

Date: October 6, 2021

To: Village of East Troy Plan Commission

From: Tim Schwecke, Zoning Administrator

Subject: A. Conditional use for a contractor yard located in the Village's new industrial park on the south side of Honey Creek Road; MP Systems Inc, applicant
Application: 2021-24; <https://s.zoninghub.com/U0ALJD4ZLS>

B. Site plan/plan of operation for a contractor yard located in the Village's new industrial park on the south side of Honey Creek Road; MP Systems Inc, applicant
Application: 2021-32; <https://s.zoninghub.com/GN6XNJRSQB>

Meeting: October 11, 2021 Plan Commission meeting

A. Conditional use (Application 2021-24)

MP Systems is in the process of buying a parcel in the Village's new business park on the south side of Honey Creek Road (Lot 3 of the proposed CSM). They have submitted an application to establish a contractor yard as a conditional use on the property.

Subject Property



Zoning classification Light Industrial (LI)

Use description The zoning code describes contractor yard as follows:

Contractor yards are used by a general contractor, excavation contractor, landscaping contractor, building contractor, oil or well drilling contractor, or similar business for the storage of vehicles, equipment, and materials used in the day-to-day operation of the business. This use may include a building which may be used for administrative offices, indoor storage, and the care and maintenance of equipment and vehicles in the fleet.

Development standards The zoning code establishes specific standards for this use as follows:

- (1) **Type of outdoor storage.** Outside storage of construction equipment and fleet vehicles is allowed. Construction materials may be kept out of doors provided such materials are being staged for a specific work project. The storage of construction debris, tree branches, wood chips, and the like is strictly prohibited.
- (2) **Equipment repair and maintenance.** The repair and maintenance of construction equipment and vehicles must occur within an enclosed building, unless specifically permitted in the conditional use order authorizing the use.
- (3) **Sales.** The on-premise sale, at retail or wholesale, of any materials is strictly prohibited.
- (4) **Incidental uses.** Fabrication and assembly of component parts for use in a building project is permitted inside of a building on the subject property, provided such activity is of an incidental nature.
- (5) **Location of use areas.** Outdoor storage areas and other activity areas related to this use may not be located (i) in the front-yard building setback area; (ii) within 30 feet of a side or rear lot line when the adjoining property is located in a residential zoning district, an agricultural zoning district, or a planned development district that allows residential uses; (iii) within 20 feet of a side or rear lot line when the adjoining property is located in a commercial zoning district; and (iv) 10 feet from a side or rear lot line when the adjoining property is located in any other zoning district. Employee parking areas may be located in those areas otherwise allowed in the zoning code.
- (6) **Fencing.** Depending on the scale and nature of the contractor yard, the Plan Commission may on a case-by-case basis require a solid fence, as approved by the Plan Commission, in those areas where screening is needed in the judgment of the Plan Commission to mitigate potential impacts to adjoining properties.
- (7) **Control of fugitive dust.** As part of the site plan and operation plan review process, the control of fugitive dust (e.g., dust from a gravel yard) generated by this use, if any, shall be addressed to the satisfaction of the Plan Commission.
- (8) **Hazardous materials and bulk fuel.** As part of the site plan and operation plan review process, the storage of hazardous materials and bulk fuel, if any, shall be addressed to the satisfaction of the Plan Commission.

The proposed project complies with these requirements.

Guidance regarding 2017 Act 67 With the adoption of 2017 Act 67, the State of Wisconsin has preempted municipal authority regarding conditional use permits in a number of respects, effective November 29, 2017. Decisions concerning conditional use permits now must be based upon "substantial evidence," which is defined as follows:

"Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion."

Note two additional requirements of the new law:

1. Any condition imposed must relate to the purpose of the ordinance and be based on substantial evidence.
2. If an applicant for a conditional use permit meets or agrees to meet all requirements and conditions specified in the ordinance, the conditional use permit must be granted.

The applicant must present substantial evidence demonstrating that the application and all

requirements and conditions established by the Village relating to the conditional use are or shall be satisfied. Any condition imposed by the Village through ordinance or by the Village Board must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer or renewal. The Village's decision to approve or deny the application must be supported by substantial evidence.

Review procedures The Plan Commission conducts the public hearing and acts in an advisory role to the Village Board which makes the final decision. Following the close of the public hearing, the Plan Commission may recommend (1) approval, (2) approval with conditions, or (3) denial. If approval is recommended, the Plan Commission can recommend conditions deemed necessary to protect the public health, safety, and welfare.

Required findings As required by the Section 510-157(H) of zoning code, a number of findings must be made. They are listed in the conditional use order beginning on the first page and below for your convenience. A motion recommending approval should make reference to these.

1. The proposed conditional use (the use in general, independent of its location) is in harmony with the purposes, goals, objectives, policies and standards of the comprehensive plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.
2. The proposed conditional use (in its specific location) is in harmony with the purposes, goals, objectives, policies and standards of the comprehensive plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.
3. The proposed conditional use, in its proposed location and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the zoning code, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use would maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

Public notice Public notice for the public hearing was published in the *East Troy Times* on September 17 and 24, and October 1 (attached). In addition, the public hearing notice was mailed to all property owners within 300 feet of the subject property, although not specifically required by the zoning code.

Comments received No written comments have been submitted to the Village as of this date.

Draft conditional use order A copy of the proposed conditional use order is attached. It is based on the Village's standard template.

Proposed motion: Recommend to the Village Board the approval of the conditional use subject to the terms in the draft conditional use order dated October 6, 2021

B. Site Plan/Plan of Operation (Application 2021-32)

Hours of operation The business is operated from 6:00 am to 6:00 pm.

Employees They anticipate 28 employees on the largest work shift.

Building/site standards The building and site improvements meet the dimensional standards for the zoning district (setback, building coverage, impervious surface, building height, etc.).

Building materials The exterior walls consists of precast concrete panels, with a penetrating stain as a finish. Additional finish details are included for the office portion of the building and to a lesser degree on the other corners.

Trash enclosure A trash is not depicted on the site plan. Will one be provided?

Street access There two proposed access points off of the cul-de-sac. The one access drive on the west side of the building is located within the road reservation area. That area must be depicted on the site plan.

Parking The number of parking spaces complies with zoning requirements.

Fencing A security fence is proposed around the perimeter of the storage area. Additional details are needed in terms of type and height.

Signage Plans for signage have not been submitted at this time. A separate sign application for any proposed signs must be submitted for review at a later date.

Landscaping The proposed landscaping as depicted on Sheet L1 complies with zoning requirements.

Bufferyard A bufferyard with an opacity value of 0.6 is required on the west and south. The applicant will be submitting a separate plan for the bufferyard at a later date.

Outdoor lighting Outdoor lighting consists of wallpacks mounted on the exterior walls and parking lot lights. A single light pole will be located in the fenced-in yard. All fixtures must be full cutoff and must be mounted on a horizontal plane. Lighting levels along the property boundary line comply with the maximum limit of 0.5 footcandles.

Stormwater management Stormwater collected site will be conveyed to the regional stormwater basin to the south along Honey Creek Road.

Water and sewer The petitioner is working with Public Works to provide necessary connections and meters for water and sewer service.

Bulk fuel storage A bulk fuel tank is not depicted on the site plan. Will one be provided?

Proposed motion: Approve the site plan/plan of operation as set forth in the submittal documents, subject to the following terms and conditions:

1. The Village Board approves the proposed certified survey map (CSM) creating the subject property.
2. The Village Board approves the conditional use for the proposed use.
3. The Village engineer approves the stormwater and grading plan.
4. The applicant must submit a landscape plan for the required bufferyard to the Plan Commission by January 1, 2022 and obtain approval of the same.
5. All outdoor light fixtures must be full-cut off and mounted on a horizontal plane.
6. The road reservation area in Lot 3 of the proposed CSM should be added to the site plan.
7. The trash enclosure should be added to the site plan.
8. The location of bulk fuel storage (if proposed) should be added to the site plan.

Attachments:

1. Public hearing notice
2. Draft conditional use order, dated October 6, 2021
3. Application materials

VILLAGE OF EAST TROY PLAN COMMISSION

NOTICE OF PUBLIC HEARINGS

The Village of East Troy Plan Commission will conduct a public hearing on Monday, October 11, 2021, for each of the following:

1. Conditional use application for a contractor yard located on a tract of land in the Village's new industrial park on the south side of Honey Creek Road; MP Systems Inc, applicant; (application 2021-23)

Details are available online: <https://s.zoninghub.com/U0ALJD4ZLS>

2. Rezone the vacant property located at 2031 Division (RA495400002) from SR-4 to AR-9; East Troy School District, applicant (Mikko Erkamaa, developer) (application 2021-25)

Details are available online: <https://s.zoninghub.com/GOTJJG9KB2>

The Plan Commission meeting starts at 6:30 pm and is conducted in the Village Municipal Building, located at 2015 Energy Drive. The public hearings will be conducted in the order listed on the meeting agenda.

For information regarding these public hearings, contact Tim Schwecke, Zoning Administrator, at 920-728-2814. All interested parties will be heard at the public hearing. Written comments may be submitted (1) online on the Village's zoning website

<https://villageofeasttroy.zoninghub.com/home.aspx>; (2) to the Village Hall by Wednesday, October 5, 2021; or (3) during the public hearing.

Lorri Alexander, Village Clerk

Published in the *East Troy Times* on September 17 and October 1, 2021

**Village of East Troy Order Granting a Conditional Use
and Prescribing Conditions for a Contractor Yard
Located at [REDACTED] South Executive Drive**

WHEREAS, MP Systems Inc (hereinafter "property owner") owns the property at [REDACTED] South Executive Drive hereinafter "subject property") in the Village of East Troy, more particularly described as follows:

LOT 3 CERTIFIED SURVEY NO [REDACTED] ;

WHEREAS, the property owner has submitted a conditional use application pursuant to the Village of East Troy's zoning code for a contractor yard; and

WHEREAS, upon receipt of the petition submitted by the property owner, the Village Clerk properly referred such petition to the Plan Commission; and

WHEREAS, allowing for required public notice, the Plan Commission conducted a public hearing on October 11, 2021 to consider the property owner's request; and

WHEREAS, members of the public in attendance were given ample opportunity to provide comment regarding the property owner's request; and

WHEREAS, the Plan Commission passed a motion recommending to the Village Board that the petition for conditional use be granted subject to certain conditions; and

WHEREAS, the Plan Commission, in passing on the matter, has made the following determinations consistent with Section 510-157(H) of East Troy's zoning code:

1. The proposed conditional use (the use in general, independent of its location) is in harmony with the purposes, goals, objectives, policies and standards of the comprehensive plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.
2. The proposed conditional use (in its specific location) is in harmony with the purposes, goals, objectives, policies and standards of the comprehensive plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.
3. The proposed conditional use, in its proposed location and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the zoning code, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use would maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use outweigh any and all potential adverse

- DRAFT October 6, 2021-

Return to:

Lorri Alexander, Village Clerk
Village of East Troy
2015 Energy Drive
East Troy, WI 53120

Parcel Number: [REDACTED]

impacts of the proposed conditional use after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

WHEREAS, the Village Board has carefully reviewed the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

NOW THEREFORE, IT IS HEREBY DETERMINED AND ORDERED AS FOLLOWS:

1. **Authorized uses.** Subject to the terms and conditions of this approval and the sections of the zoning code that apply, the property owner is authorized to operate a contractor yard as set forth herein and subject to the Village's zoning regulations.
2. **Issuance of permit required.** The zoning administrator is authorized to issue the property owner/operator a conditional use permit when all conditions enumerated in section 3 have been satisfied to his or her satisfaction. Such permit is the last approval before the property owner can begin to establish the use as authorized herein.
3. **Initial conditions of approval.** The following conditions shall be satisfied prior to the issuance of the conditional use permit:
 - a. The property owner shall submit a site plan and plan of operation to the Plan Commission for review and obtain approval of the same.
 - b. The property owner is required to accept the terms and conditions of this conditional use order in its entirety in writing. If the property owner does not sign this instrument and return it to the Village Clerk within 9 months of approval, this order is null and void. Prior to such expiration, the property owner may request an extension to this time period and the Village Board may approve an extension with good cause.
 - c. This order must be recorded against the subject property in the Walworth County register of deeds office (only if subsections 3(a) and 3(b) have been satisfied).

In the event that any of the above conditions are not satisfied within 12 months of the date of this approval, this order shall be null and void without any further action by the Village of East Troy.

4. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:
 - a. Following issuance of the conditional use permit set forth in section 3 above, the use as authorized herein must be established within 9 months of such permit.
 - b. The use of the subject property shall be used consistent with this order and all approved plans, including, but not limited to, the site plan and plan of operation.
 - c. The property owner shall not conduct any authorized activity in such a way that exceeds on-site parking as depicted in the approved site plan/plan of operation.
 - d. The property owner shall not conduct any authorized activity in such a way that violates fire-related building capacity standards established by the local fire department or the state of Wisconsin.
 - e. The property owner shall not conduct any authorized activity in such a way as to constitute a public or private nuisance as determined by the Plan Commission.
 - f. The property owner shall provide and maintain potable water and sanitation as may be required by the Village of East Troy and/or Walworth County.

- g. The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.
- h. The property owner must at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Walworth County, and Village of East Troy.
- i. All buildings on the premises shall comply with all applicable building codes as may be adopted by the Village of East Troy or the state of Wisconsin.
- j. The property owner will maintain the subject property in a clean and neat appearance as determined by the Plan Commission.

5. **Expansion or changes.** The conditional use hereby authorized shall be confined to the subject property without extension or expansion. Any expansion or change in use shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

6. **Modification of property boundary lines.** The property owner shall not change the size and/or shape of the subject property by any means without the approval of the Village Board. If the Village Board determines that a proposed change is substantial with regard to the overall size of the parcel and/or configuration, such change shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

7. **Plans and related matters.** Unless otherwise expressly stated herein, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the amendment to be minor and consistent with the conditional use order and permit. Any change in any plan that the Plan Commission feels, in its sole discretion to be substantial, shall require a new approval and all procedures in place at the time must be followed.

8. **Inspection.** The property owner shall allow Village of East Troy staff, officials, and other authorized agents to inspect the subject property, at any reasonable time and for any proper purpose related to compliance with this conditional use order.

9. **Discontinuance.** Should the conditional use be discontinued in use for 365 consecutive days the use shall be terminated as set forth in the Village of East Troy's zoning regulations.

10. **Private rights.** This approval is given under the Village of East Troy's zoning regulations and is not to be interpreted to abrogate any private rights other property owners may have pursuant to deed restrictions or restrictive covenants.

11. **Interpretation.** If any aspect of this conditional use order is in conflict with any other aspect of the conditional use order, the more restrictive provisions shall be controlling, as determined by the Plan Commission.

12. **Other permits.** This order shall not be deemed to constitute a building permit, or constitute any other license or permit required by Village ordinance, or other local, state, or federal law.

13. **Severability.** In the event a court of competent jurisdiction determines that a paragraph or phrase of this conditional use order is unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use order and the remainder shall continue in full force and effect.

14. **Heirs, successors, and assigns.** This conditional use order shall be binding upon the property owner

Conditional use order for a contractor yard located at
[redacted] South Executive Drive, Village of East Troy

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and their heirs, successors, and assigns. Upon a change in ownership, the property owner shall notify the Village Clerk.

15. **Ongoing review.** This conditional use may be reviewed by the Plan Commission with notice to the property owner at any time upon complaint or upon Plan Commission initiative. If it is determined that the authorized use is no longer compatible, or that the provisions of this approval have not been complied with, the Village Board may revoke or amend this order after recommendation by the Plan Commission and holding of a public hearing.

16. **Amendment.** The property owner may propose an amendment to this conditional use order at anytime by submitting a written petition to the Village Clerk, which shall be reviewed pursuant to the requirements in effect at the time of application.

17. **Violation.** Any violation of this order may be treated as a violation of East Troy's zoning regulations and each day of each violation of each condition herein shall be treated as a separate violation.

Approved this 18th day of October, 2021

BY THE VILLAGE BOARD OF THE VILLAGE OF EAST TROY

Scott Seager, Village President

Attest:

Lorri Alexander, Village Clerk

STATE OF WISCONSIN, WALWORTH COUNTY

Personally came before me this ____ day of _____ 2021 the persons described above, Scott Seager, Village President, and Lorri Alexander, Village Clerk, to me known to be the persons who executed the foregoing instrument and to me known to be such Village President and Village Clerk of the Village of East Troy and acknowledged that they executed the foregoing instrument as such officers of said municipal corporation by its authority and pursuant to the authorization by the Village Board from their meeting on the 18th day of October 2021.

NOTARY PUBLIC

My Commission Expires:

Conditional use order for a contractor yard located at
[redacted] South Executive Drive, Village of East Troy

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Acceptance by Property Owner

I, _____, verify that I am an authorized agent for MP Systems Inc and that MP Systems Inc accepts the terms stated herein.

Dated this _____ day of _____, 2021

_____, authorized agent for MP Systems Inc

STATE OF WISCONSIN, _____ COUNTY

Personally came before me this ____ day of _____, 2021, the above-named person, _____, to me known to be the person who executed the foregoing instrument and acknowledged the same.

NOTARY PUBLIC

My Commission Expires:



Conditional Use

Village of East Troy, Wisconsin

Version: March 22, 2018

Village of East Troy
2015 Energy Drive
East Troy, WI 53120

Overview: The Village's zoning code identifies land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Plan Commission conducts a public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Plan Commission serves in an advisory capacity to the Village Board, which makes the final decision. The recommendation of the Plan Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

Governing regulations: The procedures and standards governing the review of this application are found in Section § 510-157 of the Village's zoning code.

General instructions: Complete this application and submit one copy to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (920) 728-2814 or via email at tim.schwecke@civitekconsulting.com. You may download this form at <https://villageofeasttroy.zoninghub.com/highlights/procedures/procedure.aspx>.

Application fee: \$200.00, plus charges for professional services

Application submittal deadline: Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

1. Applicant information

Applicant name MP Systems, Inc.
Street address 5477 S Westridge Ct
City, state, zip code New Berlin, WI 53151
Daytime telephone number 414-788-0262
Email ken.phelps@mp-systemsinc.com

2. Agent contact information.

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	<u>Joe Jursenas</u>	
Company	<u>Briohn Design Group</u>	
Street address	<u>3885 N Brookfield Rd, Suite 200</u>	
City, state, zip code	<u>Brookfield, WI 53045</u>	
Daytime telephone number	<u>262-790-0500</u>	
Email	<u>jjursenas@briohn.com</u>	

3. Type of application (select one)

☒ New conditional use

☐ Yes ☒ No Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

☐ An amendment of a previously approved conditional use

If an amendment, attach a copy of the current approval document.

4. Subject property information

Physical address +/- 16 acres of land in the SW corner of RA314100001
Tax key number(s) RA314100001

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

5. Zoning information (refer to the Village's current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|---|---|---|
| <input type="checkbox"/> RH-35 Rural Holding | <input type="checkbox"/> TR-8 Two-Family Residential | <input type="checkbox"/> NB Neighborhood Business |
| <input type="checkbox"/> SR-3 Estate Residential | <input type="checkbox"/> AR-9 Attached Residential | <input type="checkbox"/> HB Highway Business |
| <input type="checkbox"/> SR-4 Suburban Residential | <input type="checkbox"/> MR-10 Multi-Family Residential | <input type="checkbox"/> CB Central Business |
| <input type="checkbox"/> SR-5 Neighborhood Residential | <input type="checkbox"/> MHR-6 Mobile Home Residential | <input type="checkbox"/> BP Business Park |
| <input type="checkbox"/> SR-6 Traditional-Front Residential | | <input checked="" type="checkbox"/> LI Light Industrial |
| <input type="checkbox"/> SR-7 Traditional-Rear Residential | | <input type="checkbox"/> GI General Industrial |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|---|---|---|
| <input type="checkbox"/> PD Planned Development | <input type="checkbox"/> GP Groundwater Protection | <input type="checkbox"/> FP 100-Year Floodplain |
| <input type="checkbox"/> DD Downtown Design | <input type="checkbox"/> NFC Natural Features Conservancy | <input type="checkbox"/> FP 500-Year Floodplain |
| | | <input type="checkbox"/> SW Shoreland-Wetland |

6. Adjoining land uses and zoning

	Zoning district(s)	Current uses
North	LI LI	Industrial Park
South	Agricultural SR4	Farm Land
East	Agricultural	Farm Land (Town of East Troy)
West	Agricultural SR4	Farm Land

7. Current use. Describe the current use of the subject property.

Vacant industrial land for sale currently owned by East Troy

8. Proposed use. Describe the proposed conditional use or the proposed amendment.

Exterior storage of construction vehicles and equipment. There will be a +/-25k SF office and repair facility on the property as well.

9. Evaluation criteria. The factors listed below will be used in evaluating this application. Your responses are important.

1. Whether the proposed conditional use (**the use in general, independent of its location**) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

The company proposing to occupy the building on the property is relocating from New Berlin. There will be jobs brought into the community and a significant guaranteed tax increment. This development will benefit the new industrial park and the overall growth of the community.

2. Whether the proposed conditional use (in its specific location) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

This is a village owned and planned development. The use that we are proposing on this property is in line with typical industrial use.

3. Whether the proposed conditional use, in its proposed location and as depicted on the required site plan results in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the zoning code, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development.

It is not believed that the requested conditional use will have any negative impact on any of the above.

4. Whether the proposed conditional use would maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. Whether the proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

The proposed conditional use will not add any burden on any outside services. Everything will be designed and constructed in accordance with state and municipal requirements.

6. Whether the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

10. Large development requirements.

- ☐ Yes ☒ No Does the proposed project include indoor sales or service, outdoor display, indoor commercial entertainment, outdoor commercial entertainment, in-vehicle sales or service, commercial indoor lodging, with a total area exceeding 20,000 square feet where one or both the following conditions exist:

1. The parking area is or will be served by an integrated system of off-street parking benefiting all or substantially all improvements within such area.
 2. The area is or will be subject to reciprocal access rights benefiting all or substantially all improvements within such area.
- (See § 510-109 of the zoning code.)

If yes, include each of the following as described in § 510-109 (D) of the zoning code:

1. Large development questionnaire

2. Economic and fiscal analysis
3. Traffic impact analysis
4. Detailed neighborhood plan

11. Supplemental materials. Attach the following.

1. Site plan application and related materials
2. A copy of the existing conditional use if this application is intended to amend that approval.

12. Attachments. List any attachments included with your application.

Proposed Siteplan
Proposed building renderings
Proposed Building Floor plan

13. Other information. You may provide any other information you feel is relevant to the review of your application.

14. Applicant certification

- ◆ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- ◆ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with § 510-149 (D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property.
- ◆ I understand that submission of this application authorizes Village officials and employees, Plan Commission members, Village Board members, and other designated agents, including those retained by the Village, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- ◆ I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- ◆ I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Name – print

Name – Signature

Date

Name – print

Name – Signature

Date

Applicant (if different than Property Owner):

BROWN DESTAN GROUP
JOE JERSEMS

Name – print

Name – Signature

9/8/2021

Date

Name – print

Name – Signature

Date

PROPOSED NEW BUILDING FOR:

MP SYSTEMS, INC.

EAST TROY BUSINESS PARK II
VILLAGE OF EAST TROY, WISCONSIN



EXTERIOR PERSPECTIVE LOOKING SOUTHWEST

CODE CALCULATIONS AND ANALYSIS:

OCCUPANCY CALCULATION:

OCCUPANCY B BUSINESS (PRIMARY)
100 SQUARE FEET IS MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT
8,117 SQUARE FEET GROSS / 100 SQUARE FEET PER PERSON = 82 PEOPLE
OCCUPANCY S-1 MOD HAZARD STORAGE (SECONDARY)
500 SQUARE FEET IS MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT
16,855 SQUARE FEET GROSS / 500 SQUARE FEET PER PERSON = 34 PEOPLE

TOTAL OCCUPANCY = 116 PEOPLE MAXIMUM

PLUMBING FIXTURE CALCULATION:

BASED ON B BUSINESS OCCUPANCY = 82 PEOPLE
TOILET FIXTURES (WC) REQUIRED AND PROVIDED ARE AS FOLLOWS:
B 41 MEN = 2 FIXTURE (WC) REQUIRED
B 41 WOMEN = 2 FIXTURE (WC) REQUIRED

BASED ON S-1 STORAGE OCCUPANCY = 34 PEOPLE
TOILET FIXTURES (WC) REQUIRED AND PROVIDED ARE AS FOLLOWS:
S-1 17 MEN = 1 FIXTURE (WC) REQUIRED
S-1 17 WOMEN = 1 FIXTURE (WC) REQUIRED

TOTAL (WC) FIXTURES REQUIRED - MEN = 3 FIXTURES
TOTAL (WC) FIXTURES REQUIRED - WOMEN = 3 FIXTURES

MEN AND WOMEN FIXTURES (WC) REQUIRED 6 TOTAL AND PROVIDED 8 TOTAL OK

LAVATORY FIXTURES REQUIRED AND PROVIDED ARE AS FOLLOWS:

B MEN AND WOMEN 82 = 3 LAVATORY FIXTURE REQUIRED +
S-1 MEN AND WOMEN 34 = 1 LAVATORY FIXTURE REQUIRED

MEN AND WOMEN FIXTURES (LAV) REQUIRED 4 TOTAL AND PROVIDED 8 TOTAL OK

EXIT WIDTH REQUIRED AND EXIT ACCESS TRAVEL DISTANCE:

EXIT WIDTH REQUIRED 116 x .20 = 23.2 INCHES OR 32 INCHES EACH MINIMUM
CLEAR X (3) EXITS
EXIT WIDTH PROVIDED (6) 36" WIDE DOORS x 34" = 204" WIDTH
TOTAL EXIT WIDTH PROVIDED OF 204" EXCEEDS REQUIRED EXIT WIDTH
CALCULATED (23.2" OR 32" MIN CLEAR AT EACH EXIT)
TOTAL NUMBER OF EXISTING EXITS PROVIDED (6) EXCEEDS THE NUMBER OF EXITS
REQUIRED (3)
REFER TO SHEET A0.0 FOR ADDITIONAL INFORMATION

EXIT TRAVEL DISTANCE = LESS THAN 250'

AREA AND HEIGHT LIMITATION CALCULATIONS:

PER IBC TABLE 506.2
FOR OCCUPANCY GROUP S-1 (TYPE 2B CONSTRUCTION (INCLUDES
AUTOMATIC SPRINKLER INCREASE) 1 STORY IS 70,000 S.F.

THE ACTUAL SIZE IS 24,975 S.F. AND 1 (ONE) STORY.

THE BUILDING IS CLASSIFIED AS AN UNLIMITED AREA BUILDING PER SECTION
507.4

THE BUILDING AREA IS AT OR BELOW THE ALLOWABLE AREA LIMITS AND
STORY LIMITS PER TABLE 506.2 WITH AUTOMATIC SPRINKLER AND FRONTAGE
INCREASE. THE BUILDING IS BELOW ALLOWABLE HEIGHT LIMIT OF 75 FEET FOR
SPRINKLERED BUILDINGS. THE ACTUAL HEIGHT IS 32.5 FEET. PER TABLE 504.3

MULTIPLE OCCUPANCIES:

BUILDING DESIGN IS BASED ON NON-SEPARATED OCCUPANCIES PER IBC
508.3.
THE ALLOWABLE AREA AND HEIGHT BELOW IS THE MORE RESTRICTIVE
OCCUPANCY GROUP, WHICH IS S-1. REFER TO IBC TABLE 506.2

CONSTRUCTION CLASSIFICATION REQUIREMENTS:

PER IBC TABLE 601 AND TABLE 602:

TYPE IIB CONSTRUCTION:

PRIMARY STRUCTURAL FRAME

INTERIOR BEARING WALLS

EXTERIOR BEARING WALLS

(PER TABLE 602 > 30 FEET

NONBEARING WALLS AND PARTITIONS

FLOOR CONSTRUCTION AND SECONDARY MEMBERS

ROOF CONSTRUCTION AND SECONDARY MEMBERS

"0" RATING REQUIRED

"0" RATING REQUIRED

"0" RATING REQUIRED

"0" RATING REQUIRED

"0" RATING REQUIRED

"0" RATING REQUIRED

"0" RATING REQUIRED

EXTERIOR WALL OPENINGS ALLOWED:

PER IBC TABLE 705.8:

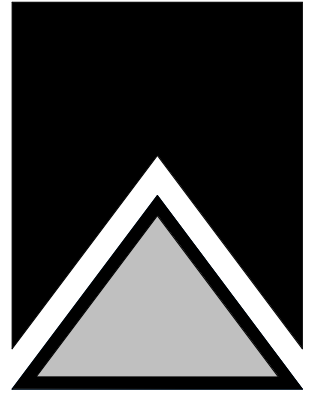
THE NEW WALLS OF THE PROPOSED ADDITION ARE GREATER THAN 30 FEET AWAY FROM THE
PROPERTY LINE OR STREET; THEREFORE, THERE ARE NO RESTRICTIONS ON OPENINGS BOTH
PROTECTED AND UNPROTECTED.

BUILDING ENVELOPE REQUIREMENTS:

BUILDING ENVELOPE REQUIREMENTS: PROPOSED TO USE PRESCRIPTIVE METHOD. PER SPS
363.0402 BUILDING ENVELOPE REQUIREMENTS. (1) OPAQUE ASSEMBLIES, SUBSTITUTE 2009 IECC
TABLE 502.2 (1) PER SPS 363.5402 BUILDING ENVELOPE REQUIREMENTS. (1) INSULATION AND
FENESTRATION REQUIREMENTS BY COMPONENT. REFER TO SHEET AS.1 EXTERIOR ELEVATIONS.

SHEET INDEX	
Sheet Number	Sheet Name
0-GENERAL	
T1.0	TITLE SHEET
1-CIVIL	
C1.0	SITE DIMENSION AND PAVEMENT ID PLAN
C2.0	SITE GRADING, UTILITY, AND EROSION CONTROL PLAN
C3.0	SITE NOTES AND DETAILS
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2-LANDSCAPING	
L1.0	LANDSCAPE PLAN
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4-ARCHITECTURAL	
A0.2	ARCHITECTURAL SITE PLAN
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A4.1	ROOF PLAN
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR PERSPECTIVES
7-ELECTRICAL	
E1.0	EXTERIOR PHOTOMETRIC LIGHTING PLAN

BRIOHN



DESIGN GROUP
1885 N BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53005-1900
(262) 790-0500 PHONE
(262) 790-0505 FAX

TITLE SHEET

SHEET TITLE

NEW BUILDING FOR:
MP SYSTEMS, INC.
EAST TROY BUSINESS PARK II
VILLAGE OF EAST TROY, WI 53120

PROGRESS SET
NOT FOR CONSTRUCTION

Revision

Date

JOB: 3335
DRAWN: NS
CHECKED: CW
DATE: 09-24-2021
SHEET:

T1.0

PLAN COMMISSION SET SEPTEMBER 24, 2021

OWNER :

MP SYSTEMS, INC.
KEN PHELPS

5477 S. WESTRIDGE CT.
NEW BERLIN, WI 53151
(414) 788-0262 PHONE

GENERAL CONTRACTOR :

BRIOHN BUILDING CORPORATION
KYLE ROADT

3885 N. BROOKFIELD RD., SUITE 200
BROOKFIELD, WISCONSIN 53045
(262) 790-0500 PHONE
(262) 790-0505 FAX

ARCHITECT :

BRIOHN DESIGN GROUP LLC
CHRISTOPHER WENZLER, AIA
NATHAN SCHULZE

3885 N. BROOKFIELD RD., SUITE 200
BROOKFIELD, WISCONSIN 53045
(262) 790-0500 PHONE
(262) 790-0505 FAX

STRUCTURAL ENGINEER:

BRIOHN DESIGN GROUP LLC
KEVIN JANKOWSKI, PE

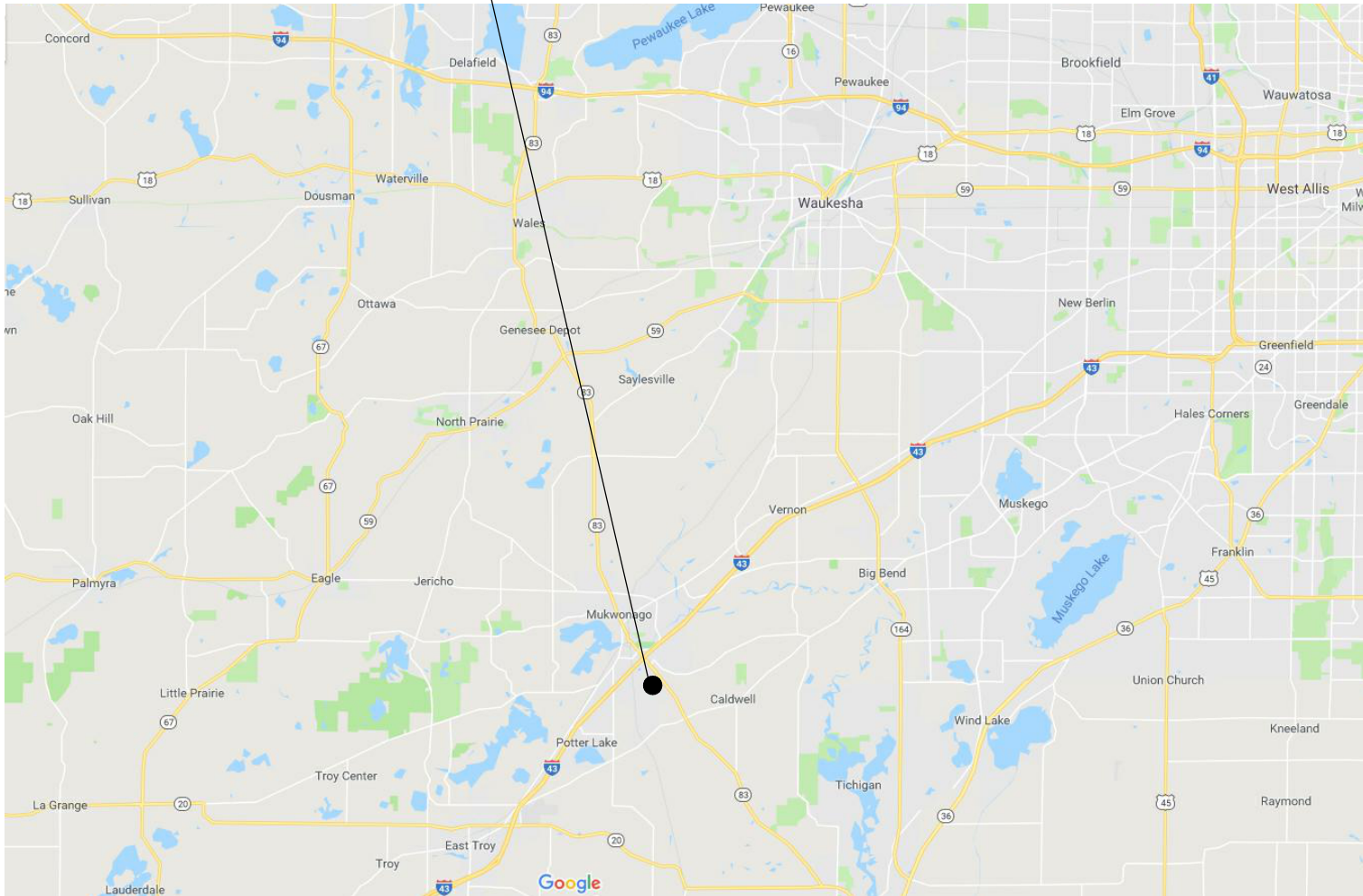
3885 N. BROOKFIELD RD., SUITE 200
BROOKFIELD, WISCONSIN 53045
(262) 790-0500 PHONE
(262) 790-0505 FAX

CIVIL ENGINEER:

JSD ENGINEERING, INC.
RIZ Iskandarsjach, P.E., P.L.S

N22 W22931 Nancy Ct., Suite 3
Waukesha, WI 53186
(414) 262.513.0666 PHONE
(414) 262.513.1232 FAX

PROJECT LOCATION:



PROJECT INFORMATION:

CODE:

SPS 360-366 WISCONSIN COMMERCIAL BUILDING CODE
(IBC 2015, IECC 2015, IEBC 2015, IMC 2015 AND IFGC 2009)
SPS 314 FIRE PREVENTION
SPS 316 ELECTRICAL
SPS 381-387 PLUMBING

OCCUPANCY:

PRIMARY B (OFFICE/BUSINESS)
SECONDARY S-1 (MODERATE HAZARD STORAGE)

CLASS OF CONSTRUCTION: TYPE 2B

SPRINKLER SYSTEM: FULL - NFPA 13

FLOOR LEVELS:

1

NUMBER OF STORIES:

1

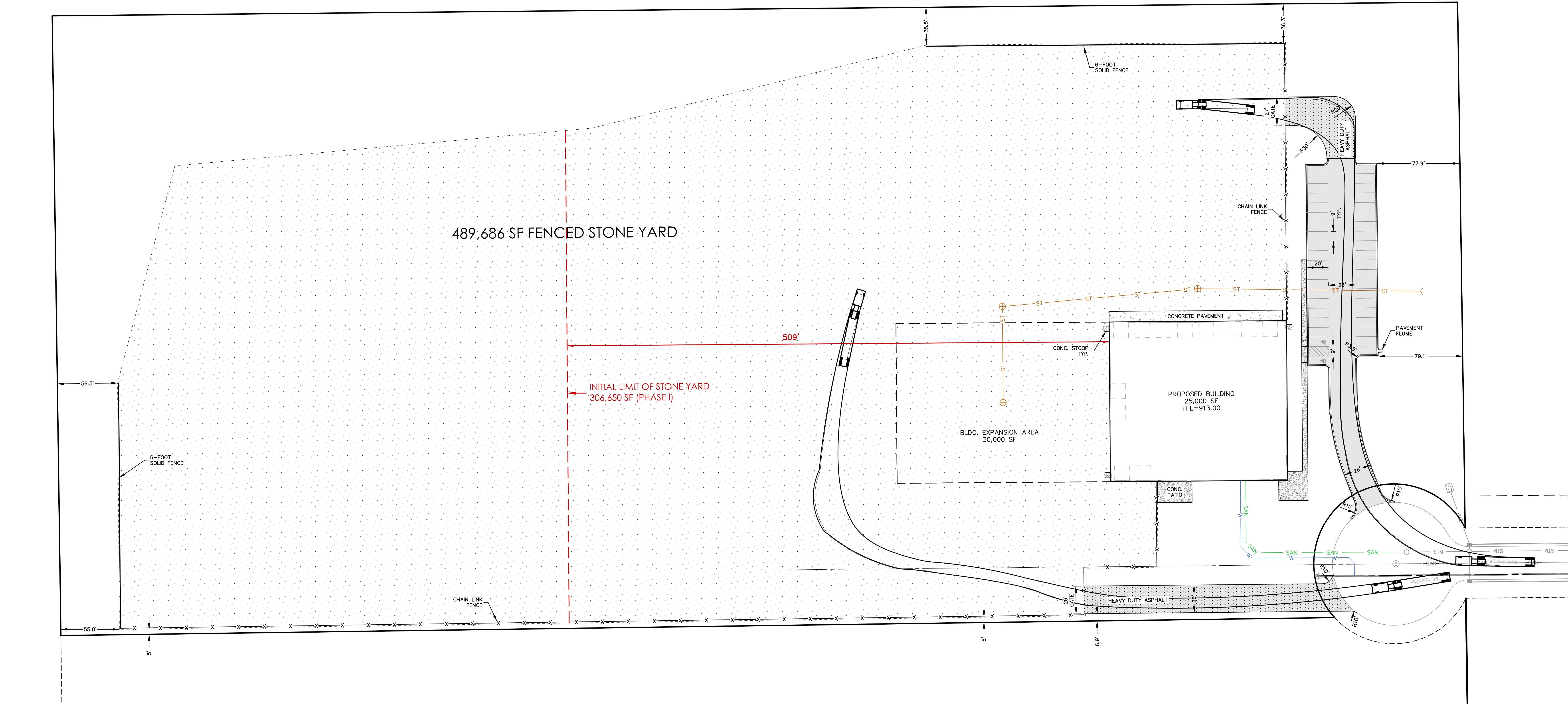
BUILDING AREA:

FOOTPRINT 24,975 SF

NOTE:
ALL MECHANICAL, ELECTRICAL,
PLUMBING AND FIRE SPRINKLER
ENGINEERING BY DESIGN-BUILD
CONTRACTORS



APPLICABLE
TO ALL
PLAN VIEWS



GENERAL NOTES AND SPECIFICATIONS

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES DISCOVERED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON THEIR OWN COMPUTATIONS AND UNDER NO CIRCUMSTANCES BE BASED ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOGS CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN THEIR ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS IN OBTAINING PERMITS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND "DIGGERS' HOTLINE" IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHICH ORDINANCES/CODES/RULES/ETC. ARE APPLICABLE.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING".
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, JSD, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- ALL FIELD/DRAIN TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE IMMEDIATELY REPORTED TO ENGINEER/OWNER. TILES ORIGINATING OUTSIDE THE PROJECT LIMITS SHALL BE RECONNECTED OR REROUTED TO MAINTAIN DRAINAGE. ENGINEER/OWNER SHALL DETERMINE THE MOST FAVORABLE METHOD OF RE-ESTABLISHMENT OF OFFSITE DRAINAGE. IF TILE IS ENCOUNTERED DURING TRENCH EXCAVATIONS, RE-ESTABLISHING TILE FUNCTIONALITY SHALL BE CONSIDERED AN INCIDENTAL EXPENSE.

PAVING NOTES

- ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF EAST TROY ORDINANCES.
- CONCRETE PAVING SPECIFICATIONS--
CODES AND STANDARDS -- THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
CRUSHED AGGREGATE BASE COURSE -- THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
SURFACE PREPARATION -- NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
ASPHALTIC CONCRETE PAVING SPECIFICATIONS--
CODES AND STANDARDS -- THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
WEATHER LIMITATIONS -- APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS AMOUNTS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
GRADE CONTROL -- ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
CRUSHED AGGREGATE BASE COURSE -- THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
BINDER COURSE AGGREGATE -- THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
SURFACE COURSE AGGREGATE -- THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
ASPHALTIC MATERIALS -- THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
SURFACE PREPARATION -- NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

PAVEMENT STRIPING NOTES

- CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL STRIPING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES. (OR TO MFG. SPECIFICATIONS)
- BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6

PAVEMENT THICKNESS NOTES

- ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION -- CURRENT EDITION AND ADDENDUM, APPLICABLE VILLAGE OF EAST TROY ORDINANCES, AND THE GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY _____, DATED _____, 20____.
- ** FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORDS RECOMMENDATIONS AS SPECIFIED IN THE SAID GEOTECHNICAL REPORT.**
- MINIMUM PAVEMENT STRUCTURE**
- | |
|--|
| CONCRETE PAVEMENT (TRUCK DOCK, DOLLY PAD, APRON DRIVE-IN ENTRANCE, TRASH PAD) |
| 7" CONCRETE W/ MESH REINFORCEMENT |
| *4" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) |
| CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD. |
| HEAVY DUTY ASPHALT PAVEMENT |
| 6" ASPHALTIC CONCRETE (2 LIFTS) |
| LOWER LAYER (4" BINDER, 4LT 58.28 S) |
| UPPER LAYER (2" SURFACE, 5LT 58.28 S) |
| 13" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) |
| CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD. |
| LIGHT DUTY ASPHALT PAVEMENT |
| 3.5" ASPHALTIC CONCRETE (2 LIFTS) |
| LOWER LAYER (1.5" BINDER, 4LT 58.28 S) |
| UPPER LAYER (2" SURFACE, 5LT 58.28 S) |
| 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) |
| CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD. |
| CONCRETE SIDEWALK AND STOOPS |
| 5" CONCRETE |
| 4" CRUSHED AGGREGATE BASE COURSE |
| CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD. |

SHEET INDEX

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| C1.0 | SITE DIMENSION AND PAVEMENT ID PLAN |
| C2.0 | SITE GRADING, UTILITY, AND EROSION CONTROL PLAN |
| C3.0 | SITE NOTES AND DETAILS |
| C3.1 | SITE NOTES AND DETAILS |

PRE-DEVELOPMENT (PROPERTY* LIMIT).

PERVIOUS -- 748,784 SF (100% GREEN SPACE)

IMPERVIOUS -- 0 SF

POST-DEVELOPMENT (PROPERTY* LIMIT).

PERVIOUS -- 207,781 SF (27.8% GREEN SPACE)

PHASE I: 390,817 SF (52.2 % GREEN SPACE)

IMPERVIOUS -- 541,003 SF (25,000 SF BUILDING)

PHASE I: 357,967 SF (25,000 SF BUILDING)

*PROPERTY BASED ON PROPOSED CERTIFIED SURVEY MAP (LAND DIVISION) BY OTHER.

THE PROPERTY IS ZONED L1, LIGHT INDUSTRIAL, PER THE VILLAGE OF EAST TROY, AND HAS THE FOLLOWING SETBACKS AND RESTRICTIONS:

BUILDING SETBACKS/RESTRICTIONS:

FRONT/STREET YARD SETBACK: 25'
SIDE/REAR YARD SETBACK: 25'
BUILDING MAX. HEIGHT: 45'
BUILDING MAX. AREA: 75% OF LOT AREA
IMPERVIOUS MAX. AREA: 85% OF LOT AREA

PARKING/PAVEMENT SETBACK: 5'

MINIMUM PARKING: 1/EMPLOYEE ON THE LARGEST WORK SHIFT

LEGEND

- | | | | |
|---|------------------------|-----------|--------------------------|
| ⊙ | SANITARY SEWER MANHOLE | — SAN — | SANITARY SEWER |
| ⊕ | STORM MANHOLE | — W — | WATER MAIN |
| ⊕ | CATCH BASIN ROUND | — ST — | STORM SEWER |
| ⊕ | CATCH BASIN SQUARE | — RD — | ROOF DRAIN |
| ⊕ | FIRE HYDRANT | — G — | UNDERGROUND GAS |
| ⊕ | WATER VALVE | — E — | UNDERGROUND ELECTRIC |
| ⊕ | GAS VALVE | — T — | UNDERGROUND TELEPHONE |
| ⊕ | LIGHT POLE | — FIB — | UNDERGROUND FIBER OPTICS |
| ⊕ | TELEPHONE PEDESTAL | — --- --- | OVERHEAD UTILITY |
| ⊕ | ELECTRICAL MANHOLE | — SF — | SILT FENCE |
| ⊕ | SIGN | ⊕ | CONFEROUS TREE |
| ⊕ | POWER POLE | ⊕ | DECIDUOUS TREE |
| ⊕ | GUY WIRE | | |

DIGGERS' HOTLINE

Call 811 or (800) 242-8511

Milwaukee Area (262) 432-7910
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

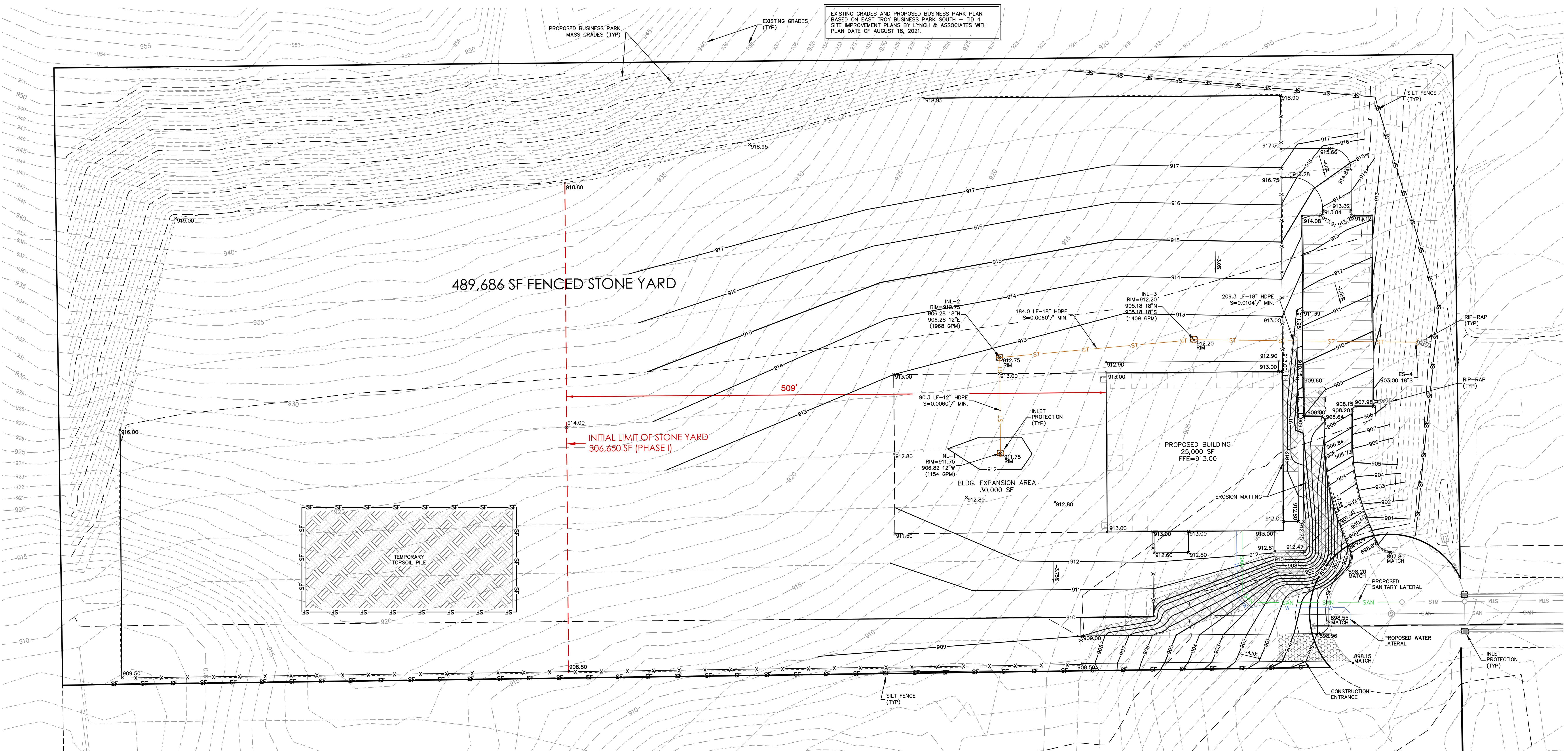
JSD Professional Services, Inc.
Engineers • Surveyors • Planners

MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE RD., SUITE 100
WALKESSHA, WISCONSIN 53188

262.513.0666 PHONE | 262.513.1232 FAX
www.jsdinc.com
JSD JOB NO.: 21-10885

JOB: 3335
DRAWN: RWI
CHECKED: RWI
DATE: 09-29-21
SHEET:

C1.0



GRADING NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JSD PROFESSIONAL SERVICES, INC. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES, WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK. GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 - THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY AND DATED 2021 FOR SITE COMPACTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL, OR THE MAXIMUM COMPACTION LIFT DEPTH.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- CONTRACTOR SHALL CONTACT "DIGGERS' HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.

EROSION AND SEDIMENT CONTROL NOTES:

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND VILLAGE OF EAST TROY ORDINANCE. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY JSD PROFESSIONAL SERVICES, INC. (JSD) OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED EROSION CONTROL PLAN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY JSD/MUNICIPALITY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OPPOSITE DISCHARGE OF UNTREATED RUNOFF.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR

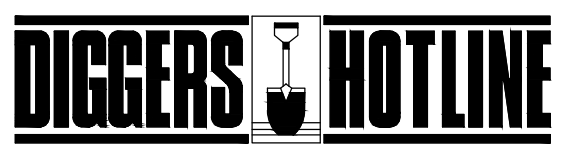
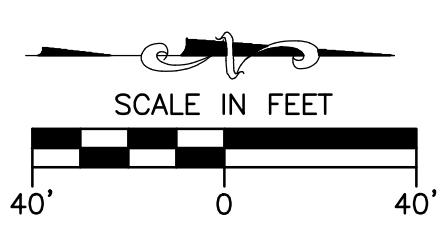
- PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF THIRTY (30) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- ALL DISTURBED SLOPES EXCEEDING 4:1 YET LESS THAN 3:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING (OR APPROVED EQUAL) AND DISTURBED SLOPES EXCEEDING 3:1 YET LESS THAN 2:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
 - DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
 - DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
 - QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH OR MORE PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH PART IV D.4. (6-9), OF THE NPDES GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
 - THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.
 - SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
 - CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.
 - DITCH CHECK (STRAW BALES) - RE-SECURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER, AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALES.
 - EROSION CONTROL MATTING - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELING HAS OCCURRED.
 - DIVERSION BERM/SWALE - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.
 - INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HALF FULL OF SEDIMENT.
 - ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING.
 - CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPULIN TO PREVENT BLOWING DEBRIS.
 - DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
 - COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
 - ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
 - FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
 - PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
 - STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

CONSTRUCTION SITE SEQUENCING

- INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.
 - STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 - CONDUCT ROUGH GRADING EFFORTS.
 - INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 - COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 - PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER THAT MEETS OR EXCEEDS THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES DEFINITION OF "FINAL STABILIZATION".
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

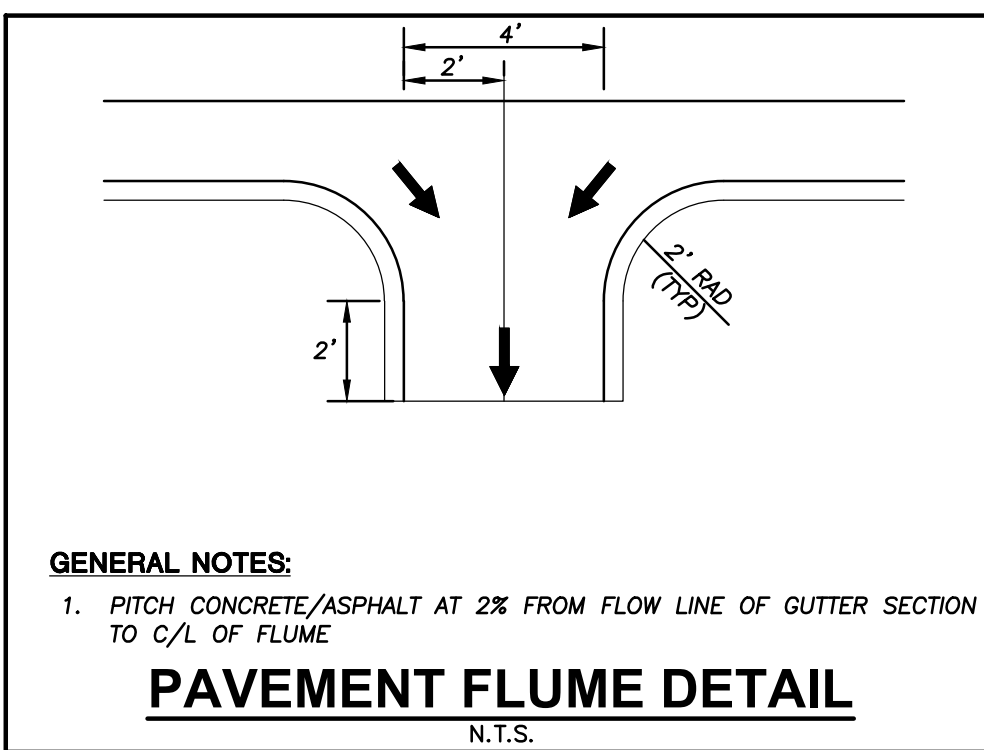
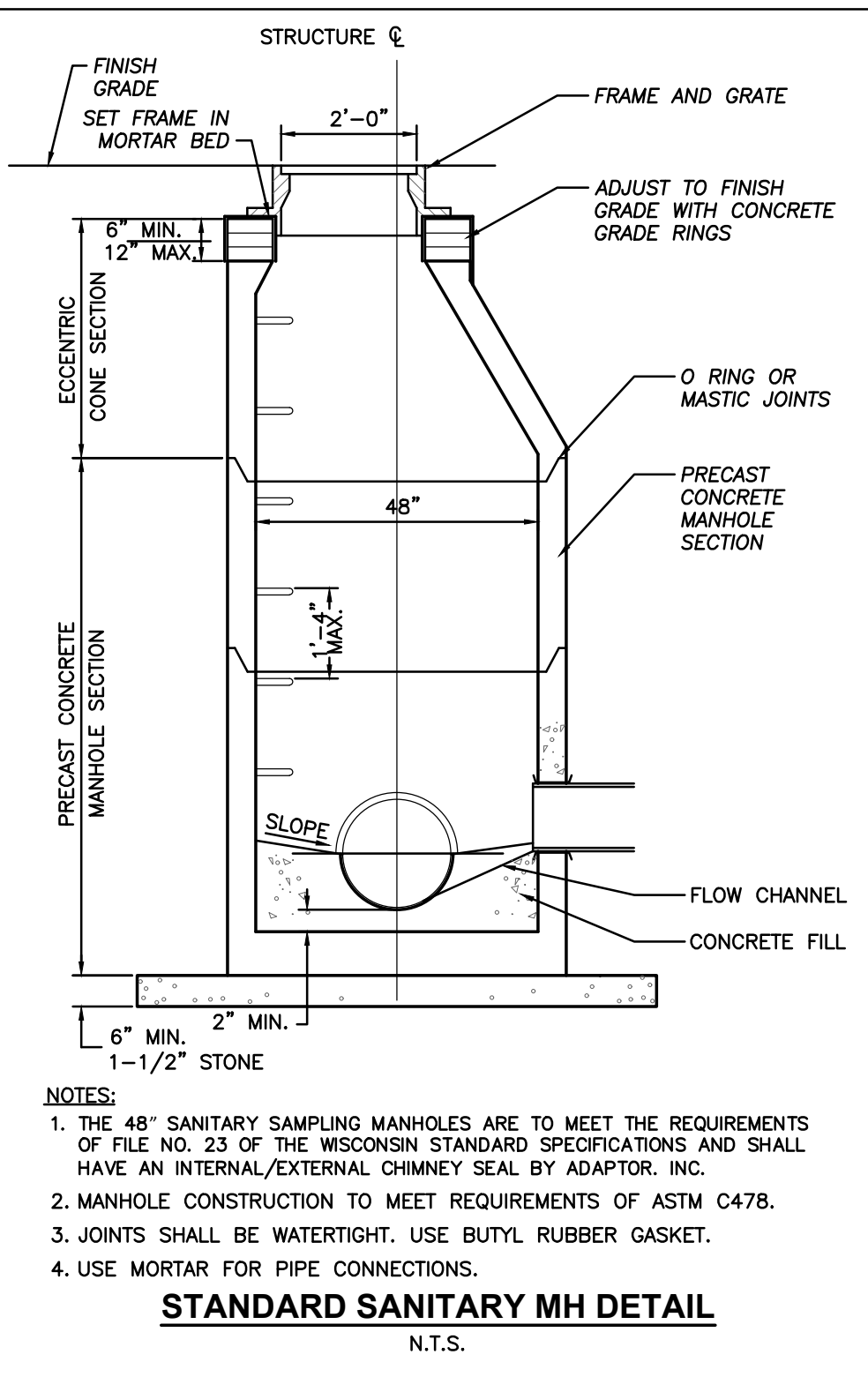
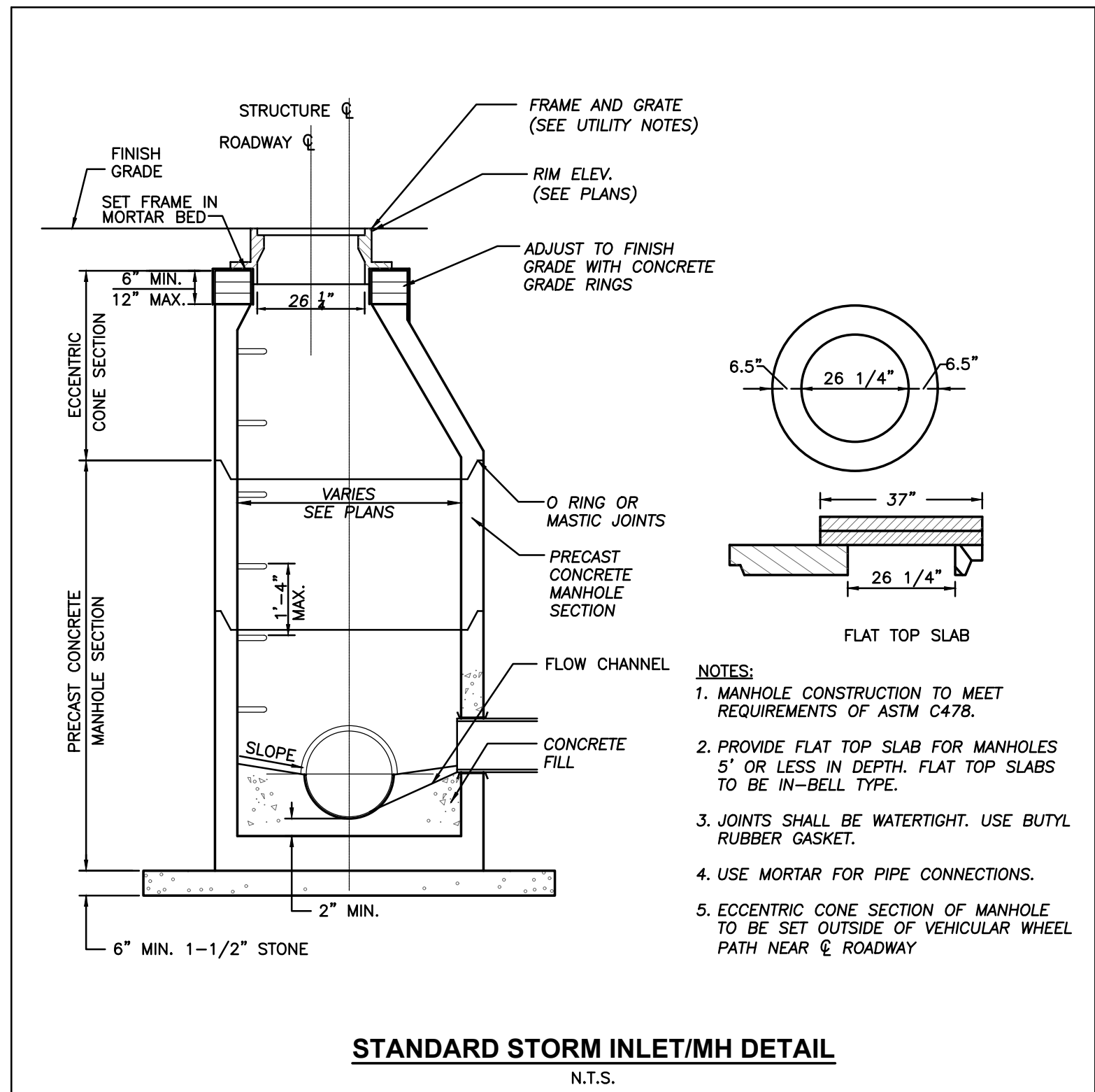
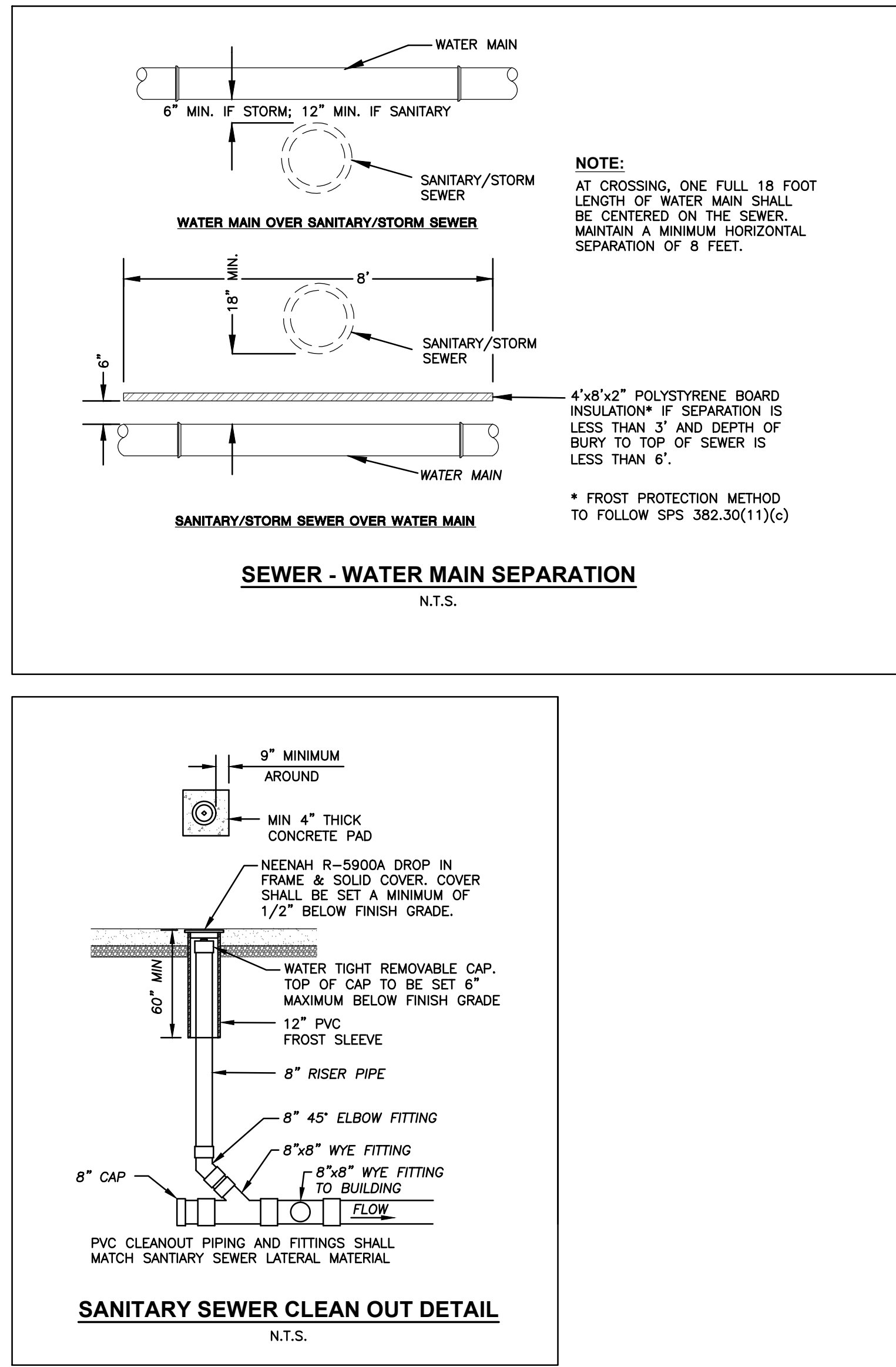
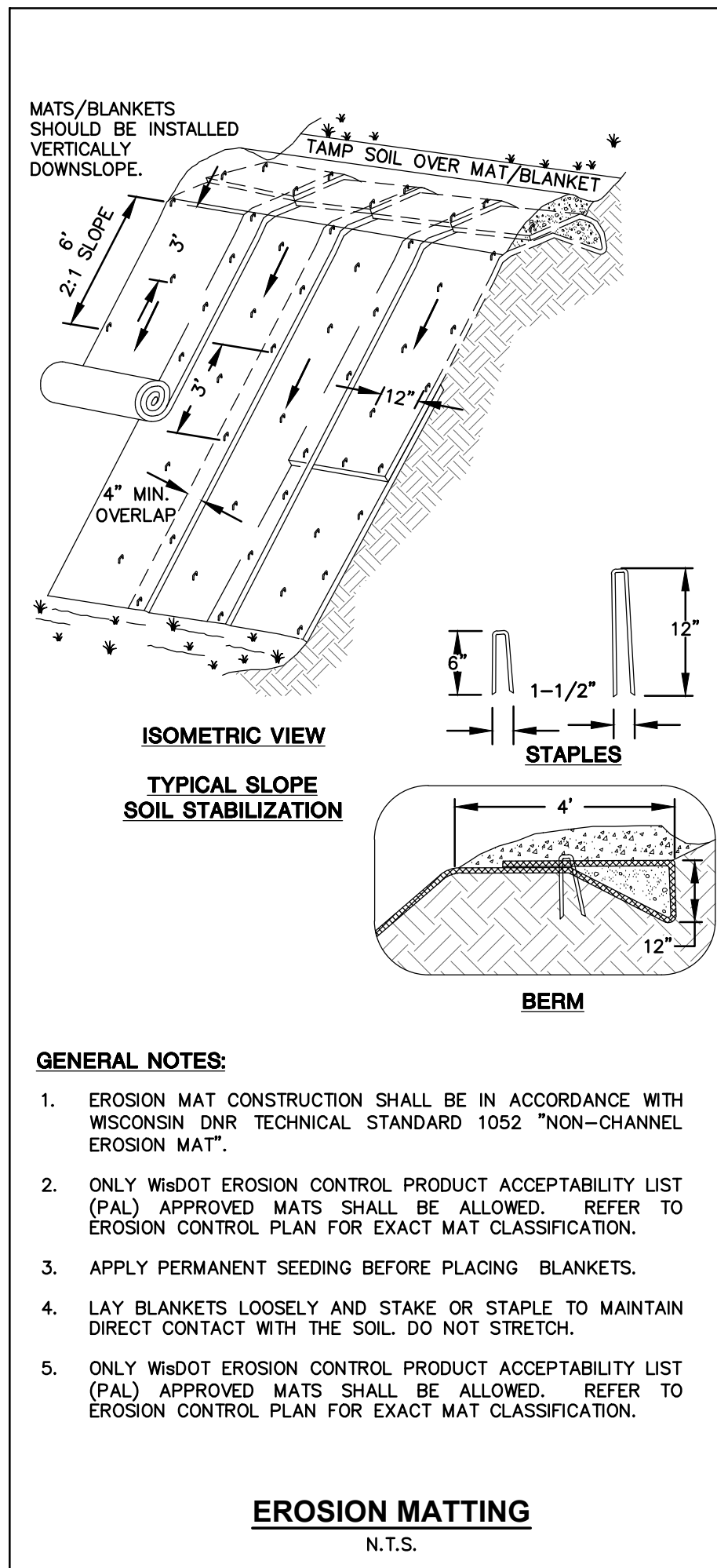
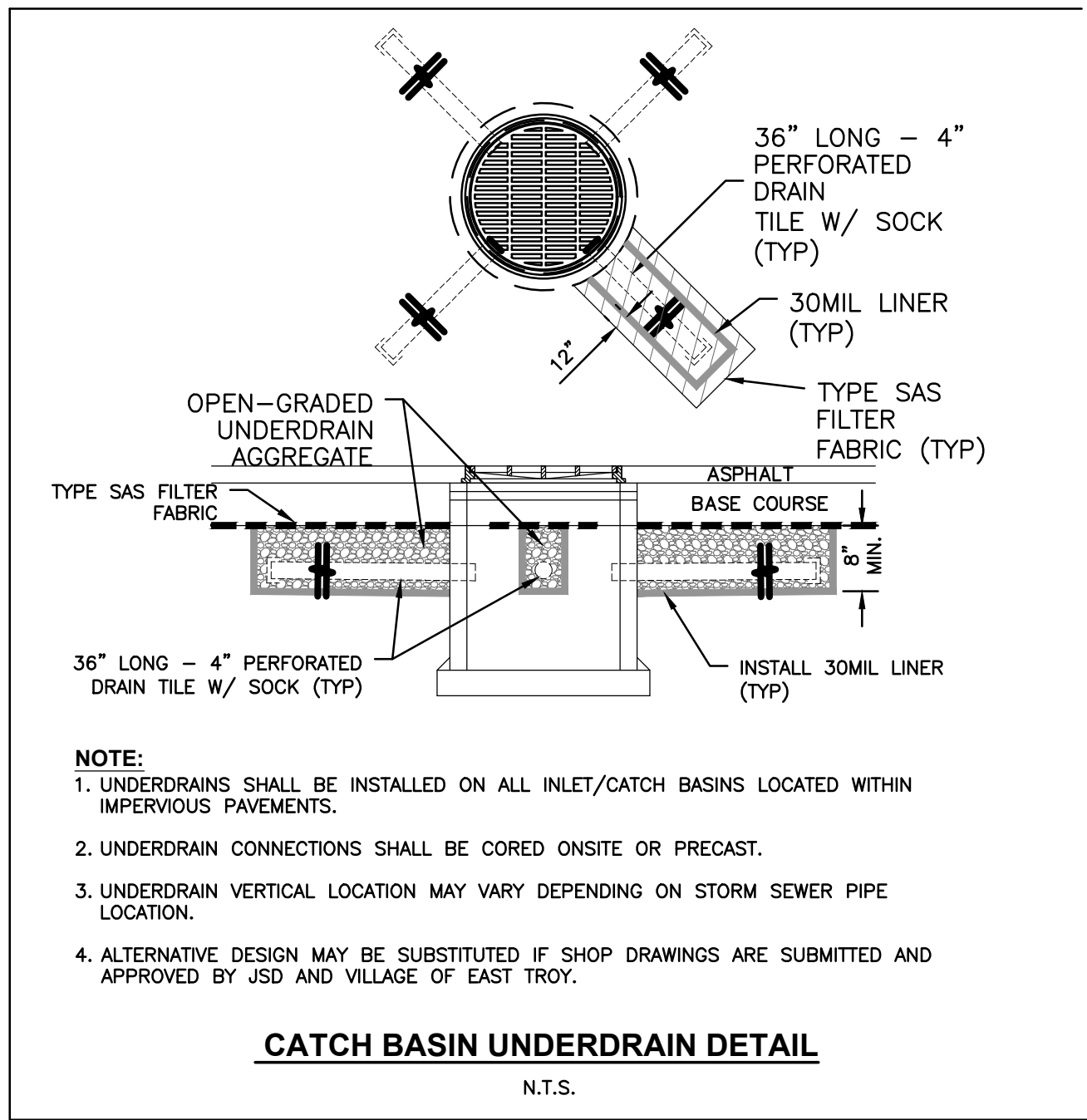
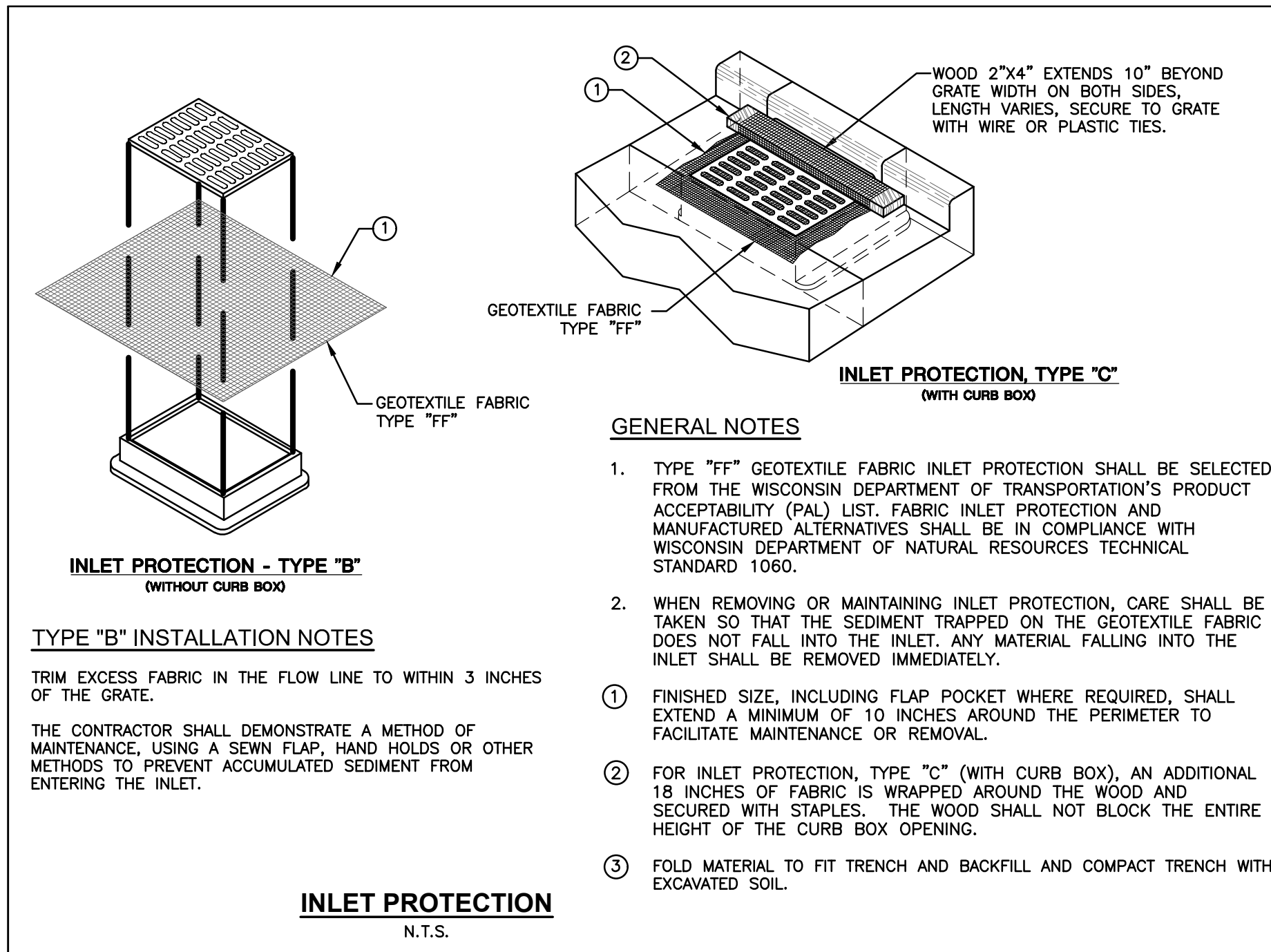
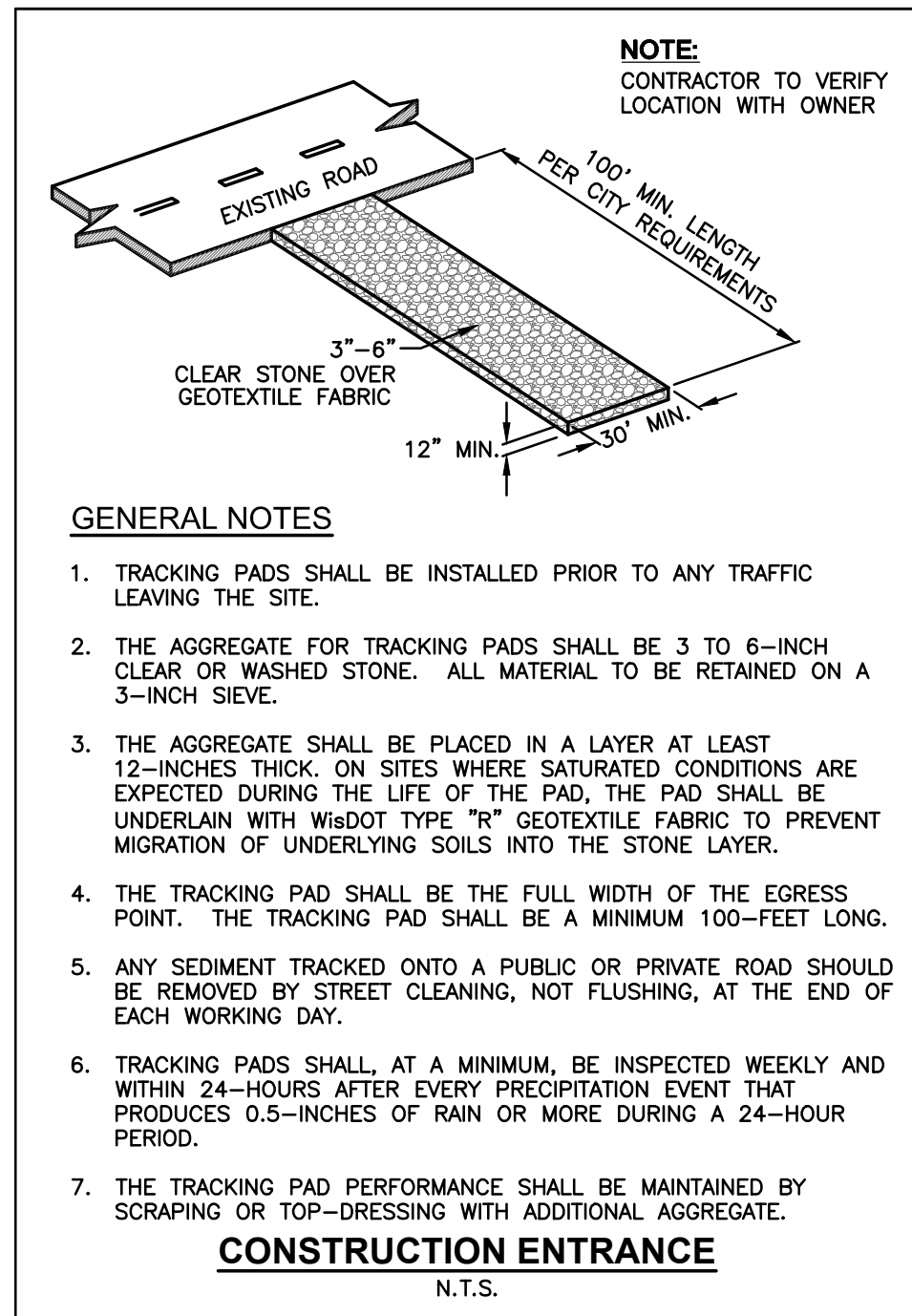
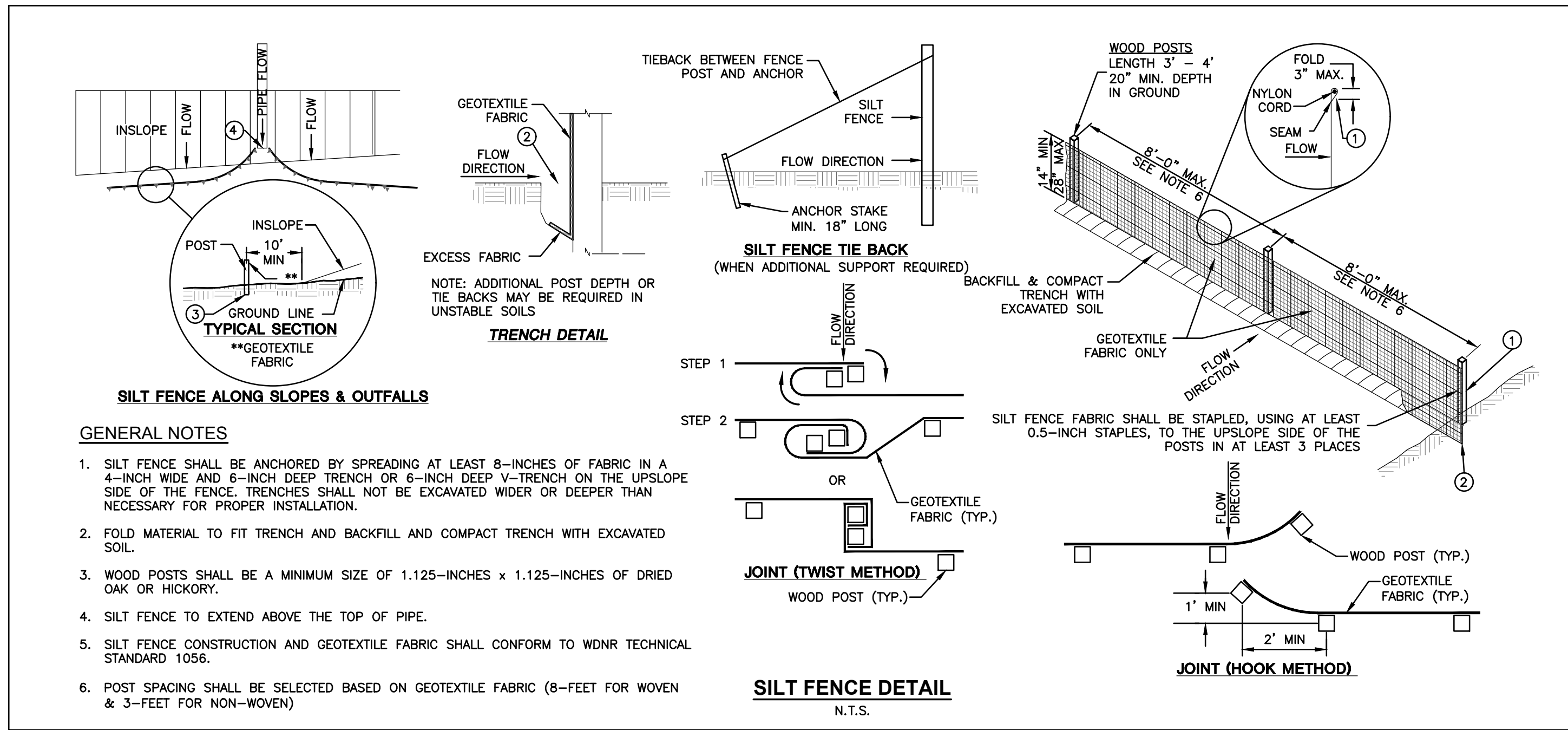
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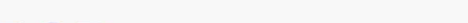
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|---|------------------------|-----------|--------------------------|
| ⊙ | SANITARY SEWER MANHOLE | — SAN — | SANITARY SEWER |
| ⊕ | STORM MANHOLE | — W — | WATER MAIN |
| ⊖ | CATCH BASIN ROUND | — ST — | STORM SEWER |
| ⊗ | CATCH BASIN SQUARE | — RD — | ROOF DRAIN |
| ⊙ | FIRE HYDRANT | — G — | UNDERGROUND GAS |
| ⊕ | WATER VALVE | — E — | UNDERGROUND ELECTRIC |
| ⊖ | GAS VALVE | — T — | UNDERGROUND TELEPHONE |
| ⊗ | LIGHT POLE | — FIB — | UNDERGROUND FIBER OPTICS |
| ⊕ | TELEPHONE PEDESTAL | — — — — — | OVERHEAD UTILITY |
| ⊖ | ELECTRIC MANHOLE | — SF — | SILT FENCE |
| + | SIGN | ⌘ | CONIFEROUS TREE |
| ⊕ | POWER POLE | ⊙ | DECIDUOUS TREE |
| ⊖ | GUY WIRE | | |

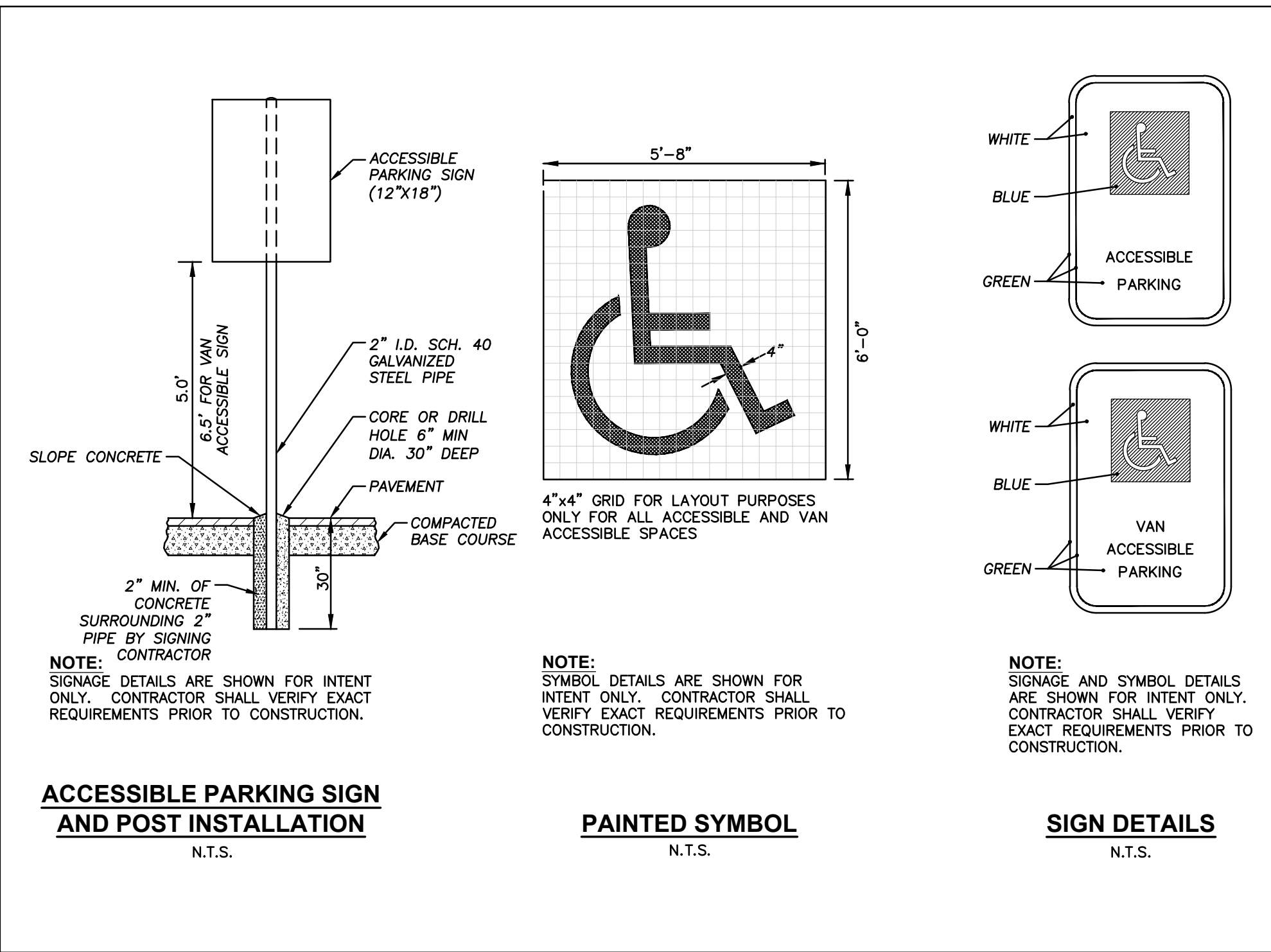
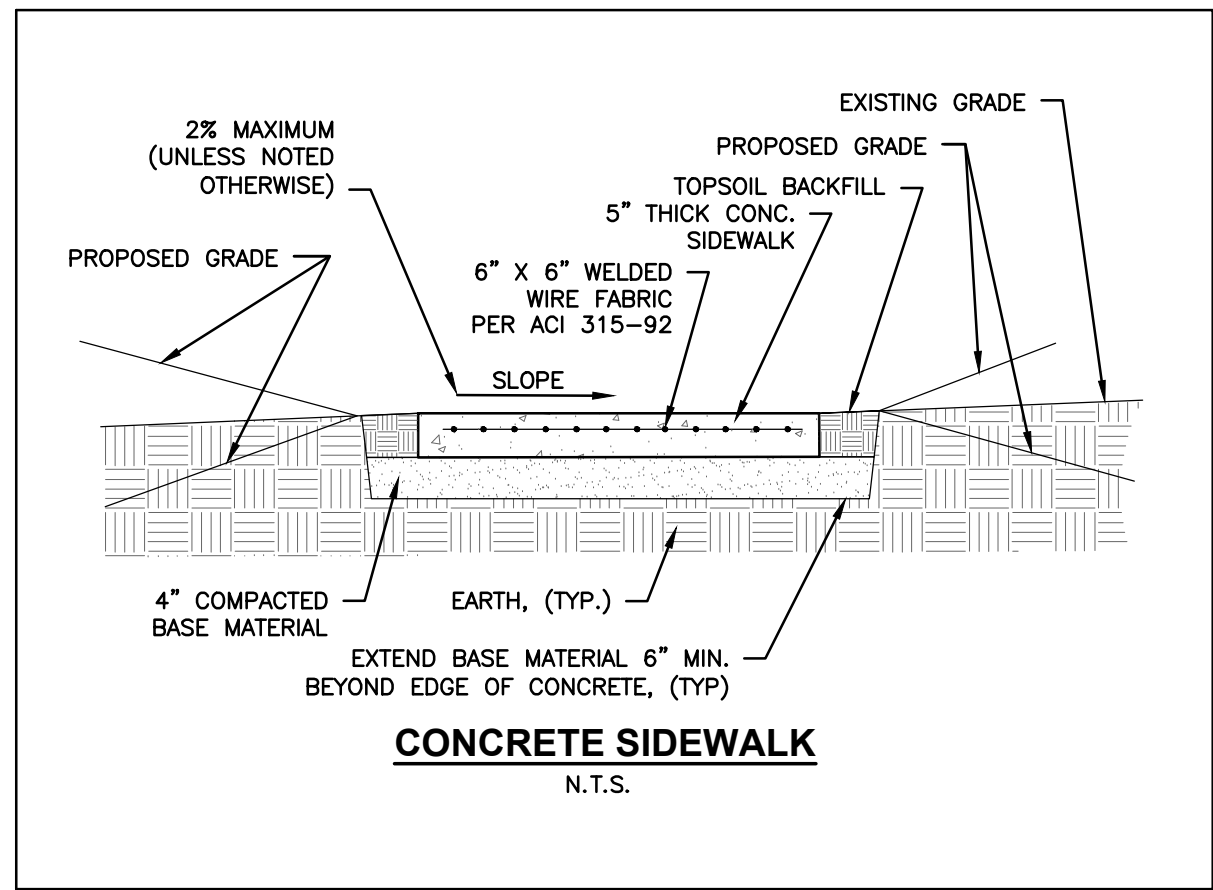
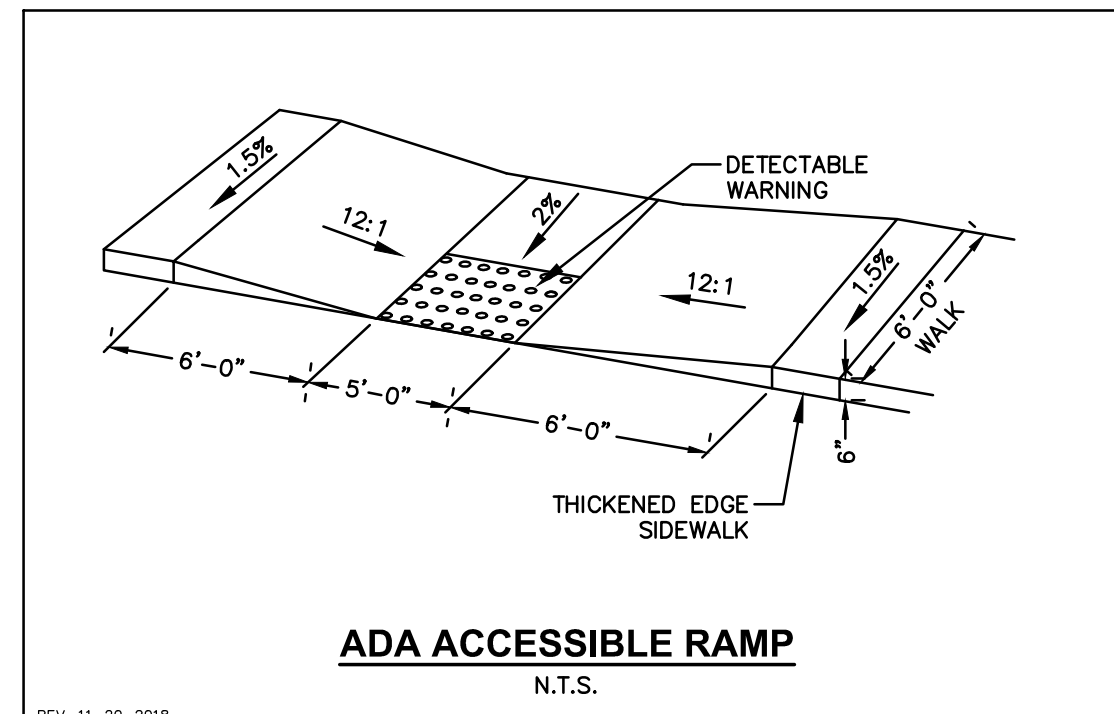
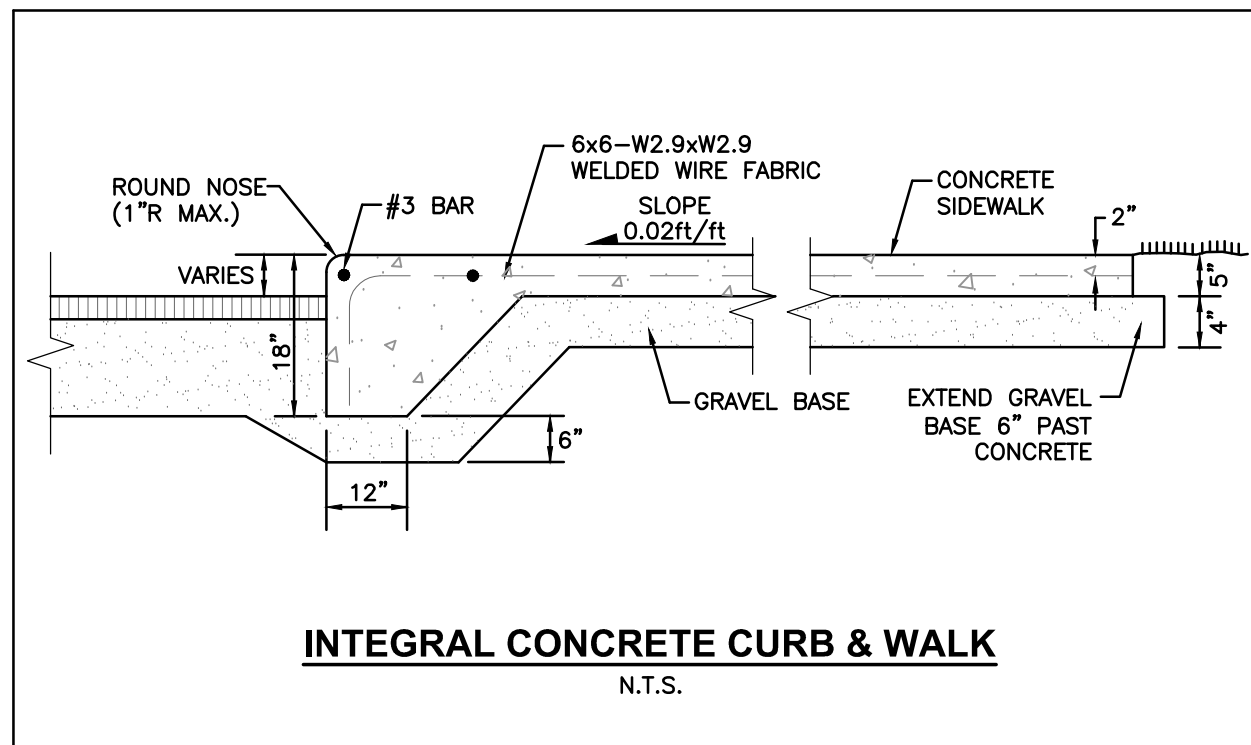
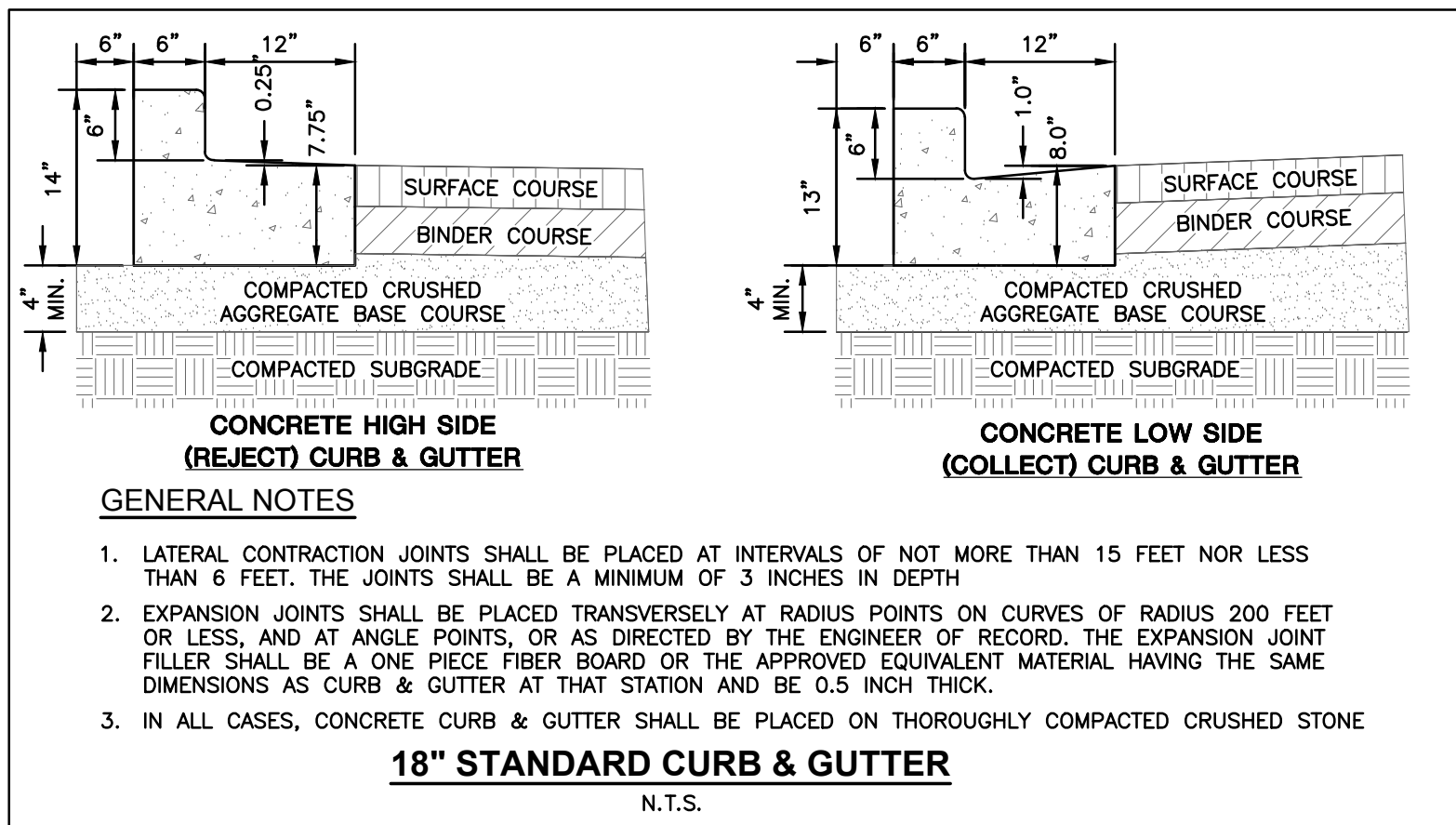
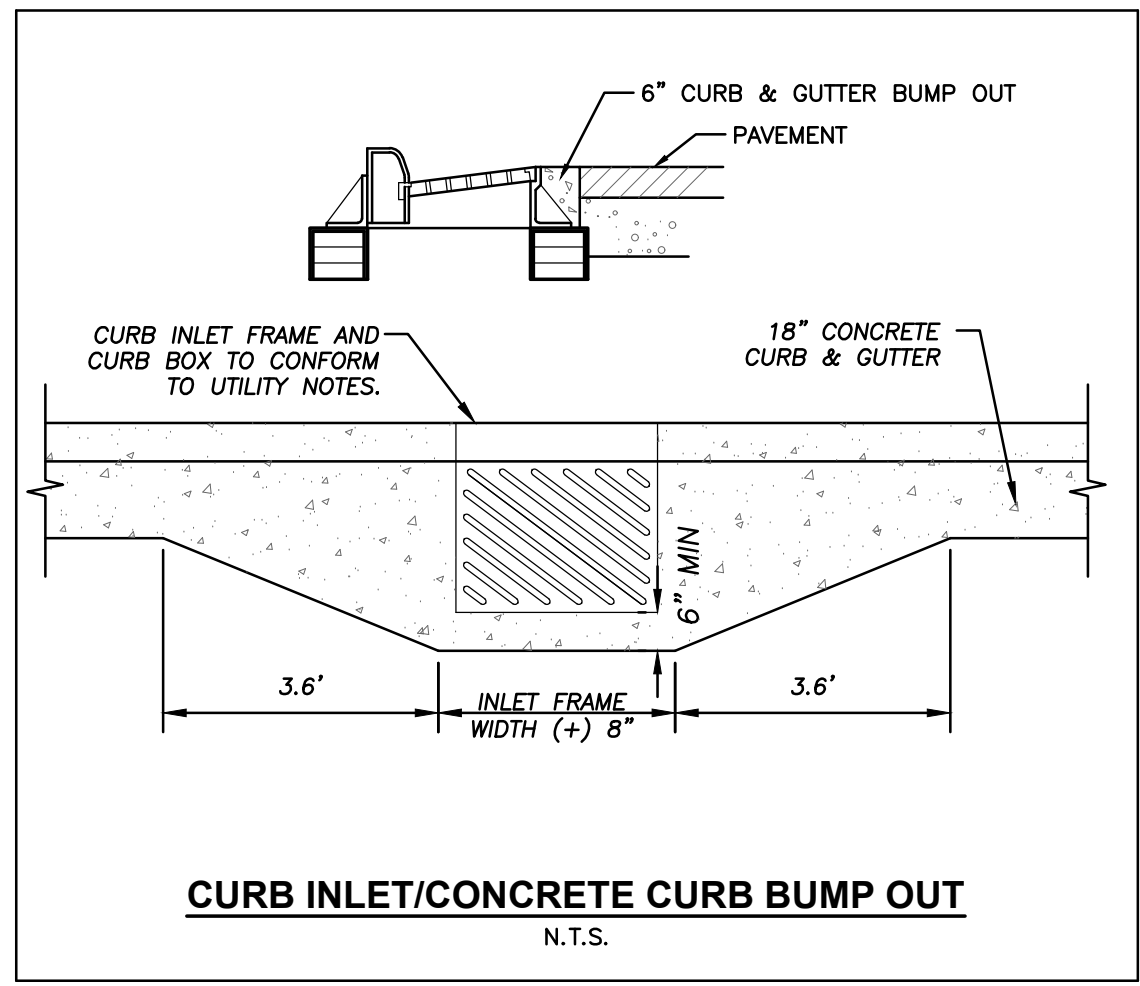


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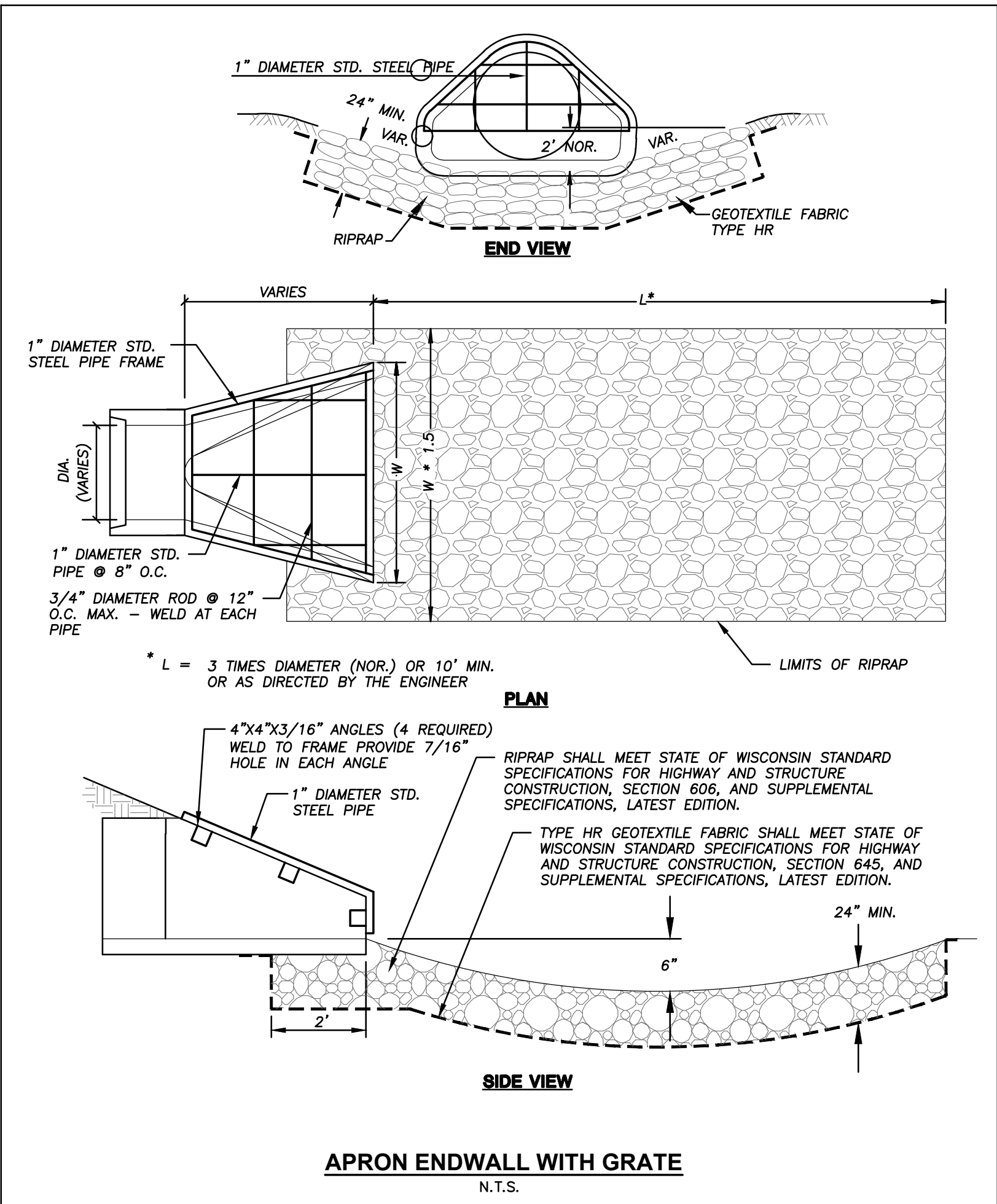
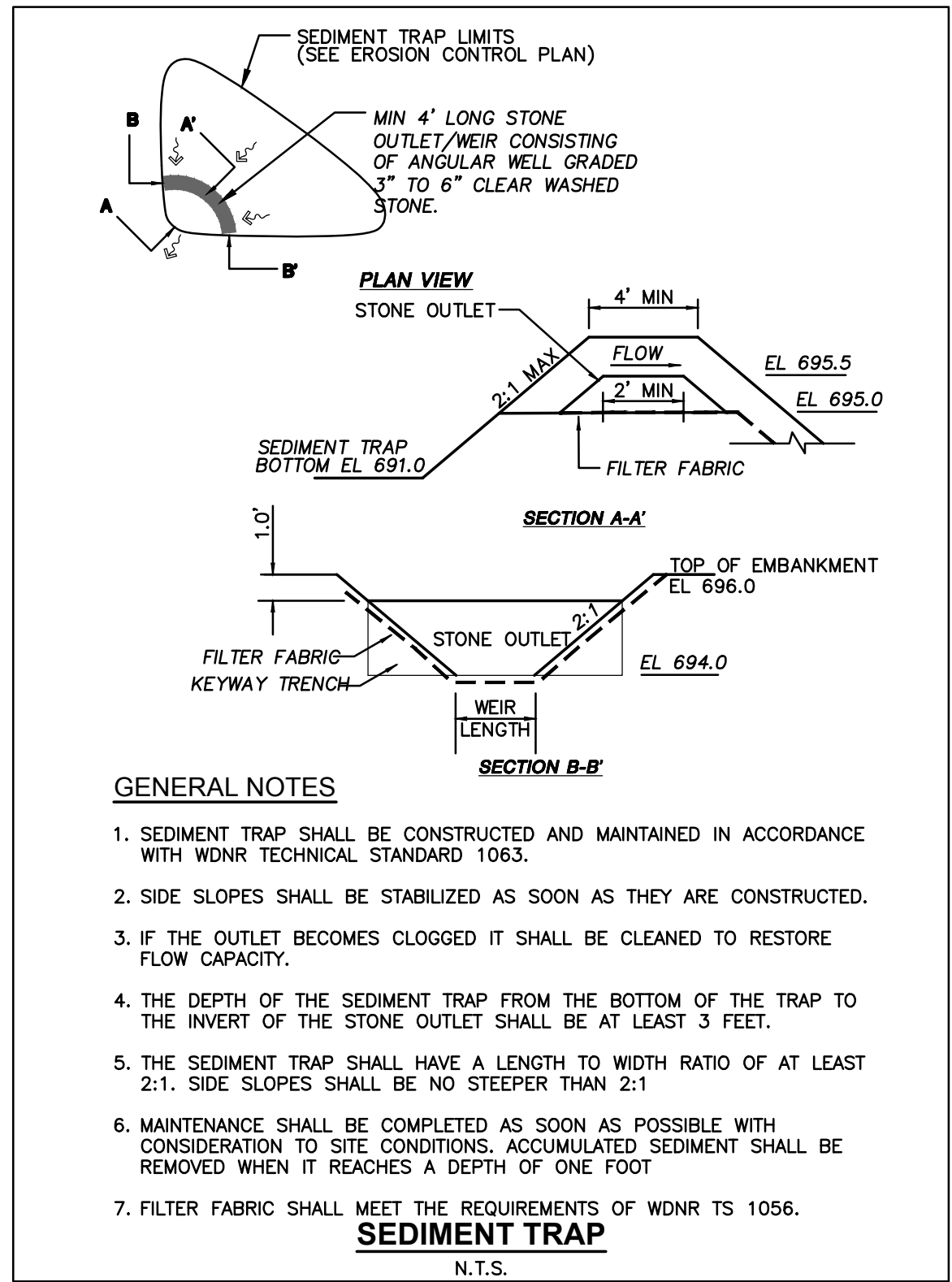


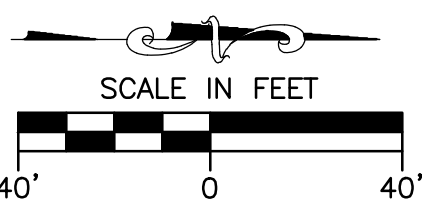
DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES STORM SEWER CALCULATIONS										Project Name: MP SYSTEMS				MILWAUKEE REGIONAL OFFICE W238 N1610 Busse Road, Suite 100 Waukesha, Wisconsin 53188 PH: (262) 513-0666 Fax: (262) 513-1232				MADISON REGIONAL OFFICE 161 Horizon Drive, Suite 101 Verona, Wisconsin 53593 PH: (608) 848-5060 Fax: (608) 848-2255																		
										Project Location: East Troy				Performed by: RN				Date: 9/15/2021				JSD Project Number: 21-10885														
ANLMI																																				
Structure abbreviations are as follows: ES - End Section, MH - Manhole, FI - Field Inlet, TD - Trench Drain, BC - Building Connection, RD - Roof Drain, STB - Stub																																				
PIPE LOCATION					CONTRIBUTING AREA					PIPE FLOW					PIPE DATA					PIPE CAPACITY INFORMATION					DROP					ELEVATIONS					COVER TO CROWN (FT)	
UP STRUCT	DOWN STRUCT	ROOF (SQ FT)	PAVED (SQ FT)	GRASS (SQ FT)	AREA RUNOFF (GPM)	TOTAL FLOW (GPM)	LENGTH (FT)	DIA. (IN)	SLOPE (FT/FT)	Manning's n PVC=0.011 HDPE=0.012 RFR=0.013	REQD DROP	ACTUAL DROP	ACTUAL FLOW PARTS FULL	VEL (FPS)	FULL FLOW (CFS)	THRU STRUCT (FT)	RIM/(F/L) UP	INVERT UP	INVERT DOWN																	
INL 1	INL 2	0	30,000	0	1154	1154	2.57	90.3	12	0.0060	0.012	0.40	0.54	0.77	4.29	2.99	0.00	911.75	906.82	906.28	3.83															
INL 2	INL 3	0	63,976	0	1968	3122	6.96	184.0	18	0.0060	0.012	0.69	1.10	0.72	5.55	8.81	0.00	912.75	906.28	905.18	4.82															
INL 3	ES 4	0	45,777	0	1409	4531	10.10	209.3	18	0.0104	0.012	1.65	2.18	0.79	7.42	11.60	0.00	912.00	905.18	903.00	5.17															



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SIGN DETAILS
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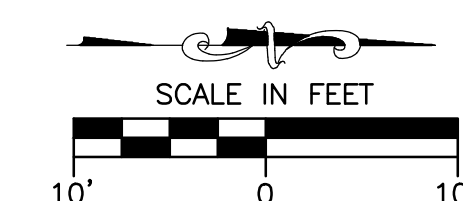
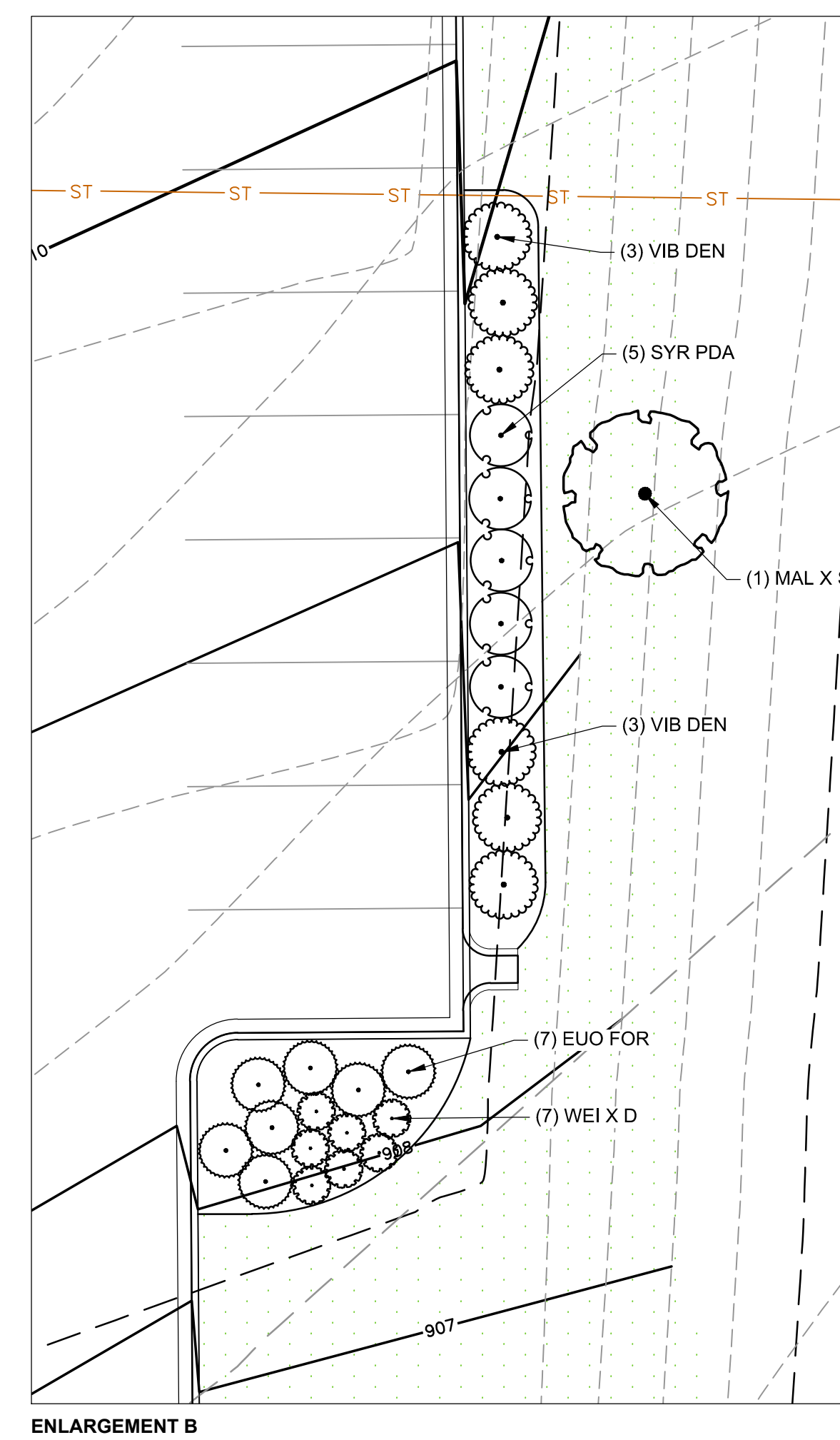
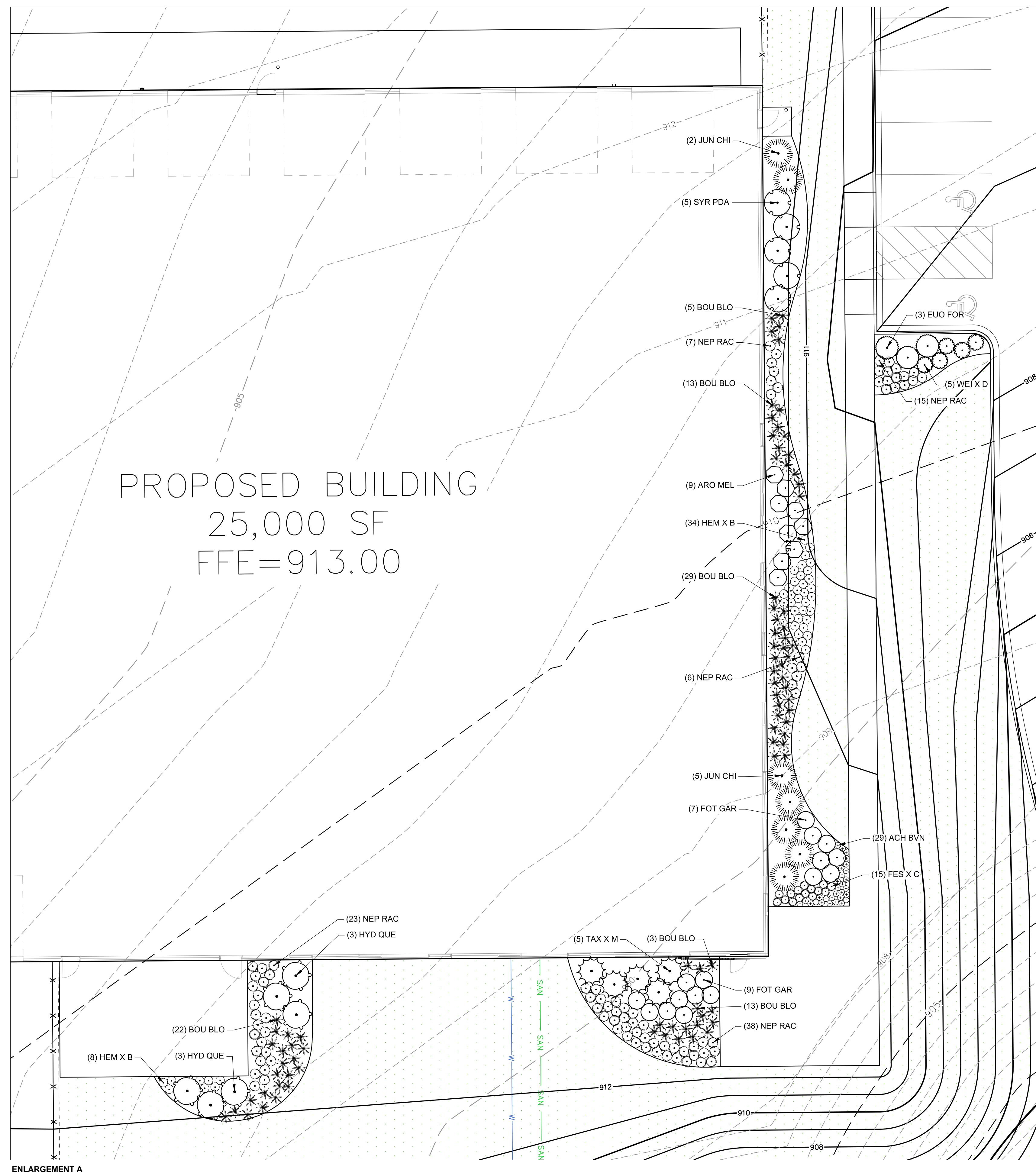


	REQUIRED	PROVIDED	REQUIRED FOR FUTURE EXPANSION
FOUNDATION LANDSCAPING 20 POINTS PER 100 LF OF BUILDING PERIMETER (CLIMAX TREES AND TALL TREES SHALL NOT BE USED TO MEET THIS REQUIREMENT) 6-FOOT SCREEN FOR ALL BUILDING APERTURENANCES (HVAC/UTILITIES, ETC.)	97 POINTS $(119 \text{ LF}/100=4.83, 20*4.83=96.6)$ YES	110 POINTS YES	30 POINTS $150 \text{ LF}/100=1.50, 20*1.50=30$ YES
STREET FRONTS LOCATED WITHIN 10- FEET OF THE ROW 20 POINTS PER 100 LF OF STREET FRONTAGE 50% OF POINTS SHALL BE CLIMAX OR TALL TREES 30% OF POINTS SHALL BE MEDIUM TREES	YES 51 POINTS $(256 \text{ LF}/100=2.56, 20*2.56=51.20)$ YES YES	60 POINTS YES NO	
PAVED AREAS LOCATED WITHIN 10- FEET OF THE PAVED AREA CONTINUOUS VISUAL SCREEN OF PARKING AREAS FROM ROW AT A MINIMUM OF 40 INCHES 360 SF OF LANDSCAPE AREA FOR EVERY 100 PAVED AREA LANDSCAPE POINTS 40 POINTS FOR EVERY 20 PARKING STALLS OR 10,000 SF OF PAVEMENT (WHICHEVER IS GREATER) 30% OF POINTS SHALL BE CLIMAX OR TALL TREES 40% OF POINTS SHALL BE SHRUBS 400 SF PARKING LOT ISLANDS AT AISLE ENDS 1 LANDSCAPE ISLAND (400 SF MIN.) IN EACH PARKING AISLE FOR EVERY 20 CARS IN THAT AISLE	YES 266 SF $(74/100=0.74, 360 \text{ SF}*0.74=266.40)$ 74 POINTS $(18648 \text{ SF}/10000=1.86, 40*1.86=74.40)$ 22 POINTS 30 POINTS YES YES	YES YES 298 SF 95 POINTS 45 POINTS 50 POINTS YES YES	
DEVELOPED LOTS 5 POINTS PER 1,000 SF OF GFA	125 POINTS $(25000 \text{ GFA}/1000 \text{ SF}=25, 25*5=125)$	120 POINTS	150 POINTS $(30000 \text{ GFA}/1000=30, 30*5=150)$
BUFFERYARD, ABUTTING SR-4 (WEST & SOUTH) 0.60 OPACITY, OPTION F-1 221 LANDSCAPE POINTS PER 100 LF 20+ FOOT BUFFERYARD MINIMUM 6' SOLID FENCE	YES WEST: 2,915 POINTS $(1319 \text{ LF}/100=13.19, 13.19*221=2914.99)$ SOUTH: 1,236 POINTS $(582 \text{ LF}/100=5.82, 5.82*221=1236.22)$ YES YES	490 POINTS $(6 \text{ CLIMAX TREES}=2850, 3 \text{ EVERGREEN TREES}=40)$ 225 POINTS $(3 \text{ CLIMAX TREES}=1200)$	



LEGEND

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISASTROUS ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW – NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANTING OPERATION, REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
8. DO NOT COME PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.



LEGEND

⊙	SANITARY SEWER MANHOLE	— SAN —	SANITARY SEWER
⊙	STORM MANHOLE	— W —	WATER MAIN
⊕	CATCH BASIN ROUND	— ST —	STORM SEWER
⊕	CATCH BASIN SQUARE	— RD —	ROOF DRAIN
⊕	FIRE HYDRANT	— G —	UNDERGROUND GAS
H	WATER VALVE	— E —	UNDERGROUND ELECTRIC
⊗	GAS VALVE	— T —	UNDERGROUND TELEPHONE
⊗	LIGHT POLE	— FIB —	UNDERGROUND FIBER OPTICS
□	TELEPHONE PEDESTAL	— — — — —	OVERHEAD UTILITY
⊕	ELECTRICAL MANHOLE	— SF —	SILT FENCE
+	SIGN		CONIFEROUS TREE
⊗	POWER POLE		DECIDUOUS TREE
Y	GUY WIRE		

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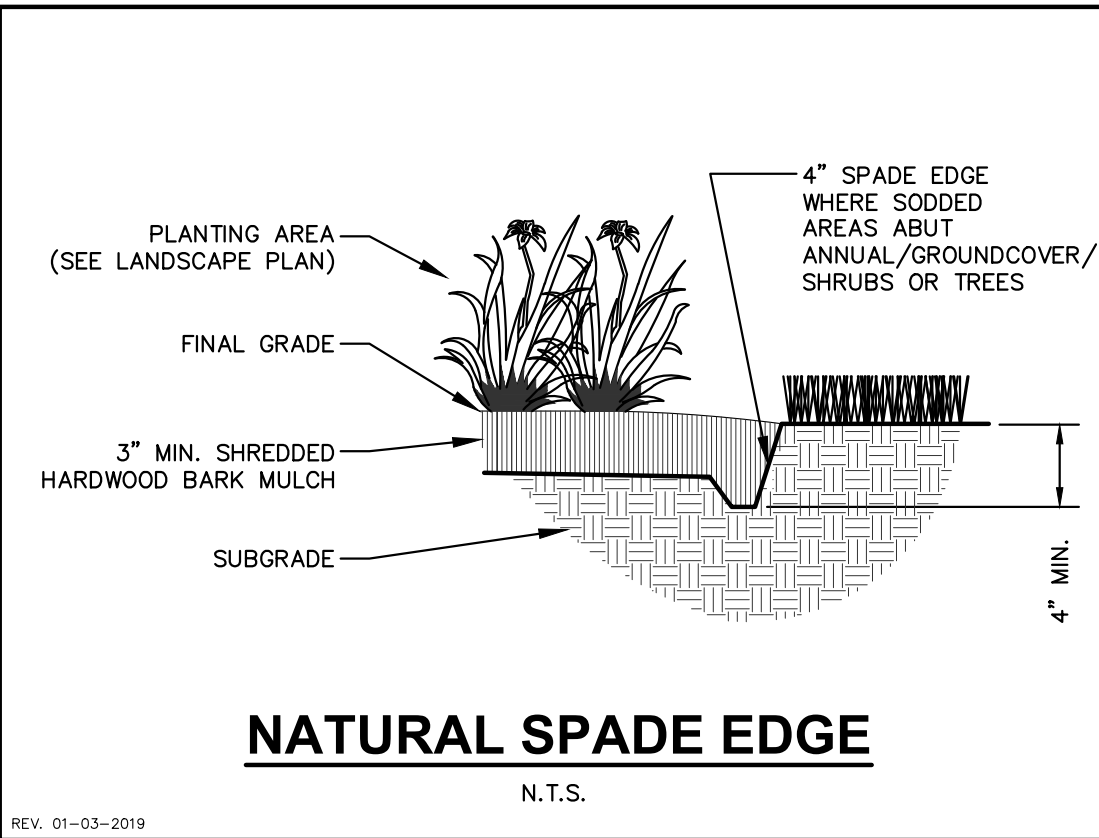
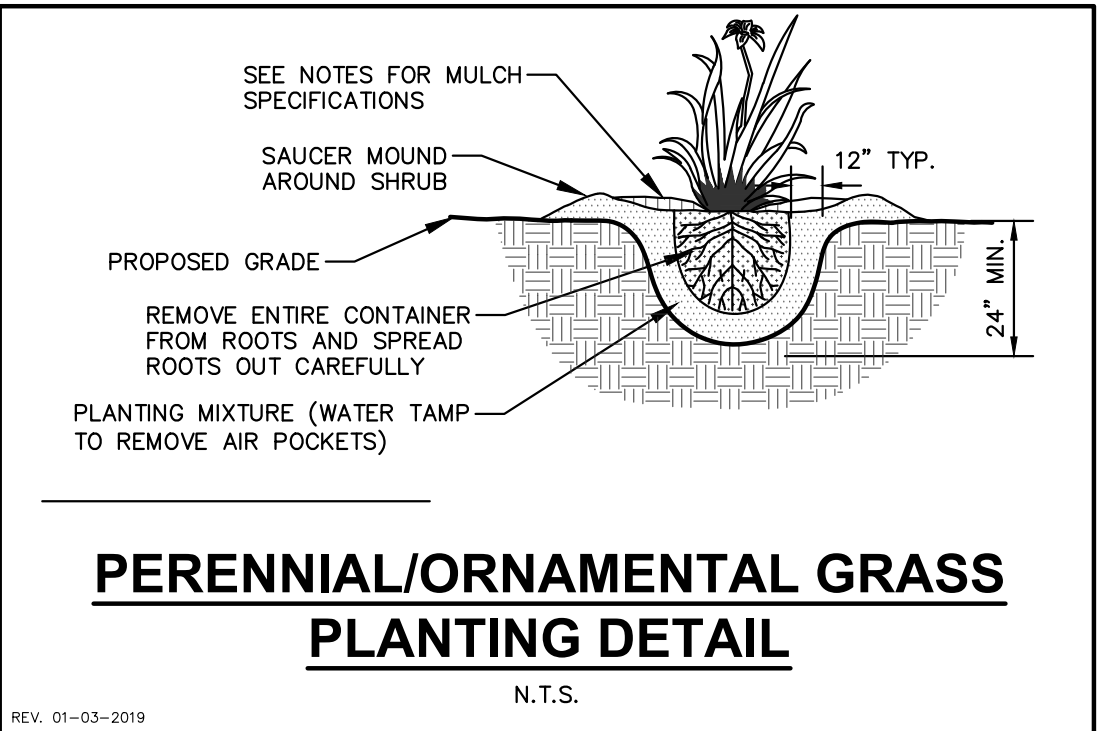
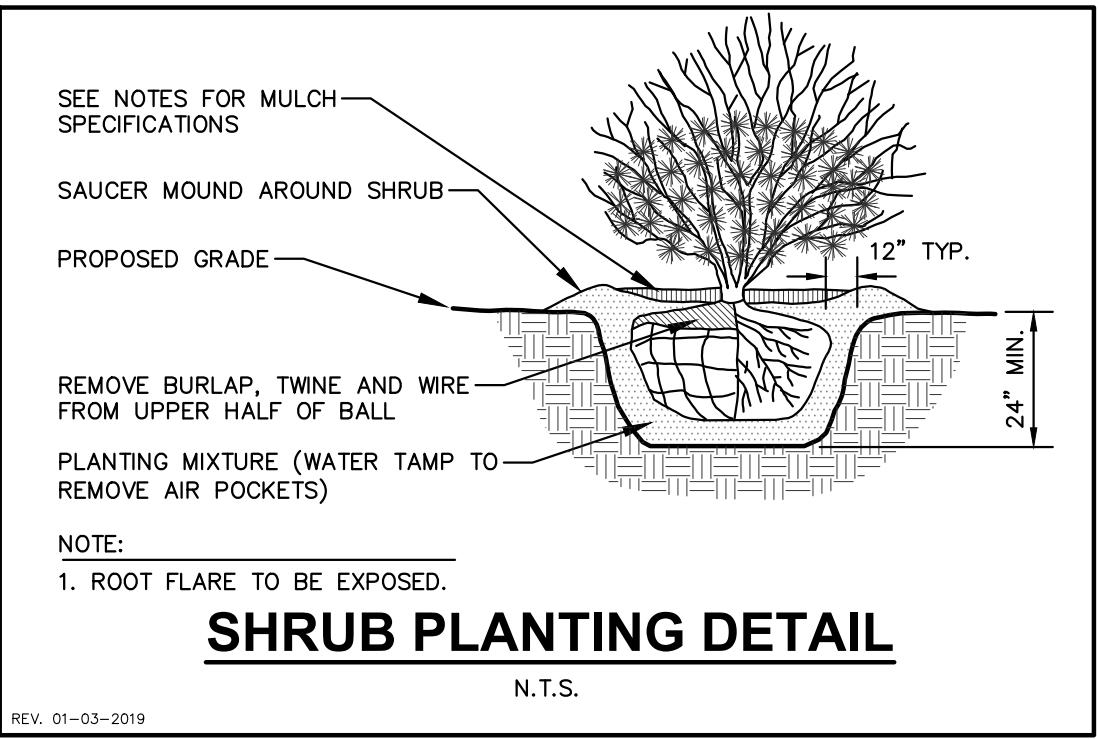
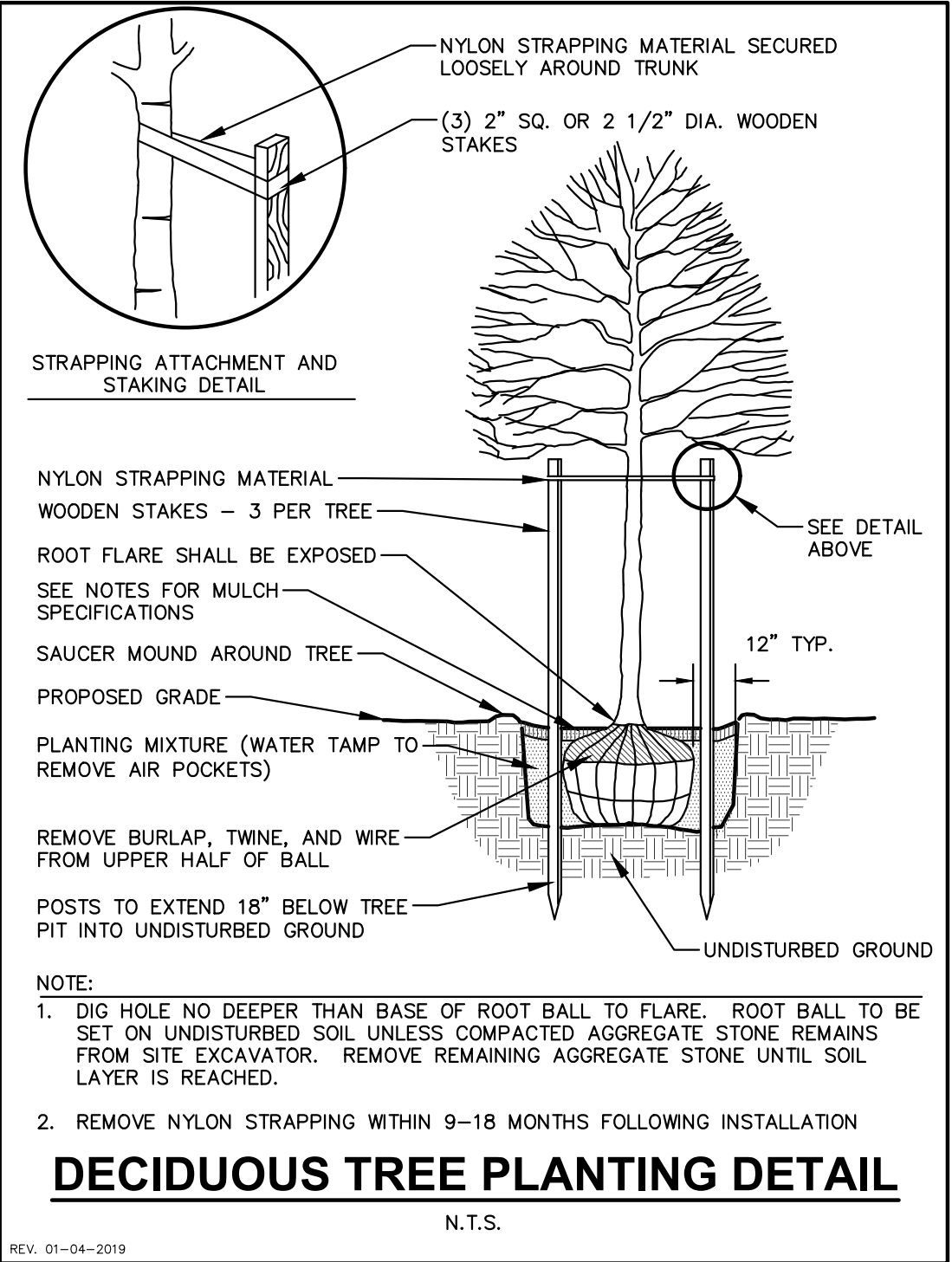
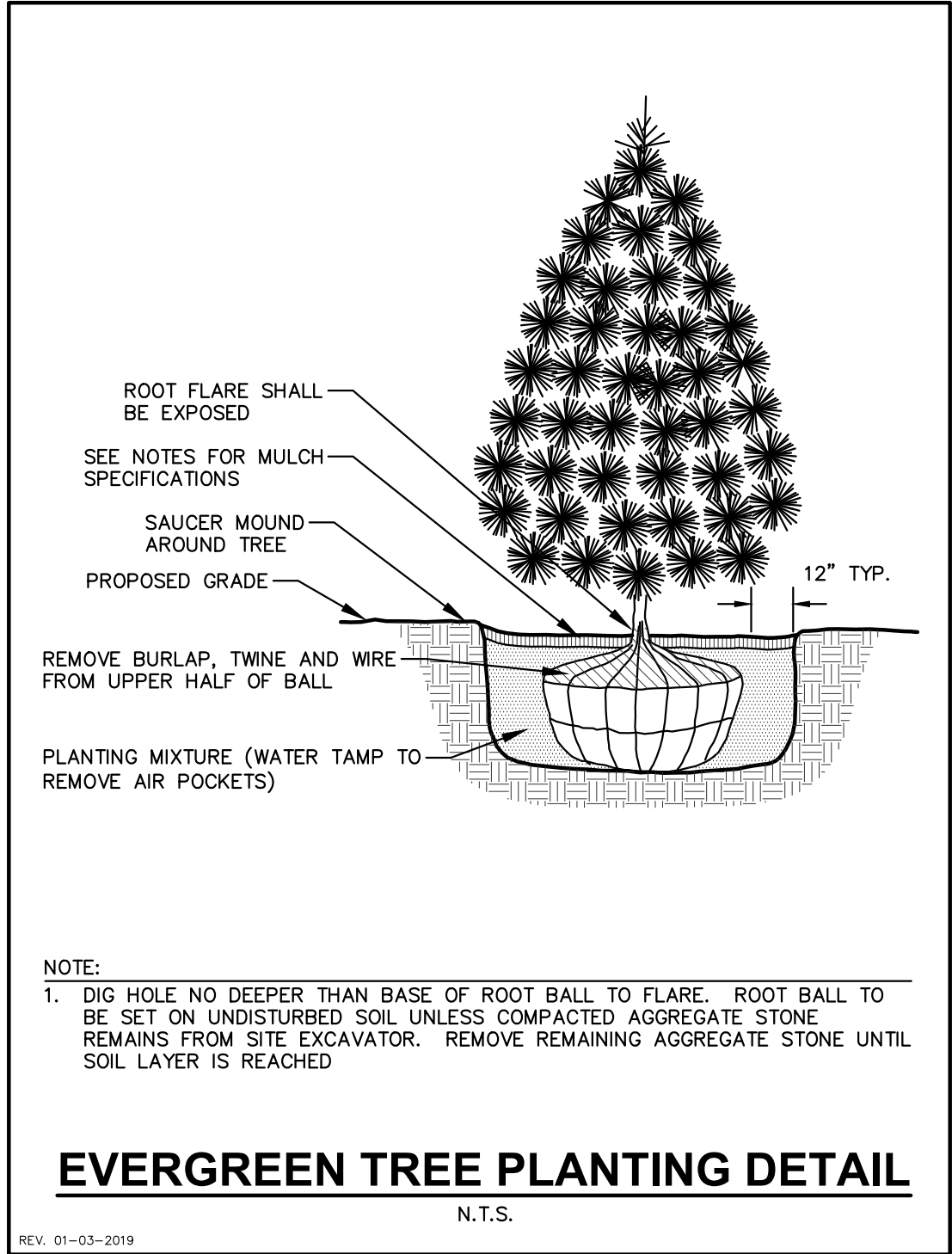
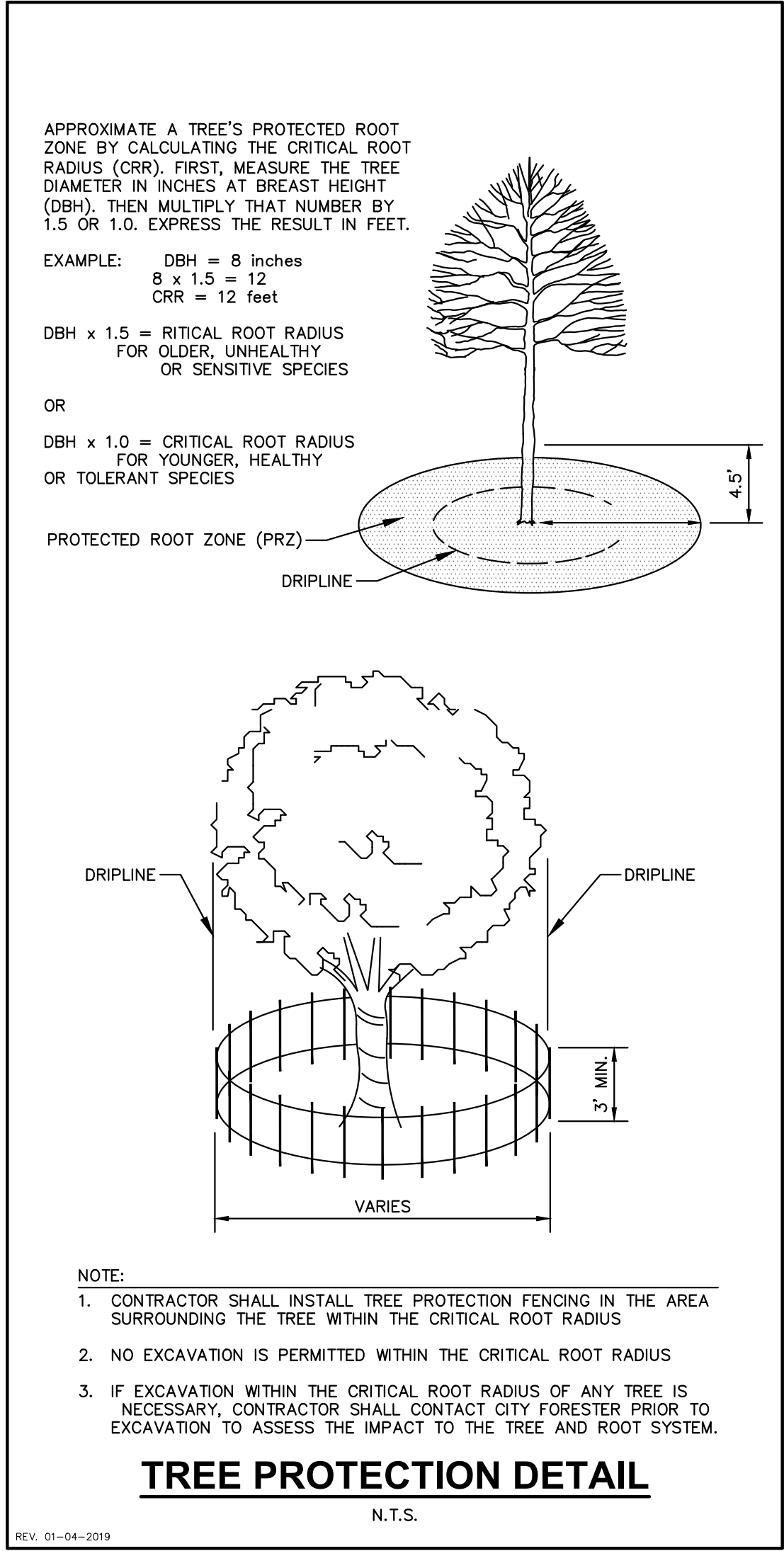
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WAUKESHA, WISCONSIN 53188

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GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON", DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.

SEEDING

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPETS "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

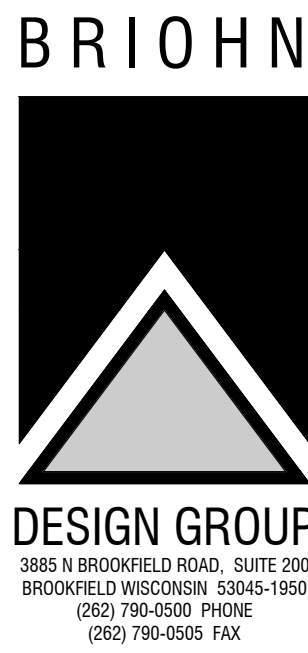
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



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LANDSCAPE NOTES & DETAILS

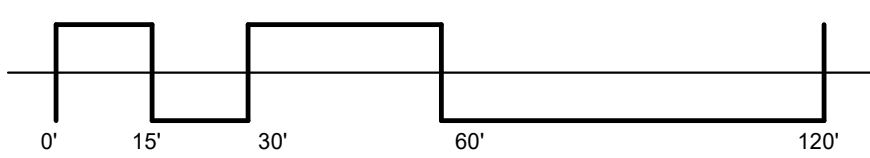
NEW BUILDING FOR:
MP SYSTEMS, INC.
EAST TROY BUSINESS PARK II
 VILLAGE OF EAST TROY, WI

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DRAFT - NOT FOR CONSTRUCTION



1 SITE PLAN OVERALL OPTIONS
1" = 100'-0"



APPLICABLE
TO ALL
PLAN VIEWS

Revision

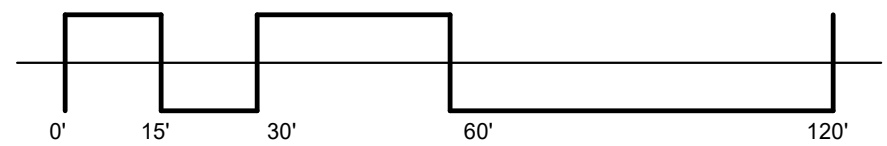
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① ENLARGED SITE PLAN
1" = 50'-0"



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PROGRESS SET
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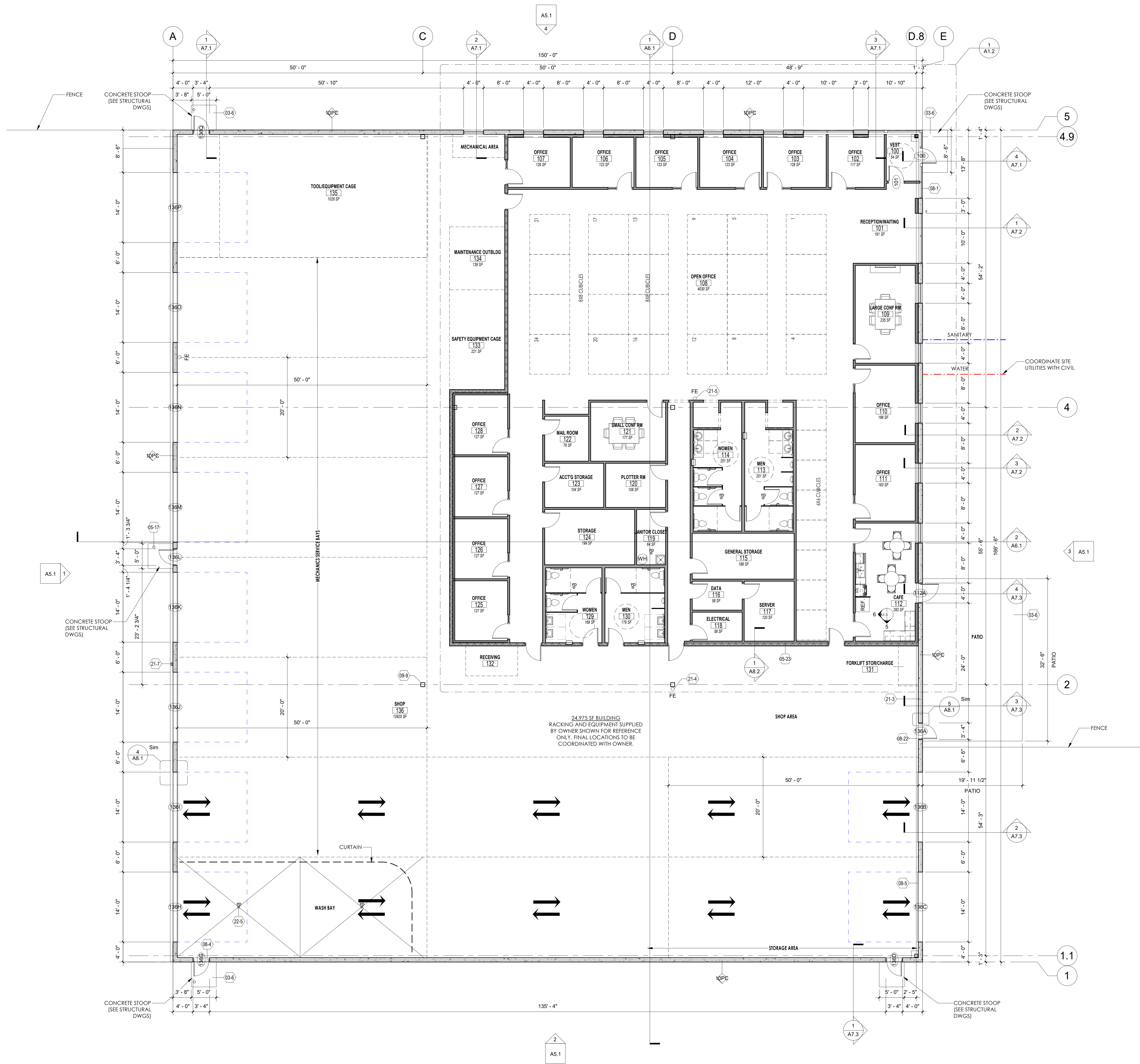
Revision

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NEW BUILDING FOR:
MP SYSTEMS, INC.
EAST TROY BUSINESS PARK II
VILLAGE OF EAST TROY, WI 53120

SHEET TITLE

**ENLARGED
ARCHITECTURAL SITE PLAN**



GENERAL NOTES - NEW FLOOR PLAN

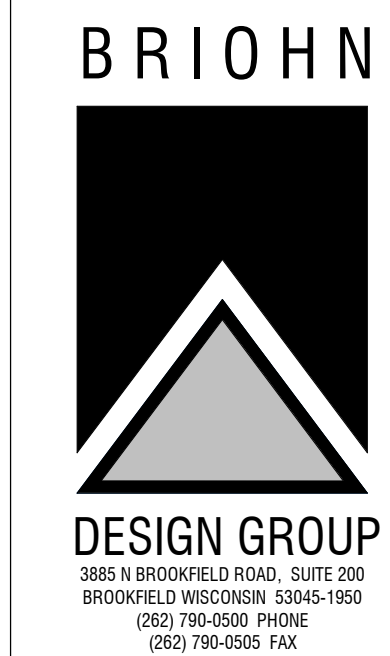
1. VERIFY ALL CONDITIONS, DIMENSIONS AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO BRIOHN'S ATTENTION PRIOR TO FABRICATION/CONSTRUCTION BEGINS.
2. VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3. AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION.
4. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
5. SEE SHEET A0.1 FOR ADA REQUIREMENTS AND MOUNTING HEIGHTS.
6. SEE SHEET A1.2 FOR PARTITION TYPES AND FLOOR PLAN LEGEND.
7. EXTERIOR WALLS IN OFFICE AREA TO BE FURRED OUT WITH STUD HELD 1" OFF FACE OF EXTERIOR WALL. CAVITY FILLED WITH BATT INSULATION. SEE FLOOR PLAN FOR PARTITION TYPE.
8. FURNITURE AND APPLIANCES PROVIDED BY TENANT AND ARE SHOWN FOR REFERENCE ONLY.
9. ALL WALLS TO BE PAINTED PROVIDING FRP WAINSCOT WHERE CALLED FOR.
10. ALL FLOORS THROUGHOUT ARE TO BE SEALED CONCRETE WITH CAULKED CONTROL JOINTS.
11. EXPOSED STEEL DECKS, JOISTS, GIRDERS, AND COLUMNS ARE TO BE PRIME GREY.

KEYNOTE LEGEND	
VALUE	FLOOR PLAN CODED NOTES
03-6	CONCRETE STOOP
05-17	6" DIAMETER X 4'-0" TALL CONCRETE FILLED STEEL PIPE BOLLARDS, PAINTED SAFETY YELLOW.
05-23	OSHA COMPLIANT METAL ROOF ACCESS LADDER.
08-1	ALUMINUM STOREFRONT ENTRY SYSTEM
08-4	PAINTED HOLLOW METAL SERVICE DOOR AND FRAME WITH EMERGENCY EGRESS CODE REQUIRED LIGHTING (COLOR TO MATCH WALL COLOR).
08-5	INSULATED OH DOOR, FACTORY FINISHED WITH VISION WINDOWS. 6" DIAMETER X 4'-0" TALL CONCRETE FILLED STEEL PIPE BOLLARD(S), PAINTED SAFETY YELLOW
08-22	3'-0" X 7'-0" INSULATED AND PAINTED GALVANIZED HOLLOW METAL DOOR AND FRAME WITH ADA HARDWARE AND EMERGENCY EGRESS CODE REQUIRED LIGHTING - PAINTED TO MATCH ADJACENT WALL COLOR.
09-9	EXPOSED COLUMN(S) TO BE PAINTED
21-3	SPRINKLER RISER AND FIRE DEPARTMENT CONNECTION, INCLUDE CODE REQUIRED ALARMS. COORDINATE WITH FIRE MARSHAL.
21-4	PROVIDE COLUMN-MOUNTED FIRE EXTINGUISHERS. PROVIDE SAFETY STRIPING ON ALL COLUMNS WITH EXTINGUISHERS. COORDINATE FINAL QUANTITY AND LOCATIONS WITH FIRE MARSHAL.
21-5	PROVIDE WALL-MOUNTED FIRE EXTINGUISHERS. COORDINATE FINAL QUANTITY AND LOCATIONS WITH FIRE MARSHAL.
21-7	FIRE DEPARTMENT CONNECTION AND ALARM AS REQUIRED BY LOCAL GOVERNING MUNICIPALITY - REFER FLOOR PLAN.
22-5	FLOOR DRAIN (TO SANITARY) - SEE PLUMBING FOR RIM ELEVATIONS

FLOOR PLAN LEGEND

ROOM	ROOM NAME	NEW PARTITION
100	ROOM NUMBER	
100	DOOR NUMBER	NEW MASONRY CONSTRUCTION
1	PARTITION TYPE	NEW DOOR & FRAME
1	PLAN NOTES	
1	SURFACE MOUNTED FIRE EXTINGUISHER	
F.E.C.	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER	
+	EXIT LIGHT	
+	EXIT LIGHT (DIRECTIONAL)	

1 OVERALL FLOOR PLAN
1/8" = 1'-0"



OVERALL FLOOR PLAN

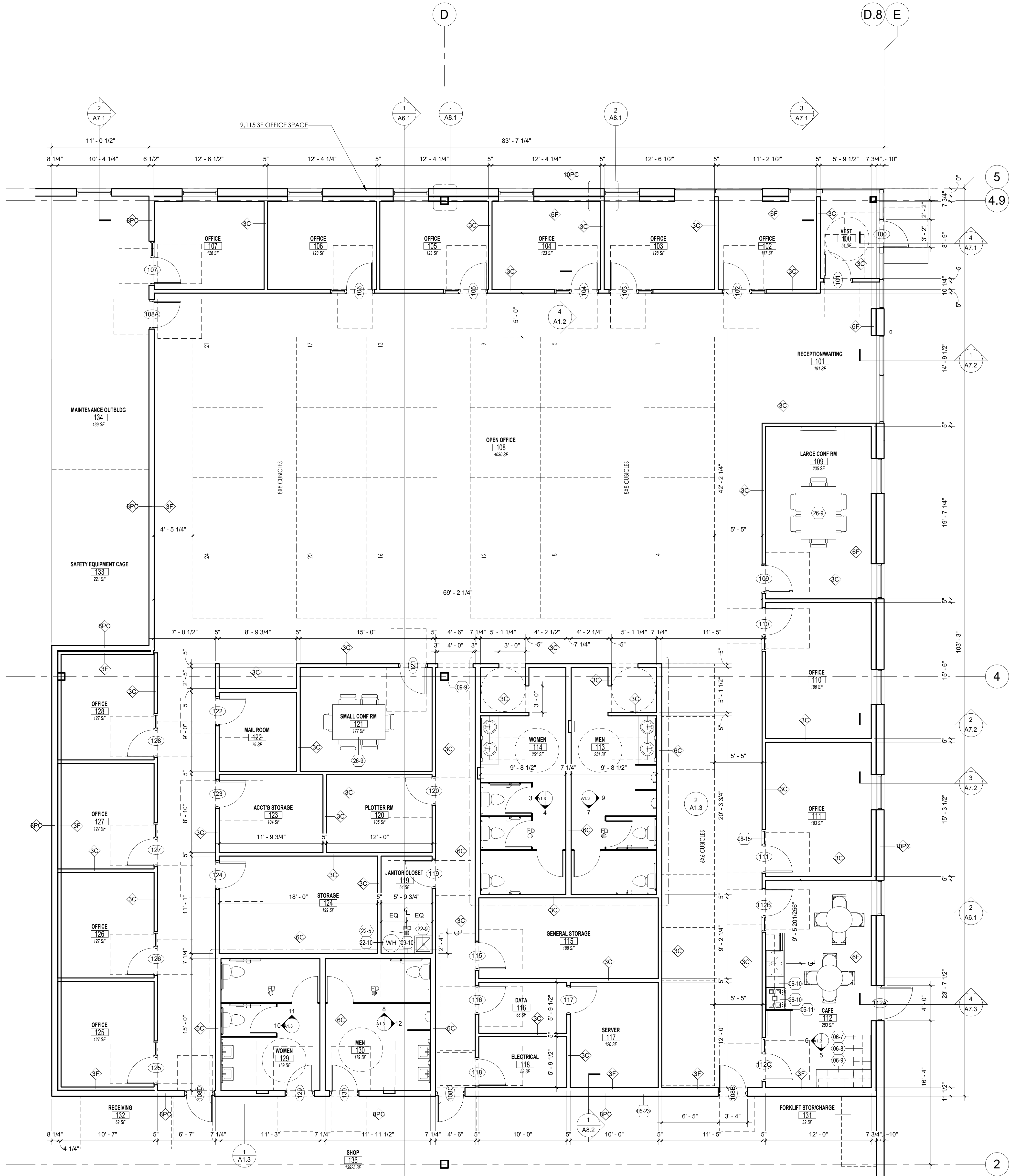
NEW BUILDING FOR:
MP SYSTEMS, INC.
EAST TROY BUSINESS PARK II
VILLAGE OF EAST TROY, WI 53120

PROGRESS SET
NOT FOR CONSTRUCTION

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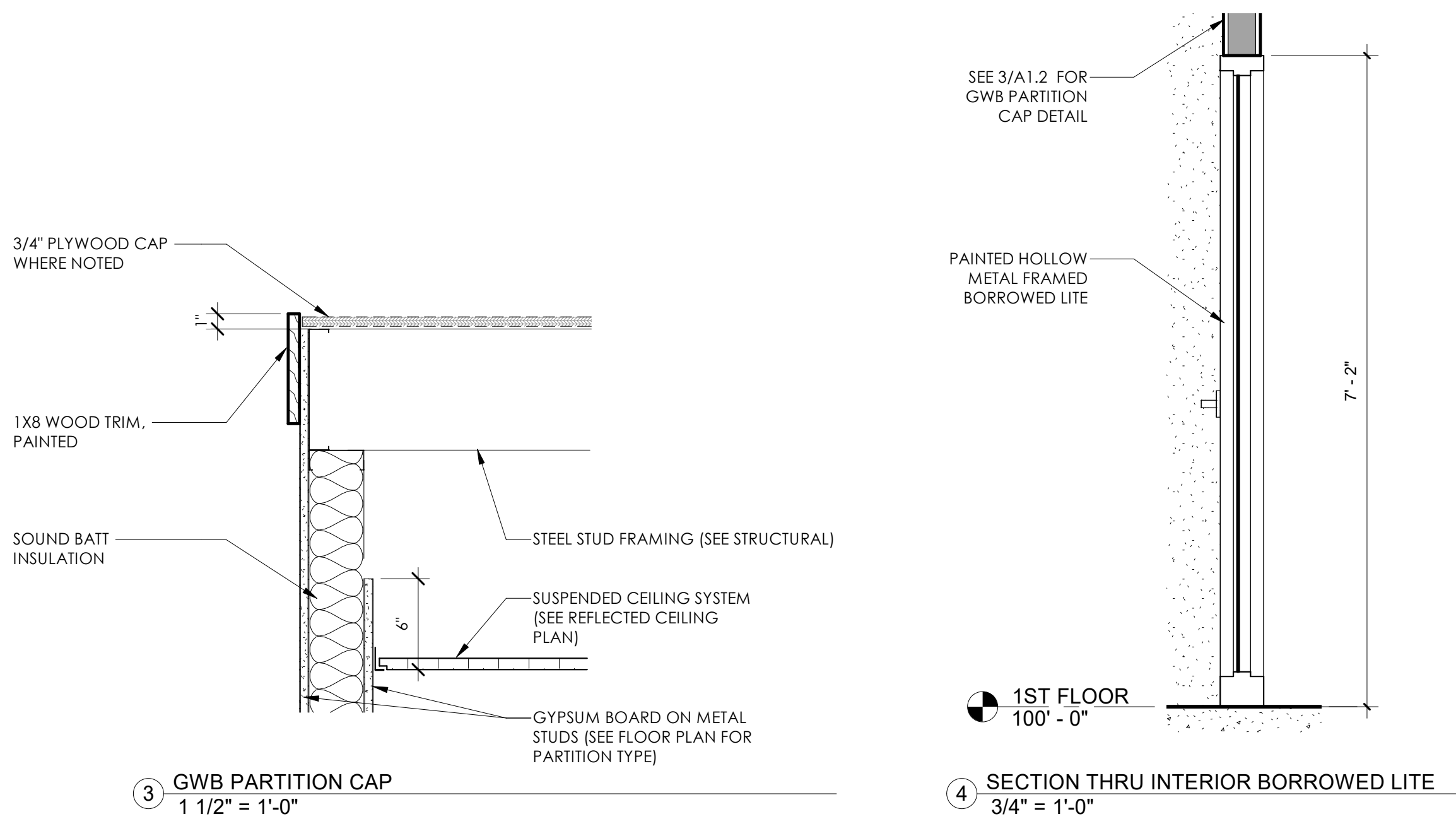
JOB: 3335
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CHECKED: CW
DATE: 09-24-2021
SHEET:

A1.1



FLOOR PLAN LEGEND		
ROOM	ROOM NAME	
100	DOOR NUMBER	NEW PARTITION
100	PARTITION TYPE	NEW MASONRY CONSTRUCTION
1	PLAN NOTES	NEW DOOR & FRAME
⊕	SURFACE MOUNTED FIRE EXTINGUISHER	
⊕	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER	
⊕	EXIT LIGHT	
⊕	EXIT LIGHT (DIRECTIONAL)	

KEYNOTE LEGEND	
05-23	OSHA COMPLIANT METAL ROOF ACCESS LADDER.
06-7	P.LAM. BASE CABINETS W/ADJ. SHELF
06-8	P.LAM. UPPER CABINETS W/ADJ. SHELVES AND APRON - PROVIDE LED STRIP LIGHTING
06-9	P.LAM. COUNTERTOP - NO BACKSPLASH
06-10	P.LAM. COUNTERTOP W/BACKSPLASH
06-11	Refrigerator divider panel
08-15	FULL HEIGHT TEMPERED BORROWED LITE WITH DOOR
09-9	EXPOSED COLUMN(S) TO BE PAINTED
09-10	FRP WALL FINISH TO 4'-0" A.F.F. BEHIND WALLS OF MOP SINK
22-5	FLOOR DRAIN (TO SANITARY) - SEE PLUMBING FOR RIM ELEVATIONS
22-9	FLOOR MOUNTED WATER HEATER, W/ FRP ON WALLS BEHIND FIXTURE TO 48" AFF; EXTEND FRP 24" BEYOND FIXTURE WIDTHS. FLOOR MOUNTED WATER HEATER. SEE PLUMBING DRAWINGS.
22-10	FLOOR MOUNTED WATER HEATER, W/ FRP ON WALLS BEHIND FIXTURE TO 48" AFF; EXTEND FRP 24" BEYOND FIXTURE WIDTHS. FLOOR MOUNTED WATER HEATER. SEE PLUMBING DRAWINGS.
26-9	CONTRACTOR TO PROVIDE CONDUIT IN WALL OR FLOOR FOR TENANT PROVIDED FURNITURE. TENANT TO PROVIDE VOICE/DATA CABLING.
26-10	PROVIDE POWER FOR ALL EQUIPMENT INCLUDING REFRIGERATOR, VENDING MACHINES, COFFEE MAKER, MICROWAVES AND OTHER KITCHEN EQUIPMENT PROVIDED BY TENANT.



PARTITION TYPES									
TAG	STUD TYPE	STUD HEIGHT	INSULATION	VAPOR BARRIER	NOTED SIDE SURFACE MATERIAL	NOTED SIDE SURFACE HEIGHT	OPPOSITE SIDE SURFACE MATERIAL	OPPOSITE SIDE SURFACE HEIGHT	REMARKS
3C	4 5/8" STEEL STUDS	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	4 1/2" SOUND BATI	---	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	---
3F	3 5/8" STEEL FURRING	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	3 1/2" BATI	X	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	---	---	HOLD STEEL STUDS 1" OFF INTERIOR FACE OF EXTERIOR PRECAST WALL U.N.O.
6C	6" STEEL STUDS	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	6" SOUND BATI	---	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	---
6F	6" STEEL FURRING	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	6" BATI	X	5/8" TYPE "X" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	---	---	HOLD STEEL STUDS 1" OFF INTERIOR FACE OF EXTERIOR PRECAST WALL U.N.O.
8PC	UNINSULATED PRECAST	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	---	---	---	---	---	---	ALTERNATE: PROVIDE 8" CMU, PAINTED
10PC	UNINSULATED PRECAST	TO UNDERSIDE OF STRUCTURE (15'-0" +/-)	---	---	---	---	---	---	---

1. ALL STEEL STUDS SHALL BE 25 GAUGE STUDS @ 16" O.C. (UNLESS NOTED OTHERWISE) - SEE STRUCTURAL FOR GAUGE AND SIZE

2. ALL EXPOSED GYPSUM WALL BOARD SHALL BE TAPE & COATED SMOOTH, READY FOR PAINT - LEVEL 4 FINISH

3. USE 6" METAL STUDS AND INSTALL MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL "WET WALL" LOCATIONS - UNO

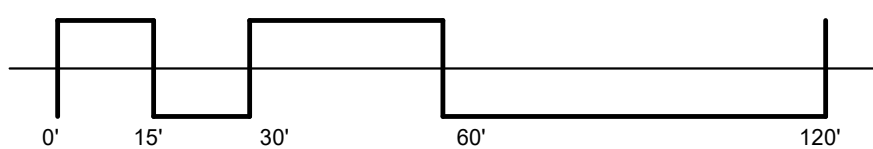
4. AT EXTERIOR WALLS, RETURN GYPSUM WALL BOARD INTO WINDOW JAMBS AND HEAD

5. STUDS EXTENDED TO DECK AND/OR JOIST SHALL HAVE A SLP CONNECTION TO ALLOW FOR DEFLECTION

6. PROVIDE CONTROL JOINTS IN GYPSUM FINISHES SUCH THAT THE MAXIMUM CONTROL JOIST SPACING FOR WALLS AND CEILINGS

7. PROVIDE PERIMETER RELIEF IS 30 FEET, WITH PERIMETER RELIEF, CONTROL JOINT SPACING TO BE 50 FEET

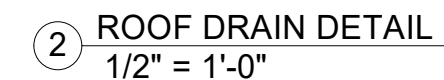
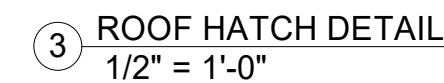
NOTE: AT FURRING WALLS AT THE EXTERIOR PRECAST WALL PANELS, PROVIDE A 1" GAP BETWEEN PRECAST WALL INTERIOR SIDE AND STUD STUD FURRING SUCH THAT THE FURRING WALL IS SUPPORTED INDEPENDENTLY WITH SLP CONNECTIONS.

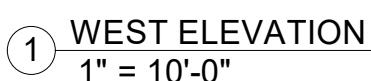
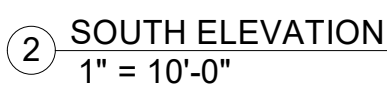
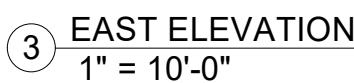
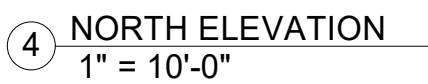




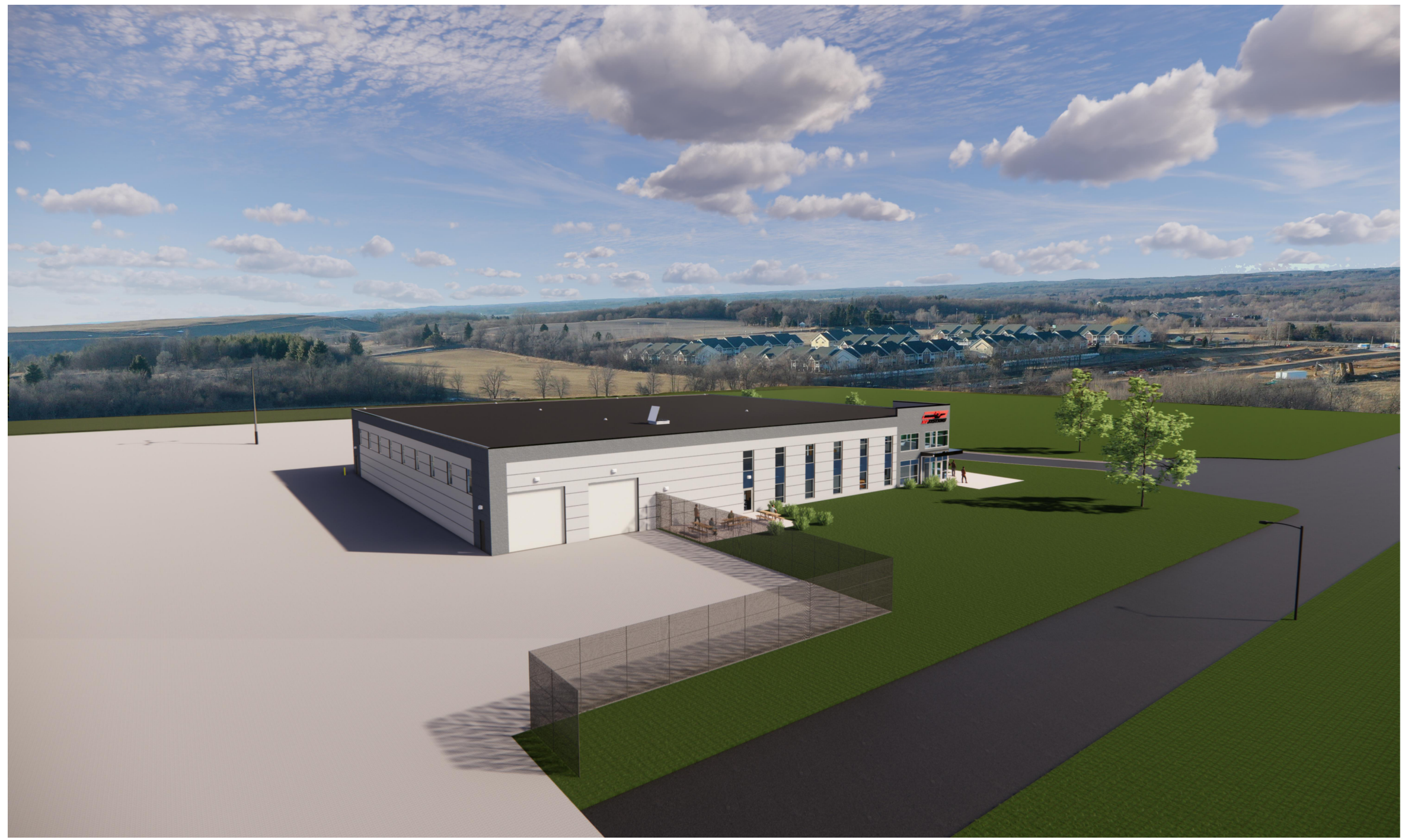
KEYNOTE LEGEND

05-10	PRE-FINISHED METAL CAP/CORING ON SINGLE X PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER MEMBRANE FLASHING 2" OVER FT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-11	PRE-FINISHED METAL 24 GA. GRAVEL STOP (COLOR TO BE CLEAR AND UNPAINTED), FASCIA AND RUBBER MEMBRANE FLASHING OVER GRAVEL STOP.
05-13	ROOF DRAIN AND DUMP FLASH TO STRUCTURE. (SEE DETAIL "Z" ON THIS SHEET)
07-10	ROOF ASSEMBLY A: BALLASTED ROOF MEMBRANE ON 5/8" DECK TO DECK APPROVED EPS INSULATION (R25 - TWO LAYERS, STAGGERED) ON METAL DECK & SLOPED STRUCTURAL FRAMING (SEE STRUCTURAL DRAWINGS)
07-11	ROOF ASSEMBLY C: FULLY TAPERED ROOF MEMBRANE ON TAPERED DIRECT TO DECK APPROVED EPS INSULATION, TAPER TO ROOF DRAIN (CANOPY ROOF)
07-15	PROVIDE PRE-FINISHED METAL DOWNSPOUT, COLOR AND FINISH TO MATCH CANOPY METAL. LOCATION SHOWN FOR REFERENCE ONLY - ROUTE DOWNSPOUT ALONG BUILDING FACE AS REQ.
07-18	PROVIDE TAPERED INSULATION CRICKETS ON HIGH SIDE OF RTU, ROOF HATCH, AND EQUIPMENT.
20-02	OVERFLOW ROOF DRAIN SET-1" HIGHER THAN PRIMARY ROOF DRAIN.
20-03	Roof hatch. Provide code-compliant hatch size, for use with osho-approved steel ladder access from floor below. Provide 1" curb, flashing, and tapered insulation for drainage around hatch as required. See detail 3/4-1.
22-1	PRIMARY ROOF DRAIN
22-2	OVERFLOW ROOF DRAIN SET-2" HIGHER THAN PRIMARY ROOF DRAIN. EXTERIOR PIPE DISCHARGE THROUGH WALL. DO NOT FLASH PIPE OUTSIDE DIRECTLY ABOVE EXTERIOR DOORS OR WINDOWS. COORD. PIPE SIZE WITH PLUMBING CONTRACTOR.
23-01	LAMBS-TONGUE ROOF DRAIN OVERFLOW ZUBBLE. SEE ROOF PLAN FOR ADDITIONAL NOTES. COORDINATE WALL PENETRATION WITH PRECAST SUPPLIER.
23-02	RETURNER TO HVAC DRAINS. PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQUIRED.










03-01	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - LIGHT (SW 7036 ACCESSIBLE BEIGE)
03-03	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - DARK (SW 7046 ANONYMOUS)
03-05	VERTICAL PANEL JOINT, SEALED
03-10	3" X 12" DOWEL (HIDDEN IN WALL)
05-10	PRE-FINISHED METAL CANOPY/COILING ON SINGLE XZ PRESSURE TREATED WOOD BLOCKING. EXTEND RUBBER FLASHING TO EXTEND UP AND OVER PT WOOD BLOCKING AND FULLY SEAL TO FACE OF PRE-CAST CONCRETE WALL PANEL.
05-11	PRE-FINISHED METAL 24 GA. GRAVEL STOP [COLOR TO BE "CLEAR ANODIZED FINISH", FASCIA AND RUBBER MEMBRANE FLASHING AND ROOFING.
05-14	PREFINISHED METAL LAMBS TONGUE SECONDARY DRAIN COVER
05-16	Pre finished metal 24 ga. Fascia on entry canopy. Color shall match adjacent wall color.
05-17	6" DIAMETER X 4'-0" TALL CONCRETE FILLED STEEL PIPE BOLLARDS, PAINTED SAFETY YELLOW.
05-17	6" DIAMETER X 24 GA. GRAVEL STOP [COLOR SHALL BE "CLEAR ANODIZED FINISH".
07-15	PROVIDE PRE-FINISHED METAL DOWNSPOUT, COLOR AND FINISH TO MATCH CANOPY METAL. LOCATION SHOWN FOR REFERENCE ONLY - ROUTE DOWNSPOUT ALONG BUILDING FACE AS REQ.
07-20	OVERFLOW ROOF DRAIN-SEET 6" HIGHER THAN PRIMARY ROOF DRAIN
08-1	ALUMINUM STOREFRONT ENTRY SYSTEM
08-2	ALUMINUM STOREFRONT
08-3	Roof hatch. Provide code-compliant hatch size, for use with ash-colored steel ladder access from floor below. Provide framing, curb, flashing, and tapered insulation for drainage around hatch as required. See detail 3/a-1.
08-4	PAINTED HOLLOW METAL SERVICE DOOR AND FRAME WITH EMERGENCY EGRESS DOOR REQUIRED LIGHTING [COLOR TO MATCH WALL COLOR]
08-6	Insulated overhead door factory finished
08-7	Pre finished clear anodized aluminum frame (thermally broken) and 1" insulated low-e blue tinted window units with blue spandrel where noted.
08-12	Pre finished clear anodized aluminum frame (thermally broken) storefront entry door w/ 1" insulated low-e blue tinted glazing
08-28	3'-0" X 7'-0" INSULATED AND PAINTED GALVANIZED HOLLOW METAL DOOR AND FRAME WITH ADA HARDWARE AND EMERGENCY EGRESS DOOR REQUIRED LIGHTING - PAINTED TO MATCH ADJACENT WALL COLOR.
21-7	PER DEPARTMENT CONNECTION AND ALARM AS REQUIRED BY LOCAL GOVERNING MUNICIPALITY - REFER FLOOR PLAN.
22-2	COVER OF DRAIN SET TO EXTERIOR TO PREVENT ROOF DRAIN. EXTERIOR PIPE DISCHARGE THROUGH WALL. DO NOT PLACE PIPE OUTSIDE DIRECTLY ABOVE EXTERIOR DOORS OR WINDOWS. COORD. PIPE SIZE WITH PLUMBING CONTRACTOR.
23	LAMBS-TONGUE ROOF DRAIN OVERFLOW NOZZLE. SEE ROOF PLAN FOR ADDITIONAL NOTES. COORDINATE WALL PENETRATION WITH PRECAST SUPPLIER.
26-11	EXTERIOR LIGHT FIXTURE - CUT-OFF LED WALLPACK - SEE LIGHTING PLAN FOR FIXTURE TYPE AND MOUNTING HEIGHT
26-11	BACKLIT BUILDING SIGNAGE



SHEET TITLE
EXTERIOR PERSPECTIVES

NEW BUILDING FOR:
MP SYSTEMS, INC.
EAST TROY BUSINESS PARK II
VILLAGE OF EAST TROY, WI 53120

PROGRESS SET NOT FOR CONSTRUCTION	
Revision	
Date	
JOB:	3335
DRAWN:	NS
CHECKED:	CW
DATE:	09-24-2021
SHEET:	

Schedule								
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Filename	Lumens per lamp	Wattage
	A	6	RAB Lighting Inc.	A17-4T100	Wall pack mounted at 22'	a17-4t100.lvs	13928	97.56
	B	6	RAB Lighting Inc.	A17-4T150	Wall pack mounted at 22'	a17-4t150.lvs	21378	149.17
	C	1	RAB Lighting Inc.	A17-3T70	1-Head Pole 20' pole mounted on a 2" base with back-light shield	a17-3t70.lvs	10234	69.84
	D	2	RAB Lighting Inc.	A17-4T100	1-Head Pole 20' pole mounted on a 2" base with back-light shield	a17-4t100.lvs	13928	97.56
	E	2	RAB Lighting Inc.	A17-4T150	4-Head Pole 20' pole mounted on a 3" base	a17-4t150.lvs	21378	149.17

Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Concave ft	+	0.9%	30.9%	0.0%	N/A

