAL DOOR AND FRAME WITH ADA HARDWARE - PAINTED TO MATCH ADJACENT WALL COLOR.
E10	9'-0" x 11'-0" INSULATED FACTORY PRE FINISHED "WHITE" STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL - PRE FINISHED COLOR TO COMPLEMENT OFF WHITE COLOR OF WALL COLOR. NOTE PROVIDE FULL PANEL VISION LITES. PROVIDE DOCK SEAL OR SHELTER.
E11	14'-0" x 16'-0" INSULATED FACTORY PRE FINISHED "WHITE" STEEL OVERHEAD DOOR AND FRAME WITH WEATHER SEAL - PRE FINISHED COLOR TO COMPLEMENT OFF WHITE COLOR OF WALL COLOR. NOTE PROVIDE FULL PANEL VISION LITES. PROVIDE 6" DIA x 3'-6" H PAINTED STEEL BOLLARDS.
E12	PRE FINISHED METAL ACCENT BAND "COLOR TO MATCH COLOR KEY".
E14	PRE FINISHED PAINTED GALVANIZED STEEL GRATE STYLE STAIR AND LANDING WITH FRAMING, COLUMNS, GUARDRAILS AND HANDRAILS REQUIRED PER ADA CODE.
E16	FDC FIRE DEPARTMENT CONNECTION AND ALARM AS REQUIRED BY MENOMONEE FALLS FIRE DEPARTMENT (KNOX BOX LOCATION TO BE VERIFIED WITH FIRE DEPARTMENT OFFICIAL).
E17	FREE STANDING POURED IN PLACE AND REINFORCED 12" CONCRETE WALLS EXTENDS TO 3'-6" OFF THE FINISH FLOOR FLANKING LOADING DOCK AREA WHERE SHOWN ON FLOOR PLAN.
E18	TYPICAL FOR - BUILDING WALLS SHALL BE CONSTRUCTED OF 10" INSULATED AND PAINTED PRE-CAST CONCRETE WALL PANELS "PAINT FINISH SHALL BE THREE COLORS WITH THE MAIN FIELD COLOR - OFF WHITE WITH THREE ACCENT COLORS AS INDICATED ON ELEVATIONS.
E19	TYPICAL FOR - BUILDING WALLS SHALL BE CONSTRUCTED OF 10" INSULATED AND PAINTED PRE-CAST CONCRETE WITH 1 1/2" REVEALS AS INDICATED ON ELEVATIONS.
E20	PARAPET WALLS LOCATED BEYOND.
E21	PAINTED WINDOW ACCENT - LIGHT GREY.
E22	PAINTED SIGNATURE ACCENT - RED.
E25	WALL MOUNTED LED LIGHT FIXTURES - NOT SHOWN - REFER TO EXTERIOR LIGHTING PLAN.
E26	APPROXIMATE LOCATIONS OF PRE-FINISHED METAL ESCUTCHEON (LAMBS TONGUE STYLE) SECONDARY ROOF DRAINS AND COVERS.
E27	9'-0" x 10'-0" COMPACTOR DOOR OPENING.

THE PROPOSED COMMERCIAL NON-RESIDENTIAL BUILDING TO BE LOCATED IN CLIMATE ZONE 6 (PER IECC SECTION 502) PER TABLE 502.2 (1). BUILDING ENVELOPE REQUIREMENTS - OPAQUE ASSEMBLIES.

ROOFS - PROPOSED ROOF INSULATION ENTIRELY ABOVE DECK R-20ci REQUIRED AND R-25ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.
WALLS ABOVE GRADE PROPOSED EXTERIOR WALL - MASS (PRECAST INSULATED CONCRETE) R-13.3ci REQUIRED AND R-15.37ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

SLAB-ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW REQUIRED AND R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

PER TABLE 502.3 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION
VERTICAL FENESTRATION [40% MAXIMUM ALLOWED ABOVE GRADE] 13.45% ACTUAL PROVIDED. REQUIRED U-FACTOR .40; ACTUAL PROVIDED .29 AND SHGC .41

PER 2015 IECC:

C402.5 AIR LEAKAGE THERMAL ENVELOPE.
PROPOSED BUILDING COMPLIES.

C402.5.1 AIR BARRIER PER C402.5.1.2.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE.
PROPOSED BUILDING COMPLIES.

C402.5.2 AIR LEAKAGE FENESTRATION SEE EXCEPTION 1. FIELD FABRICATED FENESTRATION ASSEMBLIES THAT ARE SEALED IN ACCORDANCE WITH SECTION C402.5.1.
PROPOSED BUILDING COMPLIES.

C402.5.3 ROOMS CONTAINING FUEL - BURNING APPLIANCES EXCEPTION 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO OUTSIDE.
PROPOSED BUILDING COMPLIES.

C402.5.4 DOORS AND ACCESS OPENINGS TO SHAFTS, CHUTES, STAIRWAYS AND ELEVATOR LOBBIES.
NOT APPLICABLE TO PROPOSED BUILDING.

C402.5.5 AIR INTAKES, EXHAUST OPENINGS, STAIRWAYS AND SHAFTS, IF REQUIRED TO BE DAMPERED.
PROPOSED BUILDING COMPLIES.

C402.5.6 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS.
PROPOSED BUILDING COMPLIES.

C402.5.7 VESTIBULES EXCEPTION 2. DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, ON INTENDED SOLELY FOR EMPLOYEE USE. EXCEPTION 4 DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA. EXCEPTION 6 DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL AND ADJACENT PERSONNEL DOORS.
PROPOSED BUILDING COMPLIES.

C402.5.8 RECESSED LIGHTING.
NOT APPLICABLE TO PROPOSED BUILDING.

NOTE:
ALL EXTERIOR DOORS SHALL BE NUMBERED ON EXTERIOR SIDE REQUIRED BY THE VILLAGE OF GERMANTOWN.

NOTE:
ROOF TOP UNITS SHALL BE INSTALLED BEHIND THE PARAPETS ON THE ROOF TO PROVIDE SCREENING.

NOTE:
ALL WINDOWS SHALL BE LOW "E" COATED BRONZE-GREY TINTED 1" INSULATED GLAZING SET IN THERMALLY BROKEN "CLEAR" ANODIZED ALUMINUM WINDOW FRAMES WITH ACCENT METAL WHERE REFERENCED ON THE ELEVATIONS SHALL MATCH "CLEAR" COLOR. SPANDREL GLASS SHALL BE "BRONZE" TO COMPLEMENT VISION GLASS. U - VALUE / FACTOR - .29 WITH SH GC - .41

WINDOW TYPE NOTES:

SEE WINDOW TYPES ON SHEET A5.2 FOR INFORMATION ON SPECIFIED WINDOWS.

ELEVATION PAINT COLOR KEY:

- OFF WHITE BASE FIELD COLOR
- LIGHT GREY PRIMARY ACCENT COLOR
- MEDIUM GREY SECONDARY ACCENT COLOR
- RED SIGNATURE ACCENT COLOR (PMS 485c)



Seasons at Germantown

Detailed Proposal Description



Germantown, WI

June 15, 2022



789 N. Water Street, Suite 200, Milwaukee, Wisconsin 53202
Phone 414.226.4535 • Fax 414.226.4523 • www.fred-inc.com

Subject Property

The subject property is located at the northeast corner of County Line Road (Hwy Q) and Lannon Road (Hwy Y). The total proposed development site is approximately 89 acres, of which approximately 33.1 acres will be utilized for the proposed multifamily development. The subject property is currently vacant farmland.



Proposed Development

The Seasons at Germantown is an institutional grade, best-in-class market rate, amenity rich multifamily development designed with the end user in mind. The development has a true suburban feel with a significant amount of green space. The community will consist of two-story walkup buildings with 20 unit configurations. The buildings have been designed in a townhouse style which feature ground level, private direct entrances as well as attached garages for select apartments. The apartments, which include studio, one bedroom, two bedroom, and three bedroom floor plans, are strategically placed within the buildings.



Careful attention was taken to maximize floor plan efficiency, functionality and flexibility to provide residents with a great value. Each of the 320 market rate apartment homes will feature modern finishes including open concept floor plans, designer cabinetry, expansive windows, quartz countertops, upgraded appliances, oversized balconies/patios, large walk-in closets and 9-foot ceilings. Flooring will consist of high quality grade carpet in all bedrooms and designer plank flooring throughout the balance of the apartment. All units will include a split HVAC system (similar to what is in a single family home), individual hot water heaters, energy efficient windows and a full-size washer and dryer to maximize efficiency and comfort. The building layouts and floor plan

designs of this development provide a variety of housing options and price points that will cater to a broad demographic group.

In addition to the individual unit features, the 5,000 square foot clubhouse has been designed to create an unparalleled resident experience with its resort style pool, 24-hour fitness center with high end cardio equipment and club room with an entertaining style kitchen. Pedestrian walkways will also be featured throughout the site, including connections to the onsite dog park.



Building and Unit Counts: The multifamily development will include sixteen (16) freestanding buildings with 20 apartment units per building for a total of 320 apartments. The unit mix consists of 32 studios (10% of total), 128 one-bedrooms (40% of total), 128 two-bedrooms (40% of total), and 32 three-bedrooms (10% of total). The overall density is approximately 9.66 units/acre.





Design/Materials: The exterior finish of the buildings includes brick, oversized windows and fiber cement siding. A mix of large balconies and private patios complement the exterior elevations and the gabled roof details contribute to the suburban feel of the community.

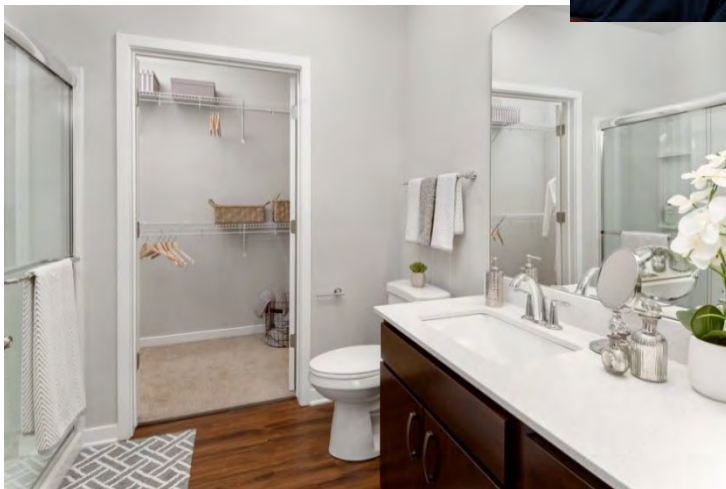
Parking: Parking will be provided through a mix of building-attached garages containing twelve spaces throughout eight attached garages, detached garages with eight bays each, and surface parking. Total parking provided is 741 spaces for all 320 units, resulting in a parking ratio of 2.31 spaces per unit. The plan includes 232 enclosed garage spaces for an overall garage ratio of .72 garage spaces/unit. Code requires 2 parking spaces per dwelling unit, including one garage space per unit. We are confident that the parking provided is more than adequate for a project of this size based on our experiences with other similar type projects.

Access and Circulation: Two access points will be provided to the development as shown on the site plan. The main entrance will be on County Line Road (Hwy Q) with a secondary access point on Lannon Road (Hwy Y).



Landscape/Buffering and Pedestrian Ways: The site plan reveals a greened-up site featuring courtyards and pedestrian walkways that flow throughout the development and provide great connectivity.

Finishes: Apartment finishes include: upgraded stainless steel appliance package, upgraded cabinetry with 42" upper cabinets, large windows, open concept floor plans, in-unit full size washer / dryer, walk in closets, and oversized balconies/patios.



Development Details

- Multifamily Property Size: 33.1 acres
- Current Zoning:
 - A-1 Agricultural District
- The 2020 Land Use Plan earmarks this site as Commercial & Industrial/Office.
- Residential Density: 9.66 units per acre



- Significant Increment in Property Assessed Value:
 - Current property assessed value: \$85,100
 - Estimated property assessed value upon completion: \$52,500,000



- Architecture
 - Two story design that is in scale with adjacent properties
 - Parcel to the North – Agricultural uses
 - Parcel to the South – Single family homes/Grace Evangelical Lutheran Church
 - Parcel to the East – WE Energies Power Plant/Walmart
 - Parcel to the West – Agricultural/Single family homes
- Storm Water Management
 - Utilizing the natural site characteristics to manage all storm water management on site
 - No additional runoff will be created from the development

Market Demand

There are a multitude of characteristics that help support the long-term success of a multifamily development including location, community amenities, quality of construction, and overall cost of living. The demand for additional rental housing along with the current overall strength of the local rental market provides Fiduciary an opportunity to bring this “Class A” development to the market.

Fiduciary’s market research indicates pent up demand for a unique type of new, luxury apartment rentals in the Village of Germantown. Specifically, there is a growing demand for alternatives to single family homes. Many of the multifamily housing options in the local submarket are older communities with dated finishes and amenities which cannot fulfill the current market demand.



In recent years, demand, especially from young professionals and empty nesters, has shifted away from home ownership towards multifamily housing. There is a demand for new, high-end market rate apartment homes in Germantown from those that are looking to downsize or no longer own a home, but want to stay within the community, as well as from those professionals that work for employers in the area. This demand is from a demographic group that will spend their money in the communities in which they live and is looking for an upscale development to call home.

Fiduciary is targeting a different demographic that is not looking to live in the typical 3 or 4 story building with common corridors, but rather a smaller scale building type with private, direct entries creating more of a condo or townhome type feel. This group wants the community they live in to feel more suburban with an abundance of green space, walkability within the development, abundant amenity package and conveniently located.

Given the site characteristics and the pent up demand for high quality multifamily housing in this area, Fiduciary has identified that the highest and best use for the subject property is a multi-family development.





About Fiduciary Real Estate Development, Inc.

Fiduciary Real Estate Development, Inc. (FRED) is an experienced developer and investor in commercial real estate focusing on multifamily projects. Founded in 1984, FRED's proven track record of successful investment management has grown the business into one of Wisconsin's largest real estate companies. The company owns and manages more than 9,000 market rate apartments, with an owned portfolio conservatively valued at over \$1.5 billion.

FRED's mission is to develop and manage exceptional residential communities that provide a distinctive living experience through enthusiastic service and dynamic teamwork. Visionary leadership, accountability with integrity and camaraderie and passion for people guide the vision of creating communities that are vibrant and enrich residents' lives.

Below are a few of Fiduciary's most recent awards.



**INNOVATIVE MARKETING
OF THE YEAR**
2020 AOMA TOBY Awards



**SENIOR HOUSING
PROPERTY OF THE YEAR**
2020 AOMA TOBY Awards



**GEN X
PROPERTY OF THE YEAR**
2020 AOMA TOBY Awards



**INNOVATIVE MARKETING
OF THE YEAR**
2019 AOMA TOBY Awards



**SENIOR HOUSING
OF THE YEAR**
2019 AOMA TOBY Awards



**MILLENNIAL
PROPERTY OF THE YEAR**
2019 AOMA TOBY Awards



**GEN X
PROPERTY OF THE YEAR**
2019 AOMA TOBY Awards



**PROPERTY OF THE YEAR
(201-300 UNITS)**
2019 AASCW



TOP PROJECT OF THE YEAR
2018 Daily Reporter



**PROPERTY EXCELLENCE:
GENERATION Y**
2018 AOMA TOBY Award



**PROPERTY EXCELLENCE:
GENERATION X**
2018 AOMA TOBY Award



**PROPERTY EXCELLENCE:
NEW CONSTRUCTION**
2018 AOMA TOBY Award



**PROPERTY EXCELLENCE:
150+ UNITS**
2018 AOMA TOBY Award



**ASSISTANT MANAGER
OF THE YEAR**
2018 AOMA TOBY Award



**PROPERTY MANAGER
OF THE YEAR**
2018 AOMA TOBY Award



**MAINTENANCE TECH
OF THE YEAR**
2018 AASCW





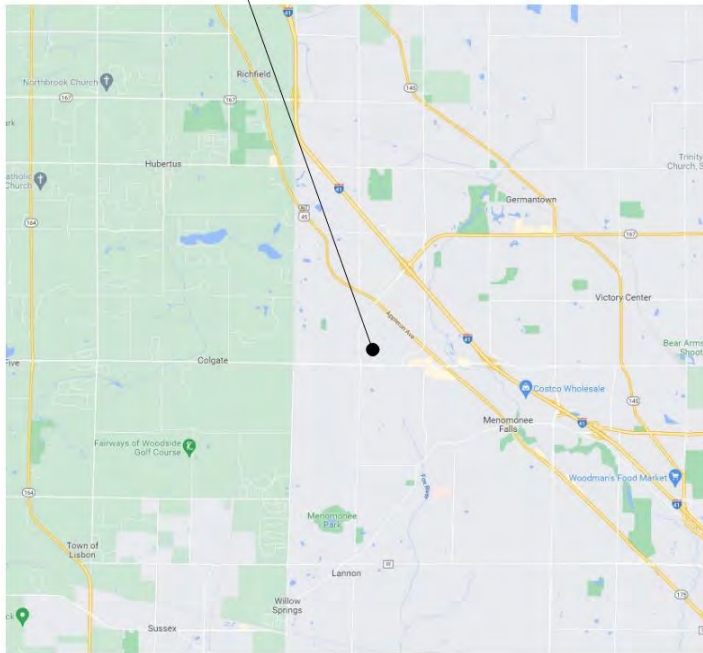
Q & Y Business Park Development

NE Intersection County Hwy Q & Y Germantown, WI 53022

June 07, 2022

Project Information

PROJECT LOCATION:

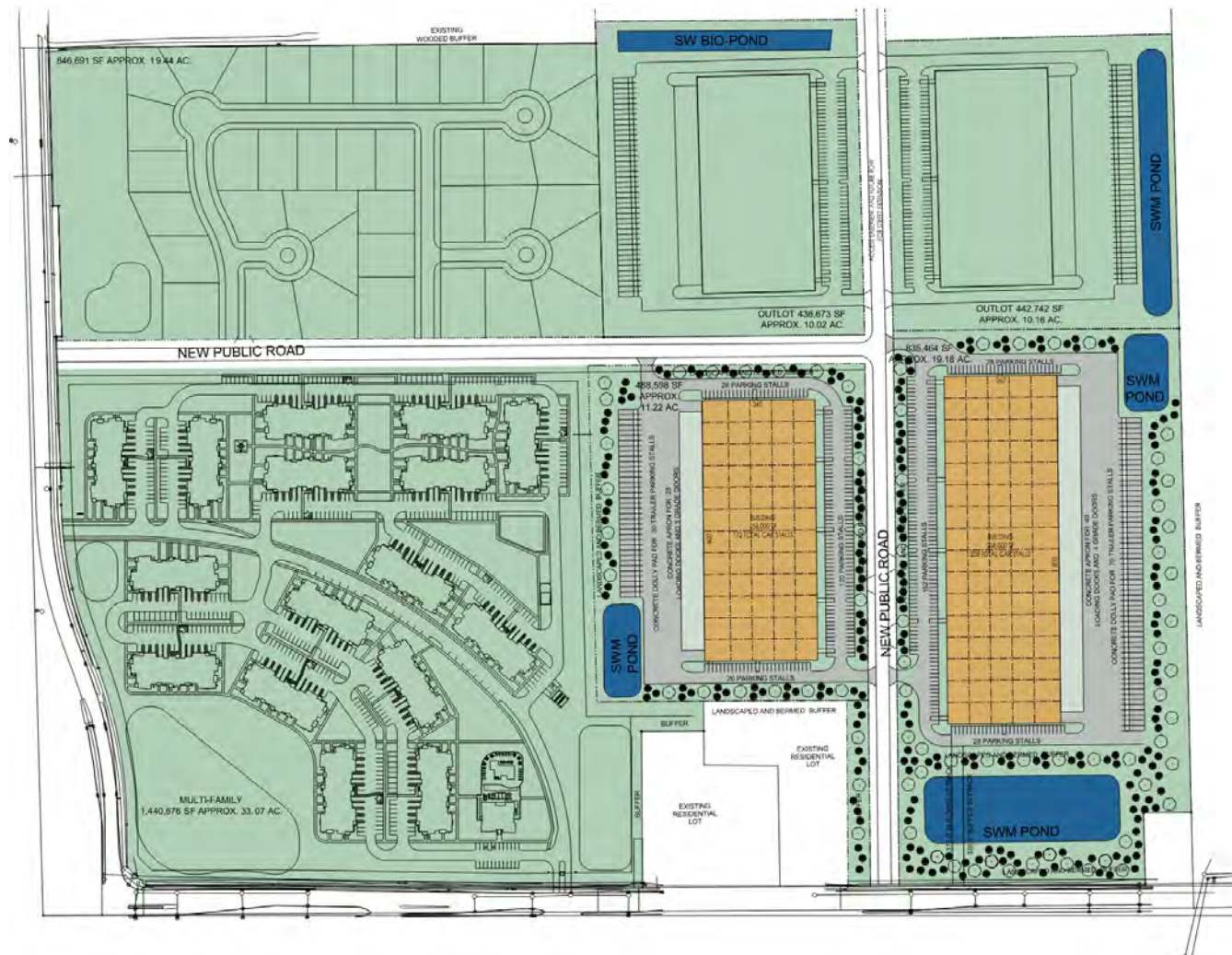


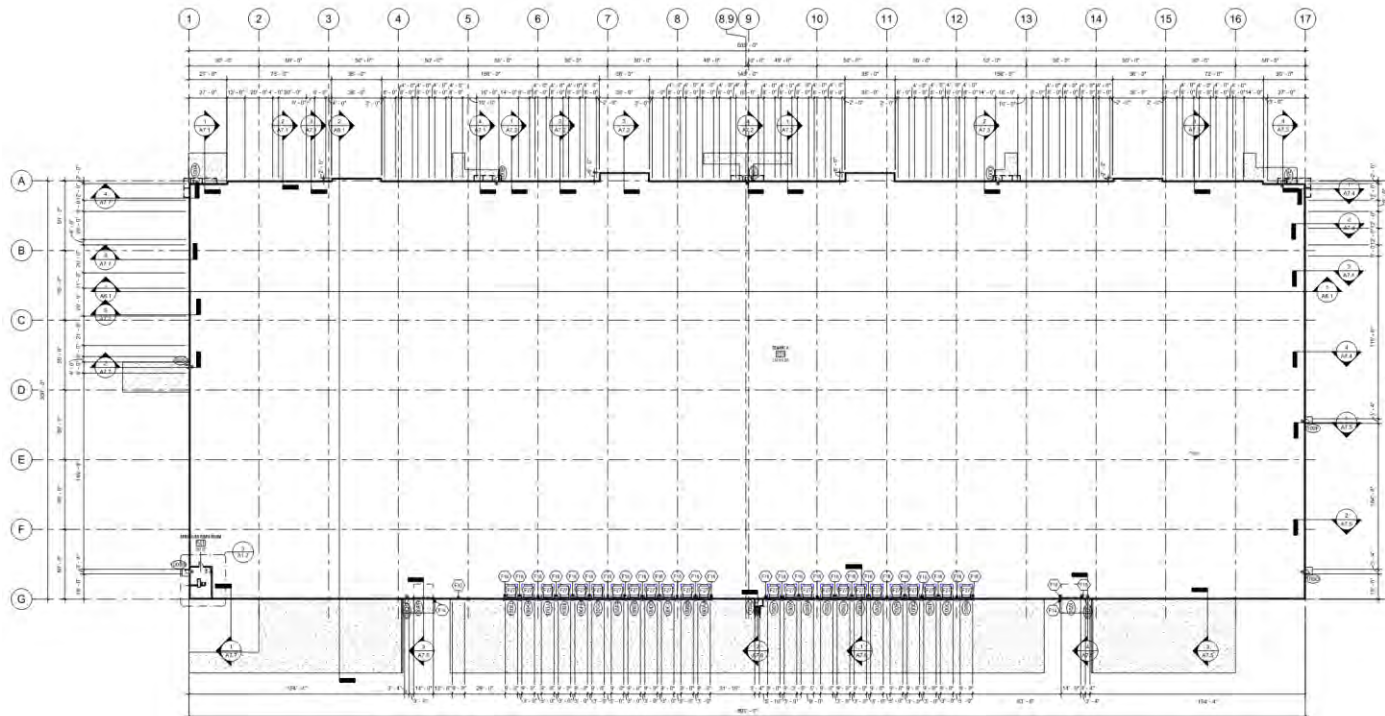
6

SITE LOCATION MAP
1/2" = 1'-0"







[illegible]

PRECASTER TO ACCOMMODATE ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES WITH AN ADDITIONAL 1/2" TOLERANCE - TYPICAL

1 OVERALL FIRST FLOOR PLAN

[illegible]

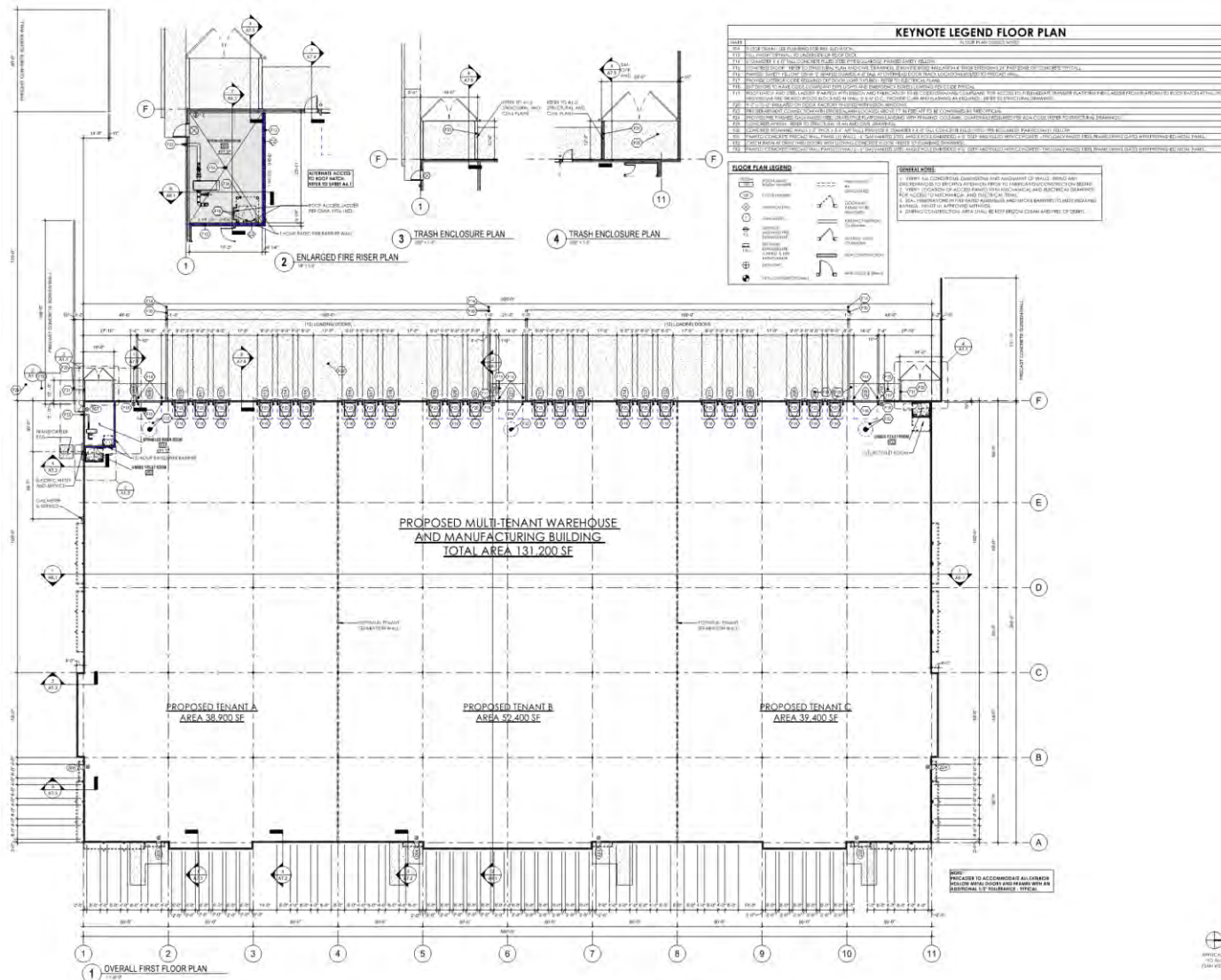
Technical drawings of the 1000 Series Bench, showing front, side, and top views with dimensions:

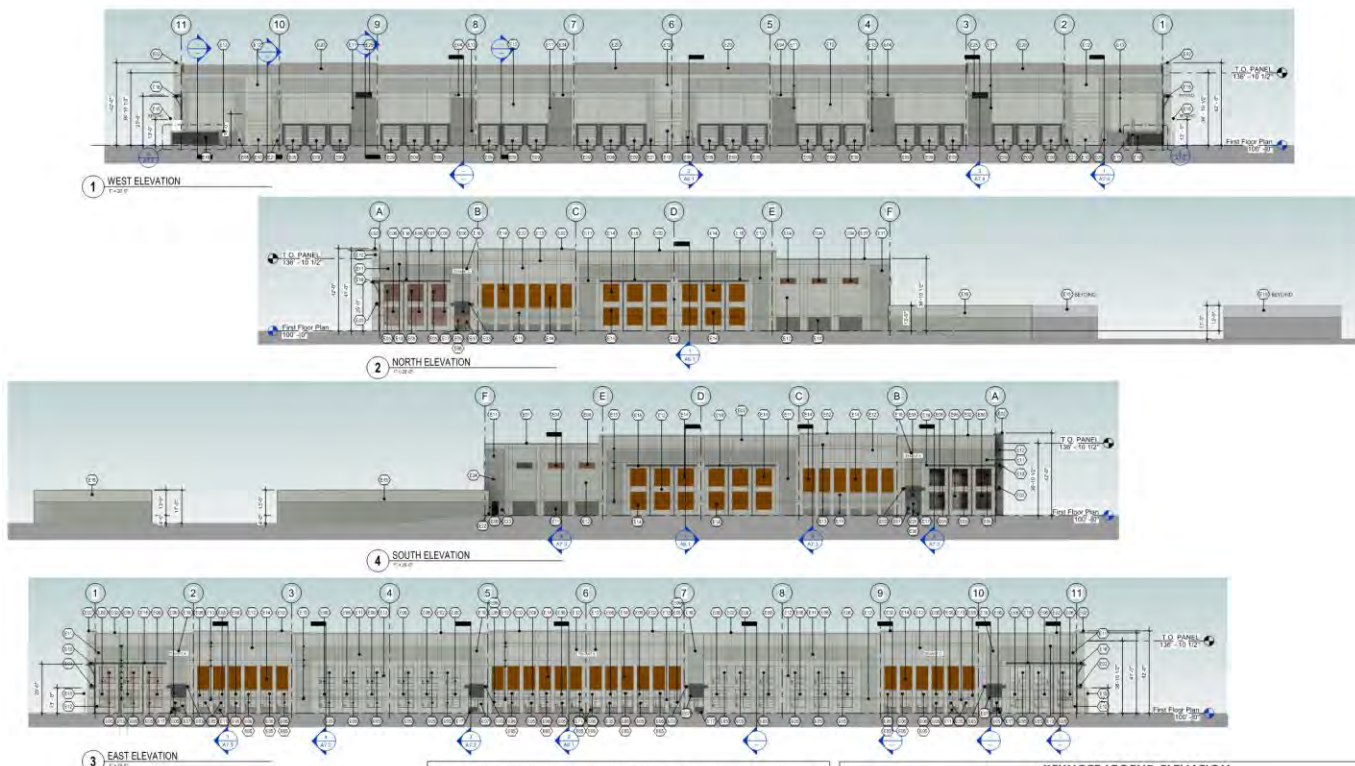
- Front View:** Shows a bench with a height of 17 1/2" and a seat height of 14". The seat is 18" wide and 18" deep. The base is 18" wide and 18" deep.
- Side View:** Shows a bench with a height of 17 1/2" and a seat height of 14". The seat is 18" wide and 18" deep. The base is 18" wide and 18" deep.
- Top View:** Shows a bench with a length of 30" and a width of 18". The seat is 18" wide and 18" deep. The base is 18" wide and 18" deep.

11. TYPICAL COMMERCIAL AND RESIDENTIAL WELDING TO BE DONE ON CAMPUS ZONE 1 PROJECT (WELDING SHALL BE LIMITED TO THE FOLLOWING):

- 11.1. REPAIRS TO EXISTING STRUCTURAL STEEL
- 11.2. REPAIRS TO EXISTING REINFORCING STEEL
- 11.3. REPAIRS TO EXISTING CONCRETE
- 11.4. REPAIRS TO EXISTING MASONRY
- 11.5. REPAIRS TO EXISTING ROOFING
- 11.6. REPAIRS TO EXISTING PAINT
- 11.7. REPAIRS TO EXISTING FLOORING
- 11.8. REPAIRS TO EXISTING SITES
- 11.9. REPAIRS TO EXISTING UTILITIES
- 11.10. REPAIRS TO EXISTING LANDSCAPE
- 11.11. REPAIRS TO EXISTING INFRASTRUCTURE
- 11.12. REPAIRS TO EXISTING EQUIPMENT
- 11.13. REPAIRS TO EXISTING VEHICLES
- 11.14. REPAIRS TO EXISTING AIRCRAFT
- 11.15. REPAIRS TO EXISTING SHIPS
- 11.16. REPAIRS TO EXISTING SPACECRAFT
- 11.17. REPAIRS TO EXISTING ROCKETRY
- 11.18. REPAIRS TO EXISTING MISSILES
- 11.19. REPAIRS TO EXISTING WEAPONS
- 11.20. REPAIRS TO EXISTING DEFENSE SYSTEMS
- 11.21. REPAIRS TO EXISTING MILITARY EQUIPMENT
- 11.22. REPAIRS TO EXISTING NAVY VESSELS
- 11.23. REPAIRS TO EXISTING AIR FORCE AIRCRAFT
- 11.24. REPAIRS TO EXISTING MARINE VESSELS
- 11.25. REPAIRS TO EXISTING COAST GUARD VESSELS
- 11.26. REPAIRS TO EXISTING FISHING VESSELS
- 11.27. REPAIRS TO EXISTING TUGBOATS
- 11.28. REPAIRS TO EXISTING BARGE
- 11.29. REPAIRS TO EXISTING CRUISE SHIPS
- 11.30. REPAIRS TO EXISTING YACHTS
- 11.31. REPAIRS TO EXISTING BOATS
- 11.32. REPAIRS TO EXISTING SMALL CRAFT
- 11.33. REPAIRS TO EXISTING CANOES
- 11.34. REPAIRS TO EXISTING KAYAKS
- 11.35. REPAIRS TO EXISTING SUPS
- 11.36. REPAIRS TO EXISTING PADDLES
- 11.37. REPAIRS TO EXISTING OARS
- 11.38. REPAIRS TO EXISTING ROWING EQUIPMENT
- 11.39. REPAIRS TO EXISTING SAILBOATS
- 11.40. REPAIRS TO EXISTING SAILS
- 11.41. REPAIRS TO EXISTING RIGGING
- 11.42. REPAIRS TO EXISTING MASTS
- 11.43. REPAIRS TO EXISTING DECKS
- 11.44. REPAIRS TO EXISTING CABINETS
- 11.45. REPAIRS TO EXISTING LOCKERS
- 11.46. REPAIRS TO EXISTING BATHS
- 11.47. REPAIRS TO EXISTING KITCHENS
- 11.48. REPAIRS TO EXISTING BEDS
- 11.49. REPAIRS TO EXISTING CHAIRS
- 11.50. REPAIRS TO EXISTING TABLES
- 11.51. REPAIRS TO EXISTING CUPBOARDS
- 11.52. REPAIRS TO EXISTING DRAWERS
- 11.53. REPAIRS TO EXISTING DOORS
- 11.54. REPAIRS TO EXISTING WINDOWS
- 11.55. REPAIRS TO EXISTING FLOORS
- 11.56. REPAIRS TO EXISTING CEILINGS
- 11.57. REPAIRS TO EXISTING WALLS
- 11.58. REPAIRS TO EXISTING ROOFS
- 11.59. REPAIRS TO EXISTING FOUNDATIONS
- 11.60. REPAIRS TO EXISTING BASEMENTS
- 11.61. REPAIRS TO EXISTING ATTICS
- 11.62. REPAIRS TO EXISTING GARAGES
- 11.63. REPAIRS TO EXISTING PORCHES
- 11.64. REPAIRS TO EXISTING PATIOS
- 11.65. REPAIRS TO EXISTING DECKS
- 11.66. REPAIRS TO EXISTING BALCONIES
- 11.67. REPAIRS TO EXISTING TERRACES
- 11.68. REPAIRS TO EXISTING STAIRS
- 11.69. REPAIRS TO EXISTING ELEVATORS
- 11.70. REPAIRS TO EXISTING ESCALATORS
- 11.71. REPAIRS TO EXISTING RAMP
- 11.72. REPAIRS TO EXISTING CURBS
- 11.73. REPAIRS TO EXISTING SIDEWALKS
- 11.74. REPAIRS TO EXISTING DRIVEWAYS
- 11.75. REPAIRS TO EXISTING PARKING LOTS
- 11.76. REPAIRS TO EXISTING DRIVEWAYS
- 11.77. REPAIRS TO EXISTING SIDEWALKS
- 11.78. REPAIRS TO EXISTING DRIVEWAYS
- 11.79. REPAIRS TO EXISTING SIDEWALKS
- 11.80. REPAIRS TO EXISTING DRIVEWAYS
- 11.81. REPAIRS TO EXISTING SIDEWALKS
- 11.82. REPAIRS TO EXISTING DRIVEWAYS
- 11.83. REPAIRS TO EXISTING SIDEWALKS
- 11.84. REPAIRS TO EXISTING DRIVEWAYS
- 11.85. REPAIRS TO EXISTING SIDEWALKS
- 11.86. REPAIRS TO EXISTING DRIVEWAYS
- 11.87. REPAIRS TO EXISTING SIDEWALKS
- 11.88. REPAIRS TO EXISTING DRIVEWAYS
- 11.89. REPAIRS TO EXISTING SIDEWALKS
- 11.90. REPAIRS TO EXISTING DRIVEWAYS
- 11.91. REPAIRS TO EXISTING SIDEWALKS
- 11.92. REPAIRS TO EXISTING DRIVEWAYS
- 11.93. REPAIRS TO EXISTING SIDEWALKS
- 11.94. REPAIRS TO EXISTING DRIVEWAYS
- 11.95. REPAIRS TO EXISTING SIDEWALKS
- 11.96. REPAIRS TO EXISTING DRIVEWAYS
- 11.97. REPAIRS TO EXISTING SIDEWALKS
- 11.98. REPAIRS TO EXISTING DRIVEWAYS
- 11.99. REPAIRS TO EXISTING SIDEWALKS
- 12.00. REPAIRS TO EXISTING DRIVEWAYS

 RED SQUARE COLOR (PMS 300)





ELEVATION PAINT COLOR KEY:

	PAIN T COLOR 1: SHERWIN WILLIAMS "TIMBER WHITE" - TRULY COLOR
	PAIN T COLOR 2: SHERWIN WILLIAMS "TIMBER WHITE" - LIGHT ACCENT
	PAIN T COLOR 3: SHERWIN WILLIAMS "TIMBER WHITE" - DARK ACCENT
	PAIN T COLOR 4: SHERWIN WILLIAMS "TIMBER WHITE" - WOOD LOOK

ALL ENTRY OR DOORS WHERE REQUIRED SHALL BE MARKED ON
EXTERIOR SIDE RECALLED BY THE DARK GREEN PAINT OR PLACEMENT

ALL WINDOWS SHALL BE LOW E⁺ COATED BRONZE-GREY TINTED 17
INSULATED GLAZING SET IN SUBSTANTIALLY BROWN "CLASH" ANODIZED
ALUMINUM WINDOW FRAMES WITH ANODIZED METAL BRACKETS
REFERENCED ON THE ELEVATIONS SHALL ADOPT "CLEAR" COLOR
FRAMES. GLASS SHALL BE MONOTONE TO COMPLEMENT VISION GLASS
E. VALUE (FACTOR) = 25 WITH GC 140

WINDOW TYPE NOTES:
SEE WINDOW TIPS ON SHEET A3.2 FOR
INFORMATION ON SPECIFIED WINDOWS.

SAFETY GLAZING
 PER SEC 405.4 PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS AS REQUIRED IN THE CODE SECTION. GLAZING SHALL MEET CPSC SAFETY GLAZING

NOTE:
ROOF TOP UNITS SHALL BE INSTALLED BEHIND THE PARAPETS ON THE
ROOF TO PROVIDE SCREENING.

ROOF ASSEMBLY: BALLASTED ROOF MEMBRANE ON 6-75" JIRICI

INSULATED WOOD-LOOK EXTERIOR PRECAST WALL PANELS

FINISH: 10' (4-1/2") INSULATED PRECAST CONCRETE WALL PANEL
(0-16) WITH WOOD-LOOK FORM LINE PATTERNED PANEL

THE PROPOSED COMMERCIAL, NON-RESIDENTIAL BUILDING TO BE LOCATED IN ZONE L, SITE 200, P.C. SECTION 505, T4S, R1E, 21W.

TRAINING WITH CITY ENGINEERS - CHIEF ENGINEERS

ROOF - PROVIDE ROOF RAFTERS WITH 1" MIN. OVERLAP IF 2x6 REQUIRED AND ROOF PROVIDE MIN. OF TWO (2)x6x12 MINIMUM.

WALLS ABOVE GRADE: PROPOSED COR OF WALL - WALL FINISH - INSULATED CONCRETE (4.13.3) REQUIRED AND 8" (203) PROPOSED REINFORCING COR MINIMUM

SLAB-ON-GRADE FLOORS - PROVIDE UNHEATED SLAB F.I.D. FOR 24 INCHES MINIMUM REQUIRED AND 8 INCHES FOR 24 INCHES OR MORE PROVIDED WITH

OR SELECT CODE MINIMUM

FABRIC WINDINGS SMALL SHEET 2 TO BLOC TABLE C402-9
SHEATHING DOORS SMALL SHEET 2020 REC TABLE C402-8
FOR FABRIC WITH A WALL DRUG SANDSTONE 2020 SHEATHING COMBINATION

VERTICAL PENETRATION ALLOWED (NOT MAXIMUM ALLOWED ABOVE GRADE) (5' ACTUAL PROVIDED OK)
REQUIRED = 34" (6" MIN AND PROVIDED = FACTOR 29 OK

REQUIRED DISCLOSURE EXPLOSIVES AND PROPELLANTS: 42
REQUIRED BASIC IN EXPOSURE: 33 PROVIDED: 53

THE JUNE 2000

CODE: AIR LEAKAGE THERMAL BARRIER
REINFORCED-BUILDING COMPLEX

NOTE: ALL BARRELS PER (A)(2)(5)(2) MATERIALS ARE EXCEPTED TO CAST-IN-PLACE AND PRECAST CONCRETE.

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[illegible]

CASE 3: ROOMS CONTAINING FUEL-BURNING APPLIANCES EXCEPT GAS-VENT APPLIANCES WITH BOTH INAKE AND EXHAUST TYPES

HOUSING CONTIGUOUS TO OUTSIDE
PROPOSED BUILDING COMPLEX

CASE 14: DOORS AND ACCESS OPENINGS TO MAINT. CHUTE, STAIRWAYS AND ELEVATOR COBBES
 APPROVED BY: [Signature] DATE: [Date]

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RECEIVED BUSINESS COMMITTEE

LIFE L5 - LOADING DOOR W/ WHEEL STALL TO BE PROVIDED FOR LOADING DOOR DOORS
PROPOSED BUILDING COMPLEX.

CASE 3.7 VESPAKES EXPOSITION 2 DOORS NOT INTENDED TO BE USED BY THE PUBLIC SUCH AS DOORS TO MECHANICAL OR ELECTRICAL ENCLOSURES, AIRCRAFT, ETC.

TEST AREA: EXCEPT 4 DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL AND EQUIPMENT MOVEMENT, DOORS.

04218 received/accepted

KEYNOTE LEGEND ELEVATION

[illegible]