

Table 4.3. Commercial Center Form Standards

| Table 4.3.1. VC Dimensional Standards | |
|--|--|
| Lot Occupation (See § 155-3.4, Lot occupation.) | |
| A Lot width | 16 feet minimum |
| Lot area | 1,600 square feet minimum |
| Impervious surface | 70% maximum |
| Frontage occupation | 70% minimum |
| Setbacks (See § 155-3.5, Frontages.)^{1,2} | |
| Principal Building (feet) | |
| B Front | 12 minimum/15 maximum ³ |
| C Side | 0 or 5 minimum ⁴ |
| D Rear | None |
| Accessory Buildings and Structures (feet) | |
| E Front (measured from rear of PB) | 20 minimum |
| F Front corner | 10 minimum |
| G Side | 0 or 5 minimum |
| H Rear | 5 minimum |
| Building Height (maximum) (See § 155-3.3, Building height.) | |
| I Principal building | 2 stories minimum to 3 stories up to 40 feet |
| Accessory building | n/a |
| Accessory structure | 1 story up to 15 feet |
| Frontage Yard Types (See § 155-3.5, Frontages.) | |
| Common yard | Not permitted |
| Fenced yard | Not permitted |
| Shallow yard | Permitted |
| Urban yard | Permitted |
| Pedestrian forecourt | Permitted |
| Vehicular forecourt | Not permitted |
| Facade Type (See § 155-3.5, Frontages.) | |
| Porch | Not permitted |
| Stoop | Permitted |
| Common entry | Permitted |
| Arcade/colonnade | Permitted |
| Gallery | Permitted |
| Storefront | Permitted |

Table 4.3. Commercial Center Form Standards

Table 4.3.1. VC Dimensional Standards

Parking (See Article VIII, Parking Standards.)

NOTES:

- 1 Where a lot abuts a property in an LDR, MDR1, or MDR2 District, the side and rear setback for the lot shall be that required of the abutting lot's district. The setback shall be adjusted to provide a twenty-foot-wide buffer where required.
Where a lot abuts a property zoned LDR, MDR1, or MDR2, there shall be a buffer of 20 feet in width along the rear property line and side property line extending to the front yard setback.
Where a lot abuts a railroad right-of-way at the side or rear with a LDR District on the opposite side of the railroad, the portion of the VC or TC lot abutting the railroad shall include a buffer of 15 feet in width.
- 2 Garage location shall be according to § 155-8.4, Parking location.
- 3 When there is a predominant setback established, the setback shall be greater than or equal to the predominant setback.
- 4 Or equal to the abutting zone, whichever is greater. Zero-foot side yard setback only applies where there is a shared party wall.

PB Principal building

Figure 4.3.1. VC Form Illustration

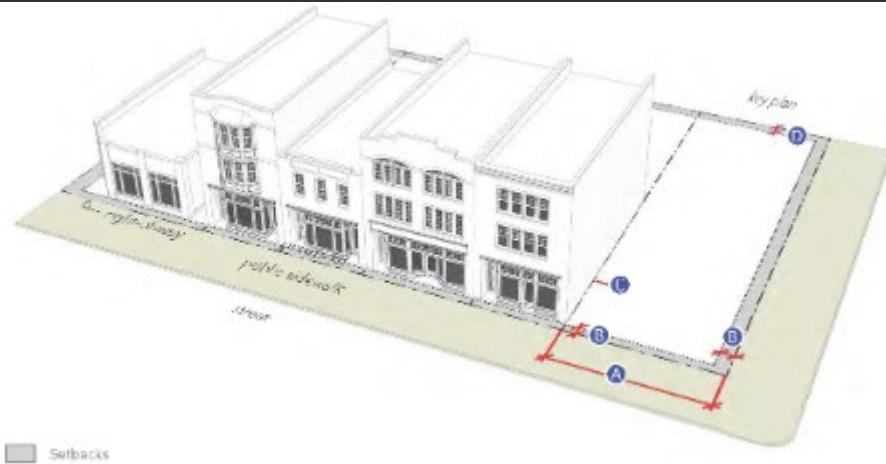


Table 4.3. Commercial Center Form Standards

Table 4.3.1. VC Dimensional Standards



Table 4.3.2. TC1 Dimensional Standards

Lot Occupation (See § 155-3.4, Lot occupation.)

| | | |
|----------|---------------------|---------------------------|
| A | Lot width | 16 feet minimum |
| | Lot area | 1,600 square feet minimum |
| | Impervious surface | 80% maximum |
| | Frontage occupation | 90% minimum |

Setbacks (See § 155-3.5, Frontages.)^{1,2}

Principal Building (feet)

| | | |
|----------|-------|------------------------------------|
| B | Front | 12 minimum/15 maximum ³ |
| C | Side | 0 or 5 minimum ⁴ |
| D | Rear | None |

Accessory Buildings and Structures (feet)

| | | |
|----------|----------------------------------|----------------|
| E | Front (measured from rear of PB) | 20 minimum |
| F | Front corner | 12 minimum |
| G | Side | 0 or 5 minimum |
| H | Rear | None |

Building Height (maximum) (See § 55-3.3, Building height.)

| | | |
|----------|--------------------|---|
| I | Principal building | 2 stories minimum to 4 stories maximum ⁵ |
|----------|--------------------|---|

Table 4.3. Commercial Center Form Standards

| Table 4.3.2. TC1 Dimensional Standards | |
|--|--|
| Accessory building | n/a |
| Accessory structure | 1 story up to 15 feet. |
| Frontage Yard Types (See § 155-3.5, Frontages.) | |
| Common yard | Not permitted |
| Fenced yard | Not permitted |
| Shallow yard | Permitted |
| Urban yard | Permitted |
| Pedestrian forecourt | Permitted |
| Vehicular forecourt | permitted |
| Facade Types (See § 155-3.5, Frontages.) | |
| Porch | Not permitted |
| Stoop | Not permitted |
| Common entry | Permitted |
| Arcade/colonnade | Permitted |
| Gallery | Permitted |
| Storefront | Permitted |
| Parking (See Article VIII, Parking Standards.) | |
| NOTES: | |
| 1 | Where a lot abuts a property zoned LDR, MDR1, or MDR2, there shall be a buffer of 20 feet in width along the rear property line and side property line extending to the front yard setback. |
| | Where a lot abuts a railroad right-of-way at the side or rear with a LDR District on the opposite side of the railroad, the VC or TC lot abutting the railroad shall include a buffer of 15 feet in width. |
| 2 | Garage location shall be according to § 155-8.4, Parking location. |
| 3 | When there is a predominant setback established, the setback shall be greater than or equal to the predominant setback. |
| | Where adjacent to LDR, MDR1 and MDR2 Districts, each story above the third story shall be stepped back 15 feet after the third floor or 40 feet, whichever occurs first, in the front and rear. |
| 4 | Or equal to the abutting zone, whichever is greater. Zero-foot side yard setback only applies where there is a shared party wall. |
| 5 | Four stories up to 50 feet with a front stepback of 15 feet after the third floor or 40 feet, whichever occurs first, subject to compliance with § 155-4.3C(4) or (5). |

Table 4.3. Commercial Center Form Standards

Table 4.3.2. TC1 Dimensional Standards

Where adjacent to LDR, MDR1 and MDR2 Districts, each story above the third story shall be stepped back 15 feet after the third floor or 40 feet, whichever occurs first, in the front and rear.

PB Principal building

Figure 4.3.2. TC1 Form Illustration

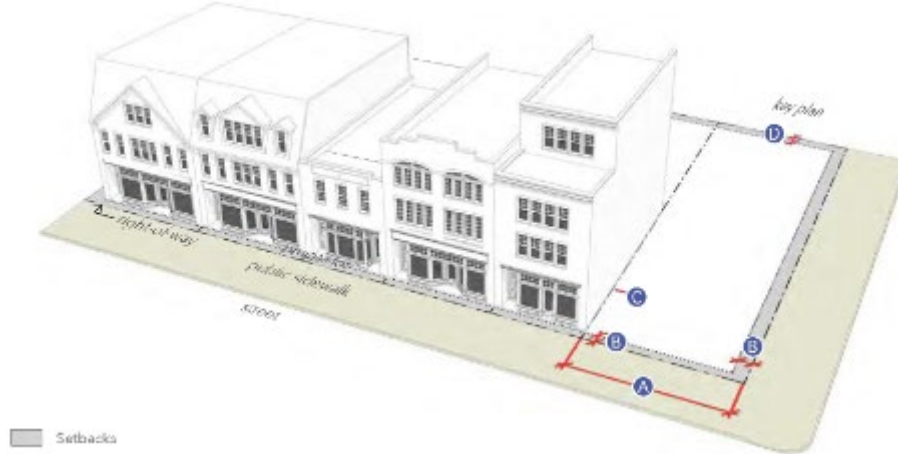


Table 4.3.3. TC2 Dimensional Standards

Lot Occupation (See § 155-3.4, Lot occupation.)

| | | |
|---|--------------------|---------------------------|
| A | Lot width | 25 feet minimum |
| | Lot area | 5,000 square feet minimum |
| | Impervious surface | 70% maximum |

Table 4.3. Commercial Center Form Standards

| Table 4.3.3. TC2 Dimensional Standards | |
|--|--|
| Frontage occupation | 70% minimum |
| Setbacks (See § 155-3.5, Frontages.)^{1,2} | |
| Principal Building (feet) | |
| B Front | 12 minimum/15 maximum |
| C Side | 0 or 5 minimum ³ |
| D Rear | 0 |
| Accessory Building and Structure (feet) | |
| E Front (measured from rear of PB) | 5 minimum |
| F Front corner | 12 minimum |
| G Side | 0 or 5 minimum |
| H Rear | 5 |
| Building Height (maximum) (See § 155-3.3, Building height.) | |
| I Principal building | 2 stories minimum to 3 stories (40 feet maximum) |
| Accessory building | n/a |
| Accessory structure | 1 story up to 15 feet |
| Frontage Yard Types (See § 155-3.5, Frontages.) | |
| Common yard | Not permitted |
| Fenced yard | Not permitted |
| Shallow yard | Permitted |
| Urban yard | Permitted |
| Pedestrian forecourt | Permitted |
| Vehicular forecourt | Permitted |
| Facade types (See § 155-3.5, Frontages.) | |
| Porch | Not permitted |
| Stoop | Not permitted |
| Common entry | Permitted |
| Arcade/colonnade | Permitted |
| Gallery | Permitted |
| Storefront | Permitted |
| Parking (See Article VIII, Parking Standards.) | |

Table 4.3. Commercial Center Form Standards

Table 4.3.3. TC2 Dimensional Standards

NOTES:

1 Where a lot abuts a property zoned LDR, MDR1 or MDR2, the side and rear setback for the lot shall be that required of the abutting lot's district. The setback shall be adjusted to provide a twenty-foot-wide buffer, where required.

Where a lot abuts a property zoned LDR, MDR1, or MDR2, there shall be a buffer of 20 feet in width along the rear property line and side property line extending to the front yard setback.

Where a lot abuts a railroad right-of-way at the side or rear with a LDR District on the opposite side of the railroad, the VC or TC lot abutting the railroad shall include a buffer of 15 feet in width.

2 Garage location shall be according to § 155-8.4, Parking location.

3 Or equal to the abutting zone, whichever is greater. Zero-foot side yard setback only applies where there is a shared party wall.

PB Principal building

Figure 4.3.3. TC2 Form Illustration

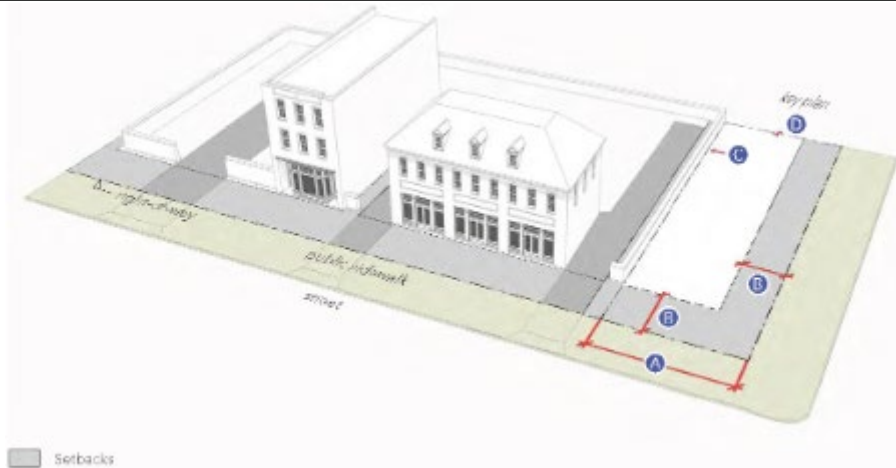


Table 4.3. Commercial Center Form Standards

| Table 4.3.4. NC Dimensional Standards | | |
|--|----------------------------------|-----------------------------|
| Lot Occupation (See § 155-3.4, Lot occupation.) | | |
| A | Lot width | 16 feet minimum |
| | Lot area | 1,600 square feet minimum |
| | Impervious surface | 70% maximum |
| | Frontage occupation | 70% minimum |
| Setbacks (See § 155-3.5, Frontages.)^{1,2} | | |
| Principal Building (feet) | | |
| B | Front | 12 minimum/15 maximum |
| C | Side | 0 or 5 minimum ⁴ |
| D | Rear | None |
| Accessory Buildings and Structures (feet) | | |
| E | Front (measured from rear of PB) | 20 minimum |
| F | Front corner | 10 minimum |
| G | Side | 0 or 5 minimum |
| H | Rear | 5 minimum |
| Building Height (maximum) (See § 155-3.3, Building height.) | | |
| I | Principal building | 2 stories up to 35 feet |
| | Accessory building | n/a |
| | Accessory structure | 1 story up to 15 feet |
| Frontage Yard Types (See § 155-3.5, Frontages.) | | |
| | Common yard | Not permitted |
| | Fenced yard | Not permitted |
| | Shallow yard | Permitted |
| | Urban yard | Permitted |
| | Pedestrian forecourt | Permitted |
| | Vehicular forecourt | Not permitted |
| Facade Type (See § 155-3.5, Frontages.) | | |
| | Porch | Not permitted |
| | Stoop | Permitted |
| | Common entry | Permitted |

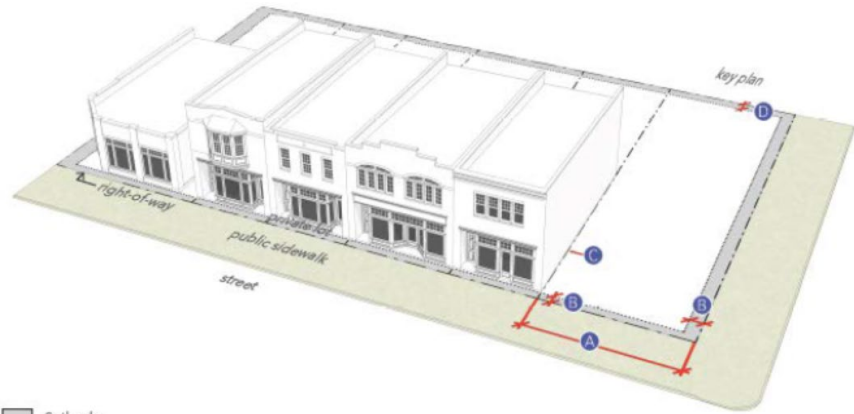
Table 4.3. Commercial Center Form Standards

| Table 4.3.4. NC Dimensional Standards | |
|--|-----------|
| Arcade/colonnade | Permitted |
| Gallery | Permitted |
| Storefront | Permitted |
| Parking (See Article <u>VIII</u> , Parking Standards.) | |
| NOTES: | |
| 1. Where a lot abuts a property in an LDR, MDR1, or MDR2 District, the side and rear setback for the lot shall be that required of the abutting lot's district. The setback shall be adjusted to provide a twenty-foot-wide buffer where required. | |
| Where a lot abuts a property zoned LDR, MDR1, or MDR2, there shall be a buffer of 20 feet in width along the rear property line and side property line extending to the front yard setback. | |
| Where a lot abuts a railroad right-of-way at the side or rear with a LDR District on the opposite side of the railroad, the portion of the VC, NC or TC lot abutting the railroad shall include a buffer of 15 feet in width. | |
| 2. Garage location shall be according to § <u>155-8.4</u> , Parking location. | |
| 3. (Reserved) | |
| 4. Or equal to the abutting zone, whichever is greater. Zero-foot side yard setback only applies where there is a shared party wall. | |
| PB Principal building | |

Table 4.3. Commercial Center Form Standards

Table 4.3.4. NC Dimensional Standards

Figure 4.3.4. NC Form Illustration



■ Setbacks

