

Fee must accompany application

- ☐ \$700 Minor Addition
- ☐ \$1,240 Construction <10,000 SF
- ☐ \$2,095 Construction 10,000 SF to 50,000
- ☐ \$3,460 Industrial Construction >50,000 SF
- ☐ \$3,460 Commercial Construction >50,000
- ☐ \$200 Plan Commission Consultation
- ☐ \$125 Fire Department Plan Review

PAID _____ DATE _____

SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

<p>1 APPLICANT OR AGENT</p> <p><u>Odyssey Hotel Group</u></p> <p><u>W177N9675 Riversbend Ln</u></p> <p><u>Germantown, WI 53022</u></p> <p>_____</p> <p>_____</p> <p>Phone (<u>312</u>)<u>867-7911</u></p> <p>E-Mail <u>rdhingra@odysseyhotels.com</u></p>	<p>PROPERTY OWNER</p> <p><u>Odyssey Hotel Group</u></p> <p><u>W177N9675 Riversbend Ln</u></p> <p><u>Germantown, WI 53022</u></p> <p>_____</p> <p>_____</p> <p>Phone (<u>312</u>)<u>867-7911</u></p> <p>E-Mail <u>rdhingra@odysseyhotels.com</u></p>
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2 PROPERTY ADDRESS

W177N9675 Riversbend Ln

3 NEIGHBORING USES – Specify name and type of use, e.g. Enviro Tech – Industrial, Smith – Residential, etc.

North Condos	South Commercial - KFC, Speedway	East Commercial - Thrivent, Panda Express	West Commercial - Starbucks Parking Lot
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4 READ AND INITIAL THE FOLLOWING:

 X I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.

 X I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.

 X I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5 SIGNATURES – ALL APPLICATION MUST BE SIGNED BY OWNER!

_____ Applicant	<u>Oct/27/2021</u> _____ Date	_____ Owner	<u>Oct/27/2021</u> _____ Date
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Village of



Fee Must Accompany Application

☐ \$820 Paid _____ Date _____

☐ \$200 PC Consultation Only
Paid _____ Date _____

PLANNED DEVELOPMENT DISTRICT (PDD) AMENDMENT APPLICATION

Applications NOT signed by the Property Owner(s) will not be accepted. Attach additional sheets and/or include supplemental information in support of your application.

APPLICANT OR AGENT:

Odyssey Hotel Group

PROPERTY OWNER(S):

Odyssey Hotel Group

Address: W177N9675 Riversbend Ln
Germantown, WI 53022

Address: W177N9675 Riversbend Ln
Germantown, WI 53022

Phone: 312-867-7911

Phone: 312-867-7911

FAX: _____

FAX: _____

E-Mail: rdhingra@odysseyhotels.com

E-Mail: rdhingra@odysseyhotels.com

PDD Name & Resolution No.:

Resolution No. 19-16 which amended Resolution No. 16-97 for the Neviasser PDD

Legal Description of Property or Area (metes and bounds description):

Attach separate legal description if necessary

Lot 1 of Certified Survey Map No. 3903 recorded in the office of the Register of Deeds for Washington County, Wisconsin, on July 22, 1992 in Volume 25 of Certified Survey Maps, at Page 14, as Document No. 607696, being a part of the Southwest Quarter of the Southeast Quarter of Section 33, Township 9 North, Range 20 East, Village of Germantown, Washington County, Wisconsin.

Check all that apply:

- ☐ **REQUEST TO AMEND PDD ZONING**
☐ **REQUEST TO AMEND PDD GENERAL DEVELOPMENT PLAN**
☒ **REQUEST TO AMEND PDD CONDITIONS & RESTRICTIONS**

Planned Development District (PDD) Amendment Application
Page 2 of 3

List of Proposed Amendment(s) (include Resolution # and Condition #):

Attach Revised Plan(s) or Separate Pages as Necessary

Resolution # 19-16, Condition #3 - Parking.

Reduction in parking is requested. There will be less than 128 parking spaces which was what was required by the 2016 approval for a 73-128 guest room hotel. See attached narrative for explanation.

Detailed Explanation and Justification for Proposed Amendment(s):

Attach Revised Plan(s) or Separate Pages as Necessary

See attached narrative.

Page 3 of 3

APPLICATION SUBMITTAL REQUIREMENTS (to be submitted at time of application):

All Amendment Applications:

- ☒ Complete Application Form (Affidavit of Understanding and signatures required)
- ☒ Application Fee
- ☒ Detailed explanation of and justification for proposed amendment(s)
- ☒ Detailed explanation of if and how the proposed amendment(s) will affect other aspects of the development included within the PDD

General Development Plan Amendment Only:

- ☐ Legal Description of the land subject of map amendment in electronic/digital file format (e.g. Microsoft Word)
- ☐ Revised or New General Development Plan at a scale of 1" = 50' or other suitable scale necessary to accurately present:
 - o Exterior boundary of the land subject of the map amendment
 - o All existing and/or proposed features to be included in the development

AFFIDAVIT OF UNDERSTANDING


Please read and indicate that you understand and agree to the following (initials in box):

- ☒ I understand that Village Staff, the Plan Commission and/or the Village Board may request additional information to properly evaluate this application and failure to provide such information may be sufficient justification to deny this application;
- ☒ I understand that, regardless of the justification and/or information provided in support of my application, the Village is not obligated to approve my application nor amend the PDD as requested;
- ☒ I am aware that the approval of an application to amend a PDD only amends the General Development Plan and/or conditions & Restrictions Resolution and does not otherwise revise or change the zoning of the land affected by the amendment(s), and, I may be required to obtain separate permits and/or approvals (e.g. site plan, building permits, etc.) from the Village or other agencies as a prerequisite to actual or continued development of such land.

ALL APPLICATIONS MUST BE SIGNED BY THE APPLICANT/AGENT AND PROPERTY OWNER(S)

Applicant/Agent Oct 27 2021 Date

APPLICANT/AGENT AND PROPERTY



Property Owner

Oct/27/2021

Date

Applicant/Agent	Date
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Property Owner
Date

November 1, 2021

PDD Amendment Narrative

Project: Odyssey Hotel Group – Holiday Inn Express conversion to Fairfield Inn & Suites
W177N9675 Riversbend Ln
Germantown, WI 50322

Odyssey Hotel Group is requesting PDD Amendment review and approval for the Holiday Inn property at W177N9675 Riversbend Lane (Tax Parcel #GTNV_334100). The requested amendment is to Resolution No. 19-16 from December 19, 2016 (which amended Resolution No. 16-97 for the Neviasser PDD). Odyssey Hotel Group is the successor to the original developer.

The exterior of the building will be modified as shown in the attached exterior elevations and renderings. The existing hip roof on the building will be removed, a third floor will be added and the existing lobby will be heightened. Four (4) columns supporting the existing Porte Cochere will be reused and a new metal canopy structure will be installed in its place to comply with Fairfield Inn and Suites' prototype. A stone finish is proposed at the main entry and at the main pier of the Porte Cochere. EIFS (Exterior Insulated Finishing System) on the existing building will be repainted and the EIFS installed on the new construction will match existing adjacent finishes. The EIFS at the main entry section will receive a thicker EIFS finish (+5, +6") and a metal "trellis" will be used at the cap of the main entry. The existing stair tower is being refinished with a horizontal wood plank system per prototype. The new roof structure will be tapered and have a parapet with varied heights around the entire perimeter. The brick finish around the pool area will remain. The pool is being eliminated completely and the interior reconfigured. The existing concrete patio will remain as outdoor seating accessed from the breakfast area. Some minor site work including the reconfiguring of existing parking spaces and new sidewalk is proposed. The existing building footprint is not being altered or added onto.

The proposed building height(s) are in accordance with the existing PDD and include:

- Main parapet at third floor = +32'-0"
- Upper parapet = +36'-9"
- Parapet at stair tower + 40'-9"
- Parapet at Lobby / Breakfast Area = +13'-0"

The proposed amendment is to Condition #3 – Parking. Resolution 19-16 approved the following:

3. Parking. The project shall include a minimum number of **85** off-street parking spaces based on the maximum number of rooms as follows: No garages or maintenance buildings are approved for this site.
- a. 128 spaces: 73 to 123 guest rooms
 - b. 130 spaces: 123 to 130 guest rooms

Currently, 103 spaces for 100 guest rooms are proposed. The proposed number of spaces is less than the previously approved parking from Resolution No. 19-16. Pursuant to the Village of Germantown Municipal Code [Section 17.45(1)(d)12] this is an adequate number of spaces for a hotel having 100 guest rooms (1 space per guest room) and 6 employees (1 space for each 2 employees) per shift.

A substantial buffer currently exists along the northern perimeter of the hotel property fronting on Riversbend Circle W and Riversbend Lane obscuring the view of the hotel as viewed from those respective streets. The residential properties northwest of the hotel also have a dense evergreen screen along their lot lines. A low berm with evergreen trees is located at the northeast corner of the hotel parking spaces to the west (north end of the Buffalo Wild Wings/Starbucks parking lot); other than the construction of a connector sidewalk to provide pedestrian access from these parking spaces to the hotel, the parking spaces will not be modified or altered. Landscape plantings will be added to the existing berm at the northeast corner of the commercial parking lot to provide additional screening from the residential properties that are north of the parking lot.

GENERAL DEVELOPMENT PLAN FOR: ODYSSEY HOTELS

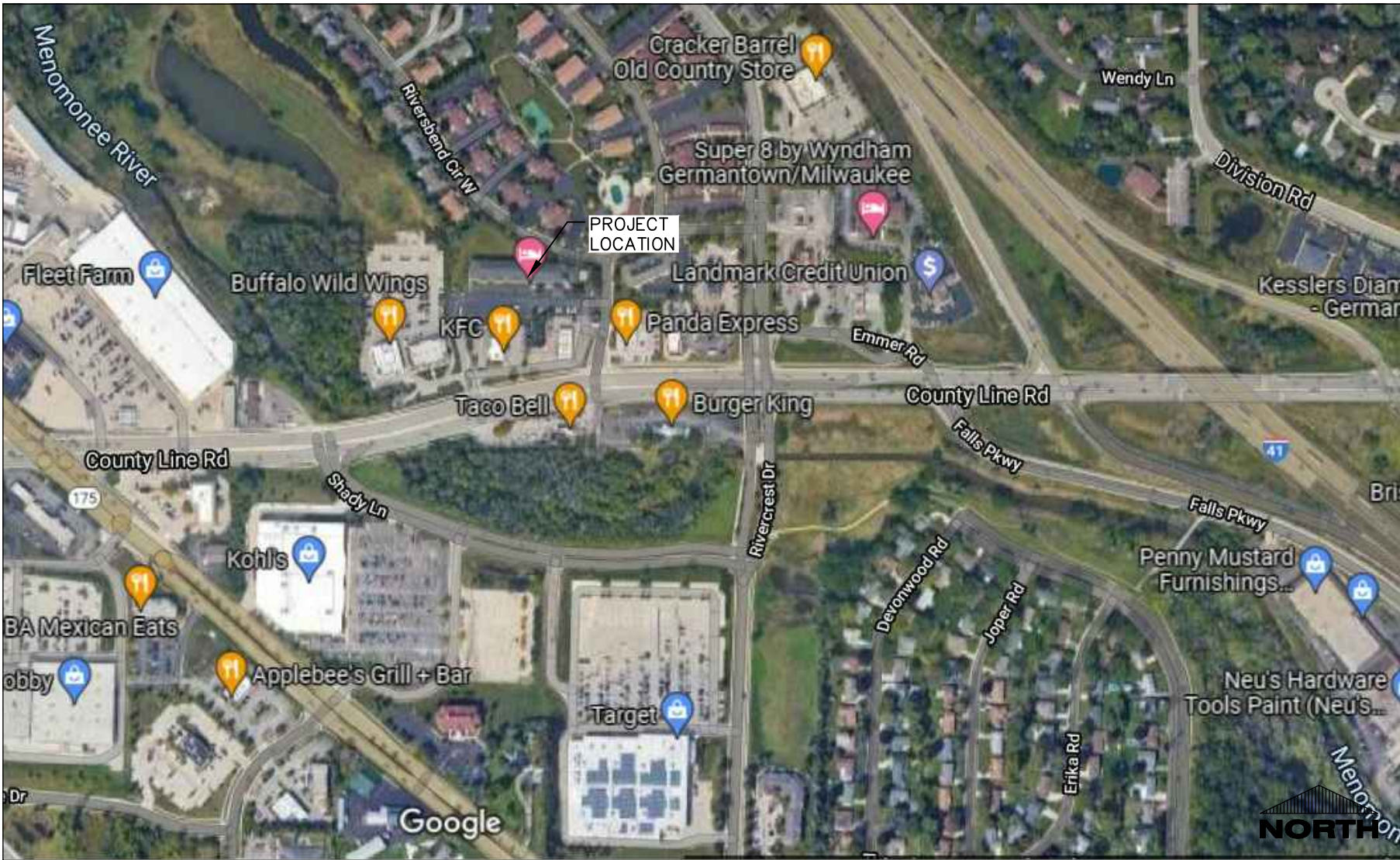
GERMANTOWN, WISCONSIN

LEGEND

• 1000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	☼	EXISTING CONIFEROUS TREE
• 1000.00 EG	EXISTING GRADE SPOT ELEVATIONS	☼	EXISTING SHRUB
• 1000.00 BG • 1000.00 FG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) BG-FINISHED SURFACE GRADE AT BACK OF WALL FG-FINISHED SURFACE GRADE AT FRONT OF WALL	☼	EXISTING STUMP
• 1000.00 TC • 1000.00 BC	PROPOSED SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURB)	☼	SOIL BORING
• 1000.00 TW • 1000.00 BW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)	☼	EXISTING WELL
⊙	EXISTING WATER VALVE IN BOX	☼	EXISTING LIGHT POLE
⊙	PROPOSED WATER VALVE IN BOX	☼	EXISTING SIGN
⊙	EXISTING WATER VALVE IN MANHOLE	☼	CENTER LINE
✱	EXISTING WATER SERVICE VALVE	☼	EXISTING HANDICAP PARKING STALL
⌚	EXISTING TELEPHONE MANHOLE	☼	EXISTING HANDICAP PARKING STALL
☼	EXISTING STORM CATCH BASIN	☼	EXISTING GAS VALVE
☼	PROPOSED STORM CATCH BASIN – ST CB	☼	EXISTING WOODED AREA
☼	PROPOSED STORM FIELD INLET – ST FI	☼	EXISTING HEDGE
☼	EXISTING SQUARE CATCH BASIN	☼	EXISTING CHAINLINK FENCE
☼	EXISTING STORM CURB INLET	☼	EXISTING WOOD FENCE
☼	PROPOSED STORM CURB INLET – ST CI	☼	EXISTING BARBED WIRE FENCE
☼	EXISTING UTILITY POLE	☼	PROPOSED PROPERTY LINE
☼	EXISTING UTILITY POLE WITH GUY WIRE	☼	EXISTING GUARD RAIL
☼	EXISTING STREET LIGHT	☼	EXISTING STORM SEWER AND MANHOLE
⌚	EXISTING TELEPHONE PEDESTAL	☼	PROPOSED STORM SEWER AND MANHOLE – ST MH
⌚	EXISTING ELECTRIC PEDESTAL	☼	EXISTING SANITARY SEWER AND MANHOLE
☼	EXISTING ELECTRIC BOX	☼	PROPOSED SANITARY SEWER AND MANHOLE – SAN MH
⌚	EXISTING CABLE TV PEDESTAL	☼	EXISTING WATER LINE AND HYDRANT
→	PROPOSED DRAINAGE FLOW	☼	PROPOSED WATER LINE AND HYDRANT
■	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.	☼	EXISTING OVERHEAD UTILITY LINE
●	3/4" REBAR SET WEIGHING 1.50 LB/FT.	☼	EXISTING UNDERGROUND FIBER OPTIC LINE
□	1-1/4" REBAR FOUND	☼	EXISTING UNDERGROUND ELECTRIC CABLE
□	3/4" REBAR FOUND	☼	EXISTING UNDERGROUND TELEPHONE CABLE
⊙	2" IRON PIPE FOUND	☼	EXISTING UNDERGROUND GAS LINE
▲	1" IRON PIPE FOUND	☼	PROPOSED CURB AND GUTTER
☼	EXISTING FLOOD LIGHT	☼	EXISTING CURB AND GUTTER
☼	SECTION CORNER	☼	GRADING/SEEDING LIMITS
→	PROPOSED APRON END SECTION	☼	RIGHT-OF-WAY LINE
☼	EXISTING MARSH AREA	☼	INTERIOR PROPERTY LINE
☼	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER	☼	RAILROAD TRACKS
☼	EROSION MATTING	☼	EXISTING GROUND CONTOUR
IP	PROPOSED INLET PROTECTION	☼	PROPOSED POLISH SEWER AND MANHOLE
		☼	PROPOSED POLISH SEWER AND MANHOLE
		☼	EXISTING PROCESS SEWER AND MANHOLE
		☼	PROPOSED PROCESS SEWER AND MANHOLE
		☼	EXISTING CLEAR WATER LINE
		☼	PROPOSED CLEAR WATER LINE

CIVIL SHEET INDEX

SHEET	SHEET TITLE
C0.1	CIVIL COVER AND SPECIFICATION SHEET
C1.1	CIVIL SITE AND DEMOLITION PLAN
C1.2	CIVIL GRADING AND EROSION CONTROL PLAN
C1.3	CIVIL LANDSCAPE AND RESTORATION PLAN
C2.0	CIVIL DETAILS



PROJECT LOCATION MAP

PLAN SPECIFICATIONS (BASED ON CSI FORMAT)

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- CONTRACTOR SHALL CALL DIGGERS HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SURFACES BEFORE PLACING FILL WITH HEAVY PNEUMATIC TIRED EQUIPMENT, SUCH AS A FULLY LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR ABATE SURFACES AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE OR SCARY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY. PLACE BACKFILL AND FILL MATERIAL IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.

31 20 00 EARTH MOVING

- CONTRACTOR SHALL CALL DIGGERS HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SURFACES BEFORE PLACING FILL WITH HEAVY PNEUMATIC TIRED EQUIPMENT, SUCH AS A FULLY LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR ABATE SURFACES AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE OR SCARY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY. PLACE BACKFILL AND FILL MATERIAL IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
- UNDER FOUNDATIONS: SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.
- UNDER INTERIOR SLAB ON GRADE WHERE GROUNDWATER IS MORE THAN 1 FEET BELOW THE SLAB: PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 15% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
- UNDER INTERIOR SLAB ON GRADE WHERE GROUNDWATER IS WITHIN 1 FEET OF THE SLAB SURFACE: PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
- UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS: COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 95 PERCENT.
- UNDER WALKWAYS: COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 95 PERCENT. UNDER LAWN OR UNPAVED AREAS: COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 85 PERCENT.
- CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL TEST WAS PERFORMED BY NAME OF GEOTECHNICAL FIRM.
- ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBURFACES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 1000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STOP FOOTING.
- WHEN THE TESTING AGENCY REPORTS THAT SUBURFACES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARY AND MOISTEN OR ABATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED. RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- THE BUILDING SITE SHALL BE GRADDED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADDED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL

- THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES PERMIT REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN TO MEET NR 151.100 CONSTRUCTION SITE PERFORMANCE STANDARDS FOR NON-PERMITTED SITES.
- EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151.100. THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
- SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1058 (CURRENT EDITION).
- DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1058 (CURRENT EDITION).
- STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3/4" INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN LAYERS AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WEISSOT TYPE 5 GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12' MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).
- STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1058 (CURRENT EDITION).
- DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARBERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1058 (CURRENT EDITION).
- THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
- CONTRACTOR SHALL PROVIDE AN OVERHEAD CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAIN STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
- TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERMANENT VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- IF SITE DEWATERING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DRAINING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1051.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED.
- ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151.100 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 20 00 CONCRETE AND AGGREGATE BASE

- CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
- ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 308-08 & ACI 318-08.
- EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:
 - SEPARAL CONCRETE Joints: 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONSTRUCTION JOINTS SHALL CONSIST OF 10" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS.
 - DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94.
 - STRENGTH TO BE MINIMUM OF 4500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
 - MAXIMUM WATER/CEMENT RATIO SHALL BE 0.4.
 - SUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK.
 - SUMP SHALL BE BETWEEN 15" TO 31" FOR NON-SUP-FORMED CURB AND GUTTER.
 - ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.
 - MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
- VERIFY EQUIPMENT CONCRETE PAD SIZES WITH RESPECTIVE CONTRACTORS. PADS SHALL HAVE FIBERBLEN 300 FIBERS AT A RATE OF 1.5 LB/CY. YD. OR 6 X 6 W/14 X W/14 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 1.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
- ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWING GRADINGS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (IF MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB JOINTING IN THE PAVEMENT AND CURB SHALL ADJOIN. ALL EXTERIOR CONCRETE SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHOULD BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
- ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DIRECTLY ADJACENT TO THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE APPLIED TO 16 BARS, 60 DIAMETERS FOR 4" TO 10" BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
- CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURS ONE SET OF FOUR STANDARD CYLINDERS FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU YD, BUT LESS THAN 25 CU YD, PLUS ONE SET FOR EACH ADDITIONAL 50 CU YD OR FRACTION THEREOF. PERFORM COMPRESSIVE STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH CONCRETE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
- PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COOLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.
- LIMIT MAXIMUM WATER/CEMENT RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45.
- TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTING SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BEARING STRENGTH, AND TYPE OF BREAK FOR BOTH 7 DAY TESTS AND 28 DAY TESTS.

32 30 00 LANDSCAPING AND SITE STABILIZATION

- TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL, AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF AZTADINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 6.5, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED. TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STONES, ROOTS, RUBBER, AND OTHER EXTRANEOUS MATTER AND DEPOSITS OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH SOIL UNIFORM FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- SEEDING LAWNS:
 - PERMANENT LAWN AREAS SHALL BE SEED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2-0-2-6 LBS./1,000 S.F.), 20% PERENNIAL RyEGRASS (0-6-0 LBS./1,000 S.F.), 15% FINE FESCUE (0-4-0 LBS./1,000 S.F.), STRAW AND MULCH SHALL BE Laid AT 100 LBS./1,000 S.F., FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-5 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARDS 1058 & 1059.
 - ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES AS WELL AS STORMWATER MANAGEMENT BASIN BOTTOMS AND SIDE SLOPES SHALL BE SEED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0-6-0 LBS./1,000 S.F.), 40% CREeping RED FESCUE (0-5-0 LBS./1,000 S.F.), AND 15% PERENNIAL RyEGRASS (0-2-0 LBS./1,000 S.F.). FERTILIZE TYPE B OR C TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-5 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARDS 1058 & 1059.
 - ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RyEGRASS AT 19 LBS./1,000 S.F., STRAW AND MULCH SHALL BE Laid AT 100 LBS./1,000 S.F., FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-5 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARDS 1058 & 1059.
- SEEDING LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5%. CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.
- EROSION MATTING: CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN S150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER OUTSIDE OF STORMWATER CONVEYANCE SWALES AND STORMWATER MANAGEMENT BASINS.
- TREES AND SHRUBS: FURNISH MATURE-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECY TYPE, SIZE, AND LOCATION.
- TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE AT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.
- TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.
- PLASTIC EDGING: INSTALL VALLEY VIEW INDUSTRIES BLACK DIAMOND LAWN EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGING TO BE 5.5" TALL WITH METAL STAKES INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

GENERAL PROJECT NOTES

- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.

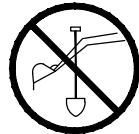
CONTACTS

OWNER

ODYSSEY HOTEL GROUP
1777 NORTH RIVERSBEND LN
GERMANTOWN, WI 53022
CONTACT:
RACHIT DHINGRA
P: (920) 926-7911
rdhingra@odysseyhotels.com

CIVIL

EXCEL ENGINEERING
100 CAMELOT DRIVE
FOND DU LAC, WISCONSIN 54935
CONTACT:
JASON DAYE
P: (920) 926-9800
F: (920) 926-9801
jason.d@excelengineer.com



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511

TOLL FREE

TELEFAX (414) 259-0947

TDD (FOR THE HEARING IMPAIRED) 1-800-542-2289

WISCONSIN STATUTE 182.0175 (1974)

REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

CIVIL COVER AND SPECIFICATION SHEET

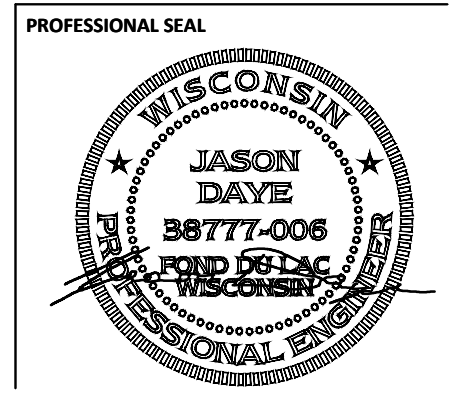
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PROJECT INFORMATION

GENERAL DEVELOPMENT PLAN FOR:

ODYSSEY HOTELS

RIVERSBEND LA • GERMANTOWN, WI



PRELIMINARY DATES

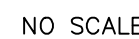
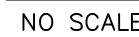
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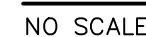
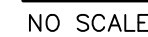
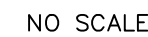
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SHEET NUMBER

C0.1



NO SCALE





PROFESSIONAL SEAL

NOV. 1, 2021

2142200

C1.3

LANDSCAPE AND RESTORATION PLAN



PROFESSIONAL SEAL

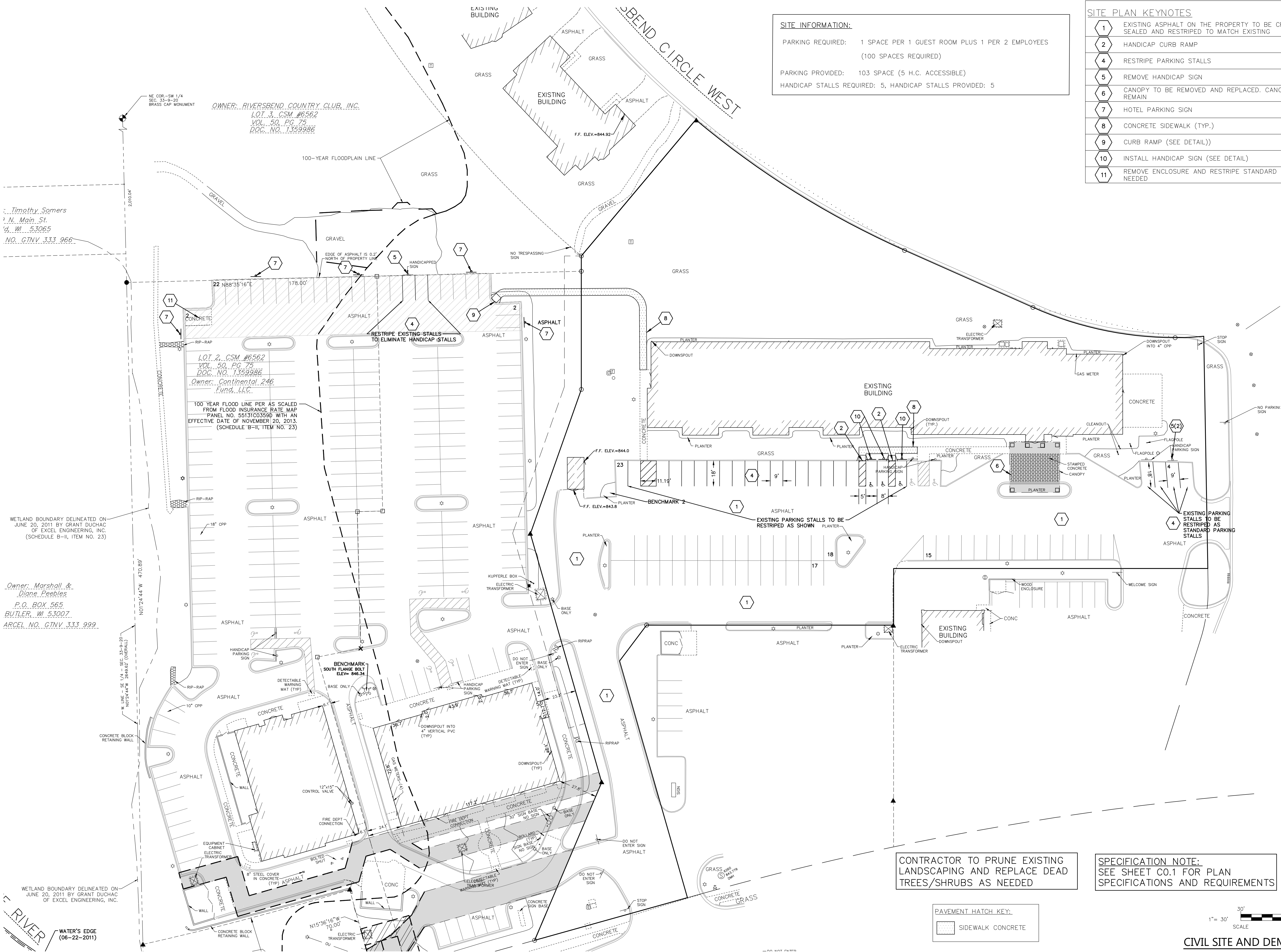
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OB NUMBER

SHEET NUMBER

2021 © EXCEL ENGINEERING, INC.





SITE INFORMATION:

PARKING REQUIRED: 1 SPACE PER 1 GUEST ROOM PLUS 1 PER 2 EMPLOYEES (100 SPACES REQUIRED)

PARKING PROVIDED: 103 SPACE (5 H.C. ACCESSIBLE)

HANDICAP STALLS REQUIRED: 5, HANDICAP STALLS PROVIDED: 5

SITE PLAN KEYNOTES	
1	EXISTING ASPHALT ON THE PROPERTY TO BE CRACK FILLED AND SEALED AND RESTRIPE TO MATCH EXISTING
2	HANDICAP CURB RAMP
4	RESTRIPE PARKING STALLS
5	REMOVE HANDICAP SIGN
6	CANOPY TO BE REMOVED AND REPLACED. CANOPY COLUMNS TO REMAIN
7	HOTEL PARKING SIGN
8	CONCRETE SIDEWALK (TYP.)
9	CURB RAMP (SEE DETAIL))
10	INSTALL HANDICAP SIGN (SEE DETAIL)
11	REMOVE ENCLOSURE AND RESTRIPE STANDARD PARKING STALL IF NEEDED



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PROJECT INFORMATION

GENERAL DEVELOPMENT PLAN FOR:
ODYSSEY HOTELS
RIVERSBEND LA • GERMANTOWN, WI

PROFESSIONAL SEAL

PRELIMINARY DATES	
JULY 19, 2021	
NOV. 1, 2021	

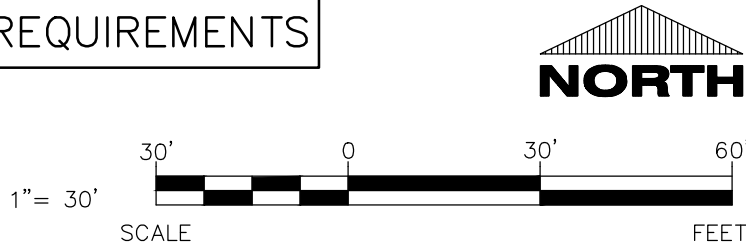
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2142200

SHEET NUMBER
C1.1

CONTRACTOR TO PRUNE EXISTING LANDSCAPING AND REPLACE DEAD TREES/SHRUBS AS NEEDED

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

PAVEMENT HATCH KEY:	
	SIDEWALK CONCRETE



CIVIL SITE AND DEMOLITION PLAN

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL. STUDIO 78 SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS THE CLIENT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.



237 Woodridge Drive
Atlanta, GA 30339
(770) 547-5882
SK@DesignStudio78.com



Marriott Project #57344

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Germantown, Wisconsin 53022

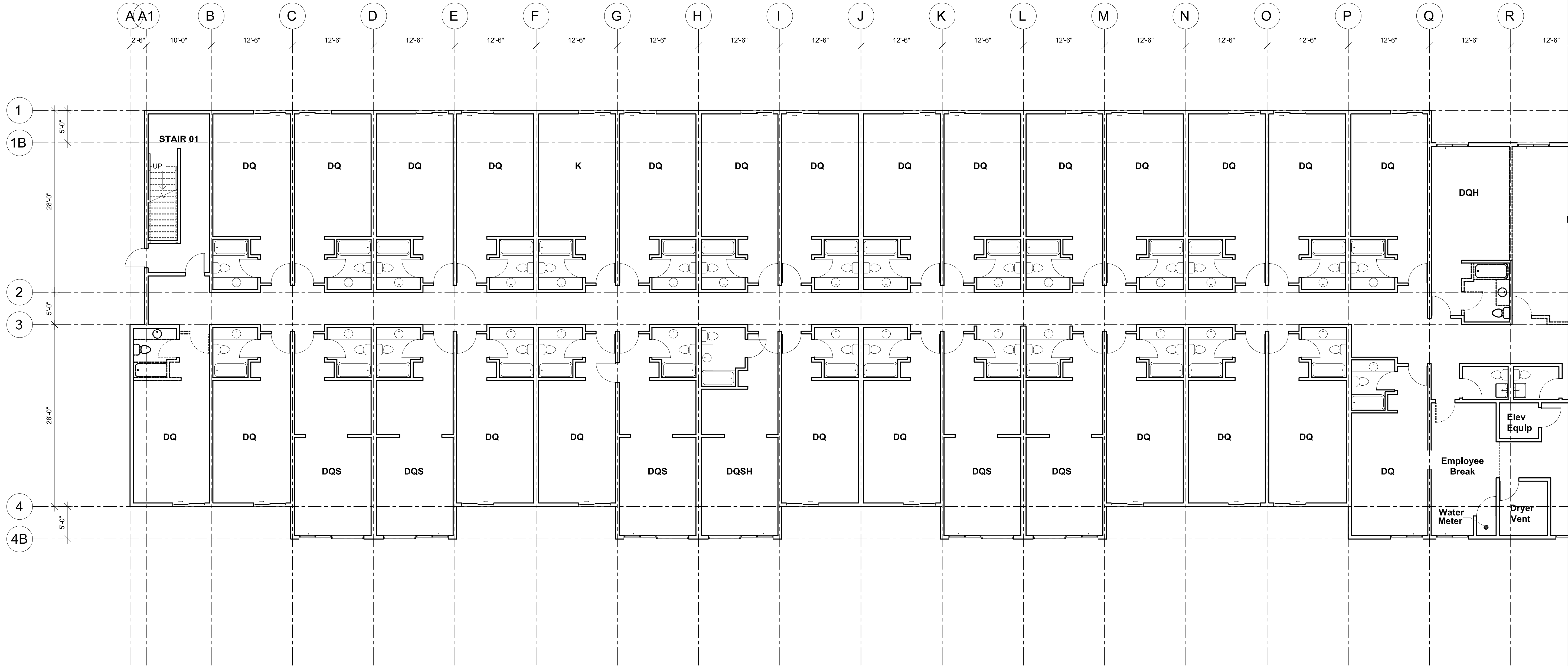
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Revisions		
NO.	ISSUE	DATE

Sheet Information		RENDERING	
Date	10-04-21	Sheet	
Job Number	20-008	A-000a	
Scale	AS NOTED		
Drawn	SYK		
Checked	SYK		
Approved	SYK		

Progress Printing - 10-04-21

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL. STUDIO 78 SHALL NOT BE RESPONSIBLE FOR ANY CHANGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS THE CLIENT FROM AND AGAINST ALL SUCH CHANGES FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.



1 FIRST FLOOR DEMOLITION PLAN
Scale: 1/8" = 1'-0"

Progress Printing - 09-17-21

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(770) 547-5882
SK@DesignStudio78.com

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Marriott
Marriott Project #57344

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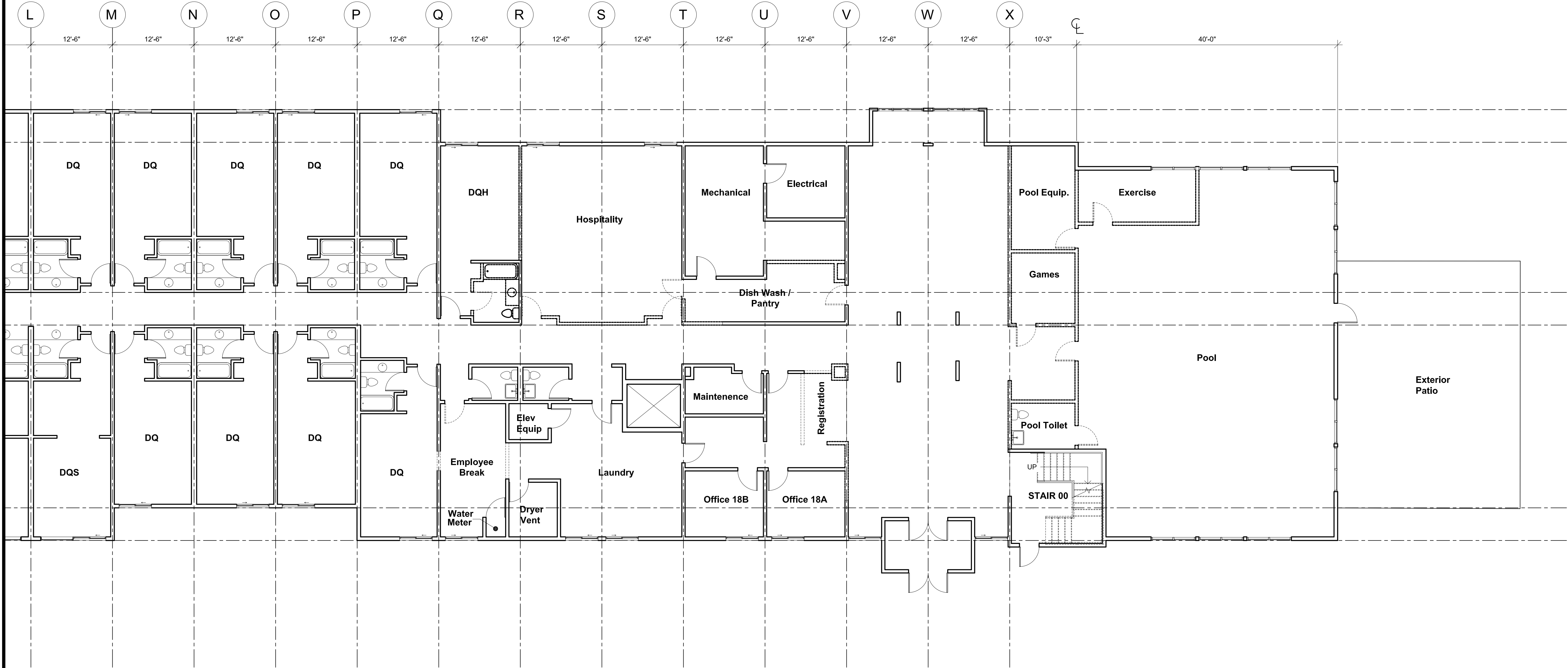
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Sheet Information	
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Job Number	20-006
Scale	AS NOTED
Drawn	SVK
Checked	SVK
Approved	SVK

A-101a

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL. STUDIO 78 SHALL NOT BE RESPONSIBLE FOR ANY CHANGES AND FURTHER AGREES TO PROTECT, INSURE, AND HOLD HARMLESS THE CLIENT FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.



1 FIRST FLOOR DEMOLITION PLAN
Scale: 1/8" = 1'-0"

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Revisions		
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Date	09-17-21		
Job Number	20-006		
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Approved	SVK		

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ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL AND USER ASSUMES RESPONSIBILITY FOR SUCH CHANGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS STUDIO 78 AGAINST ALL CAUSES OF ACTION ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.



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Marriott Project #57344

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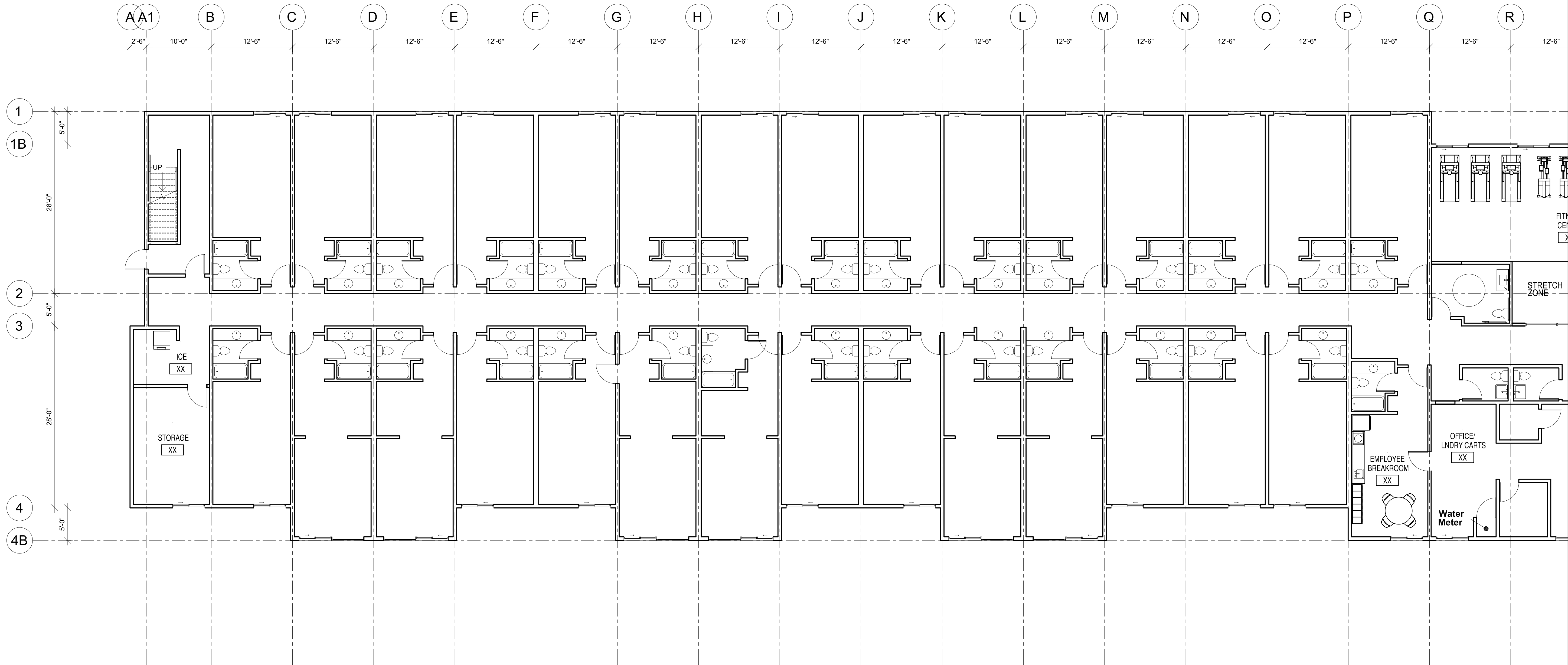
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FIRST FLOOR
PROPOSED PLAN

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Checked	SVK
Approved	SVK

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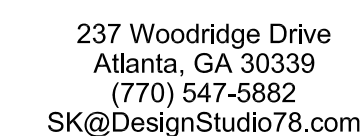


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FIRST FLOOR PROPOSED PLAN

Scale: 1/8" = 1'-0"



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		Revisions
NO.	ISSUE	DATE

Sheet Information	
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Job Number	20-006
Scale	AS NOTED
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Checked	SVK
Approved	SVK

A-101d



Progress Printing - 09-17-21

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL AND USER ASSUMES RESPONSIBILITY FOR SUCH CHANGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS STUDIO 78 AGAINST ALL CAUSES OF ACTION ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.



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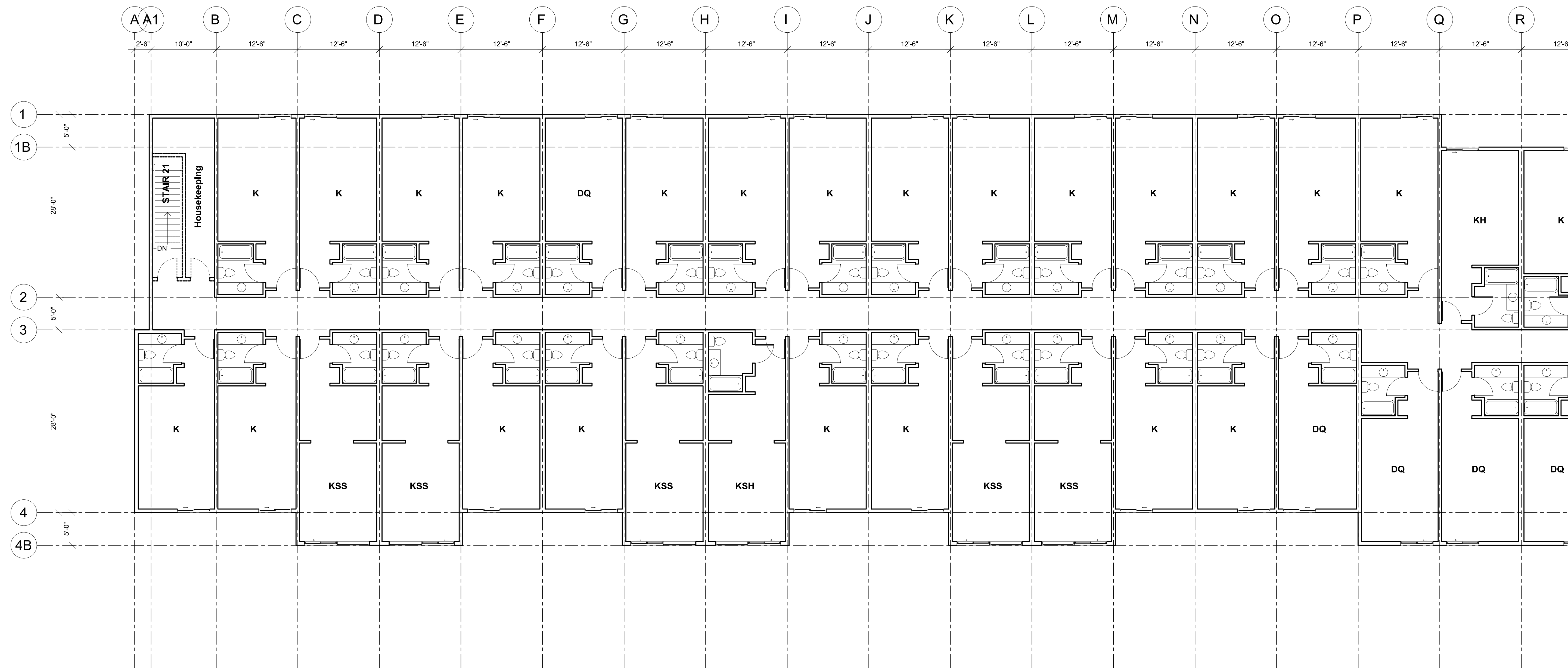
Revisions		
NO.	ISSUE	DATE

SECOND FLOOR
DEMOLITION PLAN

Sheet Information	
Date	09-17-20
Job Number	20-00
Scale	AS NOTE
Drawn	SV
Checked	SV
Approved	SV

A-102a

Progress Printing - 09-17-21



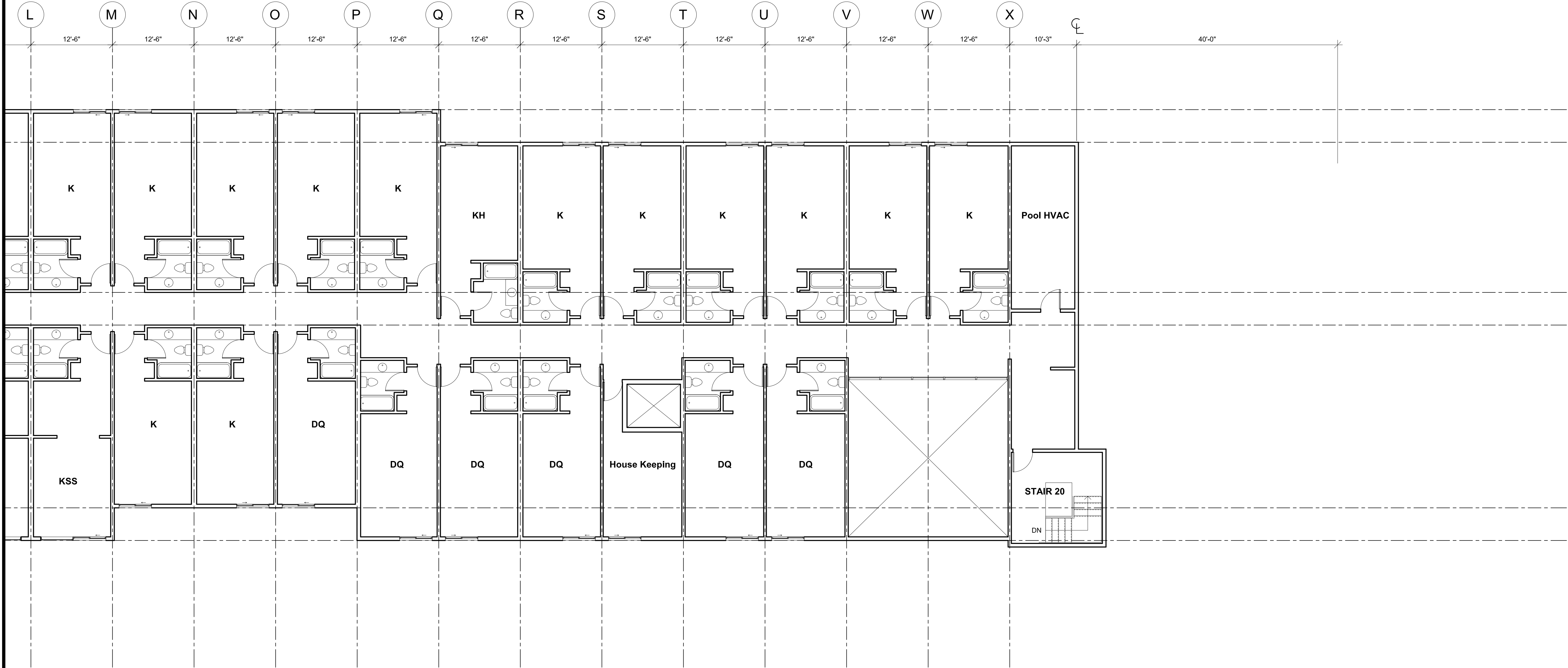
ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL AND USER ASSUMES RESPONSIBILITY FOR SUCH CHANGES AND FURTHER AGREES TO PROTECT INDEMNIFY, AND HOLD HARMLESS STUDIO 78 AGAINST ALL CAUSES OF ACTION ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.

1

SECOND FLOOR DEMOLITION PLAN

Scale: 1/8" = 1'-0"

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL. STUDIO 78 SHALL NOT BE RESPONSIBLE FOR ANY CHANGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS THE OTHER PARTY FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.



1 SECOND FLOOR DEMOLITION PLAN
Scale: 1/8" = 1'-0"

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Revisions		
NO.	ISSUE	DATE

Title	
SECOND FLOOR DEMOLITION PLAN	
Sheet Information	Sheet
Date 09-17-21	
Job Number 20-006	
Scale AS NOTED	
Drawn SVK	
Checked SVK	
Approved SVK	

A-102b

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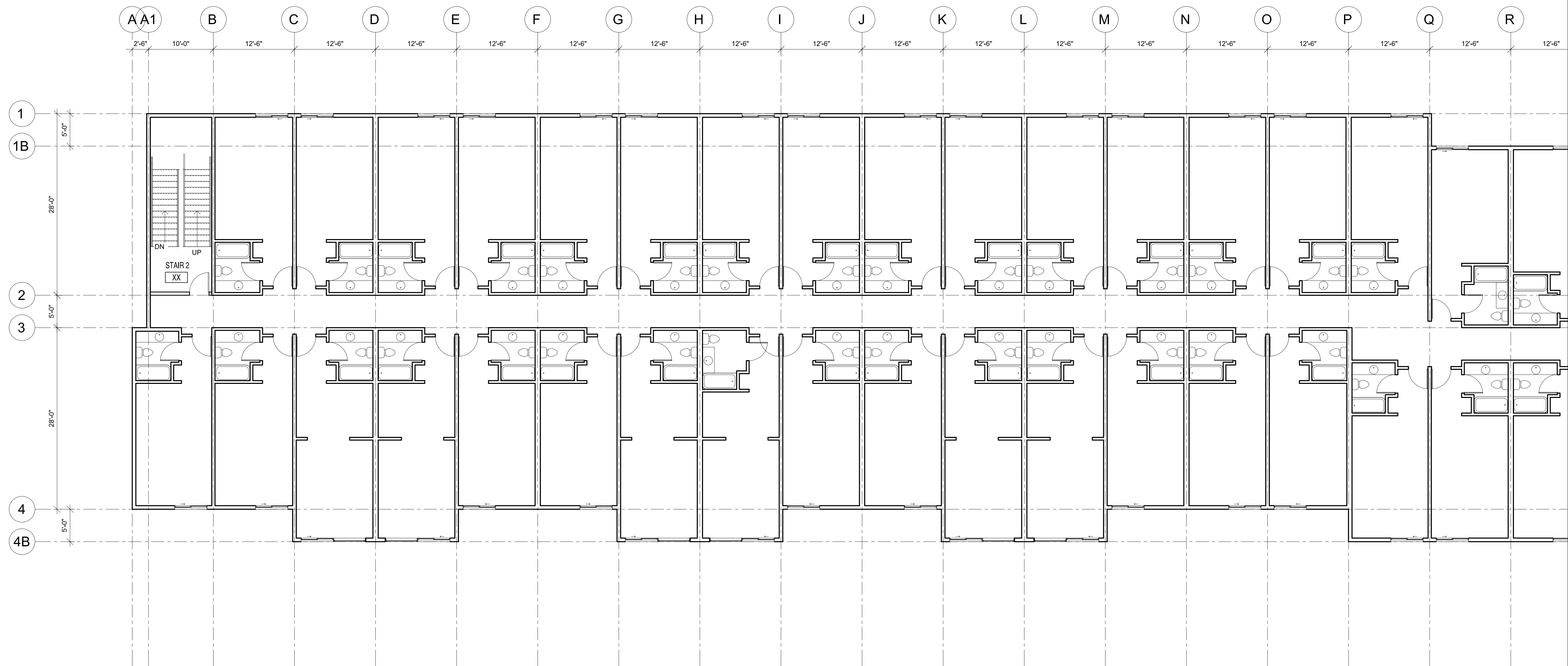
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		Revisions
NO.	ISSUE	DATE

SECOND FLOOR
PROPOSED PLAN

Sheet Information	
Date	09-17-21
Job Number	20-006
Scale	AS NOTED
Drawn	SVK
Checked	SVK
Approved	SVK

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Progress Printing - 09-17-21

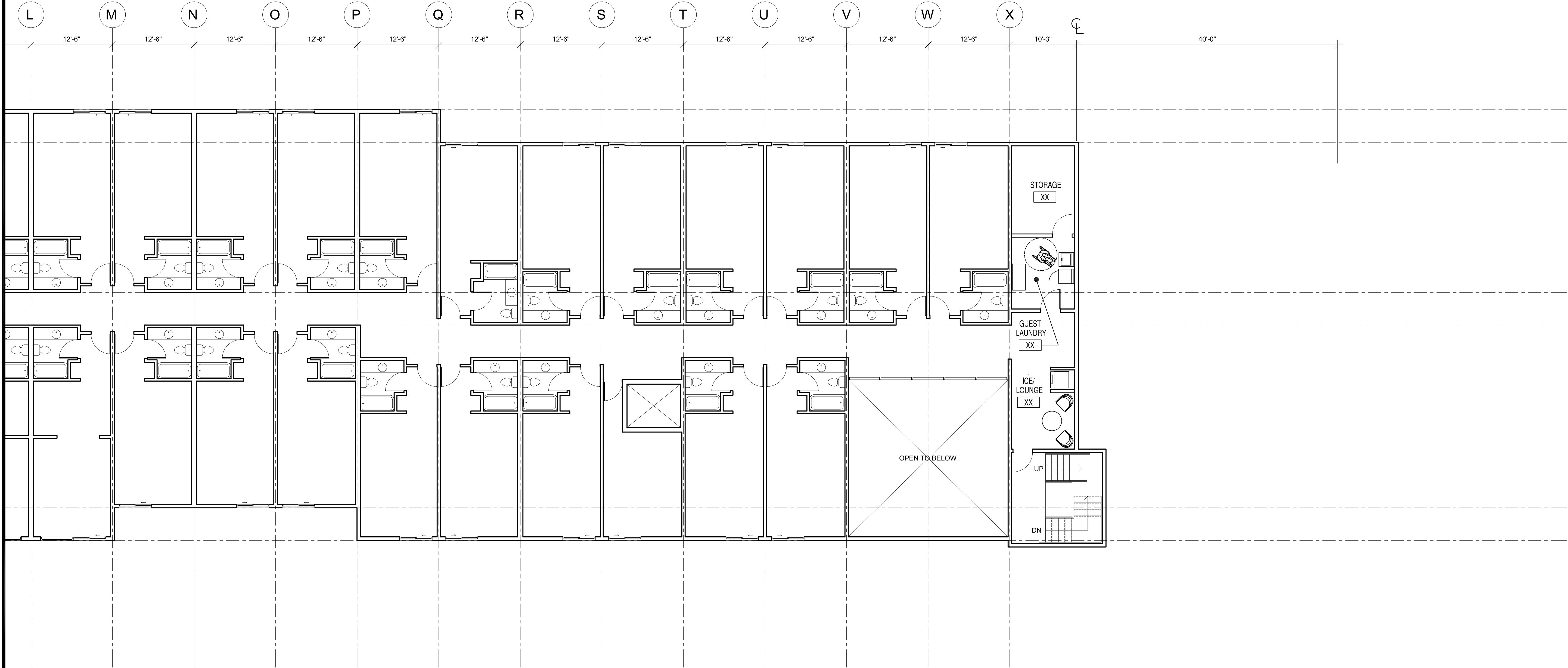
1 SECOND FLOOR PROPOSED PLAN

Scale: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL AND USER ASSUMES RESPONSIBILITY FOR SUCH CHANGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS STUDIO 78 AGAINST ALL CAUSES OF ACTION ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL. STUDIO 78 SHALL NOT BE RESPONSIBLE FOR ANY CHANGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS THE OTHER PARTY FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.



1 SECOND FLOOR PROPOSED PLAN
Scale: 1/8" = 1'-0"

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Sheet Information		Title
Date	09-17-21	
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Scale	AS NOTED	
Drawn	SVK	Sheet
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Approved	SVK	A-102d

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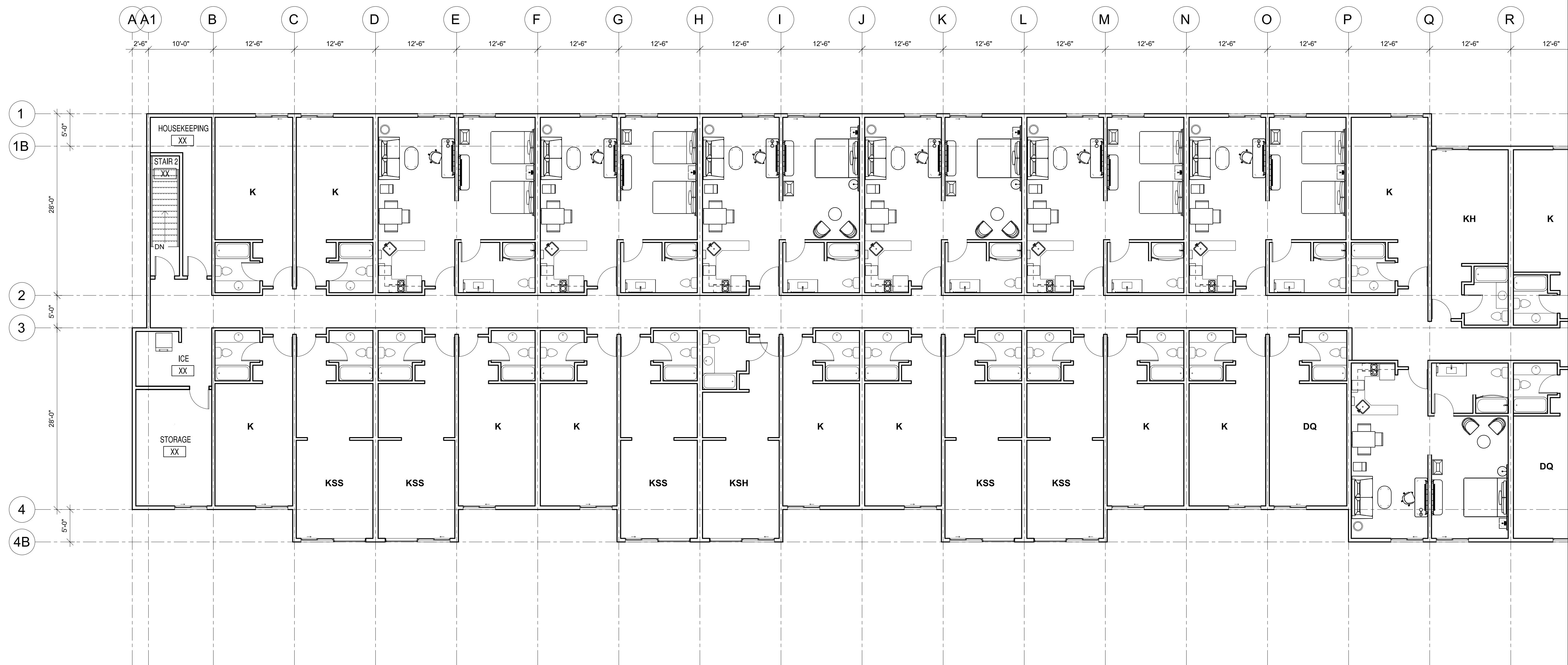
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		Revisions
NO.	ISSUE	DATE

THIRD FLOOR PROPOSED PLAN

Sheet Information	
Date	09-17-21
Job Number	20-006
Scale	AS NOTED
Drawn	SVK
Checked	SVK
Approved	SVK

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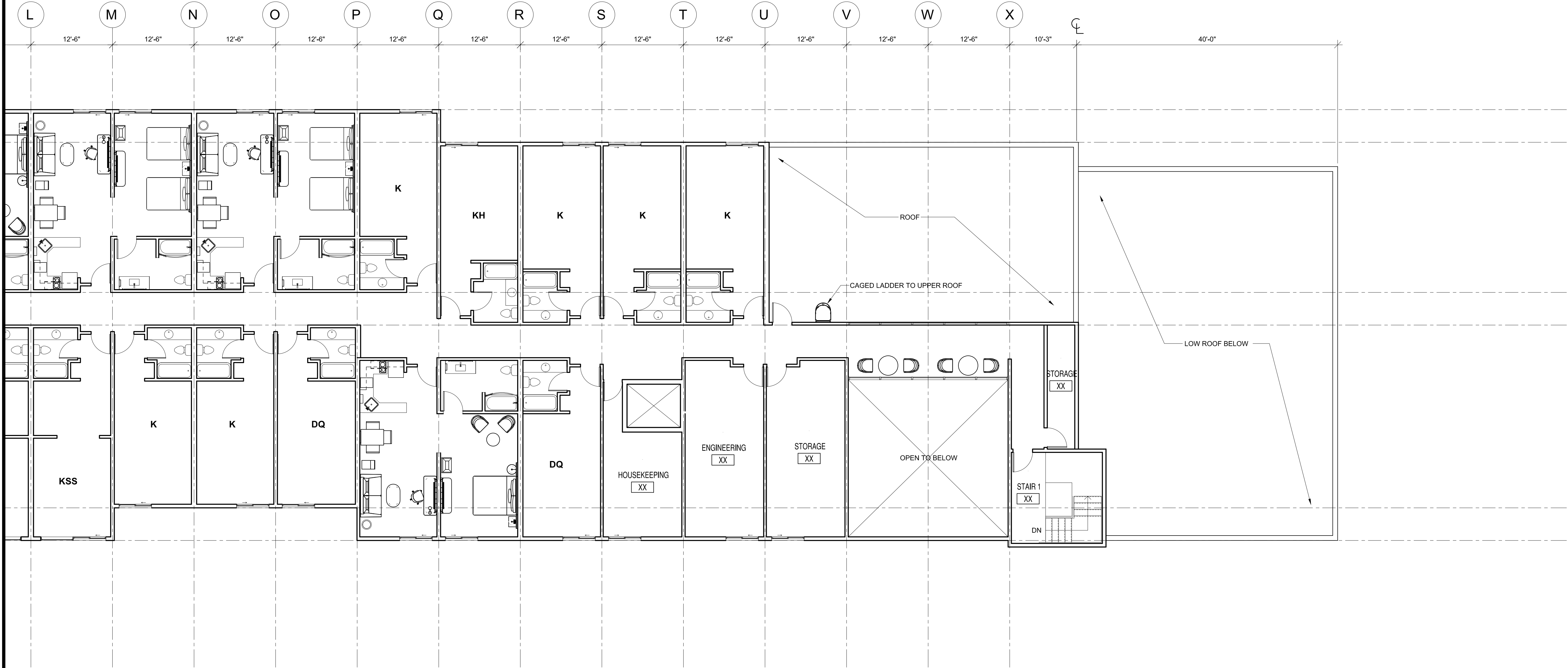
1 THIRD FLOOR PROPOSED PLAN

Scale: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL AND USER ASSUMES RESPONSIBILITY FOR SUCH CHANGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS STUDIO 78 AGAINST ALL CLAIMS OF ACTION ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL. STUDIO 78 SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS THE OTHER PARTY FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.



1 THIRD FLOOR PROPOSED PLAN
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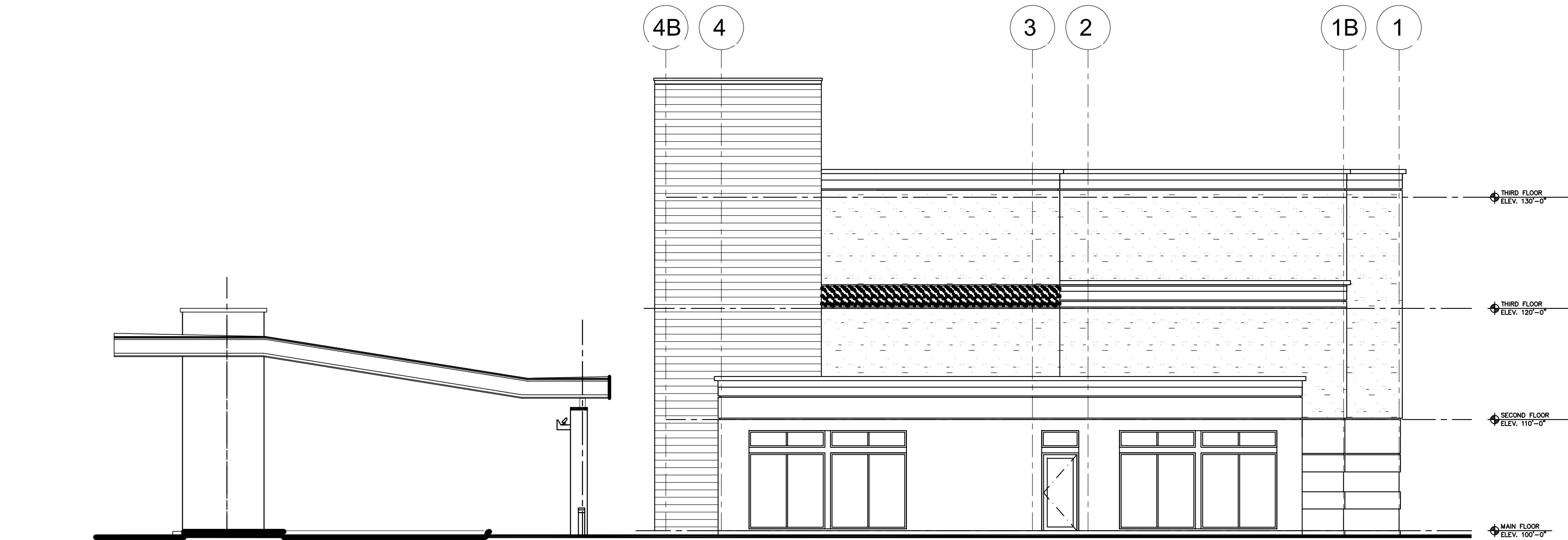
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THIRD FLOOR PROPOSED PLAN	
Sheet Information	Sheet
Date 09-17-21	
Job Number 20-006	
Scale AS NOTED	
Drawn SVK	
Checked SVK	
Approved SVK	

A-103b

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL. STUDIO 78 SHALL NOT BE RESPONSIBLE FOR ANY CHANGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS THE CLIENT FROM AND AGAINST ALL SUCH CHANGES, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM ALTERATION OR OMISSION FROM THESE DOCUMENTS.



1 REAR ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



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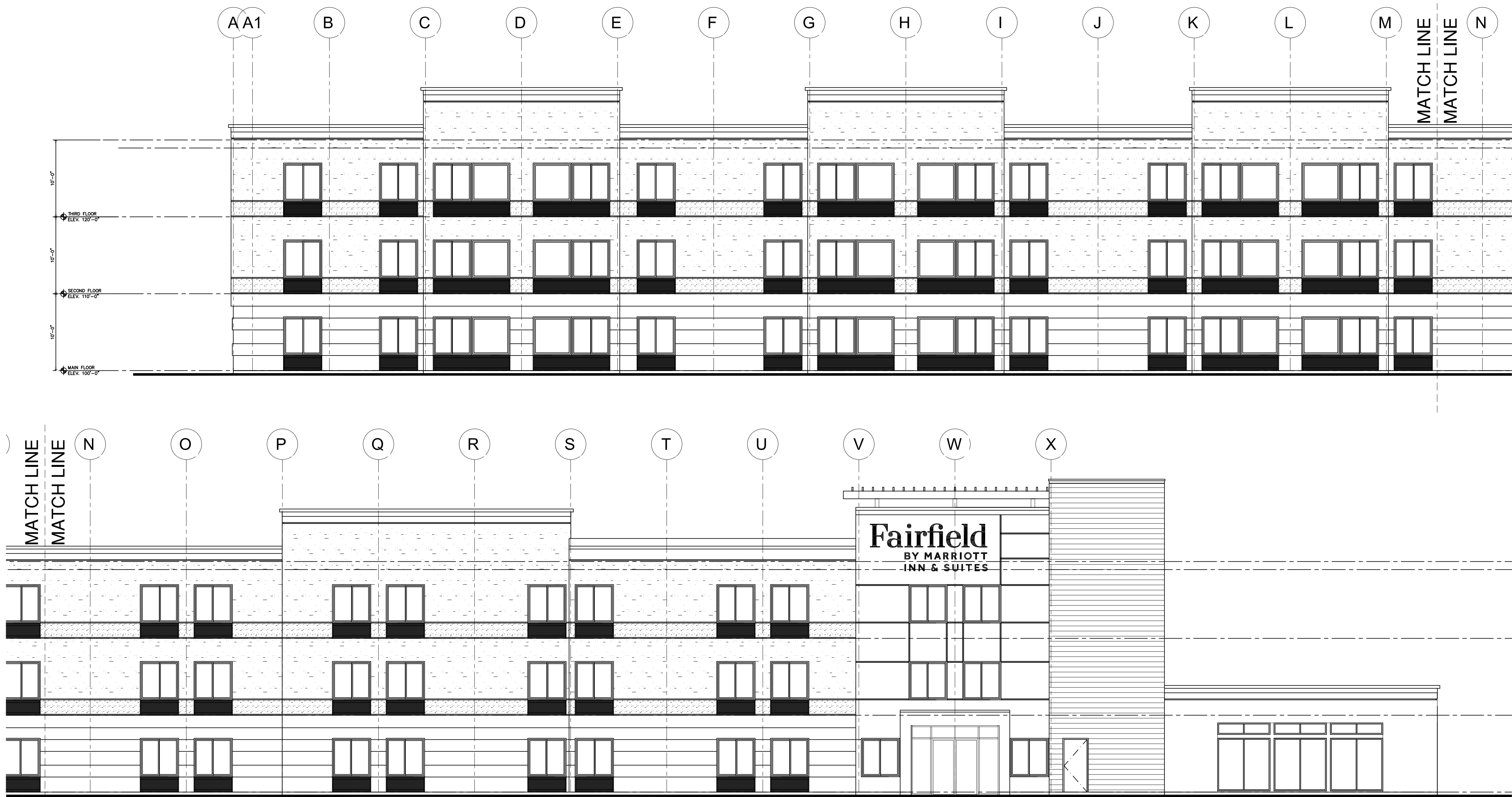
EXTERIOR ELEVATIONS

Sheet Information		Sheet
Date	10-04-21	
Job Number	20-006	
Scale	AS NOTED	
Drawn	SVK	
Checked	SVK	
Approved	SVK	

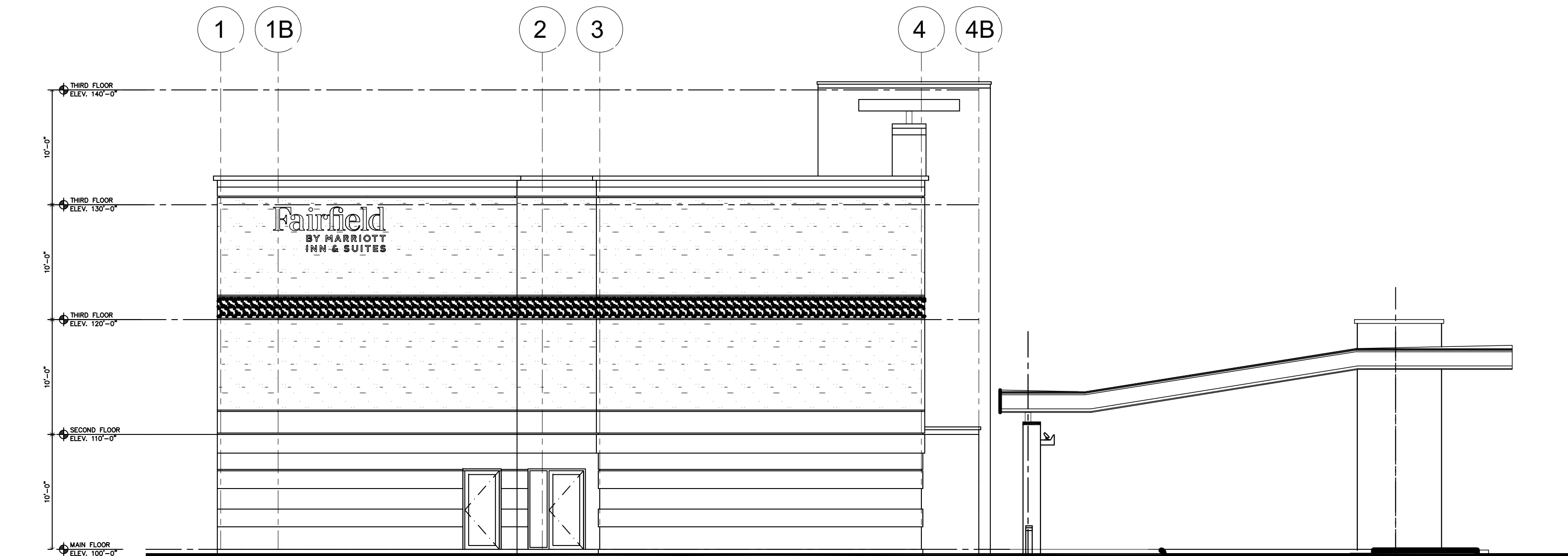
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Progress Printing - 10-04-21

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL. STUDIO 78 SHALL NOT BE RESPONSIBLE FOR ANY CHANGES AND FURTHER AGREES TO PROTECT, DEFEND, AND HOLD HARMLESS THE OTHER PARTY FROM AND AGAINST ALL SUCH CHANGES FROM ALTERATION OR OMISSION FROM THESE DOCUMENTS.



2 FRONT ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



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Title
EXTERIOR ELEVATIONS

Sheet Information
Date 10-04-21
Job Number 20-006
Scale AS NOTED
Drawn SVK
Checked SVK
Approved SVK

Sheet

A-211

Progress Printing - 10-04-21

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL. STUDIO 78 SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS THE CLIENT FROM AND AGAINST ALL SUCH DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.



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NO.	ISSUE	DATE

Title

RENDERING

Sheet

Sheet Information	
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Job Number	20-008
Scale	AS NOTED
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Approved	SYK

A-000e

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Title

RENDERING

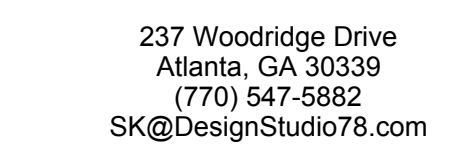
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Date	10-04-21
Job Number	20-008
Scale	AS NOTED
Drawn	SYK
Checked	SYK
Approved	SYK

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Progress Printing - 10-04-21

ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL. STUDIO 78 SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS THE CLIENT FROM AND AGAINST ALL SUCH DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.



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RENDERING

Sheet

A-000c

Progress Printing - 10-04-21

Sheet Information	
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Job Number	20-006
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Approved	SVK



ALTERATIONS BY PARTIES OTHER THAN STUDIO 78 ARE BEYOND ITS CONTROL AND USER ASSUMES RESPONSIBILITY FOR SUCH CHANGES AND FURTHER AGREES TO PROTECT, INDEMNIFY, AND HOLD HARMLESS STUDIO 78 AGAINST ALL CAUSES OF ACTION ARISING FROM ALTERATION OR DEVIATION FROM THESE DOCUMENTS.

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Sheet Information	
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Approved	SYK

Sheet

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