

Date: November 5, 2020

To: Village of East Troy Plan Commission

From: Tim Schwecke, Zoning Administrator

Subject: A. Raze an existing building in the Downtown District for a potential redevelopment project located at 2919 Main Street (ROP 00100); Jeff McKone, applicant  
Application 2020-17; <https://s.zoninghub.com/8QUM0FMGVC>

B. Conditional use for a restaurant in the Downtown District located at 2919 Main Street (ROP 00100); Jeff McKone, applicant  
Application 2020-21; <https://s.zoninghub.com/PHWBT2SNYQ>

C. Site plan for a restaurant in the Downtown District located at 2919 Main Street (ROP 00100); Jeff McKone, applicant  
Application 2020-22; <https://s.zoninghub.com/8VM3ITRLE4>

Meeting: November 9, 2020 Plan Commission meeting

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**General Description** Jeff McKone is looking to demolish the existing building located at 2919 Main Street and to redevelop the property as a multi-tenant space. The subject property is located in the Central Business (CB) zoning district and also the Downtown Design District.

Three approvals are needed as set forth below.



#### **A. Building demolition (Application 2020-17)**

Because the property is within the Downtown Design District, the demolition of the building is reviewed and is subject to a public hearing. In addition to the request for demolition, the petitioner has submitted application materials to construct a new multi-tenant building.

**Public notice** Public notice for the public hearing was published in the *East Troy Times* on October 23 and 30 (attached). In addition, the public hearing notice was mailed to all property owners within 300 feet of the subject property, although not specifically required by the zoning code.

**Comments received** No written comments have been submitted to the Village as of this date.

**Proposed motion:** Recommend to the Village Board the demolition of the existing building, subject to the following terms and conditions:

1. Prior to demolition, the petitioner submits an application for a new building and obtains all approvals as may be required.

2. Demolition starts within 9 months of this date and commences in good faith to completion and construction of the building as approved by the Village starts within 18 months of this date and continues in good faith to completion.

### **B. Conditional use (Application 2020-21)**

**Description** The petitioner would like to establish two restaurants with a roof-top patio area (700 square feet) and a street-level patio. The proposed use is classified as indoor commercial entertainment by the Village's zoning code.

**Indoor Commercial Entertainment** Indoor commercial entertainment land uses include all land uses which provide entertainment services entirely within an enclosed building. Such activities often have operating hours that extend significantly later than most other commercial land uses. Examples of such land uses include restaurants, taverns, theaters, bowling alleys, arcades, roller rinks, pool halls, and fitness studios and instructional studios (e.g., dance, art, martial arts) where the occupancy load is more than 25 people.

**Guidance regarding 2017 Act 67** With the adoption of 2017 Act 67, the State of Wisconsin has preempted municipal authority regarding conditional use permits in a number of respects, effective November 29, 2017. Decisions concerning conditional use permits now must be based upon "substantial evidence," which is defined as follows:

"Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion."

Note two additional requirements of the new law:

1. Any condition imposed must relate to the purpose of the ordinance and be based on substantial evidence.
2. If an applicant for a conditional use permit meets or agrees to meet all requirements and conditions specified in the ordinance, the conditional use permit must be granted.

The applicant must present substantial evidence demonstrating that the application and all requirements and conditions established by the Village relating to the conditional use are or shall be satisfied. Any condition imposed by the Village through ordinance or by the Village Board must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer or renewal. The Village's decision to approve or deny the application must be supported by substantial evidence.

**Review procedures** The Plan Commission conducts the public hearing and acts in an advisory role to the Village Board which makes the final decision. Following the close of the public hearing, the Plan Commission may recommend (1) approval, (2) approval with conditions, or (3) denial. If approval is recommended, the Plan Commission can recommend conditions deemed necessary to protect the public health, safety, and welfare.

**Required findings** As required by the Section 510-157(H) of zoning code, a number of findings must be made. They are listed in the conditional use order beginning on the first page and below for your convenience. A motion recommending approval should make reference to them.

1. The proposed conditional use (the use in general, independent of its location) is in harmony with the purposes, goals, objectives, policies and standards of the comprehensive plan, the

zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

2. The proposed conditional use (in its specific location) is in harmony with the purposes, goals, objectives, policies and standards of the comprehensive plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.
3. The proposed conditional use, in its proposed location and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the zoning code, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use would maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

**Public notice** Public notice for the public hearing was published in the *East Troy Times* on October 23 and 30 (attached). In addition, the public hearing notice was mailed to all property owners within 300 feet of the subject property, although not specifically required by the zoning code.

**Comments received** No written comments have been submitted to the Village as of this date.

**Draft conditional use order** A copy of the proposed conditional use order is attached. It is based on the Village's standard template. Please note the limitations relating to the use of the roof-top patio.

**Proposed motion:** Recommend to the Village Board the approval of the conditional use subject to the terms in the draft conditional use order dated November 5, 2020

### **C. Site Plan/Plan of Operation (Application 2020-22)**

The proposed project is a multi-tenant building consisting of three potential spaces. One of the initial tenants will occupy two spaces. As designed, there will be one set of restrooms for all of the tenant spaces.

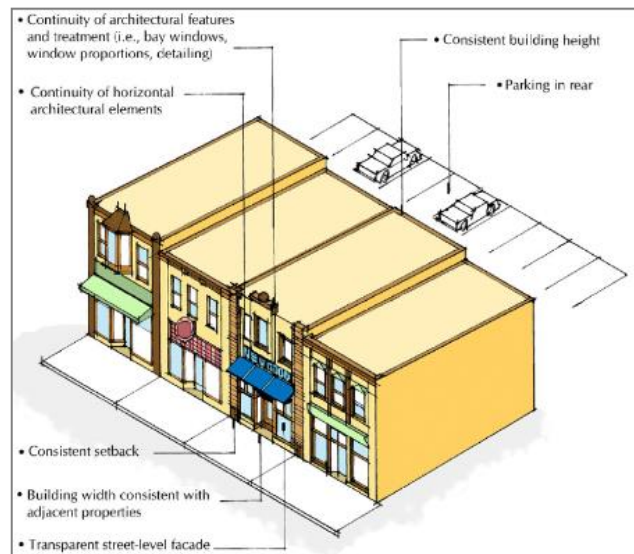
As noted, the subject property is located in the Downtown Design District which includes special standards for the following: building setbacks, building height, building mass, horizontal rhythms, vertical rhythms, roof forms, exterior materials, awnings, exterior colors, exterior lighting, and signage. Below is an image from the zoning code that depicts the general architectural design theme.

Exterior building materials include lap siding with trim boards. Two roll-up doors face Main Street. A pergola will be above the street-level patio area and a portion of the roof-top patio.

The Plan Commission will need to determine whether the proposed building, as designed, complies with the aforementioned standards, as applicable.

**Parking** Because the subject property is located in the Central Business District, onsite parking is not required per s. 510-93(H) of the municipal code. However, the applicant will be providing 6 on-site parking spaces, one of which is an ADA accessible space.

**Drive-through window** There is a drive-up window and menu board on the east side of the building. As shown, the layout will accommodate up to 4 or 5 queued vehicles. Any more than that will block ingress/egress to the on-site parking spaces.



**Outdoor lighting** As depicted on the site plan, outdoor lighting will consist of gooseneck fixtures.

Lighting for the roof-top patio will consist of strung lights (exposed bulbs). Each of the individual bulbs may not exceed 100 watts.

The developer will need to provide lighting for the parking area (minimum intensity of 0.2 footcandle). A single pole would likely be sufficient, the height of which should not exceed the height of the building.

**Signage** Although there is a sign band on the street-facing facades, no signage is being proposed at this time.

**Dumpster enclosure** A dumpster enclosure is located in the southeast corner of the lot. It will be constructed of 1x6 boards, painted to match the siding on the building.

**Proposed motion:** Approve the site plan/plan of operation as set forth in the submittal documents, subject to the following conditions:

1. The Village Board approves the conditional use for the proposed use
2. The Village Engineer reviews and approves the site layout.

**Attachments:**

1. Public hearing notice
2. Draft conditional use order, dated November 5, 2020
3. Application materials

## VILLAGE OF EAST TROY PLAN COMMISSION

### NOTICE OF PUBLIC HEARINGS

The Village of East Troy Plan Commission will conduct a public hearing on Monday, November 9, 2020, for each of the following:

1. Raze the existing building located at 2919 Main Street (ROP 00100) for a potential redevelopment project; Jeff McKone, applicant (Village of East Troy); (application 2020-21)  
Details are available online: <https://s.zoninghub.com/8QUM0FMGVC>
2. Conditional use application for a restaurant located at 2919 Main Street (ROP 00100); Jeff McKone, applicant (Village of East Troy); (application 2020-22)  
Details are available online: <https://s.zoninghub.com/PHWBT2SNYQ>
3. Conditional use application for a truck stop located off of CTH ES, north of the existing Kwik Trip gas station (RA287200001); Kwik Trip Inc., applicant (application 2020-23)  
Details are available online: <https://s.zoninghub.com/NHBGD9WRC1>

The Plan Commission meeting starts at 6:30 pm and will be conducted online via Zoom. Details to join the meeting will be part of the meeting agenda which will be available several days before the meeting.

The public hearings will be conducted in the order listed on the meeting agenda. For information regarding these public hearings, contact Tim Schwecke, Zoning Administrator, at 920-728-2814. All interested parties will be heard at the public hearing. Written comments may be submitted (1) online on the Village's zoning website <https://villageofeasttroy.zoninghub.com/home.aspx>; (2) to the Village Hall by Wednesday, November 4, 2020; or (3) during the public hearing.

Lorri Alexander, Village Clerk

Published in the *East Troy Times* on October 23 and 30, 2020

**Village of East Troy Order Granting a Conditional  
Use and Prescribing Conditions for Two Restaurants  
Located at 2919 Main Street**

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WHEREAS, [REDACTED] (hereinafter "property owner") owns the property located at 2919 Main Street (hereinafter "subject property") in the Village of East Troy, more particularly described as follows:

PT LOT 2 BLK 10 ORIG PLAT: COM NW COR LOT 2, S 111.9', E 82', N TO N LN LOT 2, WLY 83' M/L TO POB. VILLAGE OF EAST TROY; and

WHEREAS, the property owner has, consistent with the Village of East Troy's zoning code, submitted a conditional use application for two restaurants and two patio areas; and

WHEREAS, upon receipt of the petition submitted by the property owner, the Village Clerk properly referred such petition to the Plan Commission; and

WHEREAS, allowing for required public notice, the Plan Commission conducted a public hearing on November 9, 2020 to consider the petitioner's request; and

WHEREAS, members of the public in attendance were given ample opportunity to provide comment regarding the petitioner's request; and

WHEREAS, the Plan Commission passed a motion recommending to the Village Board that the conditional use be approved subject to certain conditions; and

WHEREAS, the Plan Commission, in passing on the matter, has made the following determinations consistent with Section 510-157(H) of East Troy's zoning code:

1. The proposed conditional use (the use in general, independent of its location) is in harmony with the purposes, goals, objectives, policies and standards of the comprehensive plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.
2. The proposed conditional use (in its specific location) is in harmony with the purposes, goals, objectives, policies and standards of the comprehensive plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.
3. The proposed conditional use, in its proposed location and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the zoning code, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use would maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public

Draft November 5, 2020

**Return to:**

Lorri Alexander, Village Clerk  
Village of East Troy  
2015 Energy Drive  
East Troy, WI 53120

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**Parcel Number:** ROP 00100

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agencies serving the subject property.

6. The potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

In addition, the petitioner has shown compliance with the requirements set forth in the Village's zoning code for the specified use.

WHEREAS, the Village Board has carefully reviewed the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the terms and conditions set forth in this order.

NOW THEREFORE, IT IS HEREBY DETERMINED AND ORDERED AS FOLLOWS:

1. **Authorized uses.** Subject to the terms and conditions of this approval and the sections of the zoning code that apply, the property owner is allowed two restaurants within the proposed multi-tenant building along with a street-level patio and a roof-top patio as set forth herein and as specified in the Village's zoning code.
2. **Issuance of permit required.** The zoning administrator is authorized to issue the property owner/tenant a conditional use permit when all conditions enumerated in section 3 have been satisfied to his or her satisfaction. Such permit is the last approval before the property owner/tenant can begin to establish the use as authorized herein.
3. **Initial conditions of approval.** The following conditions shall be satisfied prior to the issuance of the conditional use permit:
  - a. The property owner must accept the terms and conditions of this conditional use order in its entirety in writing. If the property owner does not sign this instrument and return it to the Village Administrator within 6 months of approval, this order is null and void. Prior to such expiration, the property owner may request an extension to this time period and the Village Administrator may approve an extension with good cause.
  - b. The property owner must submit an application to the Village for a site plan/plan of operation and obtain approval of the same.
  - c. This order must be recorded against the subject property in the Walworth County register of deeds office (only if subsections 3(a) has been satisfied).

In the event that any of the above conditions are not satisfied within 9 months of the date of this approval, this order shall be null and void without any further action by the Village of East Troy.

4. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:
  - a. Following issuance of the conditional use permit as set forth in section 3 above, the use as authorized herein must be established within 9 months of issuance of such permit.
  - b. The authorized use shall not be conducted in such a way so as to violate fire-related building capacity standards established by the local fire department or the state of Wisconsin.
  - c. The authorized use shall not be conducted in such a way so as to constitute a public or private nuisance as determined by the Plan Commission.
  - d. Potable water and sanitation, as may be required by the Village of East Troy and/or Walworth County, must be provided and maintained.

- e. The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.
- f. The use of the subject property shall at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Walworth County, and Village of East Troy.
- g. All buildings on the subject property shall comply with all applicable building requirements as may be adopted by the Village of East Troy or the state of Wisconsin.
- h. The subject property must be in a clean and neat appearance as determined by the Plan Commission.
- i. The roof-top patio area is limited to 700 square feet as indicated on the proposed building plans. The use of the area is limited to those hours when the restaurant is normally open for regular business. Further, the use of the area shall not include any special events unrelated to the restaurant operation.

5. **Expansion or changes.** The conditional use hereby authorized shall be confined to the subject property without extension or expansion. Any expansion or change in use shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

6. **Modification of property boundary lines.** The property owner shall not change the size and/or shape of the subject property by any means without the approval of the Village Board. If the Village Board determines that a proposed change is substantial with regard to the overall size of the parcel and/or configuration, such change shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

7. **Plans and related matters.** Unless otherwise expressly stated herein, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the amendment to be minor and consistent with the conditional use order and permit. Any change in any plan that the Plan Commission feels, in its sole discretion to be substantial, shall require a new approval and all procedures in place at the time must be followed.

8. **Inspection.** The property owner shall allow Village of East Troy staff, officials, and other authorized agents to inspect the subject property, at any reasonable time and for any proper purpose related to compliance with this conditional use order.

9. **Discontinuance.** Should the conditional use be discontinued in use for 365 consecutive days the use shall be terminated as set forth in the Village of East Troy's zoning regulations.

10. **Private rights.** This approval is given under the Village of East Troy's zoning regulations and is not to be interpreted to abrogate any private rights other property owners may have pursuant to deed restrictions or restrictive covenants.

11. **Interpretation.** If any aspect of this conditional use order is in conflict with any other aspect of the conditional use order, the more restrictive provisions shall be controlling, as determined by the Plan Commission.

12. **Other permits.** This order shall not be deemed to constitute a building permit, or constitute any other license or permit required by Village ordinance, or other local, state, or federal law.

13. **Severability.** In the event a court of competent jurisdiction determines that a paragraph or phrase of this conditional use order is unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use order and the remainder shall continue in full force and effect.



14. **Heirs, successors, and assigns.** This conditional use order shall be binding upon the property owner and their heirs, successors, and assigns. Upon a change in ownership, the property owner shall notify the Village Clerk.

15. **Ongoing review.** This conditional use may be reviewed by the Plan Commission with notice to the property owner at any time upon complaint or upon Plan Commission initiative. If it is determined that the authorized use is no longer compatible, or that the provisions of this approval have not been complied with, the Village Board may revoke or amend this order after recommendation by the Plan Commission and holding of a public hearing.

16. **Amendment.** The property owner may propose an amendment to this conditional use order at anytime by submitting a written petition to the Village Clerk, which shall be reviewed pursuant to the requirements in effect at the time of application.

17. **Violation.** Any violation of this order may be treated as a violation of East Troy's zoning regulations and each day of each violation of each condition herein shall be treated as a separate violation.

Approved this [redacted] day of November, 2020

BY THE VILLAGE BOARD OF THE VILLAGE OF EAST TROY

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Scott Seager, Village President

Attest:

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Lorri Alexander, Village Clerk

STATE OF WISCONSIN, WALWORTH COUNTY

Personally came before me this [redacted] day of November 2020, the persons described above, Scott Seager, Village President, and Lorri Alexander, Village Clerk, to me known to be the persons who executed the foregoing instrument and to me known to be such Village President and Village Clerk of the Village of East Troy and acknowledged that they executed the foregoing instrument as such officers of said municipal corporation by its authority and pursuant to the authorization by the Village Board from their meeting on the [redacted] day of November, 2020.

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NOTARY PUBLIC

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My Commission Expires:

**Acceptance by Property Owner**

I, Jeff McKone, verify that I am an authorized agent for [redacted], and that [redacted] accepts the terms stated herein.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2020

\_\_\_\_\_  
Jeff McKone, agent for [redacted]

**STATE OF WISCONSIN, WALWORTH COUNTY**

Personally, came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2020, the above-named person, Jeff McKone, to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
My Commission Expires:

Drafted by Tim Schwecke, Zoning Administrator, at the direction of the East Troy Village Board.



# Conditional Use

## Village of East Troy, Wisconsin

Version: March 22, 2018

Village of East Troy  
2015 Energy Drive  
East Troy, WI 53120

**Overview:** The Village's zoning code identifies land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Plan Commission conducts a public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Plan Commission serves in an advisory capacity to the Village Board, which makes the final decision. The recommendation of the Plan Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

**Governing regulations:** The procedures and standards governing the review of this application are found in Section § 510-157 of the Village's zoning code.

**General instructions:** Complete this application and submit one copy to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (920) 728-2814 or via email at [tim.schwecke@civitekconsulting.com](mailto:tim.schwecke@civitekconsulting.com). You may download this form at <https://villageofeasttroy.zoninghub.com/highlights/procedures/procedure.aspx>.

**Application fee:** \$200.00, plus charges for professional services

**Application submittal deadline:** Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

### 1. Applicant Information

Applicant name Jeff McKone

Street address 3019 Main Street

City, state, zip code East Troy WI, 53120

Daytime telephone number 262-894-5592

Email elitesnowsolutions@yahoo.com

### 2. Agent contact information.

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

#### Agent 1

Name -----

Company -----

Street address -----

City, state, zip code -----

Daytime telephone number -----

Email -----

#### Agent 2

### 3. Type of application (select one)

☒ New conditional use

☐ Yes ☐ No

Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

☐ An amendment of a previously approved conditional use

If an amendment, attach a copy of the current approval document.

### 4. Subject property information

Physical address 2919 Main Street East Troy, WI 53120

Tax key number(s) ROP-00100

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

**5. Zoning information** (refer to the Village's current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> RH-35 Rural Holding                | <input type="checkbox"/> TR-8 Two-Family Residential    | <input type="checkbox"/> NB Neighborhood Business       |
| <input type="checkbox"/> SR-3 Estate Residential            | <input type="checkbox"/> AR-9 Attached Residential      | <input type="checkbox"/> HB Highway Business            |
| <input type="checkbox"/> SR-4 Suburban Residential          | <input type="checkbox"/> MR-10 Multi-Family Residential | <input checked="" type="checkbox"/> CB Central Business |
| <input type="checkbox"/> SR-5 Neighborhood Residential      | <input type="checkbox"/> MHR-6 Mobile Home Residential  | <input type="checkbox"/> BP Business Park               |
| <input type="checkbox"/> SR-6 Traditional-Front Residential |   | <input type="checkbox"/> LI Light Industrial            |
| <input type="checkbox"/> SR-7 Traditional-Rear Residential  |   | <input type="checkbox"/> GI General Industrial          |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> PD Planned Development | <input type="checkbox"/> GP Groundwater Protection        | <input type="checkbox"/> FP 100-Year Floodplain |
| <input type="checkbox"/> DD Downtown Design     | <input type="checkbox"/> NFC Natural Features Conservancy | <input type="checkbox"/> FP 500-Year Floodplain |
|   |   | <input type="checkbox"/> SW Shoreland-Wetland   |

**6. Adjoining land uses and zoning**

	Zoning district(s)	Current uses
North	BD	Detailing center.
South	BD	Northwest Telephone Company
East		ST JAMES UNITED METHODIST
West	BD	East Troy Brewery

**7. Current use.** Describe the current use of the subject property.

Vacant Building

**8. Proposed use.** Describe the proposed conditional use or the proposed amendment.

Building a new 3,500sf retail building.

**9. Evaluation criteria.** The factors listed below will be used in evaluating this application. Your responses are important.

- Whether the proposed conditional use (the use in general, independent of its location) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

We are building a retail building that will house a bakery and a sushi restaurant. Both will fit well into to are business district and are in harmony with the comprehensive plan.

2. Whether the proposed conditional use (in its specific location) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

Yes, our for the building is in harmony with the goals of the village.

3. Whether the proposed conditional use, in its proposed location and as depicted on the required site plan results in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the zoning code, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development.

This plan will not adversely affect or have a negative impact on any nearby property.

4. Whether the proposed conditional use would maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The proposed conditional use will maintain the desired consistency of land use impacts as related to the environs of the property.

5. Whether the proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

We believe this will not impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies.

6. Whether the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

The potential public benefits of the proposed conditional use outweigh any potential impacts because the conditional use being proposed will have no adverse impacts.

**10. Large development requirements.**

- ☐ Yes ☒ No Does the proposed project include indoor sales or service, outdoor display, indoor commercial entertainment, outdoor commercial entertainment, in-vehicle sales or service, commercial indoor lodging, with a total area exceeding 20,000 square feet where one or both the following conditions exist:

1. The parking area is or will be served by an integrated system of off-street parking benefiting all or substantially all improvements within such area.
2. The area is or will be subject to reciprocal access rights benefiting all or substantially all improvements within such area. (See § 510-109 of the zoning code.)

If yes, include each of the following as described in § 510-109 (D) of the zoning code:

1. Large development questionnaire

2. Economic and fiscal analysis
3. Traffic impact analysis
4. Detailed neighborhood plan

**11. Supplemental materials.** Attach the following.

1. Site plan application and related materials
2. A copy of the existing conditional use if this application is intended to amend that approval.

**12. Attachments.** List any attachments included with your application.

**13. Other information.** You may provide any other information you feel is relevant to the review of your application.

Our retail building will house businesses that will create jobs for the community and bring patrons to our area.

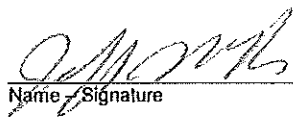
**14. Applicant certification**

- ♦ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- ♦ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with § 510-149 (D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property.
- ♦ I understand that submission of this application authorizes Village officials and employees, Plan Commission members, Village Board members, and other designated agents, including those retained by the Village, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- ♦ I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- ♦ I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Jeff McKone

Name – print

  
Name – Signature

10-19-20

Date

Name – print

Name – Signature

Date

Conditional Use  
Village of East Troy, Wisconsin  
Page 5

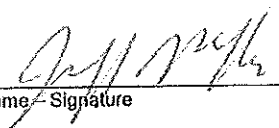
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Applicant (if different than Property Owner):

Jeff McKone

Name – print

Name – print

  
Name – Signature

Name – Signature

10-19-20

Date

Date



# SHOPS AT VILLAGE SQUARE

2919 MAIN STREET  
EAST TROY, WI

## GENERAL NOTES:

1.

THE GENERAL CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
2.

THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
3.

REFER TO THE SOILS REPORT FOR SUBSURFACE CONDITIONS, BEARING CAPACITIES, ETC. NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS, SPECIFICATIONS OR SITE CONDITIONS.
4.

ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST BUILDING CODES, ORDINANCES AND REGULATIONS OF THE CITY OR COUNTY WITH JURISDICTION.
5.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING AS REQUIRED BY THE CONTRACT DOCUMENTS OR ANY GOVERNMENT AGENCY.
6.

THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
7.

THE GENERAL CONTRACTOR IS TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS. COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKER AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO THE JOBSITE. WHERE DAMAGE OCCURS, REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL HOURS.
8.

UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
9.

THE GENERAL CONTRACTOR SHALL BRING ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES TO THE ATTENTION OF THE ARCHITECT AND OWNER BEFORE PROCEEDING.
10.

THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S). BRING ALL UTILITY LINES (WATER, SEWER, GAS, STORM DRAIN, TELEPHONE AND ELECTRICAL, ETC.) INTO THE BUILDING AS INDICATED ON THE CONSTRUCTION DOCUMENTS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT, OWNER & CIVIL ENGINEER.
11.

UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
12.

NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE TEMPORARY CERTIFICATE OF OCCUPANCY. APPROVAL FOR OCCUPANCY IS ONLY GRANTED AFTER ACCEPTANCE BY GOVERNING AGENCIES.
13.

THE REMOVAL OF ALL HAZARDOUS CONTAINING MATERIALS IS THE SOLE RESPONSIBILITY OF THE OWNER. SHOULD ANY MATERIALS BE ENCOUNTERED DURING ANY PHASE OF CONSTRUCTION, OR SUSPECTED TO BE HAZARDOUS, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER.



## PROJECT INFORMATION:

GOVERNING CODE:	WISCONSIN ADOPTED 2015 IBC
CONSTRUCTION TYPE:	VB
OCCUPANCY CLASSIFICATION:	A-2
OCCUPANCY SEPARATION:	NON SEPARATED USE
REQUIRED SEPARATION:	NONE
NUMBER OF STORIES ALLOWED:	1
NUMBER OF STORIES:	1
SPRINKLER SYSTEM:	NONE
ALLOWABLE AREA PER FLOOR :	6,000sf
ALLOWABLE AREA INCREASE - FRONTAGE:	4,500sf
TOTAL ALLOWABLE BUILDING AREA:	10,500sf / floor
TOTAL BUILDING AREA	
FIRST FLOOR AREA	3,513sf
FIRE EXTINGUISHERS:	PER IFC
PLUMBING FIXTURE CALCULATIONS	
TENANT #1	144
WAITING (90sf)	15
SEATING (865sf)	58
KITCHEN (779sf)	4
STORAGE (165sf)	1
ROOF TOP DINING (699sf)	47
OUTDOOR SEATING	16
TENANT #2	39
WAITING (80sf)	16
SEATING (187sf)	12
KITCHEN (443sf)	3
OUTDOOR SEATING	8
TOTAL OCCUPANT LOAD	183
PLUMBING FIXTURES REQUIRED	
WATER CLOSETS - A-2 RESTAURANT	= 1/75
4 REQUIRED - TWO PER SEX	

## SHEET INDEX:

AO.1	ARCHITECTURAL SITE PLAN
A1.1	1 <sup>st</sup> FLOOR PLAN
A1.2	ROOF PLAN
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.1	SECTIONS / DETAILS
A3.2	SECTIONS / DETAILS
A7.1	INTERIOR ELEVATIONS

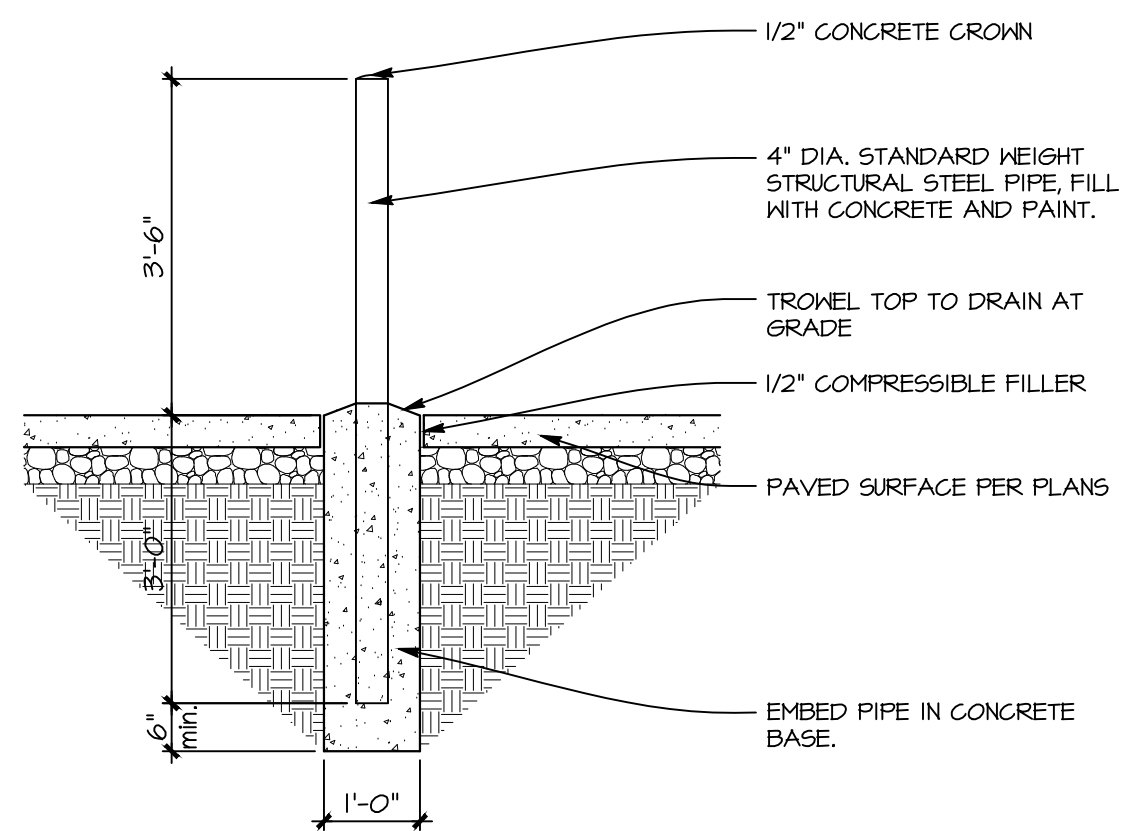
ARCHITECTURAL

STRUCTURAL

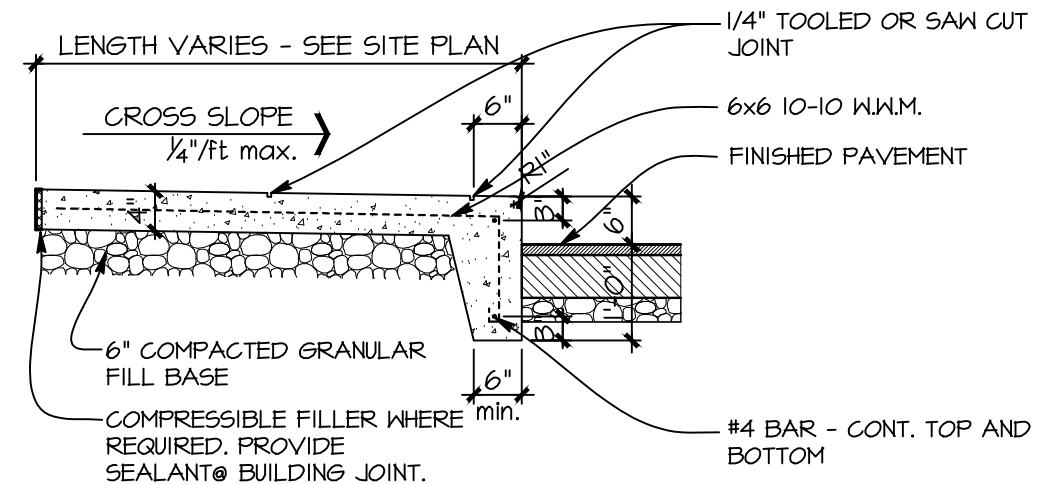
## PROJECT TEAM:

OWNER:	ARCHITECT:	GENERAL CONTRACTOR/DEVELOPER:
Xxx, Inc. XXX Ave., New Berlin, WI 53151 TEL: (414) 555-5555 email www.xxx.com ATTN: Mr. Smith	PATERA, LLC 2601 S Sunny Slope Rd New Berlin, WI 53151 TEL: (262) 786-6776 email steve@paterallc.com ATTN: Steven M. Esser	Xxx, Inc. XXX Ave., New Berlin, WI 53151 TEL: (414) 555-5555 email www.xxx.com ATTN: Mr. Smith

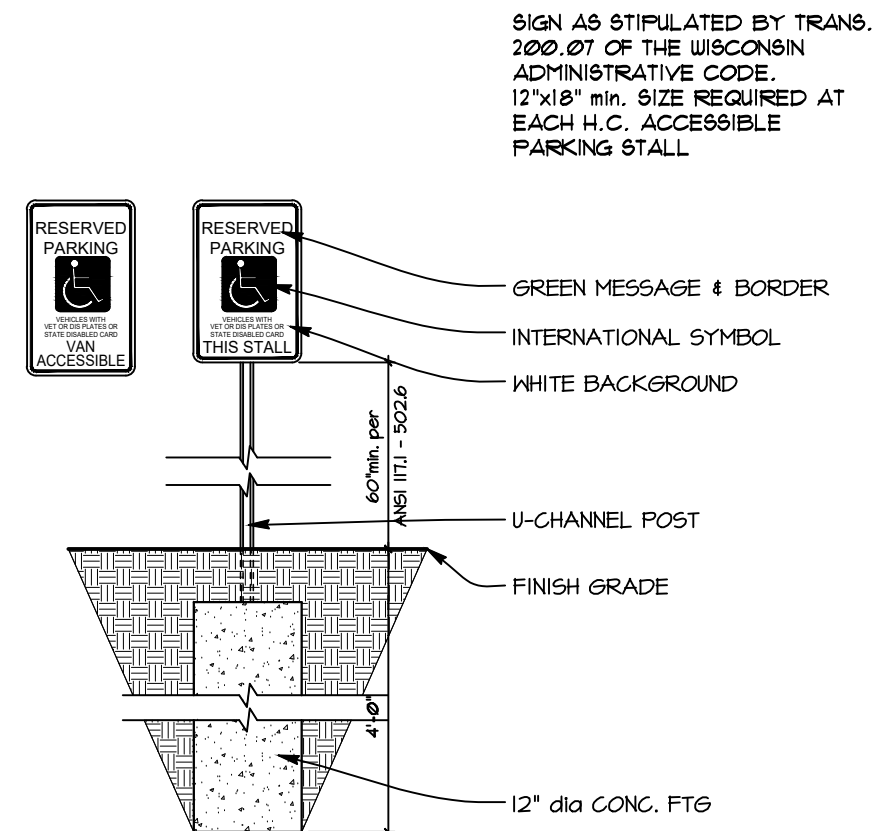




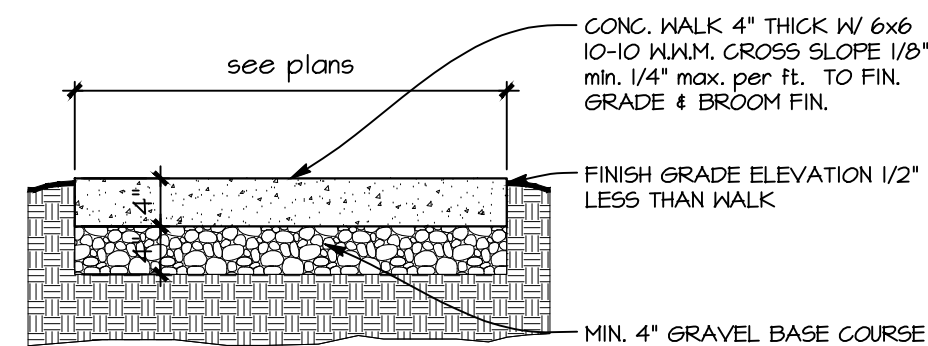
2 PIPE BOLLARD DETAIL  
SCALE: 1/2" = 1'-0"



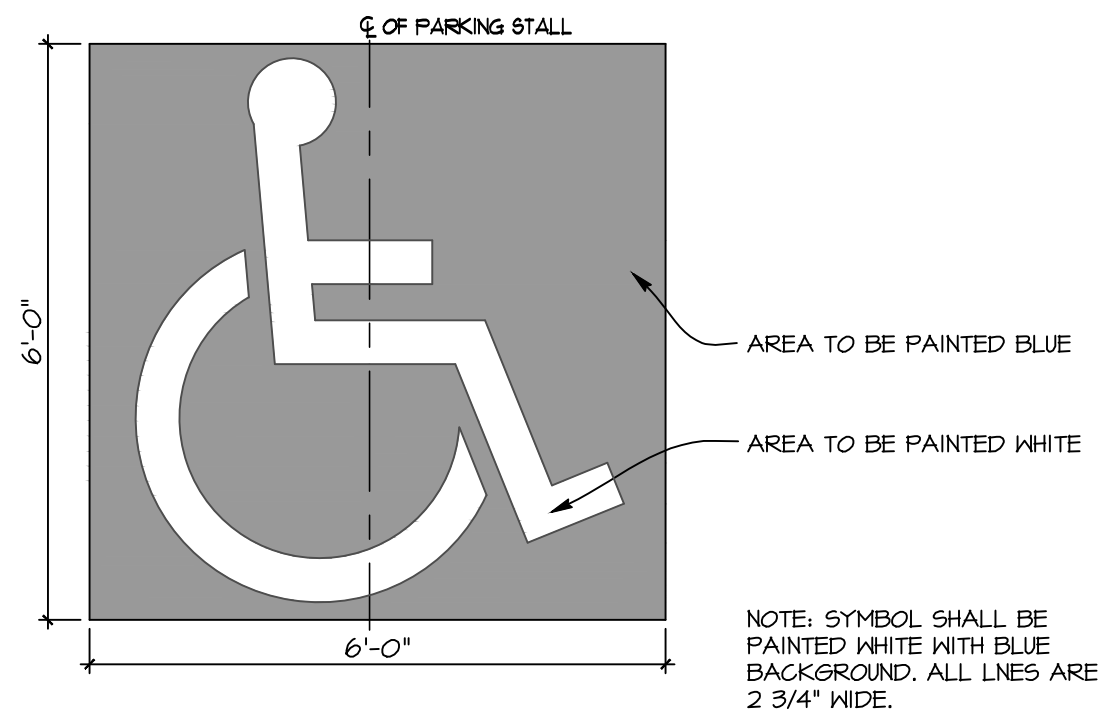
4 CURB WALK DETAIL  
SCALE: 1/2" = 1'-0"



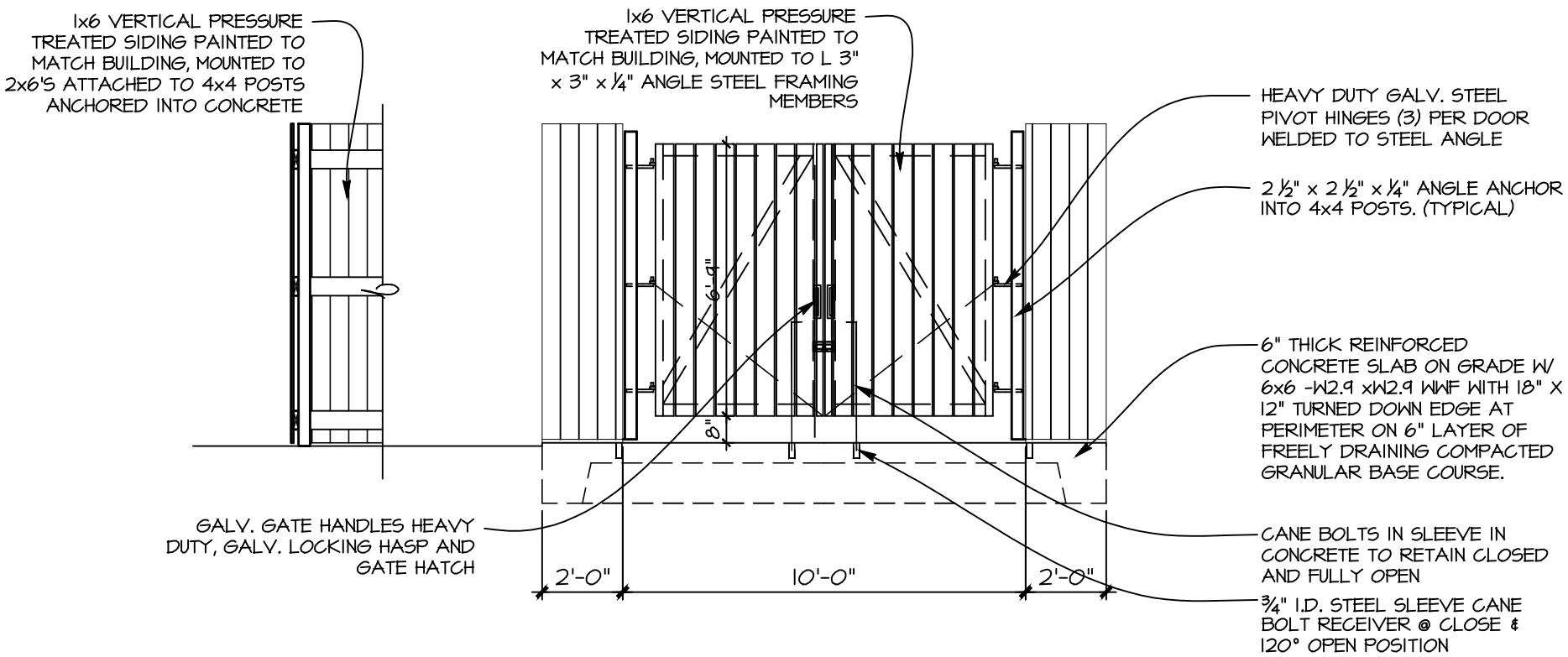
4 H.C. ACCESSIBLE PARKING SIGN  
SCALE: 3/4" = 1'-0"



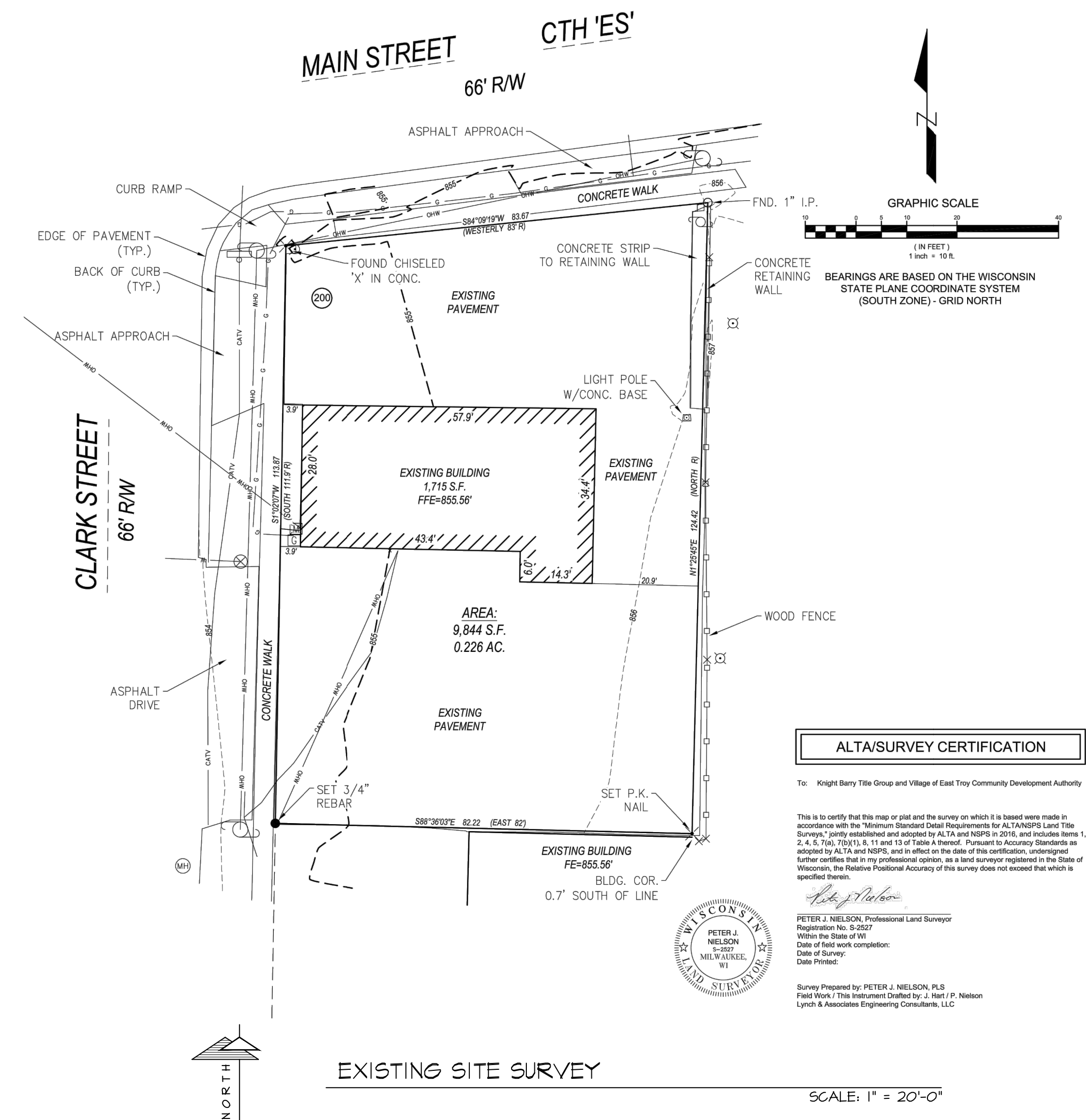
5 CONCRETE SIDEWALK  
SCALE: 3/4" = 1'-0"



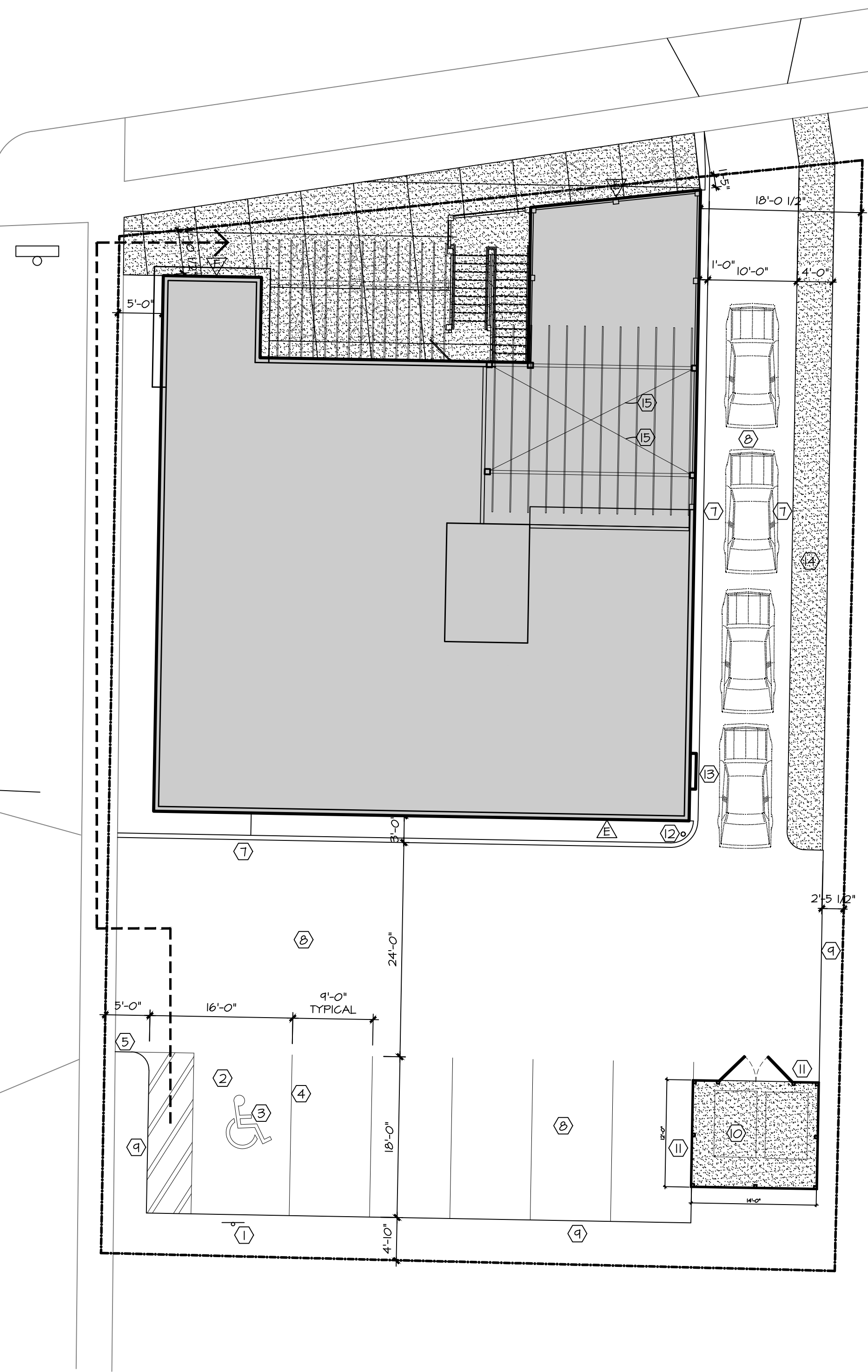
6 INTERNATIONAL SYMBOL OF ACCESSIBILITY  
SCALE: 1" = 1'-0"



7 TRASH DUMPSTER DETAIL  
SCALE: 1/4" = 1'-0"



SITE INFORMATION	
<b>SITE INFORMATION</b>	
SIZE (TOTAL)	0.23 ACRES (9,844 SF)
ZONING	XXX
SETBACKS	
PARKING	0' STREET FRONTAGE
PARKING PROPOSED	10' SIDE
TOTAL PARKING PROPOSED	25' BACK
<b>PARKING INFORMATION</b>	
HCP PARKING PROPOSED	1 STALL
PARKING PROPOSED	5 STALLS
TOTAL PARKING PROPOSED	6 TOTAL STALLS
<b>BUILDING INFORMATION</b>	
HEIGHT	23'-0"
SQUARE FOOTAGE	3,503 SF
SITE LEGEND	
	POURED CONCRETE
	BUILDING FOOTPRINT
	AUTO PAVING
	PROPERTY LINE
	BUILDING SET BACK
	PARKING SET BACK
	EXIT LOCATIONS
	ACCESSIBLE PATH OF TRAVEL
	SPOT ELEVATION



1 PROPOSED SITE PLAN  
SCALE: 1" = 10'-0"

#### CODED NOTES:

1. PROVIDE RESERVED VAN ACCESSIBLE PARKING SIGN IN ACCORDANCE WITH TRANS. 200.07 OF THE WISCONSIN ADMINISTRATIVE CODE. 12"x18" min. SIZE REQUIRED AT EACH H.C. ACCESSIBLE PARKING STALL (REFER TO 4/AO.I)
2. ACCESSIBLE PARKING AND ACCESSIBLE PAVED AREA: AREA SHALL HAVE A SLOPE NO GREATER THAN 1:50 (2%) IN ANY DIRECTION, AND SHALL BE SLOPED TO DRAIN AWAY FROM CURBS AND/OR SIDEWALKS.
3. PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY IN ACCORDANCE WITH ADAAG 4.30.1(i). (REFER TO DETAIL 6/AO.I)
4. PROVIDE 4" WIDE PAINTED STRIPING AS INDICATED ON PLAN. PAINT SHALL BE "TRAFFIC YELLOW" PL-4666.
5. SIDEWALK TO BE FLUSH WITH PARKING LOT PAVING AT (STRIPED) ACCESSIBLE WALK PATH.
6. PROVIDE 4" WIDE DIRECTIONAL ARROWS AS INDICATED ON PLAN - PL-4666 TRAFFIC YELLOW.
7. PROVIDE 6" HIGH CONCRETE CURB.
8. ASPHALT PAVING, AUTO TRAFFIC
9. EDGE OF ASPHALT PAVING - NO CURB.
10. 4" THICK REINFORCED CONCRETE SLAB ON GRADE W/ 6x6" 10x10" W/M 6" LAYER OF FREELY DRAINING COMPACTED GRANULAR BASE COURSE.
11. 8'-0" HIGH VERTICAL WOOD BATTEN FACE ON PRESSURE TREATED WOOD FRAME TRASH ENCLOSURE W/2 - PAIR 6'-4" x 8'-0" WOOD BATTEN FACED ON PRESSURE TREATED WOOD FRAMED DOORS. REFER TO DETAIL 7/AO.I
12. 6" PIPE BOLLARD, SEE DET. 2/AO.I
13. DRIVE THRU MENU BOARD.
14. CONCRETE CURB WALK, SEE DETAIL 3/AO.I.
15. STRING LIGHTS

#### SITE PLAN GENERAL NOTES:

1. ALL PAVING RADIUS SHALL BE 4'-0" UNLESS NOTED OTHERWISE.
2. PROVIDE CONCRETE SIDEWALKS AS INDICATED ON PLAN.
3. UTILITY DESIGN AND WORK BY DESIGN / BUILD CONTRACTOR.
4. GRADING AT ACCESSIBLE ROUTE TO COMPLY WITH THE WISCONSIN ADOPTED 2009 IBC CHAPTER 11 AND THE 2003 ANSI (IT) DESIGN GUIDELINES.
5. FINISHED FLOOR ELEVATION = 100'-0" ON ARCHITECTURAL DRAWINGS. VERIFY ACTUAL ELEVATION WITH CONTRACTOR.
6. SITE ENGINEERING (GRADING, STORM WATER DRAINAGE, ETC.) BY OTHERS.
7. ALL PROPERTY LINE BEARINGS AND LENGTHS BASED ON OWNER AND CONTRACTOR PROVIDED DATA.
8. CONSTRUCTION SITE EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN/VILLAGES/CITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE DEPARTMENT OF NATURAL RESOURCES WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK (BMP HANDBOOK).
9. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
10. PERIODIC INSPECTION AND MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT LEAVING PROPERTY. EROSION CONTROL MEASURES SHALL BE IN WORKING CONDITION AT END OF EACH WORK DAY. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
11. SILT FENCE SHALL BE INSTALLED IN ALL LOCATIONS WHERE POTENTIAL RUNOFF AND CONTAMINATION MAY OCCUR.
12. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCTION RAINFALL EVENT. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL PROTECTION AS DESIGNED.
13. SEDIMENT TO BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. REPAIR THE FENCE AS NECESSARY TO MAINTAIN BARRIER.
14. SEE ALL RELATED DETAILS AND REMAINING SHEETS SPECIFICATION FOR ADDITIONAL INFORMATION AND HOW IT RELATES TO THE SCOPE OF THE PROJECT.
15. ADDITIONAL GRADING OF GRASSED OR LANDSCAPED AREAS MAY BE REQUIRED DUE TO THE PLUMBING, SANITARY OR OTHER UNDERGROUND UTILITY WORK - REVIEW DOCUMENTS IN THEIR ENTIRETY TO DETERMINE FULL SCOPE OF WORK.

# SHOPS AT VILLAGE SQUARE

2919 MAIN STREET  
VILLAGE OF EAST TROY, WISCONSIN

SHEET TITLE:  
PROPOSED AND EXISTING SITE PLANS

A0.1

DATE: November 3rd, 2020

PROJECT NUMBER: 20-303

PATERA LLC

Excellence in Architecture

2601 S. Sunny Slope Rd. • New Berlin, WI 53151

262-786-6776 FAX 262-786-7036



#### REVISIONS:

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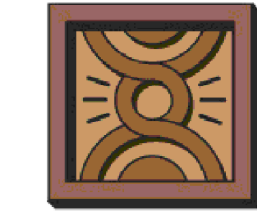
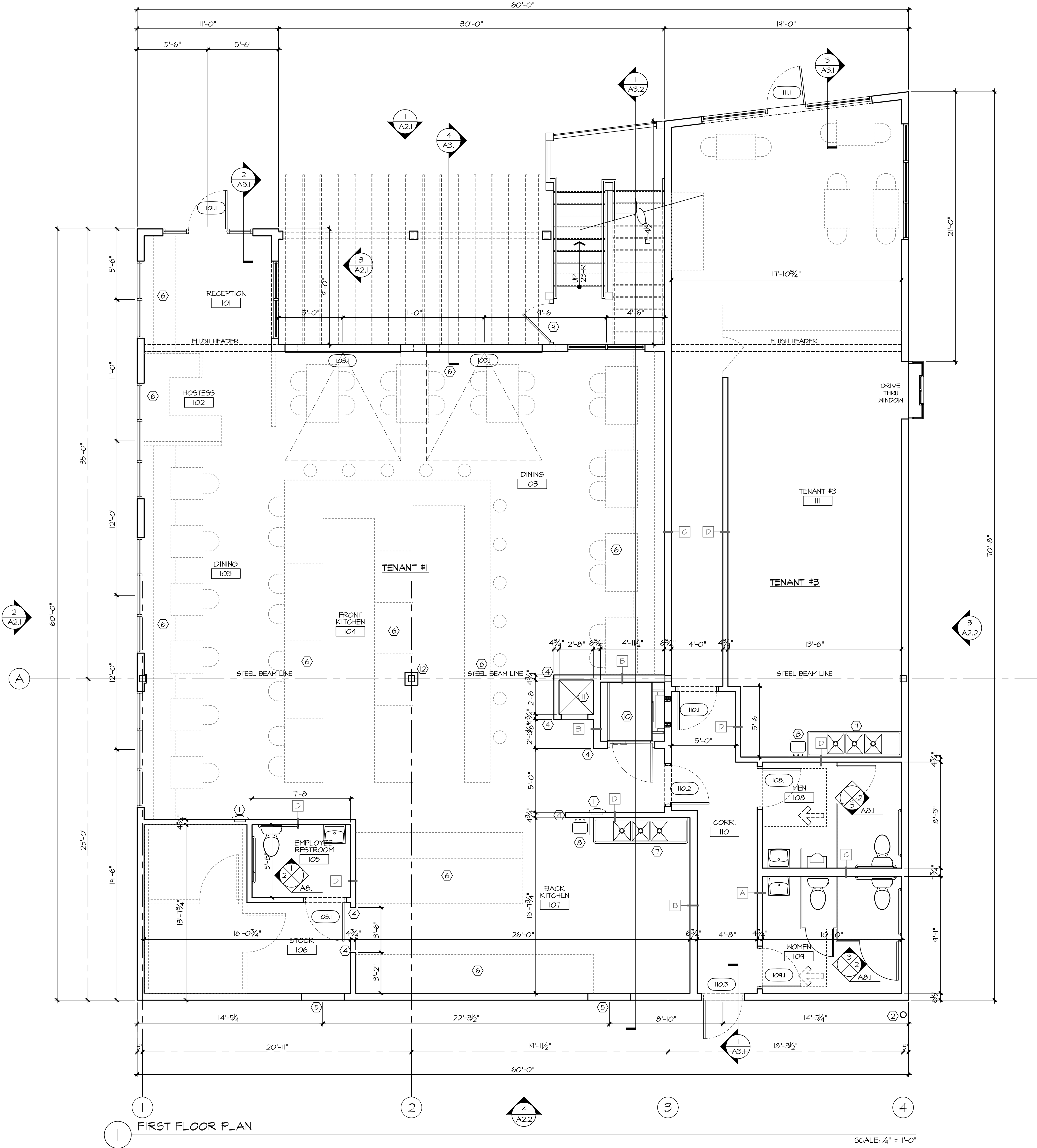
FLOOR PLAN GENERAL NOTES

1. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO START OF FABRICATION / CONSTRUCTION.
2. A) PROVIDE 3/8" TYPE "X" GYPSUM BOARD AT ALL WALL LOCATIONS UNLESS OTHERWISE NOTED. B) PROVIDE 3/8" TYPE "X" MOISTURE RESISTANT GYPSUM BOARD AT PLUMBING PARTITIONS AND PARTITION FACE WITHIN 6'-0" OF ALL PLUMBING FIXTURES. C) PROVIDE CEMENT BOARD AS BACK-UP AT ALL CERAMIC WALL TILE LOCATIONS. D) PROVIDE 3/8" TYPE "C" GYPSUM BOARD AT ALL CEILING LOCATIONS.
3. CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE.
4. VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAININGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
5. SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.
6. PROVIDE 16 GAUGE SHEET METAL BANDING OR SOLID 2x BLOCKING AS REQUIRED TO SUPPORT ALL CABINETS, SHELVES, BUILT-INS, EQUIPMENT OR ACCESSORIES. COORDINATE WITH VENDOR DOCUMENTS WHERE SUCH CONDITIONS APPLY.
7. NOTIFY THE ARCHITECT IF ELECTRICAL / COMMUNICATION / HVAC / PLUMBING / ITEMS DEPICTED CONFLICT WITH ADA REQUIREMENTS OR INDUSTRY STANDARDS PRIOR TO INSTALLATION. NOTE: ALL DEVICES AND CONTROLS TO BE INSTALLED WITHIN A MAXIMUM OF 4" OF EACH OTHER HORIZONTALLY (NOT 16" O.C.) AND ALIGN THE BOTTOMS OF EACH ITEM. IN THE VERTICAL POSITION ALIGN THE ITEMS ON CENTERLINES.
8. DURING CONSTRUCTION, AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS.
9. LIGHTING, EXIT LIGHTING INFORMATION, ELECTRICAL, DATA AND TELEPHONE INFORMATION SHOWN ARE FOR ELECTRICAL CONTRACTORS REFERENCE ONLY. CONTRACTOR SHALL ENSURE COORDINATION OF ELECTRICAL ITEMS WITH BUILDING CONSTRUCTION AND EQUIPMENT AND SHALL OBTAIN THE NEEDED INFORMATION TO PROVIDE A COMPLETE AND WORKING INSTALLATION.
10. CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
11. FOR OUTLETS ADDED TO EXTERIOR WALLS, REPAIR VAPOR BARRIER & MAKE AIR TIGHT, REPAIR INSULATION AND PATCH GYPSUM BOARD TO MATCH ADJACENT FINISHED SURFACES.
12. PROVIDE 6FI ELECTRICAL OUTLETS AT LOCATIONS REQUIRED BY CODE.
13. SALVAGED MATERIAL SHALL BE CLEANED AND RETURNED TO THE OWNER AS DIRECTED.
14. CONTRACTOR TO INSTALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.
15. ALL DOOR HARDWARE TO BE ADA-APPROVED LEVER SETS.
16. PROVIDE CONTINUOUS 6 mil VAPOR BARRIER (ON WARM SIDE OF WALL) ALONG ENTIRE PERIMETER OF EXTERIOR WALL FROM FLOOR TO ROOF DECK. ALL PENETRATIONS TO BE MADE AIR TIGHT.
17. PATCH NEW FINISHES TO MATCH EXISTING. THE CONTRACTOR SHALL FIELD VERIFY EXISTING FINISH TYPES AND COLORS PRIOR TO ORDERING.

WALL TYPE	DESIGN	DESCRIPTION
A		INTERIOR WALL: 3/8" G&NB ON BOTH SIDES OF 2x4 STUDS @ 16" o/c. 3 1/2" SOUND BATT INSULATION RUN STUDS @ 6"NB TO TRUSS BEARINGS. USE MR, G&NB. @ ALL WET LOCATIONS
B		INTERIOR WALL: 3/8" TYPE X G&NB ON BOTH SIDES OF 2x6 STUDS @ 16" o/c. 5 1/2" BATT INSULATION. FRP ON KITCHEN SIDE. RUN STUDS @ 6"NB TO TRUSS BEARINGS. USE MR, G&NB. @ ALL WET LOCATIONS
C		INTERIOR TENANT DEMISING WALL: 3/8" TYPE X G&NB ON BOTH SIDES OF 2x6 STUDS @ 16" o/c. 5 1/2" BATT INSULATION. RUN STUDS @ 6"NB TO TRUSS BEARINGS. USE MR, G&NB. @ ALL WET LOCATIONS
D		INTERIOR WALL: 3/8" TYPE X G&NB ON BOTH SIDES OF 2x4 STUDS @ 16" o/c. 3 1/2" SOUND BATT INSULATION, FRP ON KITCHEN SIDE. RUN STUDS @ 6"NB TO TRUSS BEARINGS. USE MR, G&NB. @ ALL WET LOCATIONS

FLOOR PLAN CODED NOTES

- 1 PROVIDE STANDARD SEMI RECESSED FIRE EXTINGUISHER AND CABINET. MOUNT PER BASE BUILDING SPECIFICATIONS NOT TO EXCEED 48" A.F.F. TO TOP OF CABINET. CABINETS MOUNTED IN FIRE RATED ASSEMBLIES MUST HAVE RATED ASSEMBLY CONTINUOUS BEHIND ENTIRE CABINET UNLESS THE CABINET CARRIES THE SAME (UL TESTED) RATING AS THE ASSEMBLY.
- 2 6" dia CONCRETE FILLED PIPE BOLLARD W/ YELLOW BOLLARD SLEEVE.
- 3 30"x30" JANITORS SINK.
- 4 PROVIDE 4'-0" HIGH "1PC" CORNER GUARD, TYPICAL.
- 5 PROVIDE 3'-4" WIDE x 7'-2" HIGH KNOCK OUT PANEL FOR FUTURE DOOR W/ KING, SHOULDER STUDS AND HEADER.
- 6 ALL SEATING, CABINETRY AND KITCHEN EQUIPMENT BY OWNER.
- 7 3 COMPARTMENT SINK WITH GREASE INTERCEPTOR - SEE DESIGN BUILD PLUMBING DRAWINGS.
- 8 HAND WASH SINK. PROVIDE SOLID 2x BLOCKING IN WALL. - SEE DESIGN BUILD PLUMBING DRAWINGS.
- 9 36" HIGH GATE W/ EXIT ONLY HARDWARE.
- 10 SAVARIA V1504 VERTICAL PLATFORM LIFT.
- 11 POWERLIFT 200 30"x30"x30" DUMBWAITER.
- 12 BOX OUT COLUMN W/ 2x FURRING AND 3/8" G&NB.



REVISIONS:

-	X

2020 11 03 - PLAN COMMISSION SET

SHOPS AT VILLAGE SQUARE

2919 MAIN STREET  
VILLAGE OF EAST TROY, WISCONSIN

SHEET TITLE:  
FLOOR PLANS

A1.1

DATE: November 3rd, 2020

PROJECT NUMBER: 20-303



DOOR NUMBER	ROOM NAME	DOOR SIZE			DOOR INFORMATION			FRAME INFORMATION			HARDWARE	DETAILS	RATING (MIN)	NOTES
		WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH				
101.1	ENTRY	3'-0"	7'-0"	1 3/4"	ALUMINUM	B	ANNOIDIZED	ALUM	2	ANNOIDIZED	1	-	-	SEE NIN TYPE E SHEET A2.1
103.1	SEATING	4'-0"	9'-0"	1 3/4"	ALUMINUM	D	ANNOIDIZED	-	-	-	-	-	-	-
105.1	RESTROOM	3'-0"	7'-0"	1 3/4"	SG-WOOD	A	STAIN&VARNISH	HM	1	PRIME&PAINT	2	-	-	-
108.1	MENS RESTROOM	3'-0"	7'-0"	1 3/4"	SG-WOOD	A	STAIN&VARNISH	HM	1	PRIME&PAINT	2	-	-	-
109.1	WOMEN'S RESTROOM	3'-0"	7'-0"	1 3/4"	SG-WOOD	A	STAIN&VARNISH	HM	1	PRIME&PAINT	2	-	-	-
110.1	CORRIDOR	3'-0"	7'-0"	1 3/4"	SG-WOOD	A	STAIN&VARNISH	HM	1	PRIME&PAINT	3	-	-	-
110.2	CORRIDOR	3'-0"	7'-0"	1 3/4"	SG-WOOD	A	STAIN&VARNISH	HM	1	PRIME&PAINT	3	-	-	-
110.3	CORRIDOR	3'-0"	7'-0"	1 3/4"	SG-WOOD	C	STAIN&VARNISH	HM	1	PRIME&PAINT	X	-	-	-
111.1	TENANT #3	3'-0"	7'-0"	1 3/4"	ALUMINUM	B	ANNOIDIZED	ALUM	2	ANNOIDIZED	1	-	-	SEE NIN TYPE G SHEET A2.1
201.1	ELEV. PENTHOUSE	3'-0"	7'-0"	1 3/4"	ALUMINUM	B	ANNOIDIZED	ALUM	1	ANNOIDIZED	1	-	-	-

The diagrams illustrate the construction of three types of doors, each with a height of 10'0" and a width of 3'0".

- A WOOD DOOR:** A solid wood door with a wood grain pattern. It features a handle and a lock. The height is labeled "SEE SCHEDULE" and the width is labeled "SEE SCHEDULE".
- B ALUMINUM STOREFRONT SYSTEM:** A door with a central glass panel. The panel is labeled "NORMAL STILE THERMALLY BROKEN ALUM. DOOR W/ 1" INSULATED TEMPERED GLASS". It features a handle and a lock. The height is labeled "SEE SCHEDULE" and the width is labeled "SEE SCHEDULE".
- C HOLLOW METAL:** A hollow metal door. It features a handle and a lock. The height is labeled "SEE SCHEDULE" and the width is labeled "SEE SCHEDULE".

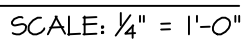
Figure 1 consists of two cross-sectional diagrams of door frames. Diagram 1, labeled 'HOLLOW METAL', shows a door with a 2 1/2 inch schedule frame and a 2 inch gap. Diagram 2, labeled 'ALUMINUM FRAME', shows a door with a 2 inch schedule frame and a 2 inch gap, with a 3 inch gap between the door and the frame.

- ATTN: HARDWARE SUPPLIER - PLEASE SUBMIT DRAWINGS AND PRODUCT DATA IN A FORMAT TO MATCH ARCHITECTS DOOR SCHEDULE
1. BRING ANY UNUSUAL DIMENSIONS, HEIGHTS, HARDWARE AND/OR CONDITIONS TO ARCHITECTS ATTENTION PRIOR TO CONSTRUCTION.
2. DOOR OPENINGS 36" AND LARGER IN WIDTH TO HAVE DOUBLE STUDS (18" EACH) BOTH SIDES OF DOOR.
3. WOOD DOORS SHALL BE SOLID CORE WITH STAINED VENEER UNLESS OTHERWISE NOTED.
4. HOLLOW METAL FRAMES WITH DOORS 3'-6" OR LARGER OR RATED DOORS SHALL BE GROUDED SLED.
5. HOLLOW METAL DOOR FRAMES AND SIDE/LIGHT FRAMES SHALL BE PAINTED, UNLESS NOTED OTHERWISE.
6. TYPICAL HOLLOW METAL DOOR FRAME SHALL BE 2" WIDE AND DOUBLE RABBETED WITH 1/2" RETURN ON EACH SIDE.
7. HOLLOW METAL FRAMES SHALL BE WELDED AND GROUND FRAMES ONLY, WITH 3 GROUNDINGS ON THE LATCH SIDE.
8. GLASS UNDOORLIGHTS/DOORS SHALL BE 1/4" TEMPERED, UNLESS NOTED OTHERWISE. ALL DOORS WIDER THAN 3'-0" SHALL HAVE LARGER HINGES PER HINGE MANUFACTURERS REQUIREMENTS.
9. ALL DOORS TALLER THAN 7'-0" SHALL HAVE (2) PAIR BUTTS PER HINGE MANUFACTURERS REQUIREMENTS.
10. DOOR HARDWARE SHALL BE ADA COMPLIANT, INCLUDING LEVER HANDLE LATCH AND LOCK SETS, AND DELAY ADJUSTABLE CLOSERS AS REQUIRED. GLASS FINISHES SHALL BE PER MANUFACTURERS RECOMMENDATIONS.
11. GLASS IN INTERIOR RATED DOORS AND FRAMES SHALL BE 1/4" THICK, RITEV GLASS UNLESS NOTED OTHERWISE.
12. CONTRACTOR AND DOOR SUPPLIER TO REVIEW ALL DRAWING FOR COORDINATION OF HINGES, CLOSERS, PROVIDE ALL DOOR AND OR FRAME LABELS AS REQUIRED BY CODE.

HARDWARE SET 1	HARDWARE SET 2	HARDWARE SET 3	HARDWARE SET 4
BUTTS	BUTTS	BUTTS	BUTTS
LOCKSET (EXTERIOR)	PRIVACY LOCKSET	LOCKSET (EXTERIOR)	LOCKSET (EXIT ONLY)
PUSH PULL	CLOSER 4030 TEL-H	KICK PLATE	CLOSER
CLOSER	CLOSER	STOP	WEATHER STRIPPING
STOP	STOP	DOOR	DOOR
WEATHER STRIPPING			WEATHER STRIPPING
DOOR SWEEP/THRESHOLD			DOOR SWEEP/THRESHOLD
ATCH GUARD			LATCH GUARD

## 2 PATIO LIGHTS

①





ELEVATION CODED NOTES:

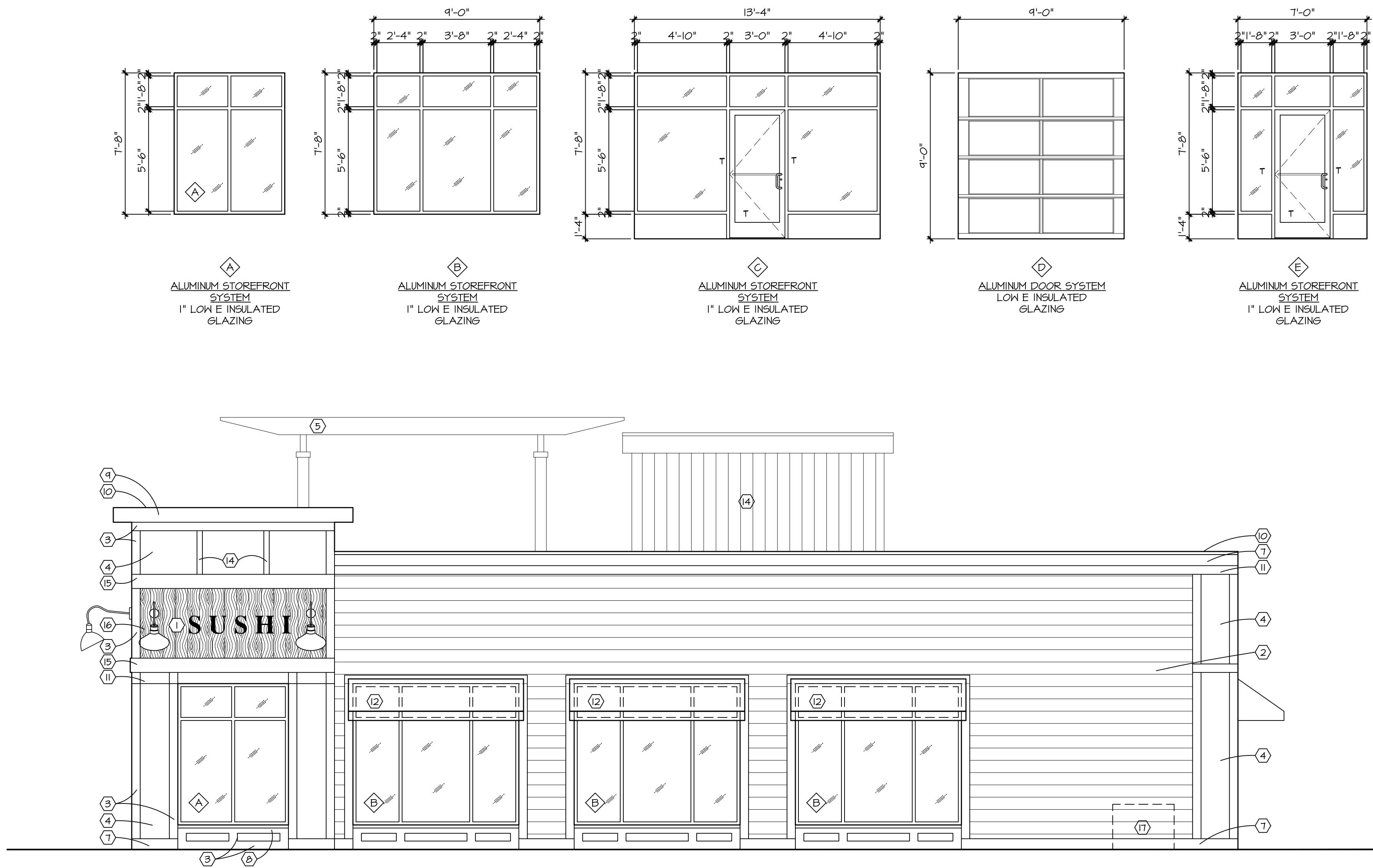
- BUILDING SIGNAGE - BY OTHERS.
- LP SMARTSIDE HORIZONTAL SIDING 1" REVEAL - SMOOTH TEXTURE
- LP SMARTSIDE 3/4"x6" TRIM - SMOOTH TEXTURE
- LP SMARTSIDE PANEL - SMOOTH TEXTURE
- 2x10 CEDAR TRELLIS
- PREFINISHED ALUMINUM RAILING
- LP SMARTSIDE 3/4"x8" TRIM - SMOOTH TEXTURE
- LP SMARTSIDE 3/4"x4" TRIM - SMOOTH TEXTURE
- LP SMARTSIDE FASCIA AND SOFFIT
- PREFINISHED METAL COPING
- LP SMARTSIDE 1"x6" TRIM - SMOOTH TEXTURE
- FABRIC AWNING
- DRIVE THRU MENU BOARD
- LP SMARTSIDE 1"x4" TRIM - SMOOTH TEXTURE
- LP SMARTSIDE 3/4"x10" TRIM - SMOOTH TEXTURE
- RECLAIMED BARN WOOD
- WATER METER LOCATION
- FUTURE DOOR LOCATION

EXTERIOR ELEVATION GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL ROUGH OPENINGS.
- WINDOW SYSTEM TO BE EXTERIOR GLAZED.
- ALL EXTERIOR MATERIALS TO BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION.
- ALL MASONRY, MASONRY VENEER, EIFS, etc SHALL HAVE CONTROL JOINTS SPACED PER INSTITUTE MINIMUM STANDARDS. CONTACT ARCHITECT FOR LOCATIONS NOT INDICATED ON THE PLANS.

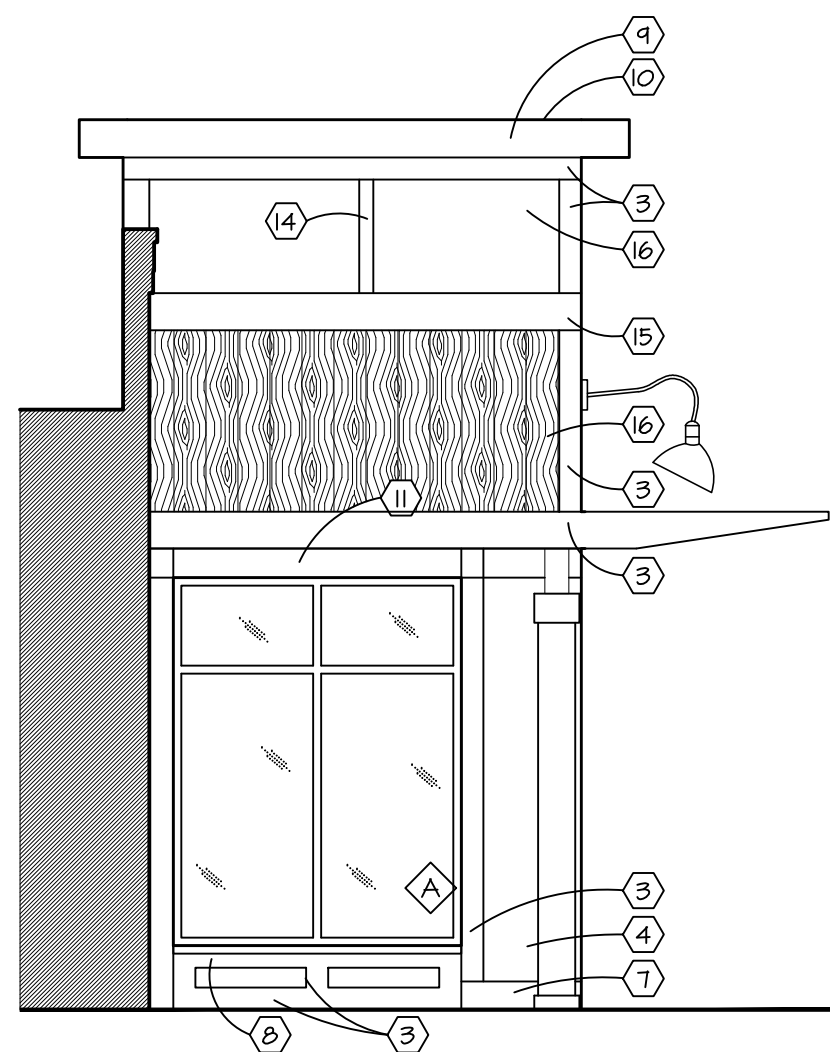
ELEVATION LEGEND

-  - VISION GLASS
- T - TEMPERED GLASS
- C.J. - CONTROL JOINT
-  - WINDOW TYPE, REFER TO SHEET A2.1



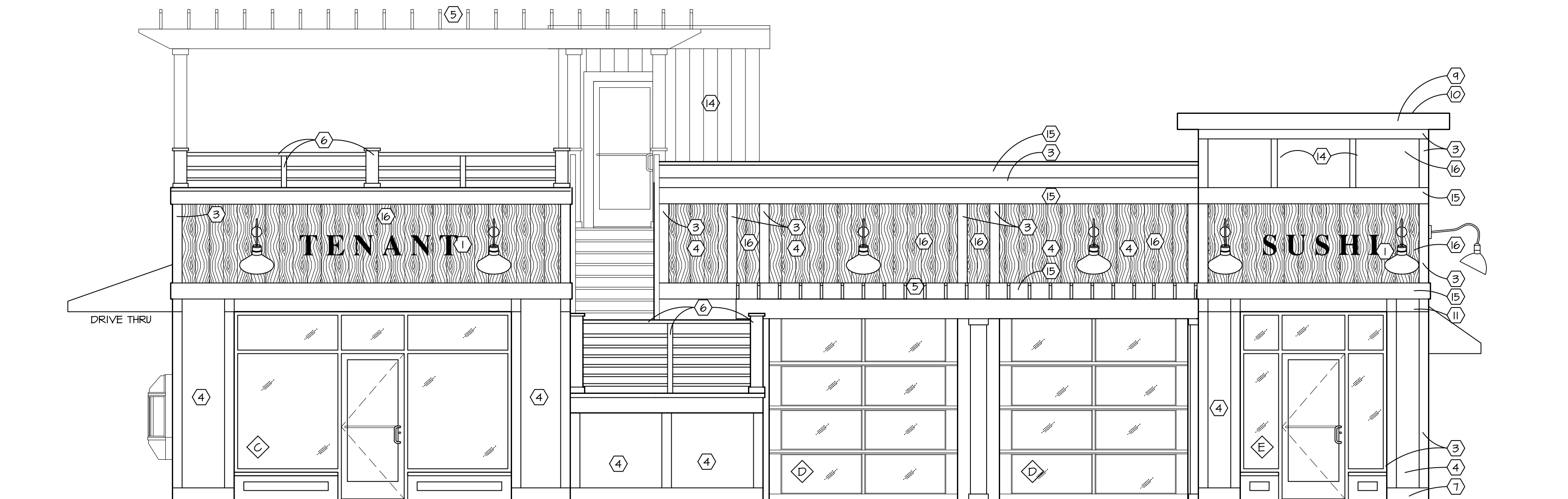
2 WEST ELEVATION

SCALE: 1/4" = 1'-0"



3 PARTIAL EAST ELEVATION

SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

SHOPS AT VILLAGE SQUARE

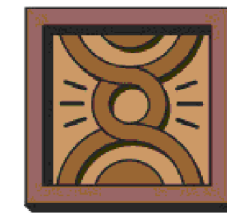
2919 MAIN STREET  
VILLAGE OF EAST TROY, WISCONSIN

SHEET TITLE:  
ELEVATION

A2.1

DATE: November 3rd, 2020

PROJECT NUMBER: 20-303



PATERA LLC

Excellence in Architecture

2601 S. Sunny Slope Rd. • New Berlin, WI 53151

262-786-6776 FAX 262-786-7036

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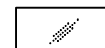

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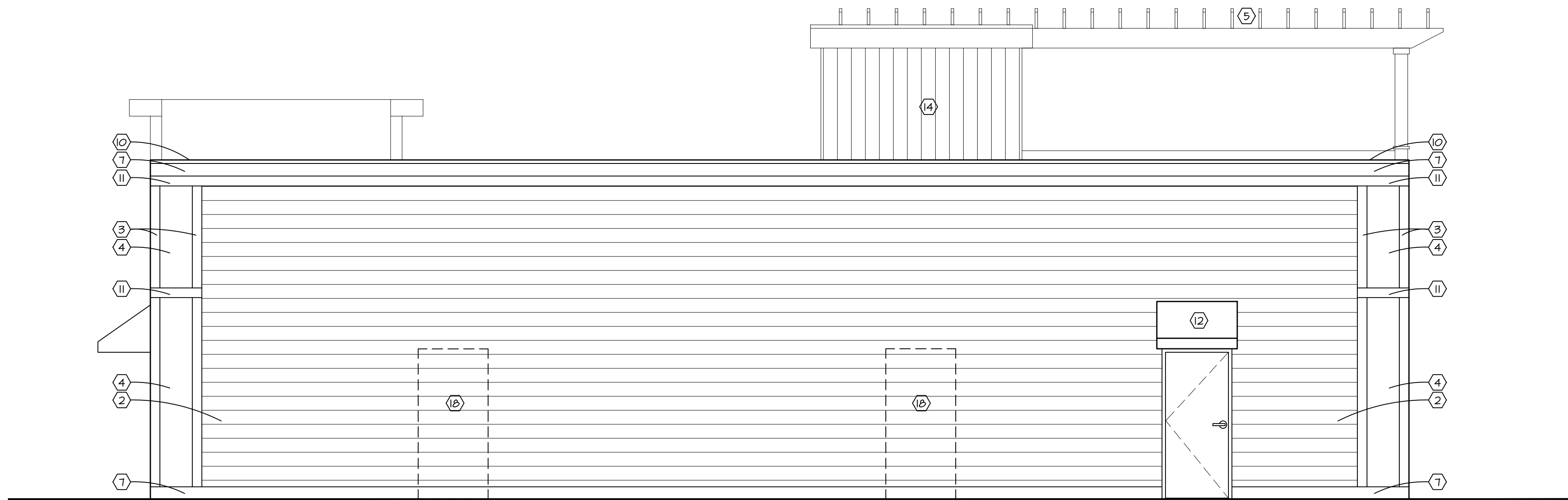
- ① BUILDING SIGNAGE - BY OTHERS.  
② LP SMARTSIDE HORIZONTAL SIDING 1" REVEAL - SMOOTH TEXTURE  
③ LP SMARTSIDE 3/4"x6" TRIM - SMOOTH TEXTURE  
④ LP SMARTSIDE PANEL - SMOOTH TEXTURE  
⑤ 2x10 CEDAR TRELLIS  
⑥ PREFINISHED ALUMINUM RAILING  
⑦ LP SMARTSIDE 3/4"x8" TRIM - SMOOTH TEXTURE  
⑧ LP SMARTSIDE 3/4"x4" TRIM - SMOOTH TEXTURE  
⑨ LP SMARTSIDE FASCIA AND SOFFIT  
⑩ PREFINISHED METAL COPING  
⑪ LP SMARTSIDE 1"x6" TRIM - SMOOTH TEXTURE  
⑫ FABRIC AWNING  
⑬ DRIVE THRU MENU BOARD  
⑭ LP SMARTSIDE 1"x4" TRIM - SMOOTH TEXTURE  
⑮ LP SMARTSIDE 3/4"x10" TRIM - SMOOTH TEXTURE  
⑯ RECLAIMED BARN WOOD  
⑰ WATER METER LOCATION  
⑱ FUTURE DOOR LOCATION

EXTERIOR ELEVATION GENERAL NOTES

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2. WINDOW SYSTEM TO BE EXTERIOR GLAZED.  
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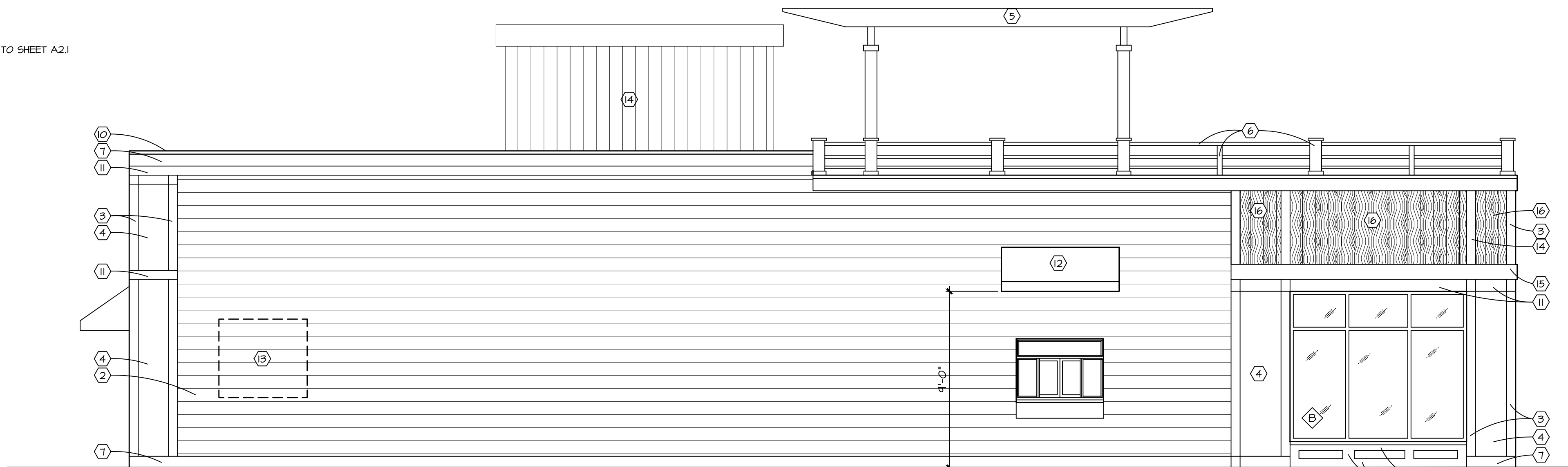
ELEVATION LEGEND

-  - VISION GLASS  
T - TEMPERED GLASS  
C.J. - CONTROL JOINT  
 - WINDOW TYPE. REFER TO SHEET A2.1



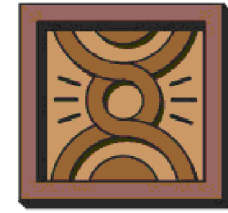
4 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



3 EAST ELEVATION

SCALE: 1/4" = 1'-0"



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REVISIONS:

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# SHOPS AT VILLAGE SQUARE

2919 MAIN STREET  
VILLAGE OF EAST TROY, WISCONSIN

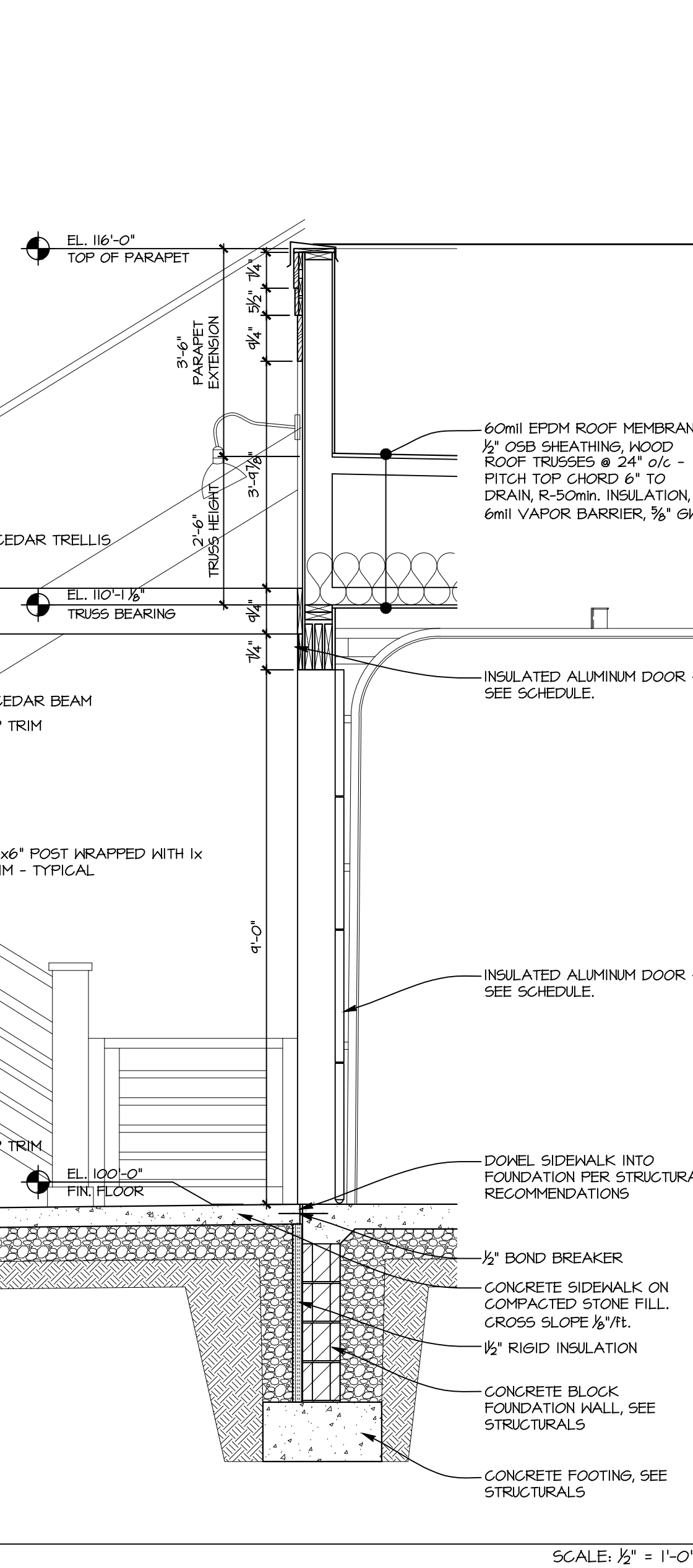
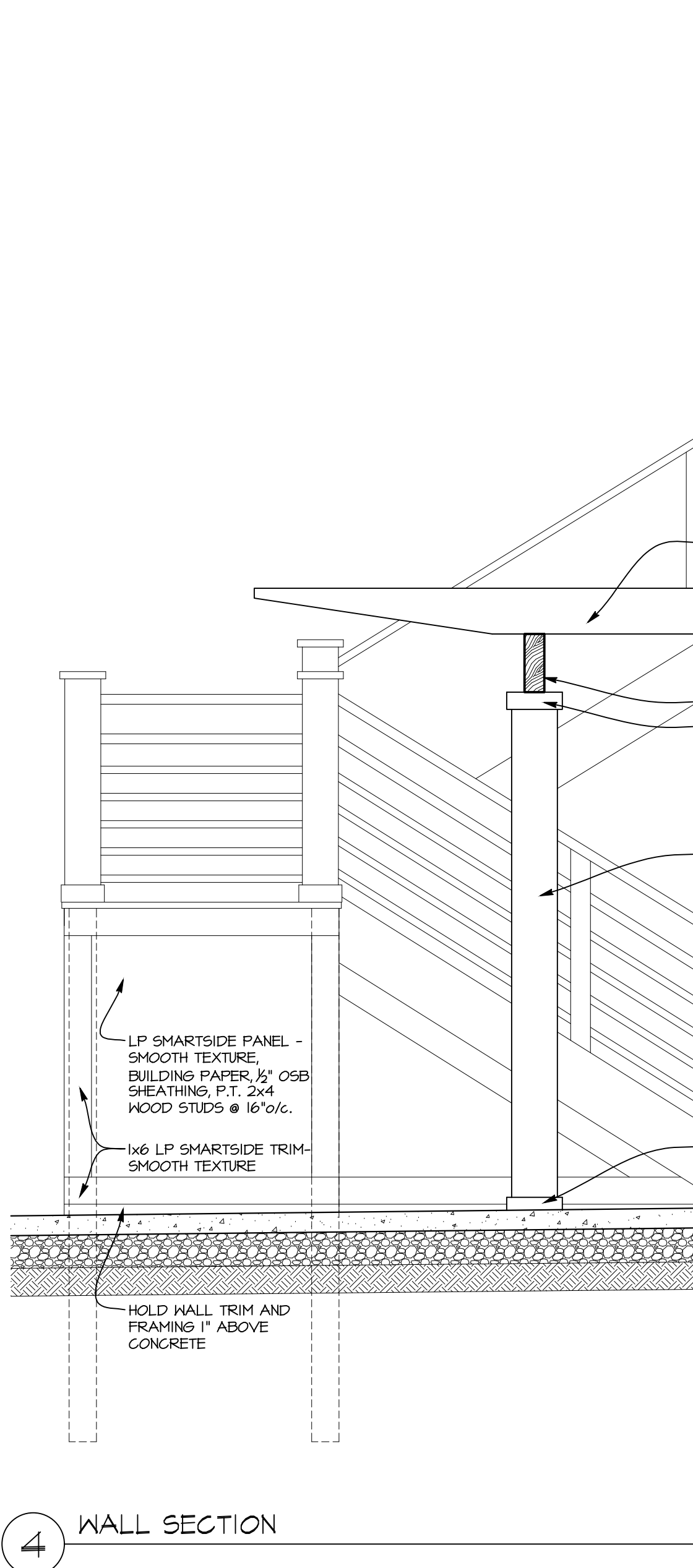
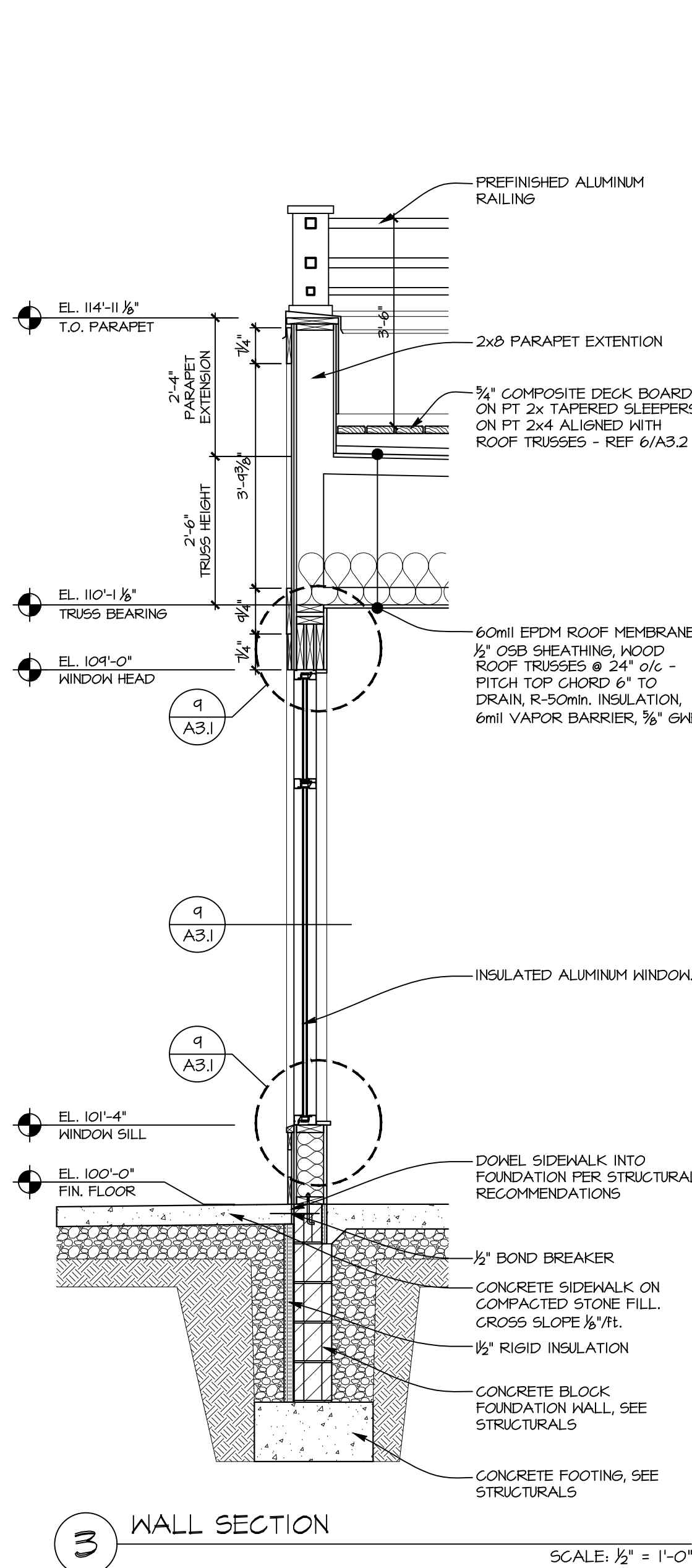
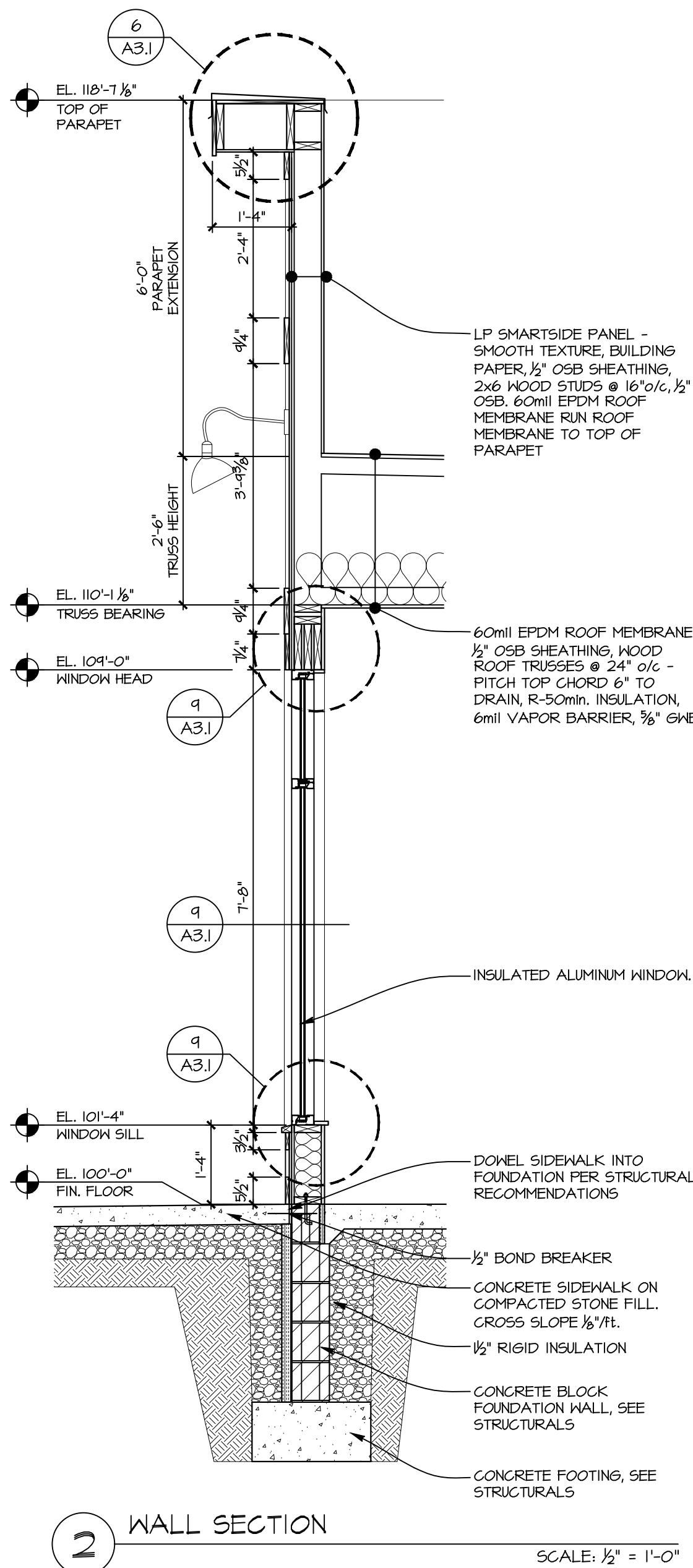
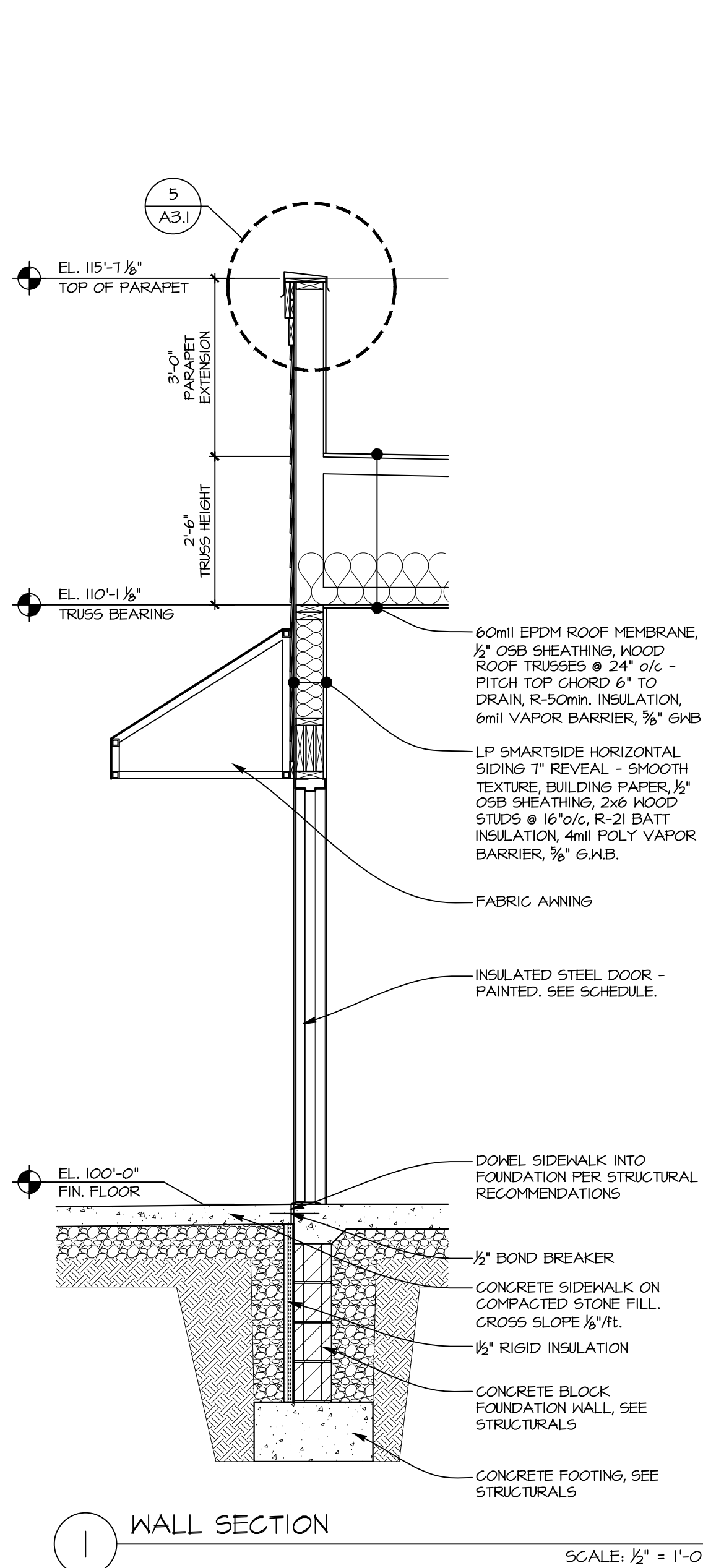
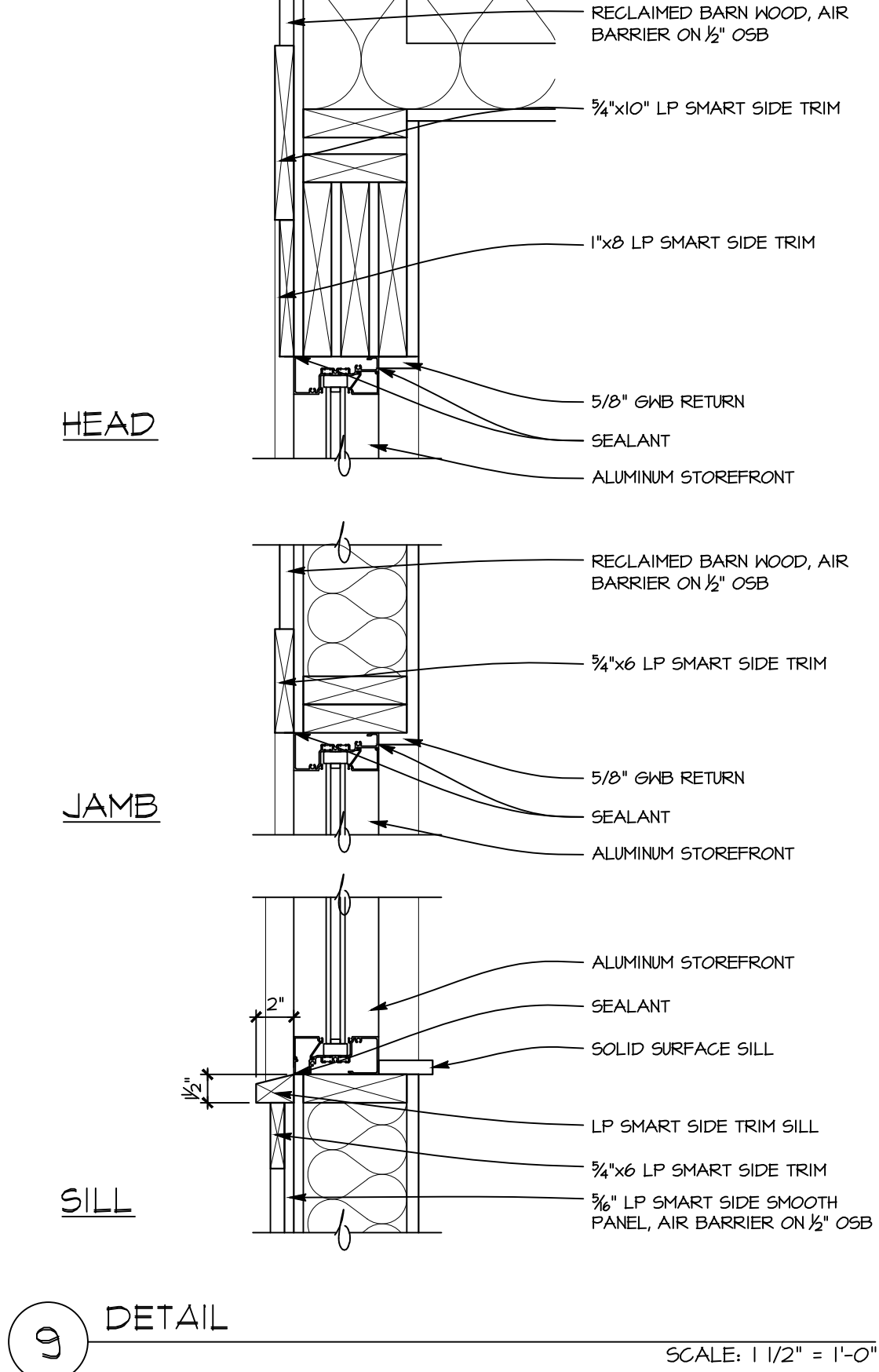
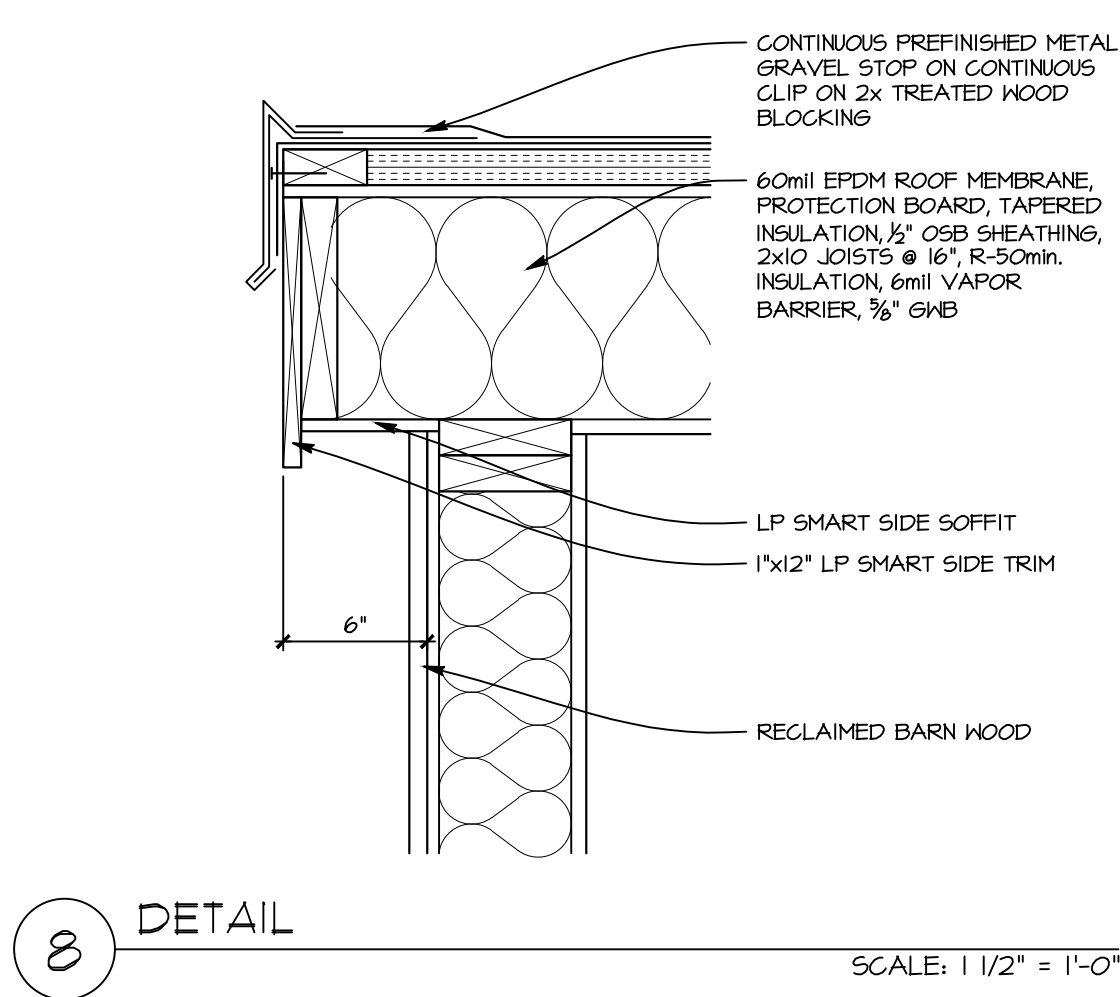
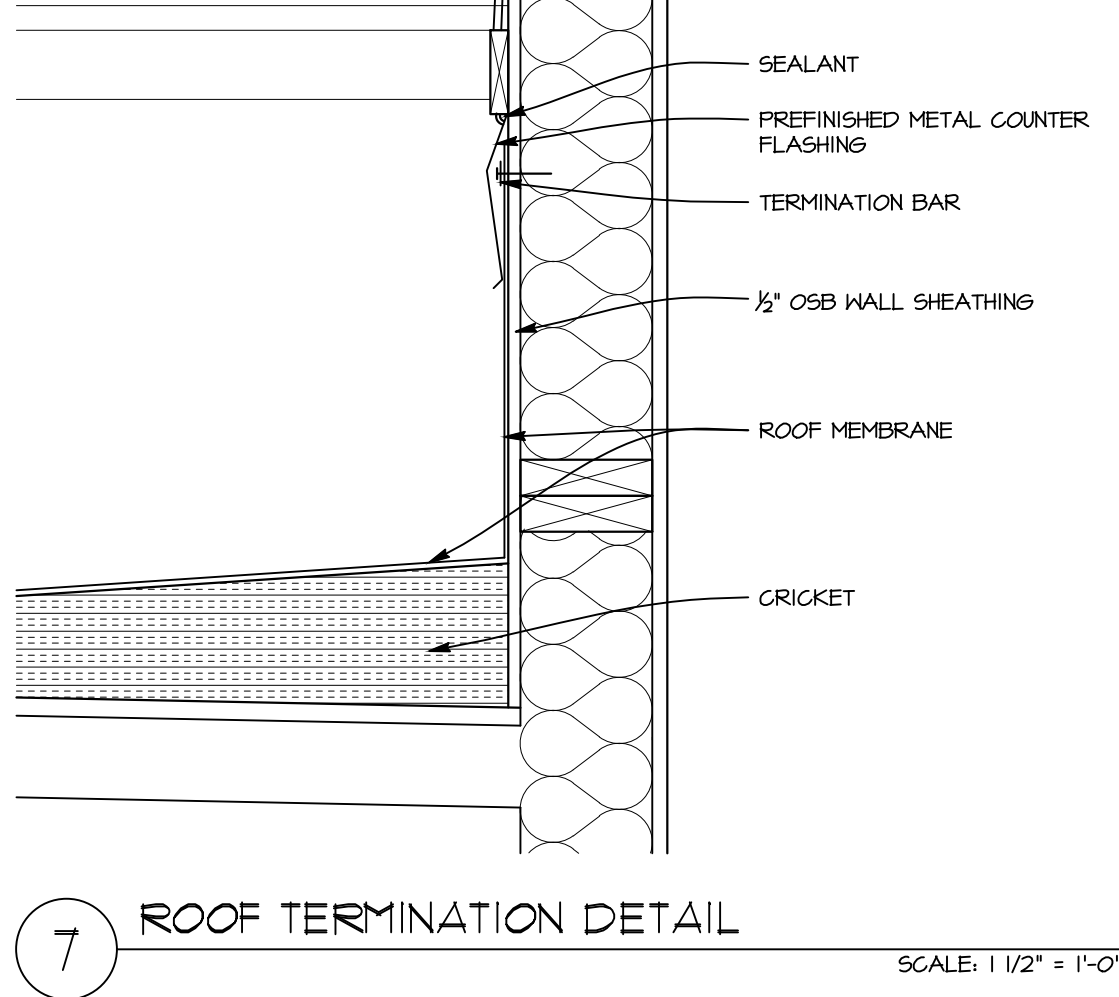
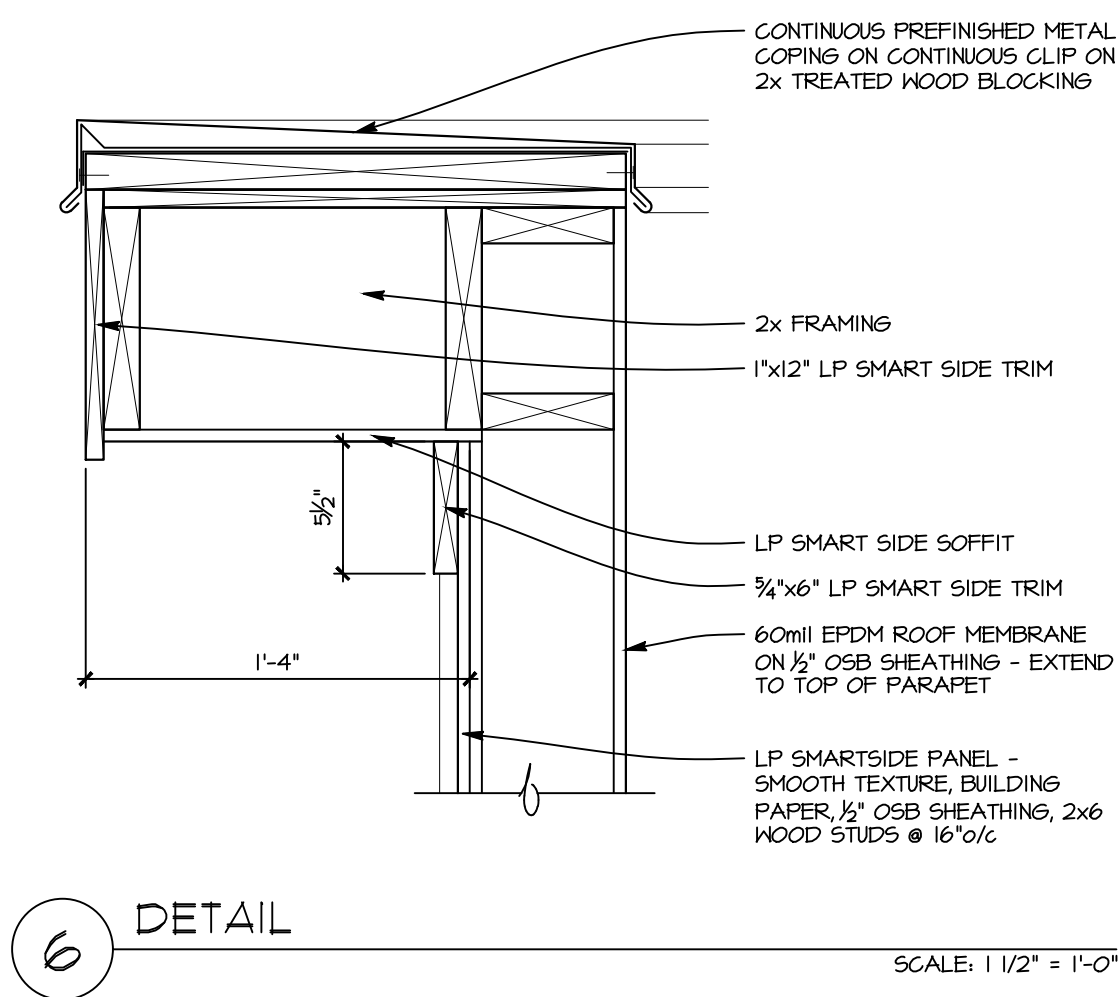
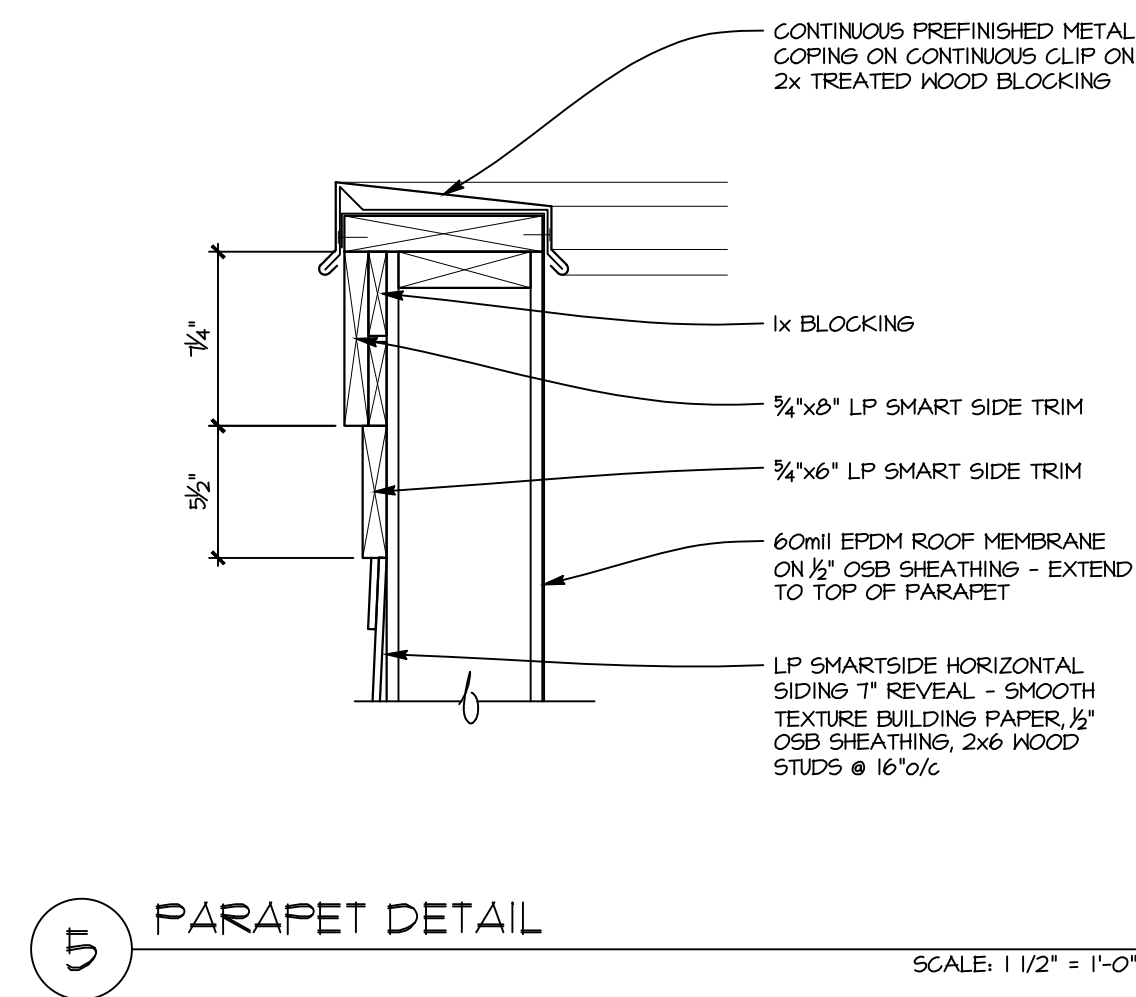
SHEET TITLE:  
ELEVATIONS

## A2.2

DATE: November 3rd, 2020

PROJECT NUMBER: 20-303





# SHOPS AT VILLAGE SQUARE

2919 MAIN STREET  
VILLAGE OF EAST TROY, WISCONSIN

SHEET TITLE:  
SECTIONS / DETAILS

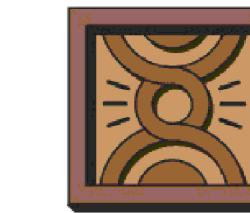
## A3.1

DATE: November 3rd, 2020  
PROJECT NUMBER: 20-303

2020 11 03 - PLAN COMMISSION SET

REVISIONS:

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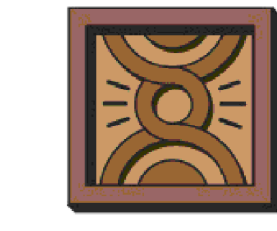
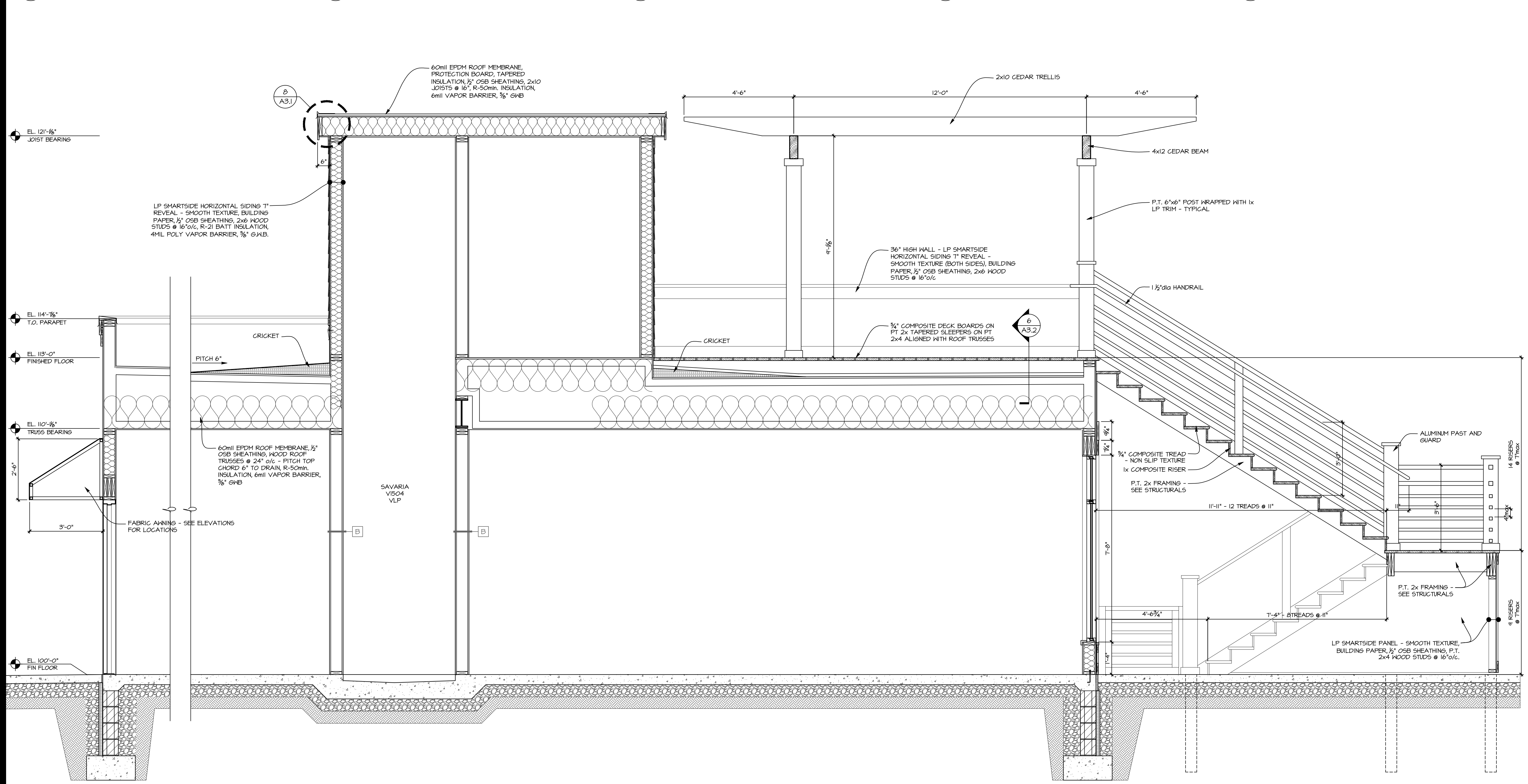
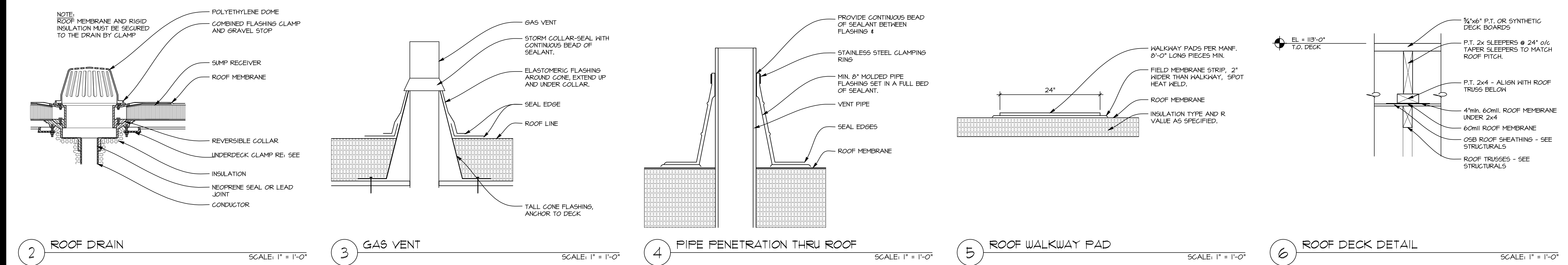
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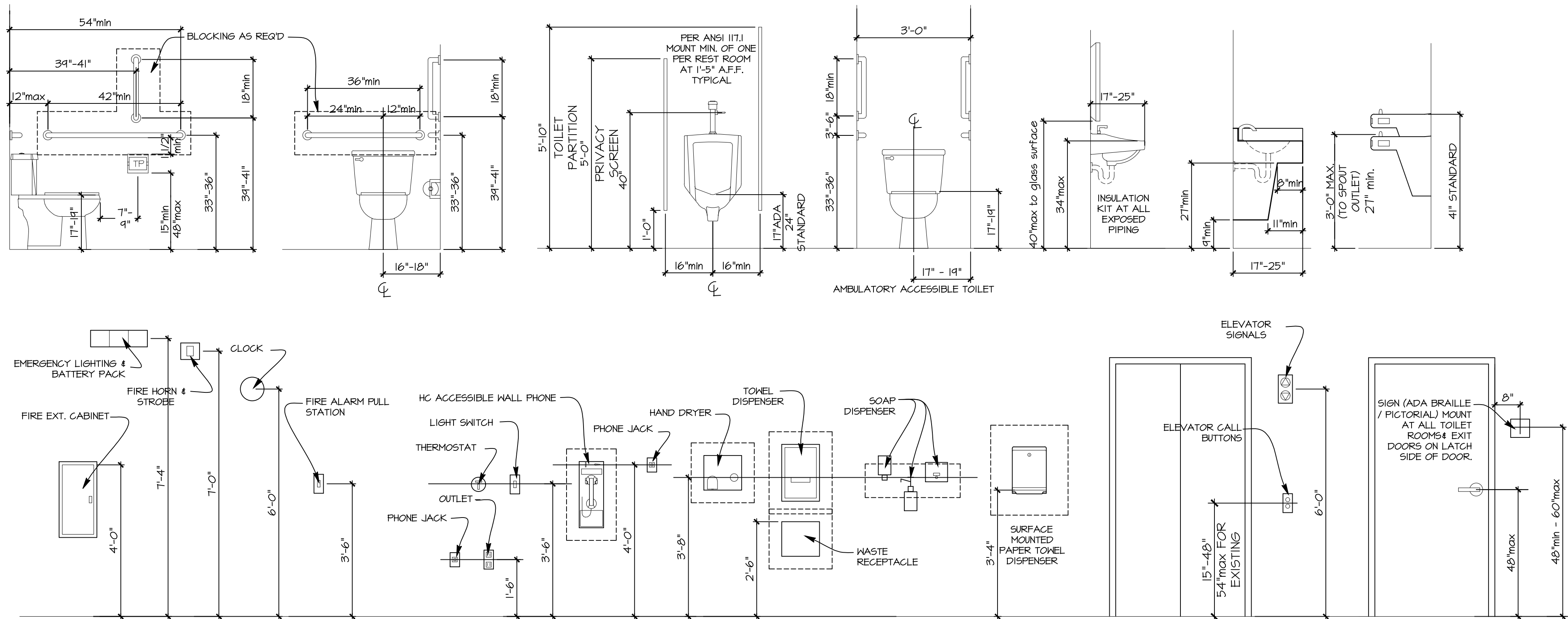
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REVISIONS:	
-	X





5 STANDARD MOUNTING HEIGHTS SCALE: 1/2" = 1'-0"

ROOM NO.	ROOM NAME	FLOOR MATL.	BASE MATL.	WALLS				CEILING		NOTES
				NORTH	EAST	SOUTH	WEST	MATERIAL	HEIGHT	
101	RECEPTION	LVT-1	VB-1	PT-1	PT-1	PT-1	PT-1	GNB	10'-0"	--
102	HOSTESS	LVT-1	VB-1	PT-1	PT-1	PT-1	PT-1	GNB	10'-0"	--
103	SEATING	LVT-1	VB-1	PT-1	PT-1	PT-1	PT-1	GNB	10'-0"	--
104	FRONT KITCHEN	CT-1	CTB-1	PT-1	PT-1	PT-1	PT-1	GNB	10'-0"	--
105	EMPLOYEE RESTROOM	CT-2	CTB-1	PT-1	PT-1	PT-1	PT-1	GNB	10'-0"	--
106	STOCK	SC	VB-1	PT-1	PT-1	PT-1	PT-1	GNB	10'-0"	--
107	BACK KITCHEN	CT-1	CTB-1	PT-1	PT-1	PT-1	PT-1	GNB	10'-0"	--
108	MEN'S RESTROOM	CT-2	CTB-1	PT-3	PT-3	PT-3	PT-3	GNB	10'-0"	--
109	WOMEN'S RESTROOM	CT-2	CTB-1	PT-3	PT-3	PT-3	PT-3	GNB	10'-0"	--
110	CORRIDOR	LVT-1	VB-1	PT-1	PT-1	PT-1	PT-1	GNB	10'-0"	--
III	TENANT #3	LVT-2	VB-1	PT-1	PT-1	PT-1	PT-1	GNB	10'-0"	--
201	ELEVATOR PENTHOUSE	LVT-1	VB-1	PT-2	PT-2	PT-2	PT-2	GNB	8'-0"	--

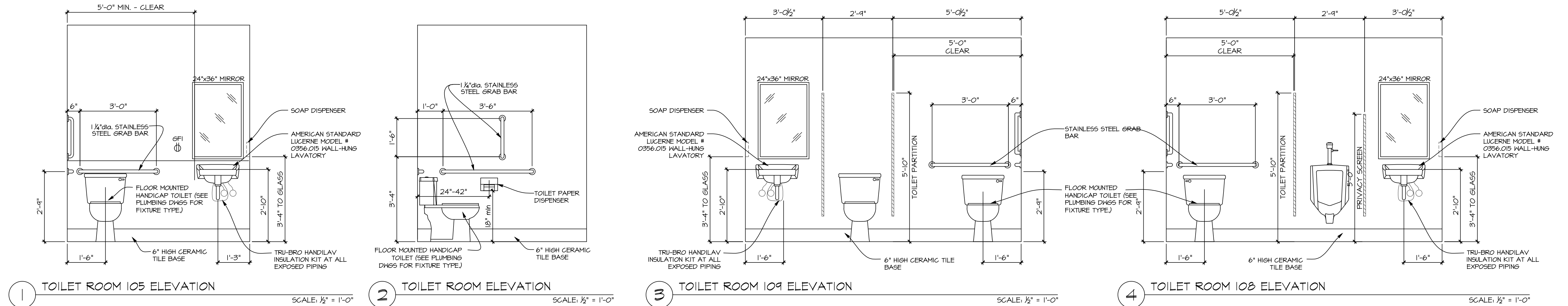
SAMPLES OF ALL FINISHES ARE REQUIRED TO BE SUBMITTED TO ARCHITECT FOR REVIEW. DO NOT ORDER OR INSTALL WITHOUT ARCHITECT'S REVIEW. CONTRACTORS ARE TO VERIFY BOTH COLOR NUMBER AND COLOR NAME FOR ALL FINISHES. CONTRACTORS TO BRING TO THE ATTENTION OF THE ARCHITECT ANY AND ALL DISCREPANCIES. SUBSTITUTIONS NOT ALLOWED UNLESS APPROVED BY ARCHITECT.

FINISH SCHEDULE NOTES

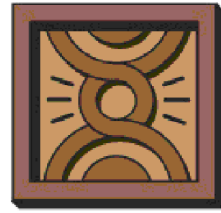
NOTE 1:--

ROOM FINISH LEGEND

CODE	FINISH	MANUFACTURER/TYPE	NUMBER	COLOR NAME	NOTES
CT-1	CERAMIC TILE	--	--	--	--
CT-2	CERAMIC TILE	--	--	--	--
CTB	CERAMIC TILE BASE	--	--	--	--
--	--	--	--	--	--
LVT-1	VINYL TILE	--	--	--	--
LVT-2	VINYL TILE	--	--	--	--
VB	VINYL BASE	--	--	--	--
--	--	--	--	--	--
PT-1	PAINT	--	--	--	--
PT-2	PAINT	--	--	--	--
PT-3	PAINT	--	--	--	--
--	--	--	--	--	--
--	--	--	--	--	--



1 TOILET ROOM 105 ELEVATION SCALE: 1/2" = 1'-0" 2 TOILET ROOM ELEVATION SCALE: 1/2" = 1'-0" 3 TOILET ROOM 109 ELEVATION SCALE: 1/2" = 1'-0" 4 TOILET ROOM 108 ELEVATION SCALE: 1/2" = 1'-0"



REVISIONS:

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