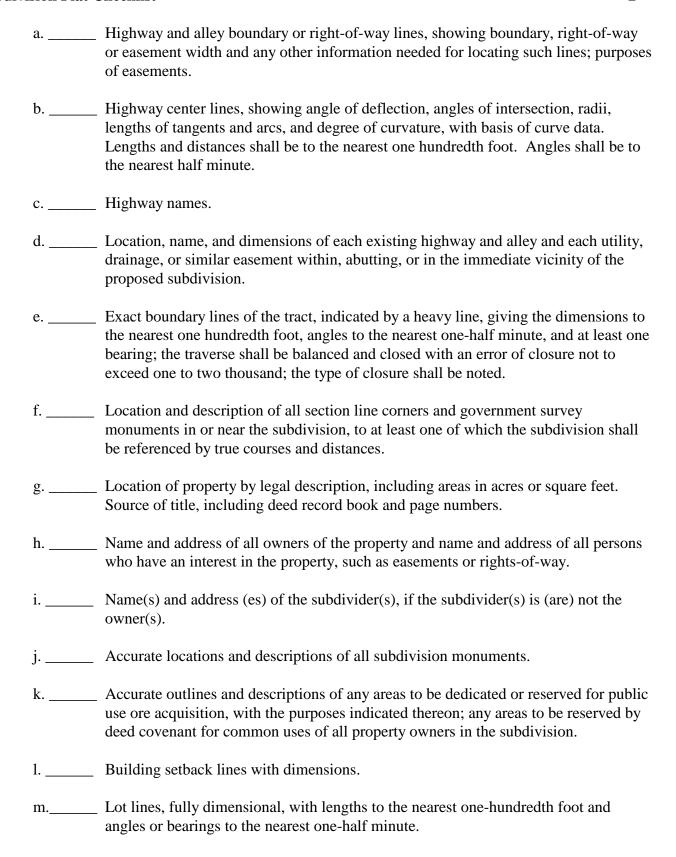
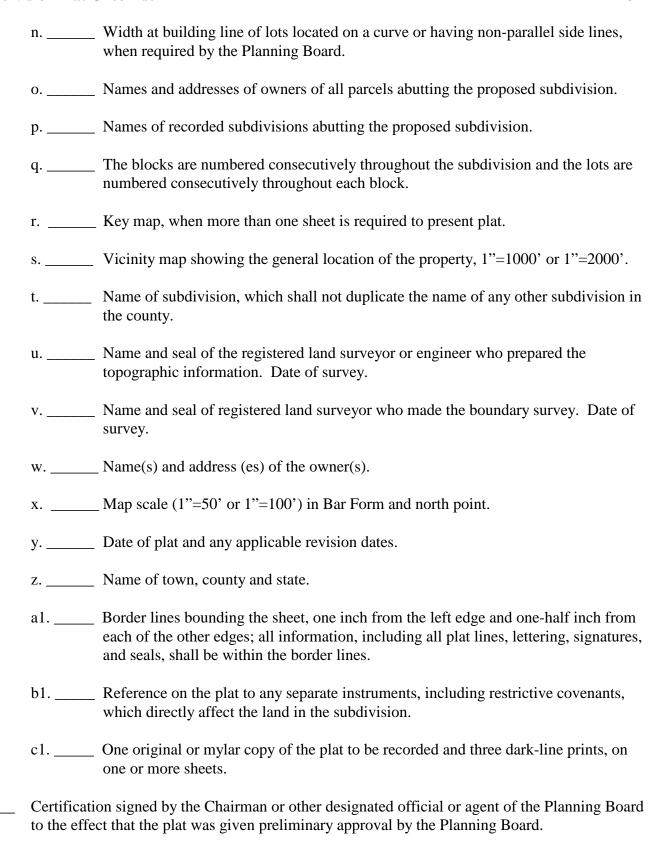
## ARTICLE VI, SECTION 37. FINAL SUBDIVISION PLAT CHECKLIST

	PROJECT NAME
	PROJECT NUMBER
X W N/A COND	PREPARER  = ITEM SUBMITTED  = WAIVED  = NOT APPLICABLE  = CONDITION OF APPROVAL
Town Pla materials	listed below, unless waived by the Planning Board, must be filed in the Office of the Town Planner or nner's designee, before an application for a final subdivision approval is deemed complete. These shall be filed at least 30 calendar days prior to the Planning Board meeting at which preliminary s requested.
1	Completed and signed Development Review Application.
2	Payment of review fees.
3	If required because not submitted with preliminary plat approval or substantial modifications have occurred since preliminary plat approval, one fully completed and signed Short Environmental Assessment Form, Part I (SEAF) or Long Environmental Assessment Form, Part I (LEAF). (See Town Planner as to which to submit.)
4	Owner's Certificate: A certificate signed by the owner(s) to the effect that he/they own the land, that he caused the land to be surveyed and divided, and that he makes the dedications indicated on the plat.
5	Surveyor's Certificate: A certificate signed and sealed by a registered land surveyor to the effect that (1) the plat represents a survey made by him, (2) the plat is a correct representation of all exterior boundaries of the land surveyed and the subdivision of it, (3) all monuments indicated on the plat actually exist and their location, size and material are correctly shown, and (4) the requirements of these regulations and New York State laws relating to subdividing and surveying have been complied with.
6	Mortgagor's Certificate: A certificate signed and sealed by the mortgagor(s), if any, to the effect that he consents to the plat and the dedications and restrictions shown on or referred to on the plat.
7	Two copies of the County Health Department approval of the water supply and/or sewage system.
8	Four full size dark-line prints of the final plat and 25 reduced copies of all sheets of the final plat (the reduced copies to be no larger than 11" by 17") with the following information:





## SECTION 38. IMPROVEMENT PLANS AND RELATED INFORMATION

10.	Where improvements are required for a proposed subdivision, the following documents shall be submitted to the Planning Department.
	Detailed construction plans and specifications for water lines, including locations an description of mains, valves, hydrants, appurtenances, etc.
	Detailed construction plans, profiles, and specifications for sanitary sewers and storm drainage facilities, including locations and descriptions of pipes, manholes, lift stations, and other facilities.
	Highway paving plans and specifications.
	The estimated cost of:
a	
b	
c	
d e	<ul><li>Water lines, valves and fire hydrants,</li><li>Paving, curbs, gutters and sidewalks,</li></ul>
f	Any other improvements required by Town of Ithaca Subdivision Regulations.
	The plan and profile of each proposed highway in the subdivision, with grade indicated, drawn to a scale of $1'' = 50'$ horizontal, and $1'' = 5'$ vertical, on standard plan and profile sheets. Profiles shall show accurately the profile of the highway or alley along the highway center line and location of the sidewalks, if any.