

Zoning can...

- Assist in the safe, orderly, healthful and coordinated development of the Town.
- Conserve existing and future neighborhoods.
- Protect and conserve the value of real property throughout the community.
- Conserve, develop, and protect natural resources to enhance the preservation of the environment.
- Encourage high quality development and innovative design.
- Provide convenient, safe, and efficient circulation of vehicular and pedestrian traffic.
- Facilitate the adequate and efficient provision of transportation, water, wastewater, schools, parks and recreational facilities, and other public requirements.

How long does the rezoning process take?

The timing on a rezoning process depends on a lot of factors. Often, a rezoning will require Planning Committee review (a Committee of the Town Board) and Planning Board approval, along with Town Board approval. The timing will also depend on the complexity of the project, Board or Committee agenda availability, and completeness of submittals.

In this brochure...

- What is Zoning?
- What is my property zoned?
- How do I apply for a rezoning?
- How long does the process take?



The Town of Ithaca Town Board meets the second Monday of every month in the

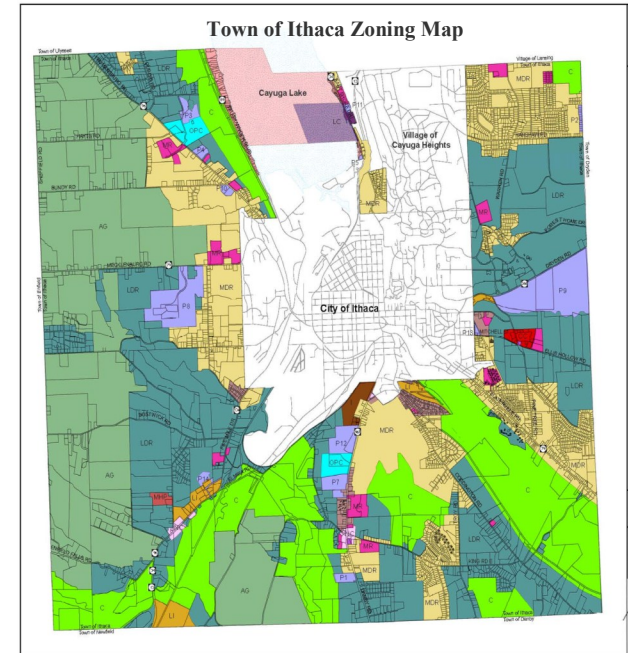
Town Board Room,
215 North Tioga Street
Ithaca, NY 14850

(607) 273-1747

(607)273-1704 fax

www.town.ithaca.ny.us

Town of Ithaca Re-Zoning Process



Zoning is the basic means of land use regulation. It ensures that land is used in a manner which best serves the health, safety, and welfare of the entire community.

This brochure will help you understand how zoning works and the steps needed to zone or re-zone a property.

If you or your agent have any questions regarding the re-zoning process, please feel free to call a member of the Town planning staff at (607) 273-1747.

Steps in the Process

Set up a pre-application meeting with the Zoning Officer and/or a member of the Planning Department.



Present a plan and description of the proposal to the Town Board.



The Town Board will briefly discuss the proposal and refer the matter to the Planning Committee* for review and recommendation.



The Planning Committee will send recommendations and any suggested modifications back to the Town Board for consideration. *Note: The process for rezoning a property to a Planned Development Zone (PDZ) may involve multiple meetings with the Planning Committee before going back to the Town Board.*



The Town Board will send the project on to the Planning Board for site plan or subdivision review, environmental review, and recommendation back to the Town Board.



The Town Board will set and holds public hearings on the rezoning and will consider adoption and approval.

** The Planning Committee is a sub-committee of the Town Board*

- **How do I apply for a zoning change?** Contact the Town Zoning Officer (273-1783) or a member of the Planning Department (273-1747) and set up a pre-application meeting. Town staff will provide you with any necessary application forms and will guide you through the rezoning process.
- **How difficult is it to change my zoning?** The rezoning process entails Planning Committee discussions and recommendations, Planning Board recommendations, and Town Board approvals. Before applying for a rezoning, please contact the Town Zoning Officer or a member of the Planning Department to see if your request is consistent with the Town's Future Land Use Map and Comprehensive Plan. If it is inconsistent, it is likely that the Town will not approve the request unless the Future Land Use Map is amended.
- **Is approval guaranteed?** Unfortunately, no. Zoning is a public process that invites input from any interested party. Adjacent property owners or tenants may object to the proposed rezoning. Therefore, land acquisition, based on the hope of rezoning a property in the future, carries some risk.
- **What is my property zoned?** You can find that out by searching the Town's Zoning Code and Zoning Map, which can be found on our website at: **www.town.ithaca.ny.us**

Zoning districts

LR- Lakefront Residential
LDR- Low Density Residential
MDR- Medium Density Residential
HDR- High Density Residential
MHP- Mobile Home Park
MR- Multiple Residence
VFR- Vehicle Fuel & Repair
OPC- Office Park Commercial
NC- Neighborhood Commercial
CC- Community Commercial
LC- Lakefront Commercial
A- Agricultural
C- Conservation
PDZ- Planned Development Zone
LI- Light Industrial
I- Industrial

The Town's Zoning Code can be found at:

www.town.ithaca.ny.us or
<http://ecode360.com/IT1944>

If you need more information about the Zoning Code or Map, please contact the Zoning Officer at (607) 273-1783 or the Planning Department at (607) 273-1747.