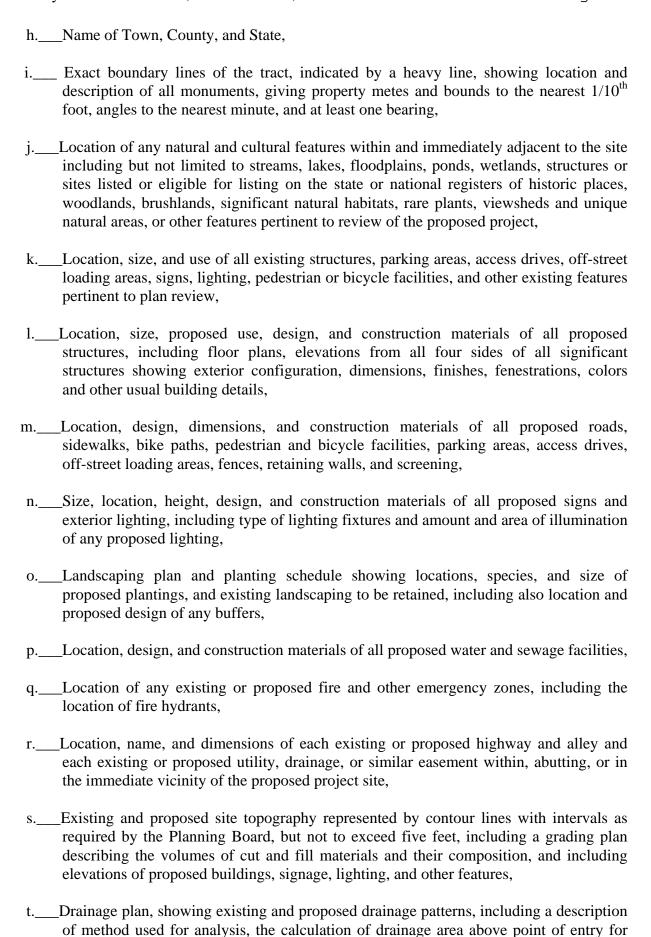
TOWN OF ITHACA, NY PRELIMINARY SITE PLAN CHECKLIST

PROJECT NAME _____

	PROJECT NUMBER
	STAFF REVIEWER
N/A W	= ITEM SUBMITTED = NOT APPLICABLE = WAIVE ND = CONDITION OF APPROVAL
1	One completed and signed Development Review Application.
2	Payment of applicable Application fees.
3	One fully completed and signed Short Environmental Assessment Form, Part I (SEAF), or Long Environmental Assessment Form, Part I (LEAF), whichever is required (determined by Planning staff).
4	Proposed preliminary site plan, with the following information, must be filed in the Planning Department at least thirty (30) calendar days prior to the Planning Board meeting at which preliminary approval is requested. Information may be supplied on more than one drawing it necessary:
	aName(s) and address(es) of all owners of the property and persons who have an interest in the property, such as easements or rights-of-way,
	bKey map, when more than one sheet is required to present site plan,
	cVicinity Map showing the general location of the property at a scale of 1"=1000' or 1"=2000',
	dName of project, which shall not duplicate the name of any other project or subdivision in the county,
	eName and seal of each registered land surveyor, engineer, architect, or landscape architect who prepared <i>any</i> of the site plan materials, including the topographic and boundary survey, drainage plans, etc.,
	fDate of Site Plan and any related documentation, and dates of any applicable revisions,
	gMap scale (1"=50' or 1'=100') in bar form, and North point,



each water course entering or abutting the site, and proposed method of on-site

retention if required, and details of any drainage improvements to be made. Generally, the method of analysis shall be approved by the Director of Engineering and shall assume that, unless the Planning Board determines otherwise for good cause shown, that the rate of surface and subsurface run-off from the project site will not increase during or after construction of the project,

- u.___Border lines bounding site plan sheets, one inch from the left edge and one-half inch from each of the other edges. All required information, including signatures, seals, dates and such information shall be within the border lines,
- v.___Accurate outlines and descriptions of any areas to be dedicated or reserved for public use or acquisition, with the purposes indicated thereon, and of any areas to be reserved by deed covenant for common uses of all property owners, tenants, or other users of the property in the project,
- w.___The plan and profile of each proposed highway in the development, with grade indicated, drawn to a scale of one inch = 50 feet horizontal and one inch = five feet vertical, on standard plan and profile sheets. Profiles shall show accurately the profile of the highway or alley along the highway center line and location of the sidewalks, if any,
- x.___Reference on the site plan to any separate instruments, including restrictive covenants, which directly affect the land in the project,
- y.____Names and addresses of all property owners of all parcels abutting the site or within 500 feet of the perimeter boundary of the site, including owners of easements or rights-of-way, together with tax parcel numbers for all such owners,
- z.___Estimate of the cost of improvements (excluding the purchase cost of land) to be prepared by a licensed professional engineer or other qualified professional satisfactory to the Planning Board,
- aa.___Three dark-line prints of the proposed site plan and 25 copies of all sheets of the proposed site plan in reduced format (no larger than 11inches by 17 inches) and 25 copies of all other items required above (except Development Review Application), and
- bb.___A certificate signed by the owner of the land, and, if applicable, any contract vendee to the effect that i) the owner owns the land, ii) the owner or contract vendee caused the land to be surveyed and the site plan to be prepared, iii) the owner (or, if applicable, contract vendee) agrees to construct the project in the manner presented by the finally approved site plan and all related approved application documents, and iv) the owner (or, if applicable, contract vendee) makes any dedications indicated in any of the site plan documentation an agrees and guarantees to construct any required infrastructure elements set forth on the finally approved site plan.
- cc. Where required by Town Code Chapter 228, a stormwater prevention plan or erosion and sedimentation control plan meeting the requirements of Chapter 228.