August 14, 2020

Mr. Tim Schwecke
Town of Eagle
820 E. Main Street
Eagle, WI 53119

RE: ***Dollar General Store***
Preliminary Plan Review for Dollar General
Eagle, Wisconsin

Dear Mr. Schwecke,

We are in response to multiple sets of review comments provided by the Town of Eagle regarding the proposed Dollar General Store located at the northeast corner of County Highway NN and Godfrey Lane. Received correspondence include:

- ***Engineering Review Memo*** by Lynch and Associates; dated ***August 4th, 2020***
- ***Staff Report*** on the Proposed Site Plan and Plan of Operations; dated July 30, 2020
- ***Staff Report*** on the Proposed Certified Survey Map; dated ***July 30, 2020***

In addition to the correspondence received above, Kimley-Horn has also provided responses to the site plan, landscape plan, and architectural comments discussed at the Plan Commission Meeting on August 3, 2020. Below is a summary of the actions taken in response to these comments.

Engineering Review Memo by Lynch and Associates; dated August 4th, 2020

1. The legend indicates the areas of the standard asphalt and heavy-duty asphalt. Please provide the corresponding pavement cross sections. Also, provide details for the sidewalk.
   Response: Pavement sections for asphalt and sidewalk have been included on sheet C7.0.

2. Verify the building FFE. The plan elevation and cross section elevation are different.
   Response: The FFE is 921.50, which has been corrected on the Plan and Cross Section on Sheet C5.0.

3. The top of curb and flowline elevations appear to be reversed along the front edge of the walk.
   Response: Top of curb and flowline elevations have been revised to show correct values. See Sheet C5.0.

4. Label proposed pipe with pipe diameter, pipe type, and length on C2.0.
   Response: Sanitary and storm pipes have been labeled accordingly, see Sheet C6.0.

5. The sidewalk along the building is less than 1% in slope and the slope should be increased to provide better drainage away from the building.
   Response: The proposed sidewalk grades along the building have been revised to increase the slope to a value greater than 1%, but less than 2.0%. See sheet C5.0.

6. The drainage away from the rear of the building does not meet requirements of SPS 321.12.
   Response: The drainage away from the rear of the building has been increased above 0.5" per 12" (4.167%) for at least the first 10 feet. See Sheet C5.0.

7. Add soil boring locations to the pond.
   Response: A geotechnical report performed by Terracon Consultants, Inc. dated August 5, 2020 has been included with this resubmittal.

8. It appears that fill is being placed on the septic area. Will it be a mound system or conventional?
   Response: The septic field will be a conventional system. The grading has been revised to avoid fill in the septic area (<6" with no compaction).

9. The pond discharge pipe in the CTH NN right of way is lower than the ditch grades shown to the east and west. It appears the ditch run off could backflow into the pond.
   Response: Based on the field survey, the ditch flows from West to East. The detention pond normal water elevation is 916.50, the outlet to the ditch is 916.40, and then ditch flows east as shown by the 916.30 spot located at the southeast corner. The detention pond normal water level was set 0.1' above the ditch to avoid additional fill on site.

10. Any work in the CTH NN right of way will require a permit from Waukesha County. Please provide a copy of the permit once it has been received.
    Response: Comment noted. The Site Plan and CSM has been sent to Waukesha County for review. Future correspondence will be sent to the Town.

11. Provide an erosion control plan with accompanying details.
    Response: The Erosion Control Plan and Details are included in sheet C4.0 and C4.1 of the Final Engineering Plans.

12. Add water service size and roof drain size along with the sizing calculations.
    Response: The water service has been sized as a 1.5-inch Type-K Copper line and has been labeled on the Utility Plan, See Sheet C6.0. The roof drains are sized at 6-inches, sizing calculations have been provided in the Drainage Report attached with this resubmittal.

13. The invert for D1 in the structure table differs from the invert labeled on C2.0..
    Response: The outfall invert for structure D1 has been revised for consistency on the Utility Plan and Grading Plan.

14. Note 12 in the utility notes state light poles are shown. Please add light pole locations to the site plan.
    Response: Light poles and their locations have been added to the Site Plan (C3.0) and Utility plan (C6.0).

15. Notes 17, 19, and 20 reference Kenosha Water Utility. Please revise the reference.
    Response: Notes 17, 19 and 20 have been removed from the Utility Notes.

16. Provide details for the pond outlet structure, manholes, inlets and rip rap.
    Response: Construction details for utility structures and rip rap have been provided on sheet C7.0 and C7.1 of the Final Engineering Plans

Staff Report on the Proposed Site Plan and Plan of Operations; dated July 30, 2020

1. The property owner must reimburse the Town for any and all fees paid by the Town for technical assistance in reviewing and enforcing this approval. Such payments shall be paid upon request of the Town. The Town Clerk's office shall provide owner/applicant with itemized invoices.
   Response: Comment Noted.

2. The applicant must submit details for the dumpster enclosure, meeting code requirements, to the Town Planner for review and approval.
   Response: Per discussion at Plan Commission, the Dumpster Enclosure will be enhanced to masonry, which is noted on the Site Plan, Sheet C3.0. Dumpster Enclosure details will be submitted with the building permit application.

3. The applicant must provide documentation to the Town Planner to ensure that all light fixtures are full-cut off.
   Response: Standard Dollar General light specifications have been provided for the Town Planner's Review.

4. The property owner obtains a zoning permit for the approved building within 6 months of this date.
   Response: Comment Noted.

5. The property owner obtains a building permit for the approved building within 9 months of this date and completes the authorized work within one year of obtaining the permit.
   Response: Comment Noted.

6. The property owner obtains all other approvals as may be required to construct the building as planned (e.g., fire department review).
   Response: Comment Noted.

Staff Report on the Proposed Certified Survey Map; dated July 30, 2020

1. Include a vision triangle at the intersection of CTH NN.
   Response: Per coordination with Waukesha County, the Vision Triangle will be measure 150 ft along the centerline of Highway NN and 100 ft along the centerline of Godfrey Lane. The Vision Triangle has been added to the Site Plan, Landscape Plan, and CSM.

2. Include a no-access restriction on CTH NN.
   Response: The restriction has been added to the CSM.

3. Add a signature block for the Village of Eagle because the subject property is located within the Village's extraterritorial review authority (i.e., 1.5 miles).
   Response: The Village of Eagle signature block has been added to the CSM.

Plan Commission Comments; August 3, 2020

Building Elevations

1. Provide Masonry building materials on the east elevation.
   Response: All four elevations of the building are now masonry – see revised elevations.

2. Provide pilasters on the east elevation to break up the façade.
   Response: Vertical elements and pilasters have been provided on the revised building elevations.

3. Provide a parapet wall on the east elevation.
   Response: A parapet wall has been provided on the east elevation. – See revised elevations.

4. Provide 8" deep by 12" wide pilasters per Town Code.
   Response: The necessary depth and width of pilasters has been provided – See Site Plan.

5. Move the entry door on the west elevation to encourage parking on the west side of the building.
   Response: The entry door has been moved to the west elevation – See Site Plan.

Site Plan/Landscape Plan

1. The Dumpster enclosure needs to be masonry given its visibility from the street.
   Response: A masonry dumpster has been proposed. See Site Plan. Materials to match the proposed architectural elevations.

2. Provide a 'vision triangle" at the corner and adjust the Pylon Sign accordingly. (distance to be confirmed with County)
   Response: The vision triangle dimensions have been confirmed with Waukesha County and shown on the site plan accordingly.

3. Provide additional plantings with pine trees on the West Elevation.
   Response: The landscape plan has been revised accordingly – See Sheet L1.0.

4. Provide additional screening for the parking lot along County NN.
   Response: The landscape plan has been revised accordingly – See Sheet L1.0.

Photometrics

1. Provide cut sheets of the light poles and light pole fixtures.
   Response: Cut sheets have been provided with this submittal.

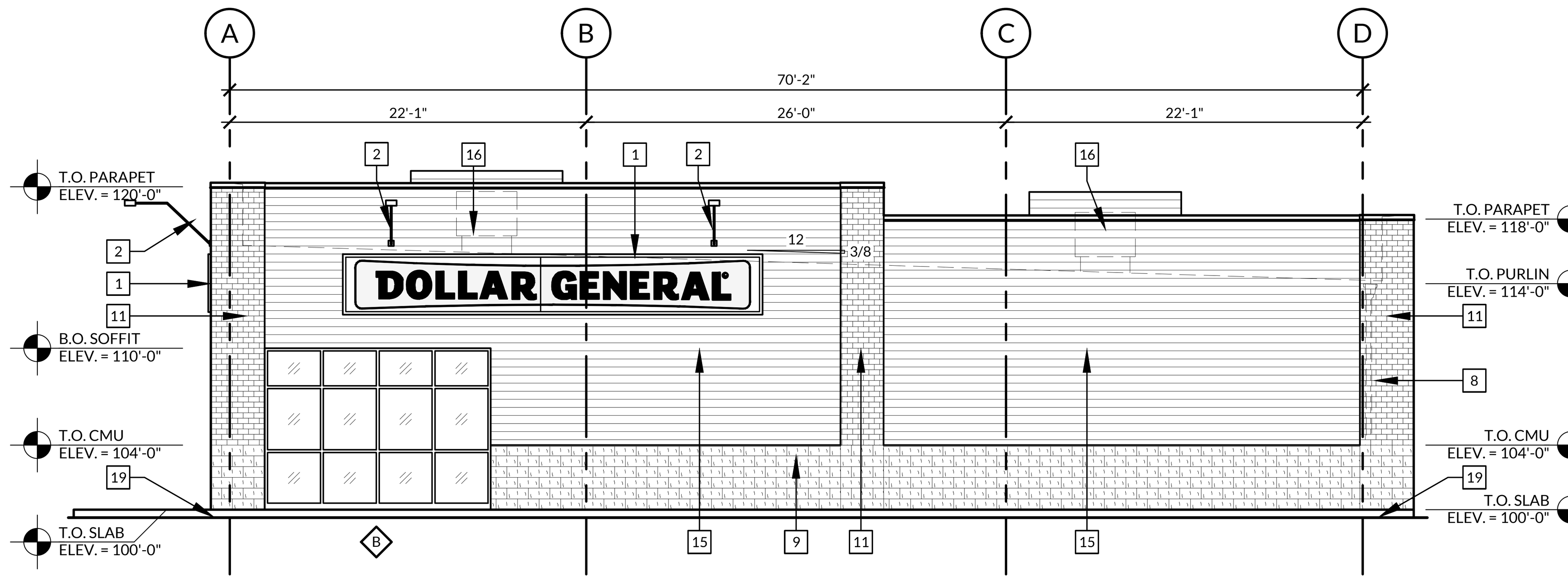
2. Provide "cut offs/shields" to limit light pollution.
   Response: Cut sheets have been provided with this submittal for the Town's review.

3. Dim/Turn off lights after hours of operation, for safety and light pollution.
   Response: A dimmer switch will be provided as part of the lighting plan.

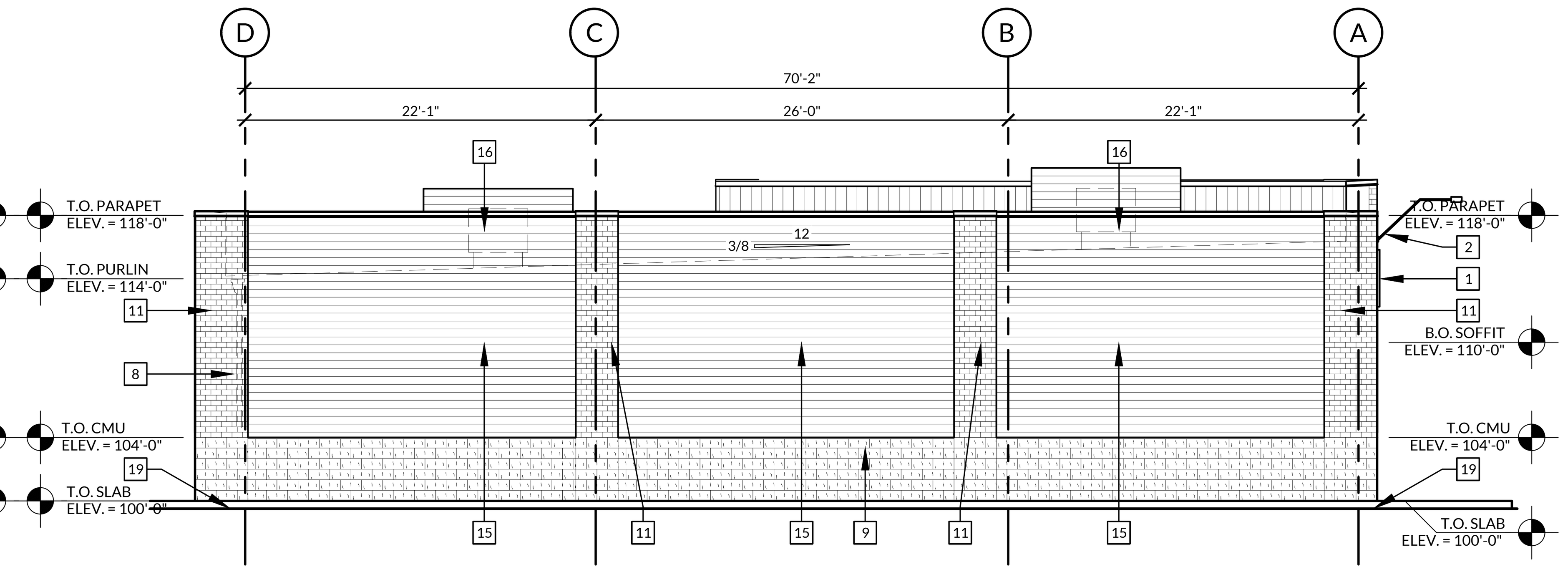
We trust these responses and the description of changes above adequately address your comments. If you have any questions or require any additional information, please contact me at 630-487-5563.

Sincerely,

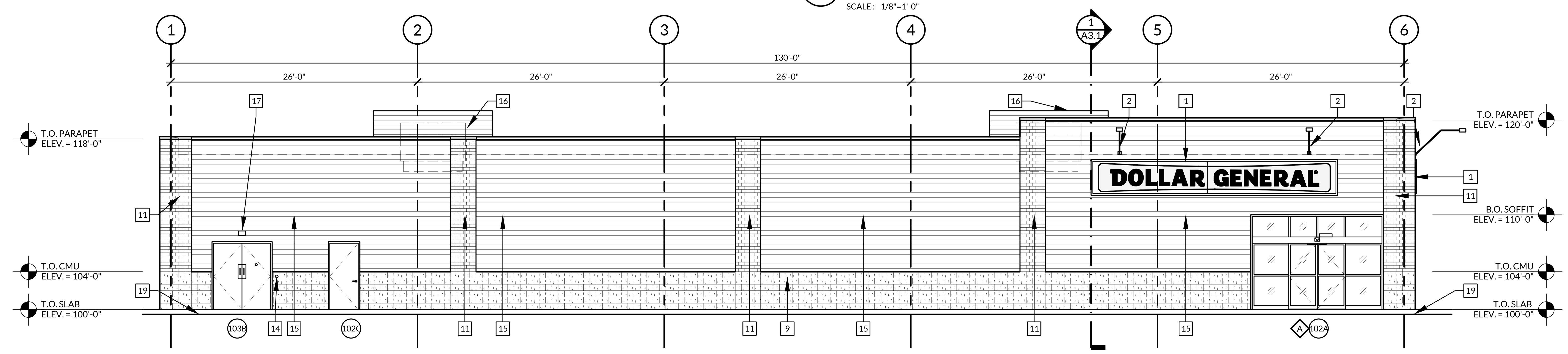
Joseph Mayer
Kimley-Horn and Associates, Inc.
Phone: 630-487-5563
Email: Joe.mayer@kimley-horn.com



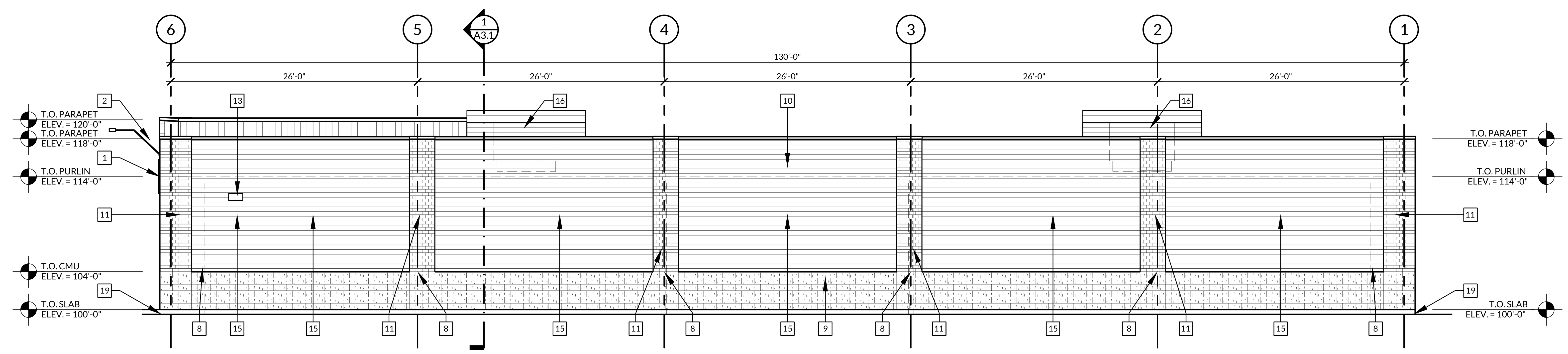
1 SOUTH ELEVATION
SCALE : 1/8"=1'-0"



2 NORTH ELEVATION
SCALE : 1/8"=1'-0"



3 WEST ELEVATION
SCALE : 1/8"=1'-0"



4 EAST ELEVATION
SCALE : 1/8"=1'-0"

EXTERIOR FINISH SCHEDULE

PRE-ENGINEERED METAL BUILDING VENDOR.	VP BUILDINGS ATTN:DAVID ENGLISH (901) 568-4537					STAR BUILDING SYSTEMS ATTN:RODNEY BURT (800) 879-7827					NUCOR BUILDING SYSTEMS ATTN:BOB BARRY (315) 622-4440 · (260) 837-7891					BIGBEE STEEL BUILDINGS, INC. ATTN:KEVIN BUSLER (800) 633-3378					CHIEF BUILDINGS ATTN:ERIN SULLIVAN (800) 845-3378					PREFERRED COLORS IF ALTERNATE EXTERIOR MATERIALS ARE USED INSTEAD OF METAL PANELS.				
EXTERIOR FINISHES ARE TO MATCH or BE EQUAL TO VP METAL BUILDING SYSTEM'S FINISH SELECTION.	COOL EGYPTIAN WHITE	COOL DARK BRONZE	BRONZE	COOL COTTON WHITE	GALVALUME	LIGHTSTONE	MEDIUM BRONZE, KYNAR 500	BRONZE	POLAR WHITE	GALVALUME	LIGHTSTONE	MEDIUM BRONZE, KYNAR 500	BRONZE	POLAR WHITE	GALVALUME	SANDSTONE	BURNISHED SLATE	BRONZE	POLAR WHITE	GALVALUME	PARCHMENT	ANTIQUE BRONZE	BRONZE	POLAR WHITE	GALVALUME	SHERWIN WILLIAMS SW7037 "BALANCED BEIGE"	SHERWIN WILLIAMS SW7041 "VAN DYKE BROWN"	BRONZE	WHITE BY PEMB MANUFACTURER	GALVALUME
GUTTERS.		●					●					●					●					●					●			
DOWNSPOUTS.		●					●					●					●					●					●			
SIDE & REAR METAL WALL PANELS & TRIM, RECEIVING & EMERGENCY EXIT DOORS. (EXTERIOR OF DOORS TO BE PAINTED. REFER TO DOOR SCHEDULE.)		●					●					●					●					●					●			
4" SPLIT-FACE CMU	MIDWEST BLOCK or EQUAL. COLOR: TBD.					MIDWEST BLOCK or EQUAL. COLOR: TBD.					MIDWEST BLOCK or EQUAL. COLOR: TBD.					MIDWEST BLOCK or EQUAL. COLOR: TBD.					MIDWEST BLOCK or EQUAL. COLOR: TBD.					MIDWEST BLOCK or EQUAL. COLOR: TBD.				
4" SMOOTH or VELOUR ECONOMY SIZE BRICK.	ACME BRICK or EQUAL. COLOR: TBD.					ACME BRICK or EQUAL. COLOR: TBD.					ACME BRICK or EQUAL. COLOR: TBD.					ACME BRICK or EQUAL. COLOR: TBD.					ACME BRICK or EQUAL. COLOR: TBD.					ACME BRICK or EQUAL. COLOR: TBD.				
NICHIHA FIBER CEMENT PANEL.	SERIES: VINTAGEWOOD. COLOR: REDWOOD.					SERIES: VINTAGEWOOD. COLOR: REDWOOD.					SERIES: VINTAGEWOOD. COLOR: REDWOOD.					SERIES: VINTAGEWOOD. COLOR: REDWOOD.					SERIES: VINTAGEWOOD. COLOR: REDWOOD.					SERIES: VINTAGEWOOD. COLOR: REDWOOD.				
FLAT METAL SOFFIT AT STOREFRONT VESTIBULE AREA.				●					●					●					●					●					●	
BUILDING FASCIA WALL, PARAPET o/ ENTRANCE, & CANOPY.		●					●					●					●					●					●			
STOREFRONT SYSTEM.			●					●					●					●					●					●		
STANDING SEAM METAL ROOF PANELS.					●					●					●					●					●					●
LINER PANELS (INTERIOR SALES & RECEIVING FLOOR)				●					●					●					●					●					●	

ELEVATION KEYNOTES

1. SIGN FURNISHED & INSTALLED BY DOLLAR GENERAL CORPORATION. SIGN SHALL BE LIGHTED FROM ABOVE. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. COORDINATE THE PROPER SIGNAGE TO BE USED w/ DOLLAR GENERAL.
2. EXTERIOR LIGHTING. REFER TO ELECTRICAL DRAWINGS TO VERIFY EXACT QUANTITY, LOCATION, MOUNTING HEIGHT & OTHER SPECIFICATIONS.
3. NOT USED.
4. NOT USED.
5. NOT USED.
6. NOT USED.
7. NOT USED.
8. GUTTER & DOWNSPOUT. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
9. 4" SPLIT-FACE CMU. REFER TO EXTERIOR FINISH SCHEDULE FOR TYPE & COLOR.
10. STANDING SEAM METAL ROOF. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
11. 4" SMOOTH or VELOUR ECONOMY SIZE BRICK. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
12. NOT USED.
13. VENT FOR BATHROOM EXHAUST. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION & ADDITIONAL INFORMATION.
14. DOOR BUZZER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
15. NICHIHA VINTAGEWOOD ARCHITECTURAL PANELS. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
16. HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION & LOCATIONS. UNITS TO BE SCREENED FROM VIEW. SCREEN TO BE CITYSCAPES, INC. "ENVISOR SCREENING SYSTEM" or APPROVED EQUAL.
17. OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
18. MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
19. FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON-PAVED AREAS.
20. NOT USED.

TORGERSON DESIGN PARTNERS
ARCHITECTURE / REAL ESTATE / DEVELOPMENT
116 NORTH 2ND AVENUE - OZARK, MO 65721 - P (417) 581-8889 - F (417) 581-9002
ARCHITECTURAL CORPORATION WISCONSIN LICENSE NUMBER: 4765-11

DOLLAR GENERAL
STORE #22466 · PROTOTYPE "E"
EAGLE, WISCONSIN
NORTHEAST CORNER OF HIGHWAY NN & GODFREY LANE/LEEDS DRIVE
EAGLE, WAUKESHA COUNTY, WISCONSIN 53119

ARCHITECT OF RECORD:
KYLE W. RADER
ARCHITECTURAL LICENSE #:
12667-5

PROJECT NUMBER:
20147 - DGEW

REVISION:

PRELIMINARY
NOT FOR CONSTRUCTION

A2.1
EXTERIOR ELEVATIONS

DATE: JULY 16, 2020

FINAL ENGINEERING PLANS

DOLLAR GENERAL

NEC HIGHWAY NN & GODFREY LANE
TOWN OF EAGLE, WISCONSIN 53119

DIGGERS HOTLINE
1-800-242-8511

UTILITY AND GOVERNING AGENCY CONTACTS

PLANNING & ZONING DEPARTMENT
TOWN OF EAGLE
820 E. MAIN STREET
EAGLE, WI 531199
TEL: (920) 728-2814
CONTACT: TIM SCHWECKE

ENGINEERING DEPARTMENT
TOWN OF EAGLE
820 E. MAIN STREET
EAGLE, WI 531199
TEL: (262) 402-5040
CONTACT: TIM LYNCH

STORM SEWER SERVICE
TOWN OF EAGLE
820 E. MAIN STREET
EAGLE, WI 531199
TEL: (262) 594-5800

WATER/SANITARY SERVICE
PRIVATE WELL & SEPTIC

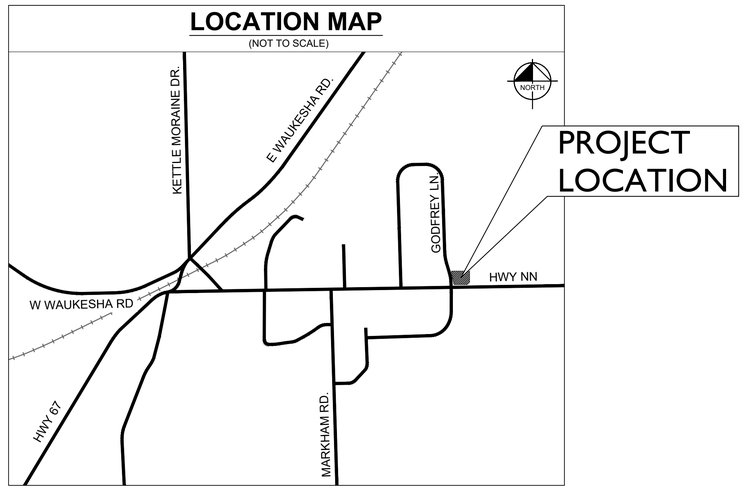
ROADWAY AUTHORITY
WAUKESHA COUNTY
515 W MORELAND BLVD, AC220
WAUKESHA, WI 53188
TEL: (262) 548-7740

POWER COMPANY
WE ENERGIES
S13 W33800 US-18
DELAFIELD, WI 53018
TEL: (262) 968-2575

NATURAL GAS COMPANY
WE ENERGIES
S13 W33800 US-18
DELAFIELD, WI 53018
TEL: (262) 968-2575

TELEPHONE
AT&T
TEL: (853) 293-7676

LOCATION MAP
(NOT TO SCALE)



Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
V0.0	ALTA SURVEY
C1.0	GENERAL NOTES
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	EROSION CONTROL PLAN
C4.1	EROSION CONTROL NOTES & DETAILS
C5.0	GRADING PLAN
C6.0	UTILITY PLAN
C7.0	CONSTRUCTION DETAILS
C7.1	CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES AND DETAILS

PROJECT TEAM

DEVELOPER
THE OVERLAND GROUP
1903 EAST BATTLEFIELD ST.
SPRINGFIELD, MO 65804
TEL: (417) 293-3332
CONTACT: JACOB W. STAUFFER

ARCHITECT
TORGERSON DESIGN PARTNERS
116 N. 2ND AVE.
OZARK, MO 65721
TEL: (417) 581-8889
CONTACT: MIKE SEBBEN

SURVEYOR
CHAPUT LAND SURVEYS
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
TEL: (414) 224-8068
CONTACT: DONALD CHAPUT

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: JOE.MAYER@KIMLEY-HORN.COM
CONTACT: JOE MAYER,
EMAIL: JUSTIN.MULLER@KIMLEY-HORN.COM
CONTACT: JUSTIN MULLER, P.E.

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: DANIEL.GROVE@KIMLEY-HORN.COM
CONTACT: DANIEL GROVE

GEOTECH
TERRACON CONSULTANTS, INC.
9856 SOUTH 57TH STREET
FRANKLIN, WI 53132
TEL: (414) 423-0255
PAUL J. KOSZAREK, P.E.
CONTACT: DANIEL GROVE

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

STARTING BENCHMARK: REFERENCE MARK AND REFERENCE BENCHMARK FOUND CHISELED CROSS IN TOP OF THE HYDRANT NOZZLE.
ELEVATION=927.61 (NGVD 29)

SITE BENCHMARK: NW FLANGE BOLT ON HYDRANT.
ELEVATION=920.34 (NGVD 29)

SITE BENCHMARK: SET CROSS ON NE COR. OF CONC. PAD.
ELEVATION=924.76 (NGVD 29)

LEGAL DESCRIPTION

PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8689, IN THE SOTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 17 EAST, IN THE TOWN OF EAGLE, WAUKESHA COUNTY, WISCONSIN, RECORDED DECEMBER 17, 1998 IN THE OFFICE OF THE REGISTER OF DEEDS FOR WAUKESHA COUNTY, IN VOLUME 77 OF CERTIFIED SURVEY MAPS ON PAGES 47, 48 AND 49, AS DOCUMENT NO. 239997, TOGETHER WITH ALL MINERAL RIGHTS CLAIMED THEREIN UNDER STATMENT OF MINERAL CLAIM RECORDED MAY 24, 2002 AS DOCUMENT NO. 2804813.

PROFESSIONAL ENGINEER'S CERTIFICATION

I, JUSTIN MULLER, A LICENSED PROFESSIONAL ENGINEER OF WISCONSIN, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF THE OVERLAND GROUP BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 14TH DAY OF AUGUST , A.D., 2020.

WISCONSIN LICENSED PROFESSIONAL ENGINEER E-40596
MY LICENSE EXPIRES ON JULY 31, 2020

WISCONSIN JUSTIN M. MULLER E-40596 CHICAGO, IL PROFESSIONAL ENGINEER

No.	REVISIONS	DATE	BY
1	TOWN COMMENTS	08/14/20	JPM

Kimley»Horn

4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
PHONE: (630) 487-5550
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: JMM

THE OVERLAND GROUP

COVER SHEET

DOLLAR GENERAL
NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

ORIGINAL ISSUE: 07/29/2020
KHA PROJECT NO. 168708007
SHEET NUMBER
C0.0

ALTA/NSPS LAND TITLE SURVEY

TITLE COMMITMENT

This survey was prepared based on First American Title Insurance Company Commitment No. DM0004535, effective date of March 27, 2020 which lists the following easements and/or restrictions from schedule B-II:

1, 2, 3, 5, 9 & 10 visible evidence shown, if any.

4, 6, 7, 8, 11 & 14 not survey related.

12. Terms and provisions of Statement of Mineral Claim dated 05/23/2002 and recorded 05/24/2002 as Document No. 2804813. Affects property by location, general in nature.

13. Terms and provisions of Telephone Line Right-of-Way Easement to North-West Telephone Company, dated 01/31/1973 and recorded 04/05/1973 in Reel 34, Image 1185 as Document No. 845877. Does not affect property by location, not shown.

PARKING SPACES

There are no parking spaces marked on this site.

FLOOD NOTE

According to the flood insurance rate map of the County of Waukehsa, Community Panel No. 55133C0290G, effective date of September 26, 2008, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

MUNICIPAL ZONING

The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A Item 6(a) nor to be relied on for site development purposes.

Site is zoned: B-4 (Mixed Business)
Minimum Setback: 50 feet
Minimum Offset: 20 feet
Maximum Principal building height: 35 feet
Maximum Accessory building height: 20 feet

LAND AREA

The Land Area of Proposed Lot 1 is 97,349 square feet or 2.2348 acres.
The Land Area of Proposed Lot 2 is 88,326 square feet or 2.0277 acres.

VICINITY MAP

CLIENT

Kimley Horn

SITE ADDRESS

Vacant Land, Godfrey Lane, Town of Eagle, Waukesha County, Wisconsin.

LEGAL DESCRIPTION

Part of Lot 1 of Certified Survey Map No. 8689, in the Southeast 1/4 of the Northwest 1/4 of Section 23, Township 5 North, Range 17 East, in the Town of Eagle, Waukesha County, Wisconsin, recorded December 17, 1998 in the office of the Register of Deeds for Waukesha County, in Volume 77 of Certified Survey Maps on pages 47, 48 and 49, as Document No. 2399997, together with all mineral rights claimed therein under Statement of Mineral Claim recorded May 24, 2002 as Document No. 2804813.

BASIS OF BEARINGS

Bearings are referenced to grid North of the Wisconsin State Plane Coordinate System (South Zone) NAD 27, in which the South line of the Northwest 1/4 of Section 23, Township 5 North, Range 17 East, bears N89°03'53"E.

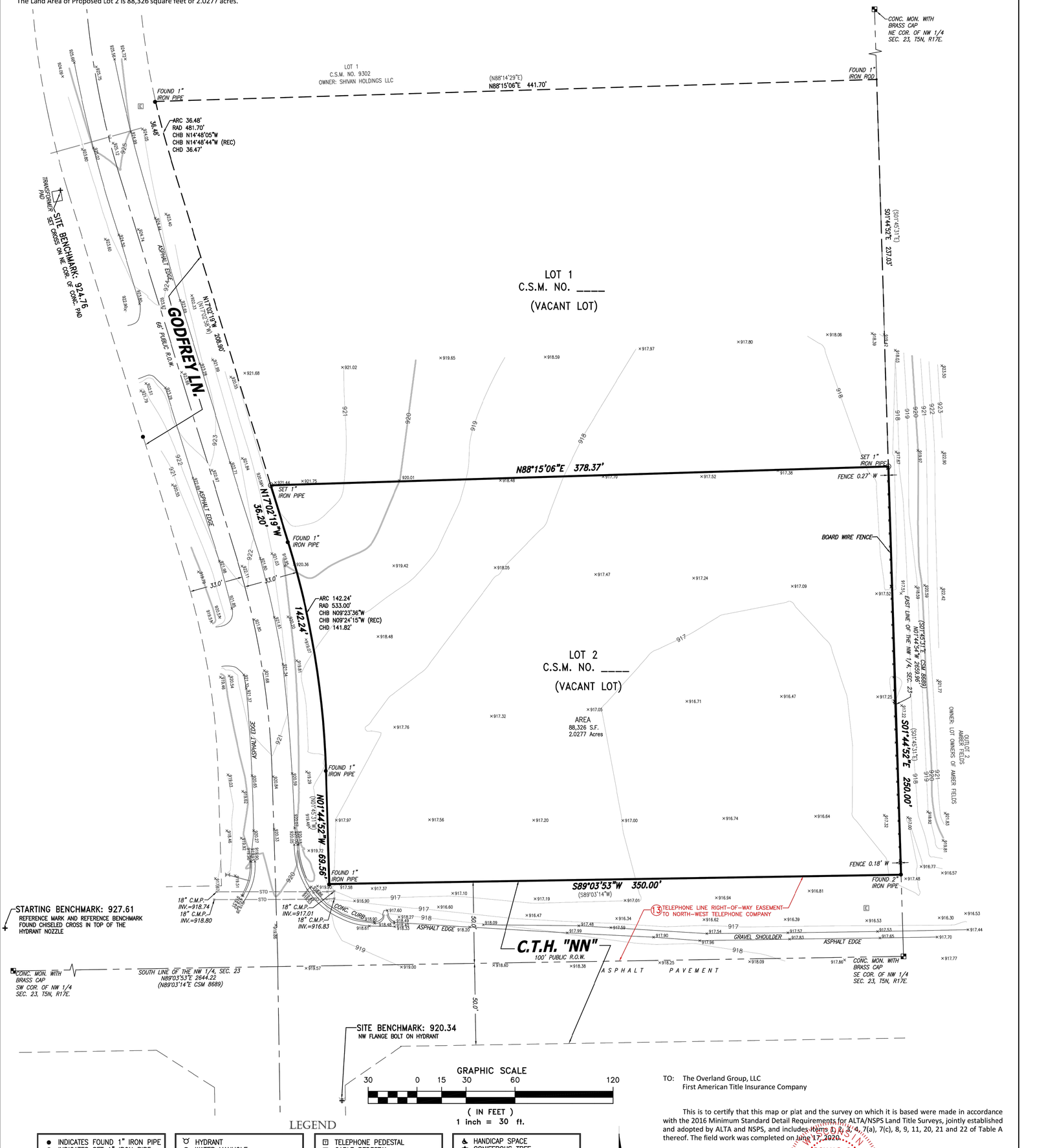
VERTICAL DATUM

Vertical datum is based on National Geodetic Vertical Datum of 1929.

TABLE "A" ITEMS

11. Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20202417914.

CHAPUT LAND SURVEYS



GRAPHIC SCALE
30 0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

LEGEND

- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- INDICATES FOUND CHISELED CROSS
- SANITARY MANHOLE
- SANITARY CLEANOUT OR VENT
- SEPTIC TANK ACCESS COVER
- M.I.S. MANHOLE
- UNKNOWN MANHOLE
- STORM MANHOLE
- INLET (ROUND)
- INLET (SQUARE)
- CURB INLET
- STORM SEWER END SECTION
- GAS VALVE
- GAS METER
- WATER VALVE
- HYDRANT
- WATER MANHOLE
- WATER SERVICE CURB STOP
- WELL HEAD
- STAND PIPE
- WALL INDICATOR VALVE
- POST INDICATOR VALVE
- LIGHT POLE
- SPOT/YARD LIGHT
- UTILITY POLE
- GUY POLE
- GUY WIRE
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- CONTROL BOX
- FIBER OPTIC PEDESTAL/SIGN
- TRAFFIC LIGHT
- COMMUNICATION MANHOLE
- BOLLARD
- SOIL BORING/MONITORING WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- FLAGPOLE
- PARKING METER
- SIGN
- MAILBOX
- RAILROAD CROSSING SIGNAL
- HANDICAP SPACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- BURIED ELECTRIC SERVICE
- BOARD FENCE
- CHAIN LINK FENCE
- WIRE FENCE

TO: The Overland Group, LLC
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 7(a), 7(c), 8, 9, 11, 20, 21 and 22 of Table A thereof. The field work was completed on June 17, 2020.

Date of Map: June 22, 2020.

DONALD C. CHAPUT S-1316 MILWAUKEE WI LAND SURVEYOR

Donald C. Chaput
Professional Land Surveyor
Registration Number S-1316

Date	Revision description

CHAPUT LAND SURVEYS
234 W. Florida Street Milwaukee, WI 53204
414-224-8068 www.chaputlandsurveys.com

Drawing No. 20200622ALT3538-far

V0.0

GENERAL NOTES

1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:

   CHAPUT LAND SURVEYS
   234 W. FLORIDA STREET
   MILWAUKEE, WI 53204
   TEL: (414) 224-8068

   COPIES OF THE SURVEY ARE AVAILABLE FROM THE ENGINEER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

2. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS DEEMED NECESSARY BY THE CONTRACTOR IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.

3. THE CONTRACTOR SHALL PHOTOGRAPH THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.

4. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:

   A. "ROADWAY STANDARD SPECIFICATIONS, WISCONSIN DEPARTMENT OF TRANSPORTATION," AS PREPARED BY WISDOT, CURRENT EDITION AND ITS SUPPLEMENTS.

   B. "10 STATE RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES", AS PUBLISHED BY HEALTH RESEARCH INC., LATEST EDITION.

   C. REGULATIONS, STANDARDS AND GENERAL REQUIREMENTS SET FORTH BY THE TOWN OF EAGLE, UNLESS OTHERWISE NOTED ON THE PLANS.

   D. THE NATIONAL ELECTRIC CODE.

   E. ALL APPLICABLE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.

5. STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THE CONTRACTOR'S WORK MAY NOT BE SPECIFICALLY NOTED, BUT ARE CONSIDERED A PART OF THE CONTRACTOR'S CONTRACT.

6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS, ARE INCLUDED IN THE CONTRACT. ANY ITEM NOT SPECIFICALLY INCLUDED IN THE CONTRACT, BUT SHOWN ON THE PLANS, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY WITH THE PLANS AND QUANTITIES.

7. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT THEM TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS, AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THE CONTRACTOR'S OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

8. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS KIMLEY-HORN AND ASSOCIATES, INC, THE TOWN OF EAGLE, THEIR EMPLOYEES AND AGENTS AND THE OWNER FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN.

9. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

10. CONSTRUCTION MATERIALS AND/OR EQUIPMENT MAY NOT BE STORED IN THE RIGHT-OF-WAY, AS DIRECTED BY THE OWNER.

11. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHT-OF-WAYS ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.

12. OWNER SHALL OBTAIN EASEMENTS AND APPROVAL OF PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS AND EASEMENTS.

13. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE SURVEYOR AT THE CONTRACTOR'S EXPENSE.

14. NOTIFICATION OF COMMENCING CONSTRUCTION:

    14.A. THE CONTRACTOR SHALL NOTIFY AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY, AS NECESSARY, ALL TESTING AGENCIES, THE TOWN OF EAGLE, AND THE OWNER SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.

    14.B. FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN THE TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING WILL CAUSE THE CONTRACTOR TO SUSPEND THE OPERATION TO BE TESTED UNTIL THE TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK SHALL BE BORNE BY THE CONTRACTOR.

15. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL EMERGENCY TRAFFIC, AS DIRECTED BY THE TOWN OF EAGLE.

16. ANY EXISTING SIGNS, LIGHT STANDARDS, AND UTILITY POLES THAT INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED ON THE PLANS FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE, AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.

17. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND SHALL BE PROTECTED PER WISDOT SECTION 202. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE TO TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.

18. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT, FORESTER, OR ARBORIST AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. ALL CUTS OVER ONE (1) INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.

19. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.

20. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.

21. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS REQUIRED FOR SUCH DISPOSAL.

22. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.

23. NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE TOWN OF EAGLE. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE TOWN OF EAGLE PRIOR TO INSTALLING PAVEMENT BASE, BINDER, AND SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET, AS NECESSARY.

24. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND PIPE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THE CONTRACTOR'S WORK SHALL NOT BE PAID FOR SEPARATELY, BUT SHALL BE MERGED INTO THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL, AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. NO EXTRA PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT.

25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE LOCATING SERVICES (1-800-242-8511) AND THE TOWN OF EAGLE FOR UTILITY LOCATIONS.

26. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR AGREEMENT WITH THE OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

27. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.

28. ANY FIELD TILES ENCOUNTERED SHALL BE INSPECTED BY THE ENGINEER. THE DRAIN TILE SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AND A RECORD KEPT BY THE CONTRACTOR OF THE LOCATIONS AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

29. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THE CONTRACTOR'S ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE TOWN OF EAGLE UPON FINAL INSPECTION OF THE PROJECT.

30. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM, IF AVAILABLE. DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR FLUSHING OR USING THE HYDRANT AT THE CONTRACTOR'S OWN EXPENSE. LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE WATER MAIN CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

31. TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE SEWERS AND WATERMAIN WITHIN TWO (2) FEET HORIZONTAL OF PROPOSED OR EXISTING PAVEMENT.

32. IF SOFT, SPONGY, OR OTHER UNSUITABLE SOILS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED AT THE BOTTOM OF THE TRENCH, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH WELL-COMPACTED, CRUSHED LIMESTONE BEDDING MATERIAL. IF ROCK IS ENCOUNTERED, IT SHALL BE REMOVED TO AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE TO ALLOW PROPER THICKNESS OF BEDDING. ANY UNDERCUTS OF TWO (2) FEET OR LESS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. DEPTHS GREATER THAN TWO (2) FEET SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PROCEEDING.

33. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE OWNER.

34. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE PROPER INLET PROTECTION EROSION CONTROL AT LOCATIONS INDICATED BY THE ENGINEER. THE PURPOSE OF THE INLET PROTECTION WILL BE TO MINIMIZE THE AMOUNT OF SILTATION THAT NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.

35. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

36. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES REGULATIONS AND WISDOT STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS, ACCEPTABLE TO THE ENGINEER, HAS DEVELOPED.

37. THE CONTRACTOR SHALL CONFORM TO ALL EROSION CONTROL REQUIREMENTS AS SET FORTH BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES THROUGH THE NPDES PHASE II PERMIT PROGRAM REQUIREMENTS AND GOVERNING MUNICIPALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THE EROSION CONTROL DRAWINGS AND SPECIFICATIONS PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR SUPPLIERS, WHICH CONTRIBUTE TO DEFICIENCIES IN THE SWPPP OR ANY VIOLATIONS RESULTING FROM INADEQUATE EROSION CONTROL PROTECTION AND/OR DOCUMENTATION.

38. THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES. IT MAY BE NECESSARY TO KEEP A SWEEPER ON-SITE AT ALL TIMES.

39. ALL DISTURBED AREAS OF THE RIGHT-OF-WAY SHALL BE FULLY RESTORED TO PRE-CONSTRUCTION CONDITIONS WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL, SEEDING, AND MULCH AS PER WISDOT STANDARDS.

40. ALL PROPOSED GRADES SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS NOTED OTHERWISE.

41. ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. IF REQUESTED BY THE TOWN OF EAGLE OR ENGINEER, COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL.

42. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.

43. WHEN REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED. RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RIM, AND SPOT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER.

44. BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE TOWN OF EAGLE, AS NECESSARY.

EARTHWORK NOTES

1. GENERAL

1.1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.

1.2. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND BE KNOWLEDGEABLE OF ALL SITE CONDITIONS.

1.3. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR.

1.4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION, AND TRAFFIC.

1.5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC., SHALL OCCUR BEFORE GRADING BEGINS.

1.6. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.

1.7. EXISTING SUBSURFACE CONDITIONS WERE OBTAINED FROM A GEOTECHNICAL PREPARED BY:

   TERRACON CONSULTANTS, INC.
   9856 S. 57TH STREET
   FRANKLIN, WISCONSIN 53132
   TEL: (414) 426-0255

1. TOPSOIL EXCAVATION INCLUDES:

1.1. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.

1.2. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.

1.3. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.

1.4. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING SIX (6) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.

1.5. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.

2. EARTH EXCAVATION INCLUDES:

2.1. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.

2.2. PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.

2.3. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.

2.4. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.

3. UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE OWNER.

4. MISCELLANEOUS. THE CONTRACTOR SHALL:

4.1. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.

4.2. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.

4.3. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.

4.4. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.

5. TESTING AND FINAL ACCEPTANCE

5.1. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY THE ENGINEER AND THE OWNER. (SEE PAVING SPECIFICATION.)

5.2. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.

PAVING NOTES

1. GENERAL

1.1. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF SUBBASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.

1.2. COMPACTION REQUIREMENTS [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)]: SUBGRADE = 95%; SUBBASE = 95%; AGGREGATE BASE COURSE = 95%; BITUMINOUS COURSES = 95% OF MAXIMUM DENSITY, PER WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) HIGHWAY STANDARDS.

1.3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND IN ACCORDANCE WITH THE TOWN OF EAGLE CODE.

2. SUBGRADE PREPARATION

2.1. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL CONFIRM THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISHED TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS, UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION. IT IS UNDERSTOOD THAT THE CONTRACTOR HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.

2.2. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF-ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:

2.2.1. SCARIFY, DISC, AND AERATE.

2.2.2. REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.

2.2.3. REMOVE AND REPLACE WITH GRANULAR MATERIAL.

2.2.4. USE OF GEOTEXTILE FABRIC.

MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE ONE-QUARTER (1/4) INCH TO ONE-HALF (1/2) INCH IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.

2.3. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE-GRADED TO WITHIN 0.04 FEET (1/2 INCH) OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF THE CURB, SO AS TO ENSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.

2.4. PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE SHALL BE APPROVED BY THE TESTING ENGINEER.

3. CONCRETE WORK

3.1. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) BAG MIX AND SHALL DEVELOP A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT FOURTEEN (14) DAYS AND A MINIMUM OF 4,000 PSI COMPRESSIVE STRENGTH AT TWENTY-EIGHT (28) DAYS. ALL CONCRETE SHALL BE BROOM-FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL.

3.2. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PRE-MOLDED FIBER EXPANSION JOINTS, WITH TWO 3/4-INCH BY 18-INCH EPOXY-COATED STEEL DOWEL BARS, SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES

3.3. CURBS SHALL BE DEPRESSED AND MEET THE SLOPE REQUIREMENTS OF THE FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN AT LOCATIONS WHERE PUBLIC WALKS INTERSECT CURB LINES AND OTHER LOCATIONS, AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY.

3.4. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.

3.5. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5-FOOT INTERVALS AND 1/2-INCH PRE-MOLDED FIBER EXPANSION JOINTS AT 20-FOOT INTERVALS AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, AND OTHER STRUCTURES.

3.6. CONCRETE CURING AND PROTECTION SHALL BE PER WISDOT STANDARDS. TWO (2) COATS OF WISDOT APPROVED CURING AGENT SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES.

3.7. THE COST OF AGGREGATE BASE OR SUBBASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.

4. FLEXIBLE PAVEMENT

4.1. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, AND DRIVE AISLES SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B, BITUMINOUS CONCRETE BINDER COURSE, AND BITUMINOUS CONCRETE SURFACE COURSE, OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.

4.2. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE WISDOT APPROVED.

4.3. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED AND TACK-COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE, OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND STAFF NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS PER WISDOT STANDARDS.

4.4. SEAMS IN BAM, BINDER, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES.

5. TESTING AND FINAL ACCEPTANCE.

5.1. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE MATERIALS/TESTING ENGINEER.

5.2. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE TOWN OF EAGLE, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION.

5.3. WHEN REQUIRED BY THE TOWN OF EAGLE, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD REQUIRED BY WISDOT STANDARDS.

5.4. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.

6. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE TOWN OF EAGLE CODE. WHEN CONFLICTS ARISE BETWEEN MUNICIPAL CODE, GENERAL NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL TAKE PRECEDENCE.

SIGNAGE AND PAVEMENT MARKING NOTES

1. ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARDS.

2. SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080-INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE. LEGEND SHALL BE IN ACCORDANCE WITH THE MUTCD.

3. POSTS: SIGN POSTS SHALL BE A HEAVY-DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT, SUCH AS A TYPE B METAL POST, AS PER THE WISDOT STANDARDS (OR 2-INCH PERFORATED STEEL TUBE).

4. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH WISDOT STANDARDS.

5. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC ON ASPHALT AND EPOXY ON CONCRETE OR AS APPROVED BY WISDOT.

6. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW-WEAR" APPLICATIONS, SHALL BE PAINT IN ACCORDANCE WITH WISDOT STANDARDS.

7. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND LOCAL CODE. STANDARD PARKING SPACES SHALL BE PAINTED WHITE OR YELLOW PER LOCAL CODE.

8. THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES FAHRENHEIT AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT AND RISING.

SANITARY SEWER NOTES

1. SANITARY SEWER PIPE: ALL SANITARY SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE (PVC SDR-26), CONFORMING TO ASTM D3034 AND D2241 WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM D3139 AND D3212. ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND TOWN OF EAGLE PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL SANITARY SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

PIPE SIZE	CODE	PIPE MATERIAL
4" - 12"	PVC	POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241)
4"-48"	DIP	DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)

2. BAND-SEAL OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE ¼" TO 1" IN SIZE WITH MINIMUM BEDDING THICKNESS EQUAL TO ¼ THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NO LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES.

3. ALL UNSUITABLE MATERIALS SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GRAVEL OR STONE, AS PER WISDOT STANDARDS.

4. ALL TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PAVEMENTS, ROADWAYS, SIDEWALKS, AND FOR A DISTANCE OF TWO (2) FEET ON EITHER SIDE OF SAME, AND/OR WHERE SHOWN ON THE PLANS, SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL PER WISDOT STANDARDS AND THOROUGHLY MECHANICALLY COMPACTED IN 9-INCH THICK (LOOSE MEASUREMENT) LAYERS. JETTING WITH WATER IS NOT PERMITTED.

5. ALL SANITARY SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.

6. CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE TOWN OF EAGLE.

7. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE, EXCEPT UNDER SPECIAL CIRCUMSTANCES AND THEN ONLY UNDER THE FOLLOWING RULES:

   A. IF NECESSARY PERMISSION SHALL BE OBTAINED FROM THE TOWN OF EAGLE IN WRITING PRIOR TO BEGINNING CONSTRUCTION.

   B. THE BOTTOM OF A WATER LINE SHALL BE INSTALLED ON A SHELF A MINIMUM OF 18 INCHES ABOVE THE TOP OF THE SEWER AND 18 INCHES HORIZONTALLY AWAY FROM THE EDGE OF THE SEWER.

9. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE. A WATERTIGHT BOOT, CONFORMING TO ASTM C-923, SHALL BE USED AT THE PIPE-STRUCTURE CONNECTION.

10. ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER-TIGHT SLEEVES. THE BOTTOM OF THE MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS.

11. FRAMES AND LIDS: SEE DETAILS FOR ALL SANITARY SEWER MANHOLE FRAMES AND LIDS. THE LIDS SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF-SEALING WITH AN "O" RING GASKET. THE LIDS SHALL HAVE THE WORD "SANITARY" EMBOSSED ON THE SURFACE. THE JOINTS BETWEEN THE FRAME AND CONCRETE SECTION SHALL BE SEALED WITH A BUTYL ROPE.

12. A MAXIMUM OF TWELVE (12) INCHES OF CONCRETE-ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. RINGS SHALL BE SEALED TOGETHER WITH BUTYL ROPE.

13. CLEANING: ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE.

14. TESTING: DEFLECTION, AIR, AND LEAKAGE TESTING WILL BE REQUIRED. THE PROCEDURE AND ALLOWABLE TESTING LIMITS SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR SEWER AND WATER MAIN CONSTRUCTION IN WISCONSIN.

15. TESTING THE ALIGNMENT/STRAIGHTNESS SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE CODE.

16. TELEVISING: IF REQUIRED BY THE TOWN OF EAGLE, ALL SANITARY SEWERS SHALL BE TELEVISED, AND A COPY OF THE TAPE AND A WRITTEN REPORT SHALL BE SUBMITTED AND REVIEWED BY THE TOWN OF EAGLE BEFORE FINAL ACCEPTANCE. THE REPORT SHALL INCLUDE STUB LOCATION AS WELL AS A DESCRIPTION OF ALL DEFECTS, WATER LEVEL, LEAKS, AND LENGTHS. IDENTIFY MANHOLE TO MANHOLE BOTH VERBALLY AND ON-SCREEN USING MANHOLE NUMBERS FROM APPROVED PLANS. ORDER OF WRITTEN REPORT SHALL BE THE SAME AS THE VIDEOTAPES.

17. TEST RESULTS: IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND REPAIR, OR REPLACE ALL MATERIALS AND WORKMANSHIP, AS MAY BE NECESSARY TO COMPLY WITH THE TEST REQUIREMENTS.

18. CERTIFICATION: CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING." ASTM STANDARDS D-2241, AS APPROPRIATE FOR THE PIPE, TO BE USED. TESTS SHALL ALSO BE CONDUCTED TO DEMONSTRATE JOINT PERFORMANCE AT FIVE (5) PERCENT MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT.

19. CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO THE LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

STORM SEWER NOTES

1. STORM SEWER PIPE: ALL STORM SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, IN ACCORDANCE WITH WISDOT STANDARD SPECIFICATIONS FOR DETERMINING PIPE CLASS AND CONFORMING TO ASTM C76. ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND TOWN OF EAGLE PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL STORM SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

PIPE SIZE	CODE	PIPE MATERIAL
12"-60"	RCP	REINFORCED CONCRETE PIPE (ASTM C76); SEE WISDOT SPECS FOR PIPE CLASS
3" - 12"	PVC	POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241)
3"-48"	HDPE	HIGH DENSITY POLYETHYLENE PIPE
3"-48"	DIP	DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)

2. BAND-SEAL OR SIMILAR COUPLING SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS.

3. ALL FOOTING DRAIN DISCHARGE PIPES AND DOWN SPOUTS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.

4. CONSTRUCTION: ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.

5. COVER: THE CONTRACTOR SHALL MAINTAIN AT LEAST TWO (2) FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES THAT HAVE LESS THAN TWO (2) FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.

6. STRUCTURES: MANHOLE, CATCH BASIN, AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM OF FOUR (4) FEET IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH "O" RING OR BUTYL ROPE. A MAXIMUM OF TWELVE (12) INCHES OF ADJUSTING RINGS SHALL BE USED.

7. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.

8. THE FRAME, GATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.

9. CLEANING: THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.

10. THE STORM SEWER SHALL BE TELEVISED IF REQUIRED BY THE TOWN OF EAGLE.

11. MANHOLES, CATCH BASINS, INLETS, FRAMES, GRATES, AND OTHER STRUCTURES SHALL BE CONSTRUCTED OF THE TYPE, STYLE, AND SIZE AS SET FORTH WITH THE ORDINANCES AND STANDARDS OF THE TOWN OF EAGLE.

12. ALL PVC PIPES CONNECTED TO REINFORCED CONCRETE PIPE SHALL BE CORED AND BOOTED PER THE TOWN OF EAGLE REQUIREMENTS.

WATERMAIN NOTES

1. WATERMAIN PIPE: ALL WATERMAIN PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATERMAIN PIPE SHALL BE CONSTRUCTED OF BITUMINOUS-COATED CEMENT-LINED DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151). CEMENT MORTAR LINING SHALL CONFORM TO ANSI A21.4 (AWWA C104). THE JOINTS SHALL BE PUSH-ON COMPRESSION GASKET JOINTS CONFORMING TO ANSI A21.11 (AWWA C111). ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND TOWN OF EAGLE PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL WATERMAIN PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

PIPE SIZE	CODE	PIPE MATERIAL
3"-48"	DIP	DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)
< 3"		TYPE "K" COPPER PIPE

2. FITTINGS: ALL FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO ANSI AS21.10 (AWWA C110).

3. VALVES: GATE VALVES SHALL BE USED ON ALL WATERMAINS. ALL VALVES SHALL TURN COUNTER-CLOCKWISE TO OPEN. VALVES SHALL BE IRON BODY RESILIENT WEDGE GATE VALVES WITH BRONZE-MOUNTED SEATS AND NON-RISING STEMS CONFORMING TO AWWA C-509. THE VALVES SHALL HAVE MECHANICAL JOINTS.

4. THE MECHANICAL JOINTS AND ALL FASTENERS ON THE VALVE BODY SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.

5. VALVE VAULTS: VALVE VAULTS SHALL BE PRECAST CONCRETE STRUCTURES FIVE (5) FEET IN DIAMETER, AS NOTED ON THE PLANS. THE FRAME AND LID SHALL BE ACCORDING TO THE DETAIL ON THE PLANS, WITH "WATER" EMBOSSED ON THE LID.

6. FIRE HYDRANTS: SEE PLANS FOR APPROVED FIRE HYDRANT DETAIL. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE AND CAST IRON VALVE BOX. FIRE HYDRANTS SHALL HAVE AUXILIARY VALVES WITH A HYDRANT BARREL TO VALVE BOX RESTRAINING DEVICE. THE PUMPER CONNECTION SHALL FACE THE ROADWAY.

7. PROVIDE AND INSTALL FOUR MEGALUG JOINT RESTRAINTS AT EACH JOINT FROM THE MAINLINE TEE TO THE AUXILIARY VALVE AND BETWEEN THE AUXILIARY VALVE AND THE HYDRANT BARREL.

8. THE BREAK FLANGE AND ALL BELOW-GRADE FITTING SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.

9. CORPORATION STOPS: CORPORATION STOPS SHALL BE BRONZE BODY KEY STOPS CONFORMING TO AWWA C-800 AND SHALL INCLUDE "J" BEND, TAILPIECE, AND COMPRESSION FITTINGS. SIZE AND LOCATION AS SHOWN ON THE PLANS.

10. SERVICE BOX: PROVIDE CURB VALVE AND CURB BOX, AS INDICATED ON THE PLANS. BOX SHALL BE EXTENSION TYPE WITH FOOT PIECE AND STATIONARY RODS FOR SIX (6) FEET OF BURY.

11. MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURER'S CURRENT RECOMMENDATIONS AND AWWA SPECIFICATIONS.

12. BEDDING: ALL WATERMAINS SHALL BE BEDDED ON FIRM GROUND, WITH BELLHOLES EXCAVATED SO THAT THE PIPE HAS AN EVEN BEDDING FOR ITS ENTIRE LENGTH.

13. GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLY PLACED TO TWELVE (12) INCHES OVER THE TOP OF THE PIPE BEFORE FINAL BACKFILLING AND COMPACTION.

14. A MINIMUM DEPTH OF COVER OF 5-FEET, 6-INCHES SHALL BE MAINTAINED OVER THE WATER LINES. THE MAXIMUM COVER SHALL BE EIGHT (8) FEET, EXCEPT AT SPECIAL CROSSINGS AND ONLY AS DESIGNATED ON THE PLANS..

15. "MEGA-LUG" RETAINER GLANDS AND THRUST BLOCKING SHALL BE INSTALLED ON WATERMAINS AT ALL BENDS, FITTINGS, TEES, ELBOWS, ETC. "MEGA-LUG" RESTRAINED JOINTS ARE REQUIRED ON ALL VALVES AND ALL FITTINGS. THE COST FOR THIS WORK SHALL BE INCIDENTAL TO THE UNIT PRICE FOR THE PIPE INSTALLED.

16. WATERMAIN PROTECTION:

16.1. HORIZONTAL SEPARATION

16.1.1. WATERMAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, OR SEWER SERVICES CONNECTION.

16.1.2. WATERMAINS MAY BE LAID CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:

16.1.2.1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET;

16.1.2.2. THE WATERMAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER;

16.1.2.3. THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.

16.1.3. WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION AND IN CONFORMANCE WITH THE STANDARDS FOR WATER AND SEWER CONSTRUCTION IN THE TOWN OF EAGLE. THE DRAIN OR SEWER SHALL BE PRESSURE-TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.

16.2. VERTICAL SEPARATION

16.2.1. A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS, OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.

16.2.2. BOTH THE STORM SEWER AND SANITARY SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION OR THE STORM SEWER SHALL BE CONSTRUCTED USING "O" RING GASKET JOINTS, PER ASTM C-443, OR THE WATERMAIN MAY BE IN ENCASED IN A WATERTIGHT CASING PIPE WHEN:

16.2.2.1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, AS DESCRIBED ABOVE; OR

16.2.2.2. THE WATERMAIN PASSES UNDER A SEWER OR DRAIN.

16.2.3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING OF THE WATERMAIN.

16.2.4. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.

17. ALL WATERMAINS SHALL BE PRESSURE-TESTED FOR A MIN. OF 2 HOURS AT 200 PSI, FLUSHED, AND DISINFECTED IN ACCORDANCE WITH AWWA AND TOWN OF EAGLE SPECIFICATIONS. EACH VALVE SECTION SHALL BE PRESSURE-TESTED FOR A MINIMUM OF ONE (1) HOUR. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE TOWN OF EAGLE. AT NO TIME IS THERE TO BE ANY VISIBLE LEAKAGE FROM THE MAIN.

ADA GENERAL NOTES

1. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS OF THE AUTHORITY HAVING JURISDICTION.

2. ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.

3. ANY COMPONENTS OF THE PROJECT SERVING MULTI-FAMILY DWELLINGS IN BUILDINGS THAT HAVE (4) OR MORE UNITS PER DWELLING SHALL ALSO CONFORM TO THE FAIR HOUSING ACT (FHA), AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.

4. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.

5. CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

No.	REVISIONS	DATE	BY
1	TOWN COMMENTS	08/14/20	JPM

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THE OVERLAND GROUP

GENERAL NOTES

DOLLAR GENERAL
NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

ORIGINAL ISSUE: 07/29/2020
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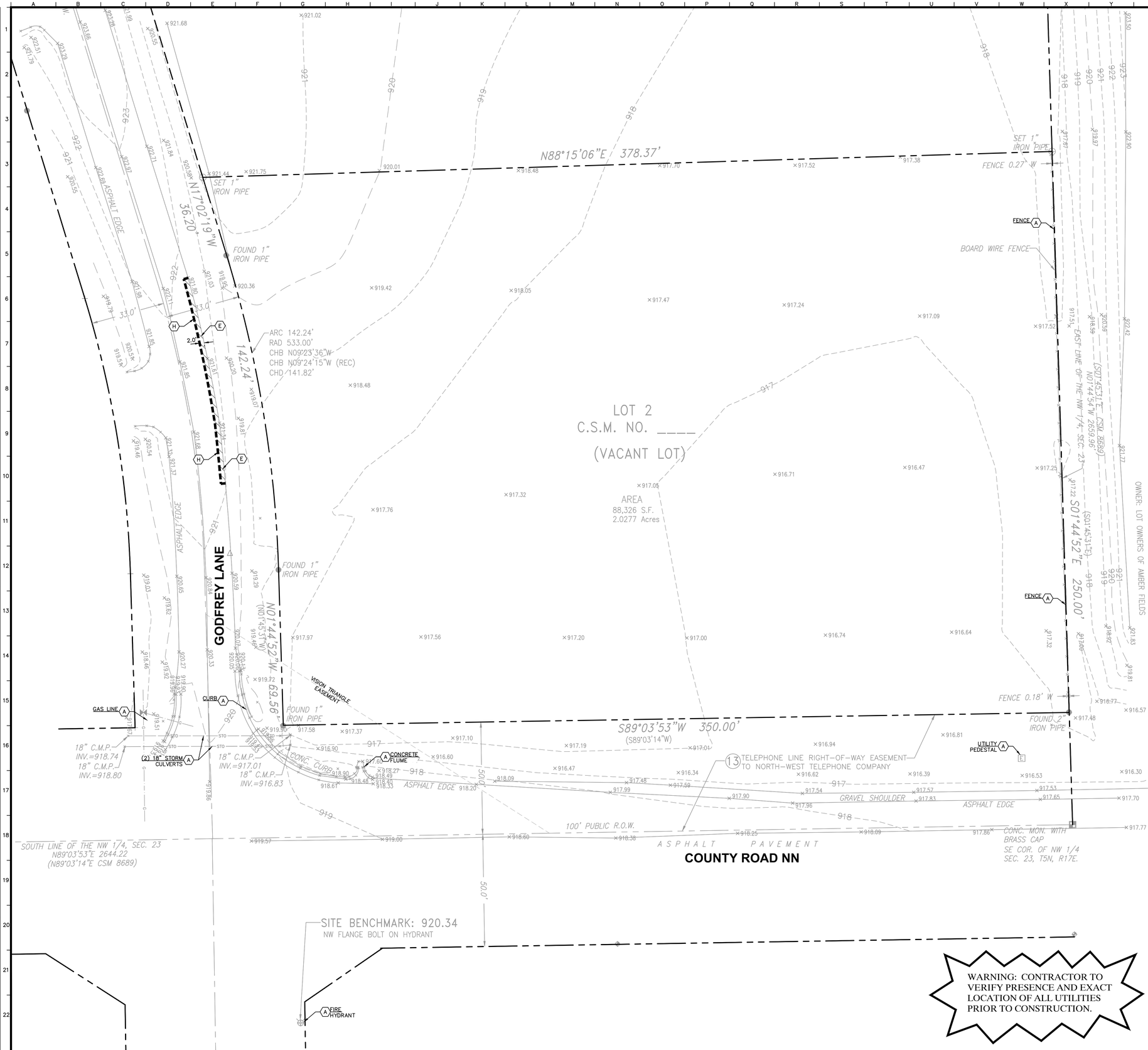

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DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING WSDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
6. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
7. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
8. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
9. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
10. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
11. EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
12. UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL 'DIGGERS HOTLINE' (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
13. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
14. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE WISDOT APPROVED CRUSHED LIMESTONE OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

DEMOLITION LEGEND

- (A) ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
- (B) CURB REMOVAL (NOT USED)
- (C) UTILITY REMOVAL (NOT USED)
- (D) ITEM TO BE REMOVED
- (E) FULL-DEPTH ASPHALT PAVEMENT REMOVAL
- (F) CONCRETE REMOVAL (NOT USED)
- (G) BUILDING REMOVAL (NOT USED)
- (H) SAWCUT LINE
- (I) FENCE REMOVAL

WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

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THE OVERLAND GROUP

DEMOLITION PLAN

DOLLAR GENERAL
NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

ORIGINAL ISSUE: 07/29/2020
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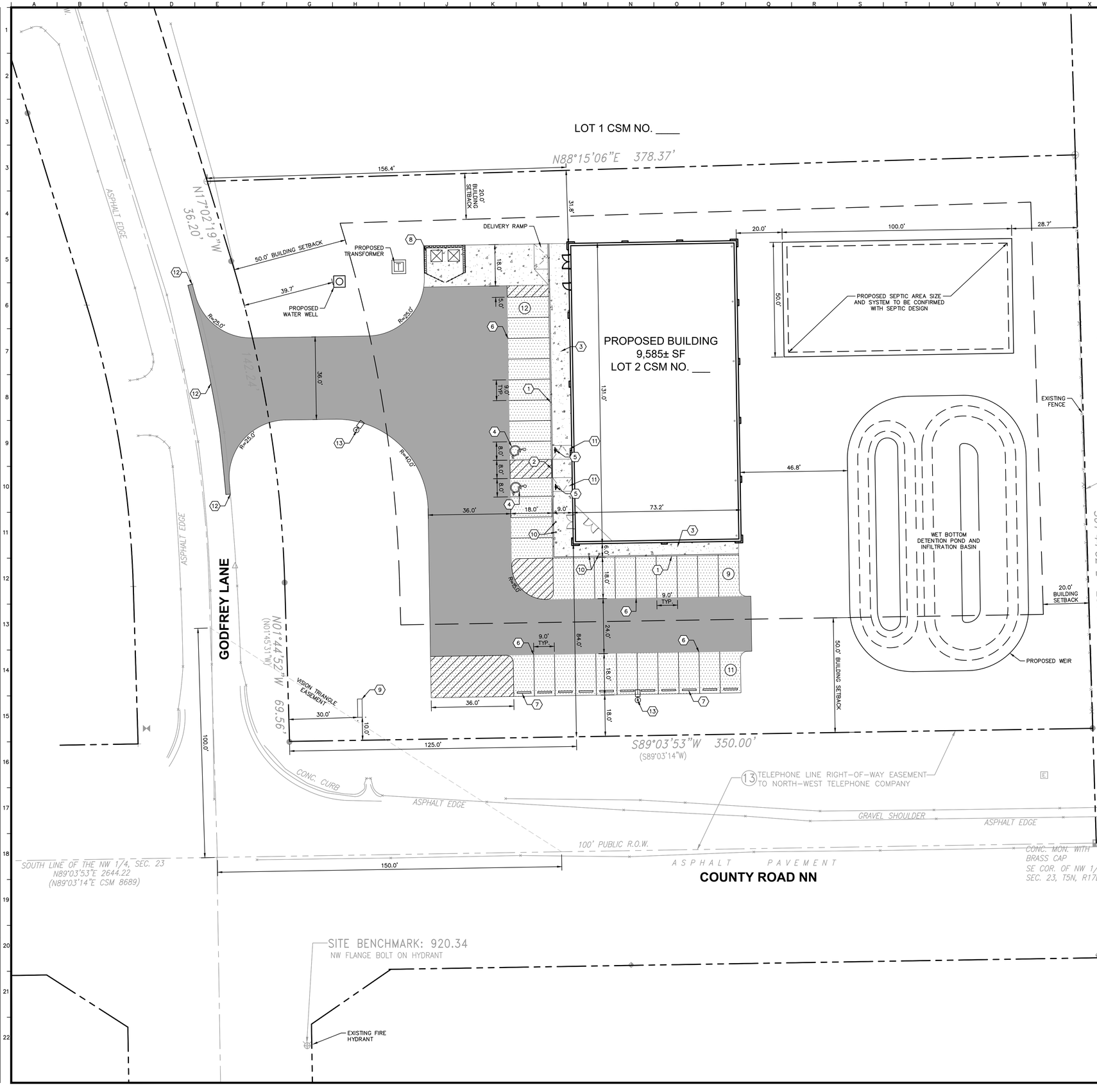

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SITE DATE TABLE

PROPOSED LOT AREA (CSM – LOT 2)	= 2.03 ACRES
TOTAL BUILDING AREA	= 9,585 SF
PARKING SPACES REQUIRED (ONE SPACES PER 300 SF OF BUILDING AREA)	= 32 SPACES
STANDARD PARKING SPACES PROVIDED	= 30 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	= 2 SPACES
TOTAL PARKING SPACES PROVIDED	= 32 SPACES

KEY NOTES

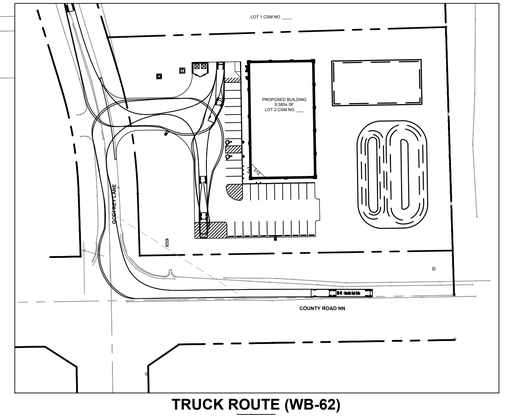
1. INTEGRAL CURB AND WALK, TYP. (SEE DETAIL, SHEET C7.0)
2. FLUSH CURB AND WALK (SEE DETAIL, SHEET C7.0)
3. CONCRETE SIDEWALK, TYP. (SEE DETAIL, SHEET C7.0)
4. ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAIL, SHEET C7.0)
5. ACCESSIBLE PARKING SIGN, TYP. (SEE DETAIL, SHEET C7.0)
6. 4" WIDE PAINTED SOLID WHITE LINE, TYP.
7. CONCRETE WHEEL STOPS (SEE DETAIL, SHEET C7.0)
8. MASONRY TRASH ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
9. PROPOSED PYLON SIGN (SEE ARCH PLANS FOR DETAILS)
10. BOLLARD, TYP. (SEE DETAIL, SHEET C7.0)
11. ACCESSIBLE RAMP (SEE DETAIL, SHEET C7.0)
12. CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
13. LIGHT POLE (SEE LIGHTING PLANS FOR DETAILS, SHOWN FOR REFERENCE ONLY)

PAVING AND CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT — SEE SHEET C7.0 FOR DETAILS
- HEAVY DUTY ASPHALT PAVEMENT — SEE SHEET C7.0 FOR DETAILS
- CONCRETE SIDEWALK / PAVEMENT — SEE SHEET C7.0 FOR DETAILS
- INTEGRAL CONCRETE CURB AND WALK
- FLUSH CURB AND WALK
- PROPERTY LINE
- SETBACK LINE
- (X) PARKING COUNT

GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.



TRUCK ROUTE (WB-62)
SCALE: 1" = 80'

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THE OVERLAND GROUP

SITE PLAN

DOLLAR GENERAL
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TOWN OF EAGLE, WI 53119

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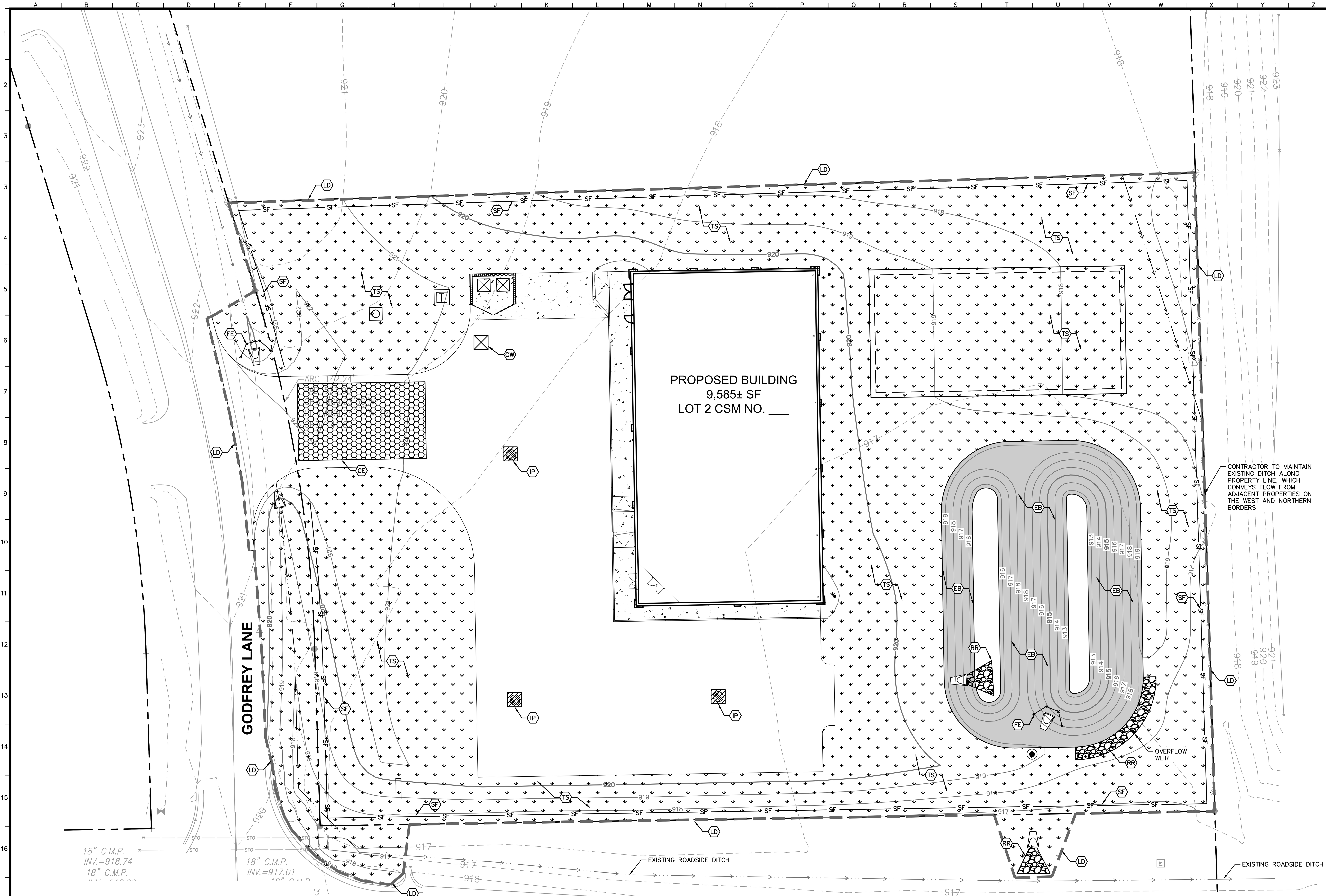

EROSION CONTROL NOTES

1. CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
2. POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
3. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
4. BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
5. THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
6. ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE DRAINAGE UTILITY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
8. PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
9. PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
10. ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
11. ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
12. ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE, LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
13. SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
14. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE WISCONSIN DNR PERMIT PROGRAM REQUIREMENTS.
15. PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
16. SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLAIN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR ADMINISTRATOR.
17. STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES. MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.
18. ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED.TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
19. WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.
20. SITE STABILIZATION REQUIREMENTS ARE AS FOLLOWS:
    - 20.1. WHERE THE INITIATION OF STABILIZATION MEASURE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.
    - 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

EROSION CONTROL LEGEND

Symbol	Description
(TS)	TEMPORARY SEEDING (SEE EROSION CONTROL DETAILS)
(EB)	TEMPORARY EROSION CONTROL BLANKET (SEE EROSION CONTROL NOTE #7)
(CE)	CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
—SF— (SF)	SILT FENCE (SEE EROSION CONTROL DETAILS)
(IP)	INLET PROTECTION (SEE EROSION CONTROL DETAILS)
(CW)	CONCRETE WASHOUT (SEE EROSION CONTROL DETAILS) (TO BE DETERMINED BY CONTRACTOR)
(RR)	RIP RAP (SEE DETAILS)
(FE)	FLARED END SECTION PROTECTION (SEE EROSION CONTROL DETAILS)
(LD)	LIMITS OF DISTURBANCE
---920---	EXISTING CONTOURS
—920—	PROPOSED CONTOURS

EROSION CONTROL SCHEDULE AND SEQUENCING:

I.	*ROUGH GRADING*	*CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, CONCRETE WASHOUT AREA AND TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED. TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION.*
II.	*UTILITY INSTALLATION*	*ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED.*
III.	*PAVING*	*ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.*
IV.	*FINAL GRADING/SOIL STABILIZATION/ LANDSCAPING*	*ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY.*

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EROSION CONTROL PLAN

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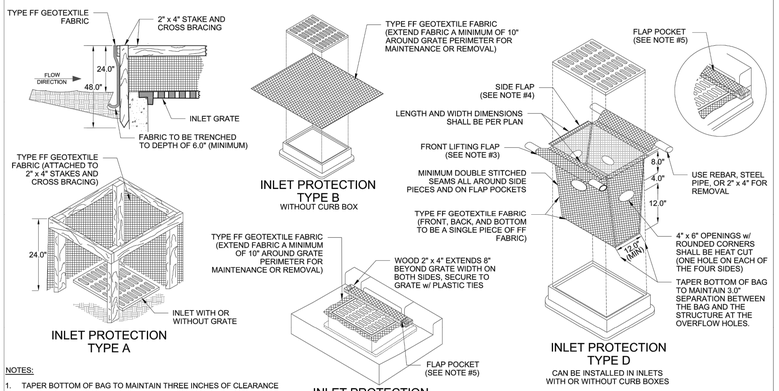
FIGURE 1. INLET PROTECTION TYPES A, B, C AND D



NOTES:

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

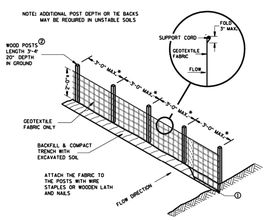
MAINTENANCE NOTES:

1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

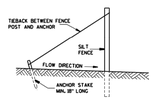
WISCONSIN DEPT. OF NATURAL RESOURCES
1060
TECHNICAL STANDARD No.
08/2014
REVISION DATE
NOT TO SCALE

GENERAL NOTES

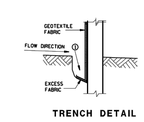
1. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
2. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1½" x 1½" OF OAK OR HICKORY.
3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.



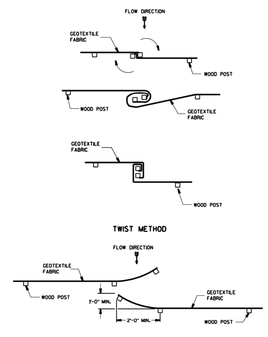
SILT FENCE



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)



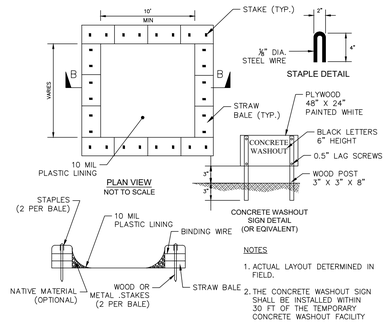
TRENCH DETAIL



JOINING TWO LENGTHS OF SILT FENCE ③

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing B E 9-6.

SILT FENCE

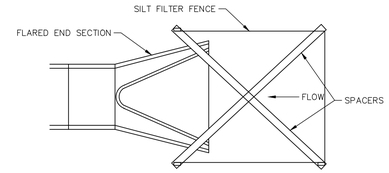


NOTES

1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY

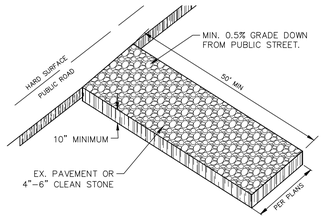
CONCRETE WASHOUT (CW)

N.T.S.



CULVERT INLET PROTECTION (FE)

N.T.S.



CONSTRUCTION ENTRANCE (CE)

N.T.S.

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A			*	*					
DORMANT SEEDING	B										B	
TEMPORARY SEEDING			C				D					
SODDING			E **									
MULCHING	F											

A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE

B KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE

C SPRING OATS 100 LBS/ACRE

D WHEAT OR CEREAL RYE 150 LBS/ACRE

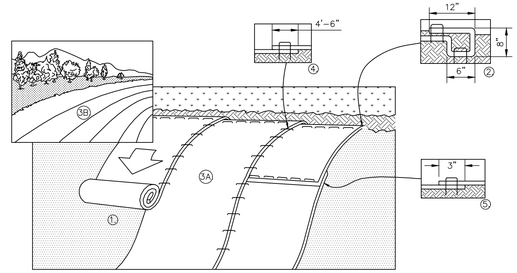
E SOD

F STRAW MULCH 2 TONS/ACRE

* WATERING NEEDED DURING JUNE AND JULY

** WATERING NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

SEEDING CHART

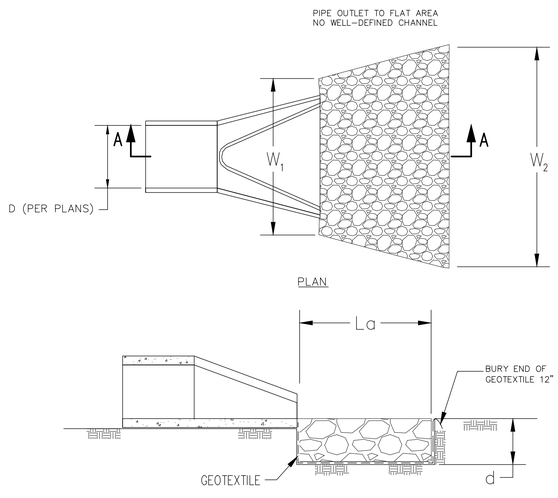


1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURES RECOMMENDATION.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
6. PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.

NOTES:
1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.
3. PERVIOUS LAND WITH SLOPES RUNNING GREATER THAN OR EQUAL TO 4:1 SHALL CONTAIN SLOPE STABILIZATION BLANKET

EROSION CONTROL BLANKET (SLOPE INSTALLATION)

N.T.S.



NOTES:
1. THE ROCK RIPRAP SHALL MEET IDOT REQUIREMENTS FOR GRADATION NO. RR-3 & RR-4 , QUALITY DESIGNATION "A".
2. GEOTEXTILE (NON-WOVEN) MINIMUM CRITERIA:
   - 2.1. WEIGHT OF GEOTEXTILE (OZ/SQ.YD.) 6
   - 2.2. TENSILE STRENGTH (LB) ASTM D 4632 180
   - 2.3. ELONGATION AT FAILURE (%) ASTM D 4632 ≥ 50
   - 2.4. PUNCTURE (LB) ASTM D 4833 80
   - 2.5. ULTRAVIOLET LIGHT (% RESIDUAL TENSILE STRENGTH) ASTM D 4355 MIN 70
   - 2.6. APPARENT OPENING SIZE (AOS) ASTM D 4751 MAX 40 SIEVE
   - 2.7. PERMITTIVITY SEC^{-1} ASTM D 4491 MIN 0.70
3. ANY GEOTEXTILE SPLICES SHALL OVERLAP A MINIMUM OF 18 INCHES, WITH UPSTREAM OR UPSLOPE GEOTEXTILE OVERLAPPING THE ABUTTING DOWNSLOPE GEOTEXTILE.
4. APRON WIDTH W_1 SHALL BE 3 TIMES THE CULVERT PIPE DIAMETER. APRON WIDTH W_2 SHALL BE EQUAL TO L_A PLUS THE PIPE DIAMETER.
5. ROCK THICKNESS D SHALL BE AT LEAST 1.5 TIMES THE RIPRAP D_{100} SIZE.
6. APRON LENGTH L_A AND ROCK RIPRAP HAS BEEN SIZED ACCORDING TO ILLINOIS URBAN MANUAL ROCK OUTLET PROTECTION STANDARD 910 BASED CALCULATED VELOCITY FOR THIS PROJECT SITE. PLEASE SEE TABLE 1 FOR DETAILS.

RIPRAP DIMENSION TABLE

INLET PIPE SIZE d (IN)	LENGTH OF APRON La (FT)	MEDIAN RIPRAP SIZE C (IN)	WIDTH OF APRON U/S FACE W1 (FT)	WIDTH OF APRON D/S FACE W2 (FT)	DEPTH OF RIPRAP d (IN)	AREA OF RIPRAP (SY)	VOLUME OF RIPRAP (CY)
12	10	6	3.00	13.00	15	8.89	3.7
15	10	6	3.75	13.75	15	9.72	4.1
18	15	9	4.50	19.50	20	20.00	11.1
21	15	9	5.25	20.25	20	21.25	11.8
24	18	9	6.00	24.00	20	30.00	16.7
27	18	9	6.75	24.75	20	31.50	17.5
30	20	9	7.50	27.50	20	38.89	21.6
36	24	12	9.00	33.00	28	56.00	43.6
42	27	12	10.50	37.50	30	72.00	60.0
48	27	15	12.00	39.00	32	76.50	68.0
54	27	15	13.50	40.50	32	81.00	72.0
60	36	15	15.00	51.00	32	132.00	118.0
72	44	18	18.00	62.00	32	195.56	174.0

RIP RAP DETAIL OUTLET PROTECTION

N.T.S.

DIGGERS HOTLINE®
1-800-242-8511

No.	REVISIONS	DATE	BY
1	TOWN COMMENTS	08/14/20	JPM

Kimley»Horn
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PHONE: 630-487-6500
WWW.KIMLEY-HORN.COM

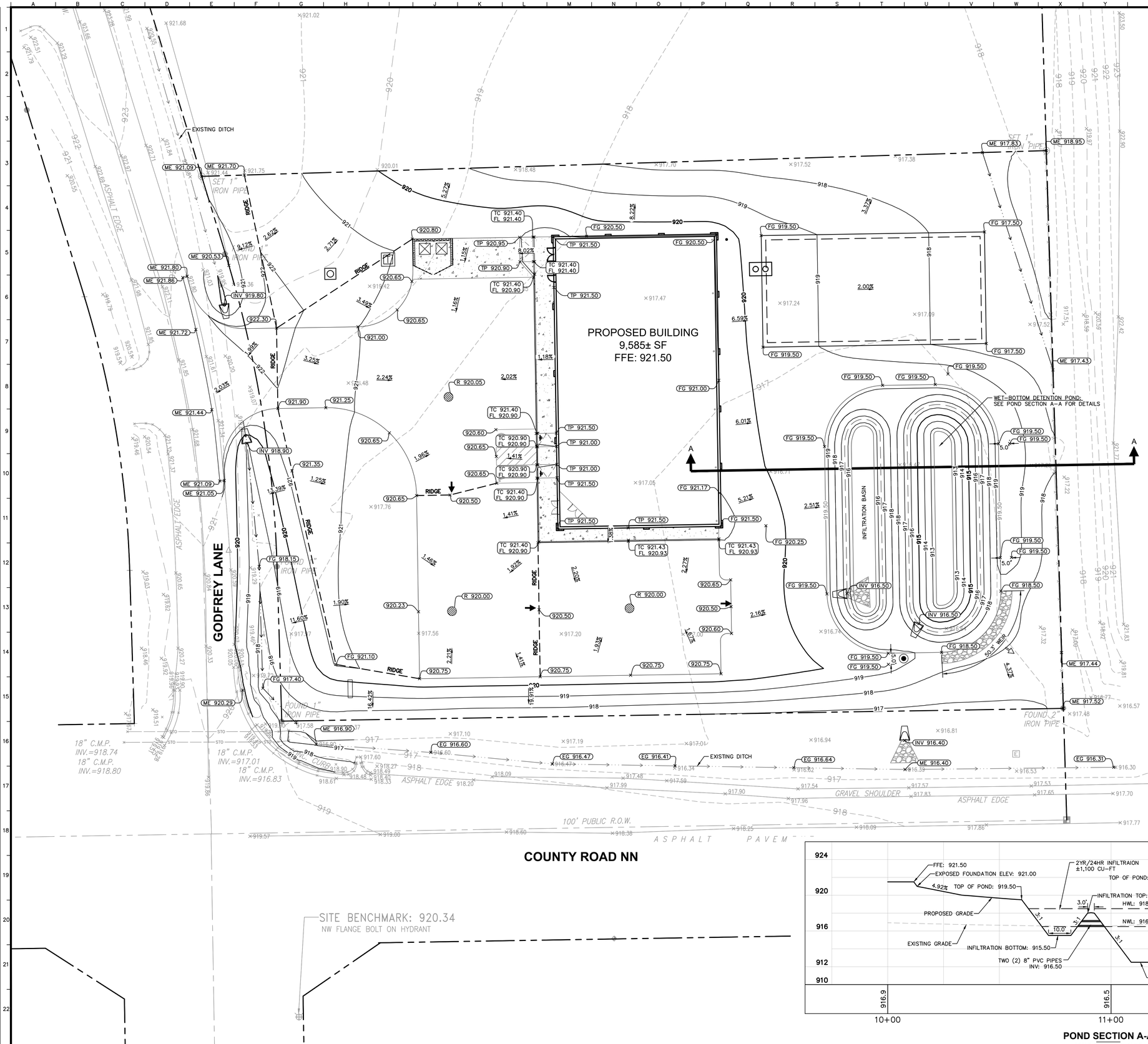
SCALE: AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: JMM

THE OVERLAND GROUP

EROSION CONTROL NOTES & DETAILS

DOLLAR GENERAL
NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

ORIGINAL ISSUE: 07/29/2020
KHA PROJECT NO. 168708007
SHEET NUMBER
C4.1



POND SECTION A-A
SCALE: H: 1" = 20', V: 1" = 5'

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

DIGGERS HOTLINE®
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GRADING NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

	TP = TOP OF PAVEMENT
	EP = EDGE OF PAVEMENT
	FL = FLOW LINE
	TC = TOP OF CURB
	ME = MATCH ELEVATION
	TF = TOP OF FOUNDATION
	R = RIM ELEVATION
	FG = FINISHED GRADE
920	PROPOSED CONTOUR
920	EXISTING CONTOUR
RIDGE	RIDGE LINE
X.XX%	SLOPE AND FLOW DIRECTION
	100-YEAR OVERLAND OVERFLOW ROUTE
	DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE
	PROPOSED SWALE
	RIP RAP (SEE DETAILS)

No.	REVISIONS	DATE	BY
1	TOWN COMMENTS	08/14/20	JPM

Kimley»Horn

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PHONE: 630-487-9900
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SCALE: AS NOTED
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THE OVERLAND GROUP

DOLLAR GENERAL

NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

GRADING PLAN

ORIGINAL ISSUE: 07/29/2020
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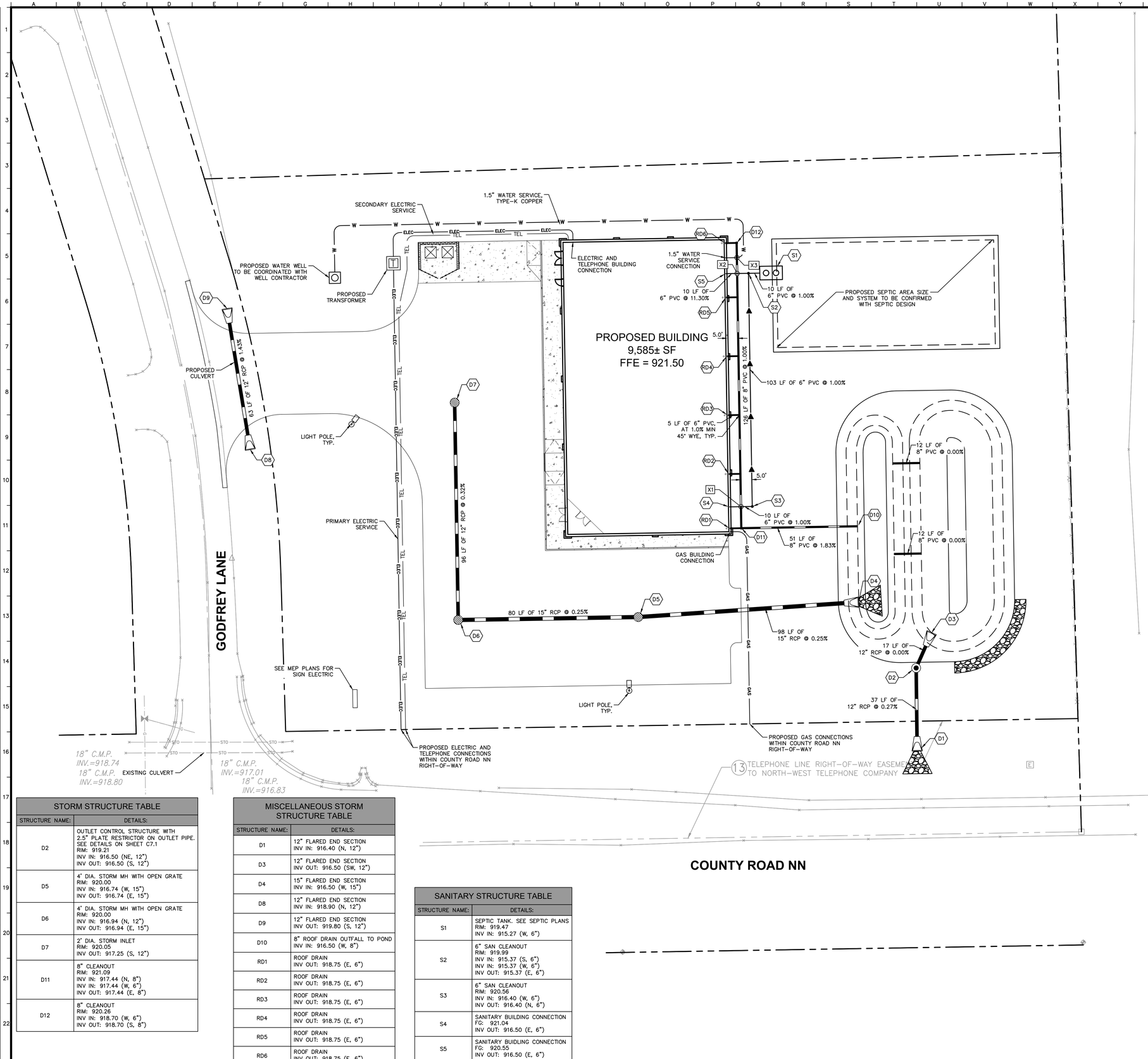

STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D2	OUTLET CONTROL STRUCTURE WITH 2.5" PLATE RESTRICTOR ON OUTLET PIPE. SEE DETAILS ON SHEET C7.1 RIM: 919.21 INV IN: 916.50 (NE, 12") INV OUT: 916.50 (S, 12")
D5	4' DIA. STORM MH WITH OPEN GRATE RIM: 920.00 INV IN: 916.74 (W, 15") INV OUT: 916.74 (E, 15")
D6	4' DIA. STORM MH WITH OPEN GRATE RIM: 920.00 INV IN: 916.94 (N, 12") INV OUT: 916.94 (E, 15")
D7	2' DIA. STORM INLET RIM: 920.05 INV OUT: 917.25 (S, 12")
D11	8" CLEANOUT RIM: 921.09 INV IN: 917.44 (N, 8") INV IN: 917.44 (W, 6") INV OUT: 917.44 (E, 8")
D12	8" CLEANOUT RIM: 920.26 INV IN: 918.70 (W, 6") INV OUT: 918.70 (S, 8")

MISCELLANEOUS STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D1	12" FLARED END SECTION INV IN: 916.40 (N, 12")
D3	12" FLARED END SECTION INV OUT: 916.50 (SW, 12")
D4	15" FLARED END SECTION INV IN: 916.50 (W, 15")
D8	12" FLARED END SECTION INV IN: 918.90 (N, 12")
D9	12" FLARED END SECTION INV OUT: 919.80 (S, 12")
D10	8" ROOF DRAIN OUTFALL TO POND INV IN: 916.50 (W, 8")
RD1	ROOF DRAIN INV OUT: 918.75 (E, 6")
RD2	ROOF DRAIN INV OUT: 918.75 (E, 6")
RD3	ROOF DRAIN INV OUT: 918.75 (E, 6")
RD4	ROOF DRAIN INV OUT: 918.75 (E, 6")
RD5	ROOF DRAIN INV OUT: 918.75 (E, 6")
RD6	ROOF DRAIN INV OUT: 918.75 (E, 6")

SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S1	SEPTIC TANK. SEE SEPTIC PLANS RIM: 919.47 INV IN: 915.27 (W, 6")
S2	6" SAN CLEANOUT RIM: 919.99 INV IN: 915.37 (S, 6") INV IN: 915.37 (W, 6") INV OUT: 915.37 (E, 6")
S3	6" SAN CLEANOUT RIM: 920.56 INV IN: 916.40 (W, 6") INV OUT: 916.40 (N, 6")
S4	SANITARY BUILDING CONNECTION FG: 921.04 INV OUT: 916.50 (E, 6")
S5	SANITARY BUILDING CONNECTION FG: 920.55 INV OUT: 916.50 (E, 6")

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

DIGGERS HOTLINE®
1-800-242-8511

UTILITY LEGEND

- EX. STORM LINE
- EX. GAS LINE
- EX. GAS VALVE
- EX. ELECTRIC PEDESTAL
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED PHONE LINE
- PROPOSED GAS LINE
- PROPOSED STORM SEWER LINE
- PROPOSED OPEN LID STORM STRUCTURE
- PROPOSED CLOSED LID STORM STRUCTURE
- PROPOSED SANITARY/STORM CLEANOUT
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- PROPOSED WATER WELL
- PROPOSED LIGHT POLE
- PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
- RIP RAP (SEE DETAILS)

UTILITY NOTES

1. ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
2. ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
3. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
4. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
6. CONTRACTOR TO CALL "DIGGERS HOTLINE" (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
7. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
8. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
9. CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
10. ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
11. SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
12. LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
13. SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
14. STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS.

UTILITY CROSSING LEGEND

X1	8" STORM	B/P = 917.51
	6" SAN.	T/P = 916.97
X2	8" STORM	B/P = 918.54
	6" SAN.	T/P = 916.45
X3	8" STORM	B/P = 918.64
	1.5" WATER	T/P = 914.75

NOTE: WHERE THERE IS LESS THAN 10 FT HORIZONTAL OR 18-IN VERTICAL SEPARATION BETWEEN A SEWER AND WATER MAIN, OR IF WATER MAIN CROSSES UNDER A SEWER, WATER MAIN QUALITY PIPE IS TO BE USED TO CONSTRUCT THE SEWER OR EITHER PIPE IS TO BE ENCASED. THE PROTECTION MUST EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE DISTANCE BETWEEN THE WATER MAIN AND SEWER IS AT LEAST 10 FT. ACCEPTABLE WATER MAIN QUALITY PIPE INCLUDES PVC SDR/MWO MEETING ASTM D2241 WITH JOINTS MEETING ASTM D3139 OR DUCTILE IRON PIPE. RCP STORM SEWER WITH FLEXIBLE GASKET JOINTS MEETING ASTM C361 OR ASTM C443 IS ALSO ACCEPTABLE AT CROSSINGS.

No.	REVISIONS	DATE	BY
1	TOWN COMMENTS	08/14/20	JPM

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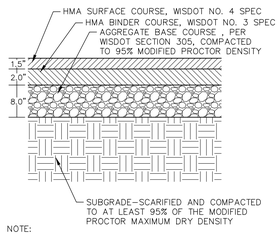
SCALE: AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: JMM

THE OVERLAND GROUP

DOLLAR GENERAL
NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

UTILITY PLAN

ORIGINAL ISSUE: 07/29/2020
KHA PROJECT NO. 168708007
SHEET NUMBER
C8.0

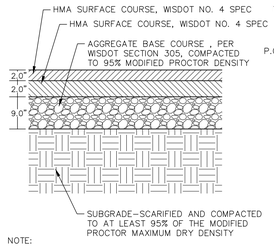


NOTE:

1. PAVEMENT THICKNESS, SUBGRADE PREP, ETC. DETERMINED FROM GEOTECHNICAL REPORT PERFORMED BY TERRACON CONSULTANTS, INC. DATED 08/05/20. REFER TO REPORT FOR ALL INFORMATION RELATED TO PAVING.
2. SEE PAVING NOTES ON THE GENERAL NOTES SHEET FOR PRIME COAT AND TACK–COAT REQUIREMENTS.

STANDARD DUTY ASPHALTIC PAVEMENT SECTION

N.T.S.



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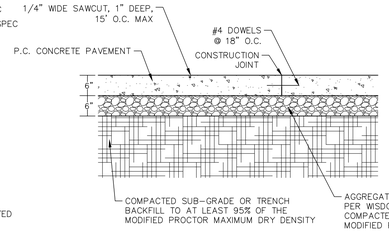
HEAVY DUTY ASPHALTIC PAVEMENT SECTION

N.T.S.

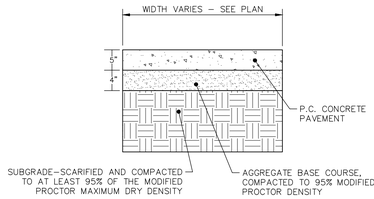


NOTE:

1. PAVEMENT THICKNESS, SUBGRADE PREP, ETC. DETERMINED FROM GEOTECHNICAL REPORT PERFORMED BY TERRACON CONSULTANTS, INC. DATED 08/05/20. REFER TO REPORT FOR ALL INFORMATION RELATED TO PAVING.
2. CONCRETE COMPRESSIVE STRENGTH SHALL COMPLY WITH ASTM DESIGNATION C31. MINIMUM 28–DAY STRENGTH = 4,000 PSI

HEAVY DUTY CONCRETE PAVEMENT SECTION

N.T.S.

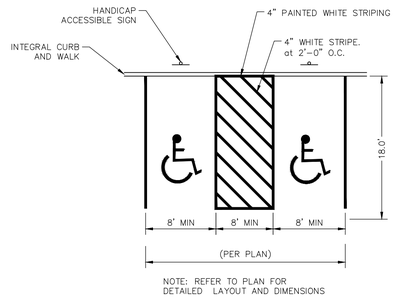


NOTES:

1. PROVIDE 1/2" EXPANSION JOINTS AT 20', MAXIMUM, SPACING AND FILLED WITH PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.
2. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.
3. WELDED WIRE FABRIC (6X6–6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" ABOVE SLAB BOTTOM.
4. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE
5. USE 2–#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
6. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

CONCRETE SIDEWALK

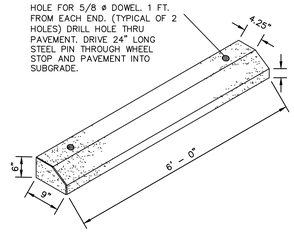
N.T.S.



NOTE: REFER TO PLAN FOR DETAILED LAYOUT AND DIMENSIONS

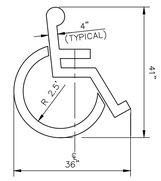
TYPICAL HANDICAP STRIPING

N.T.S.



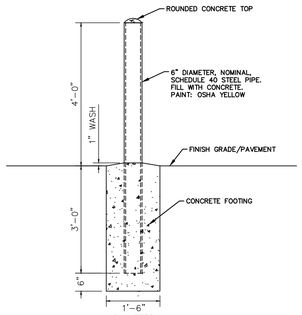
WHEEL STOP DETAIL

NTS



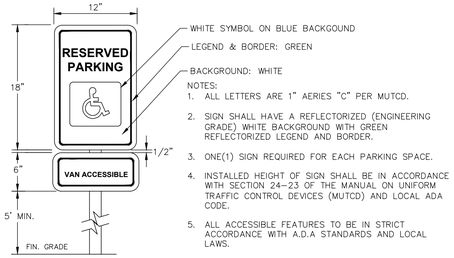
ACCESSIBLE PARKING SYMBOL

N.T.S.



6" BOLLARD DETAIL

N.T.S.



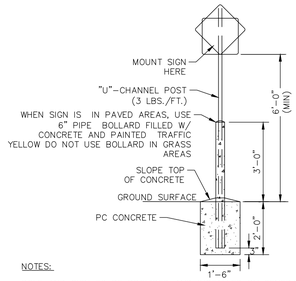
NOTES:

1. ALL LETTERS ARE 1" AERIES "C" PER MUTCD.
2. SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH GREEN REFLECTORIZED LEGEND AND BORDER.
3. ONE(1) SIGN REQUIRED FOR EACH PARKING SPACE.
4. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24–2.3 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND LOCAL ADA CODE.
5. ALL ACCESSIBLE FEATURES TO BE IN STRICT ACCORDANCE WITH A.D.A STANDARDS AND LOCAL LAWS.

SIGNAGE

ACCESSIBLE PARKING SIGNAGE

N.T.S.



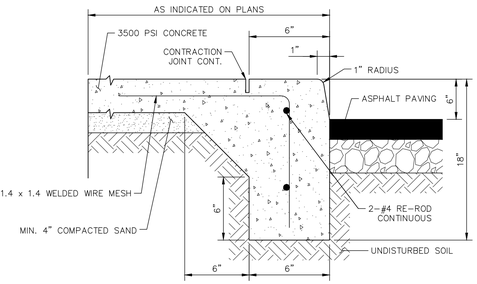
NOTES:

POLE AND SIGN TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

STANDARD SIGN BASE

N.T.S.



CONTRACTION JOINTS TO BE 2 1/2" DEEP. TRANSVERSE CONTRACTION JOINTS SPACED AT 5' INTERVALS (TOOLED). EXPANSION JOINTS TO BE 1/2" PREMOLDED FILLER, SPACED A MAXIMUM OF 30' APART.

INTEGRAL CURB AND WALK

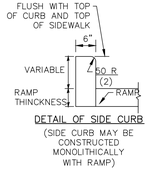
N.T.S.

GENERAL NOTES:

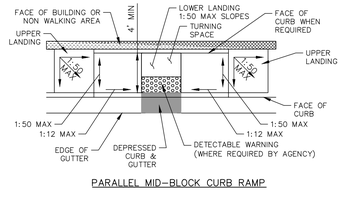
1. THE MAXIMUM SLOPE OF THE SIDE FLARE FOR TYPE B RAMPS SHALL BE 1:10; HOWEVER, IF THE WIDTH OF THE LANDING AREA BETWEEN THE TOP OF THE RAMP AND AN OBSTRUCTION IS LESS TAN 1.2m (4'–0") THEN THE MAXIMUM SLOPE SHALL BE 1:12.
2. ALL SLOPE RATIOS ARE EXPRESSED AS UNITS OF VERTICAL DISPLACEMENT TO UNITS OF HORIZONTAL DISPLACEMNT (V:H).
3. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SHOWN.
4. RAMP DETAILS TO BE COORDINATED PER VILLAGE REQUIREMENTS.
5. DETECTABLE WARNINGS SHALL CONSIST OF TRUNCATED DOMES WHICH CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT–ON–DARK OR DARK–ON–LIGHT.
6. CONTRACTOR TO SELECT ADA DETECTABLE WARNING PERMEABLE PAVERS OR CONCRETE WITH ADA DETECTABLE WARNING DOMES FOR RAMPS.

LEGEND

- SIDEWALK
- RAMP
- DETECTABLE WARNINGS
- NON WALKING AREA
- FACE OF BUILDING



DETAIL OF SIDE CURB
(SIDE CURB MAY BE CONSTRUCTED MONOLITHICALLY WITH RAMP)



PARALLEL MID–BLOCK CURB RAMP

No.	REVISIONS	DATE	BY
1	TOWN COMMENTS	08/14/20	JPM

Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
PHONE: 630-487-6500
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: JMM

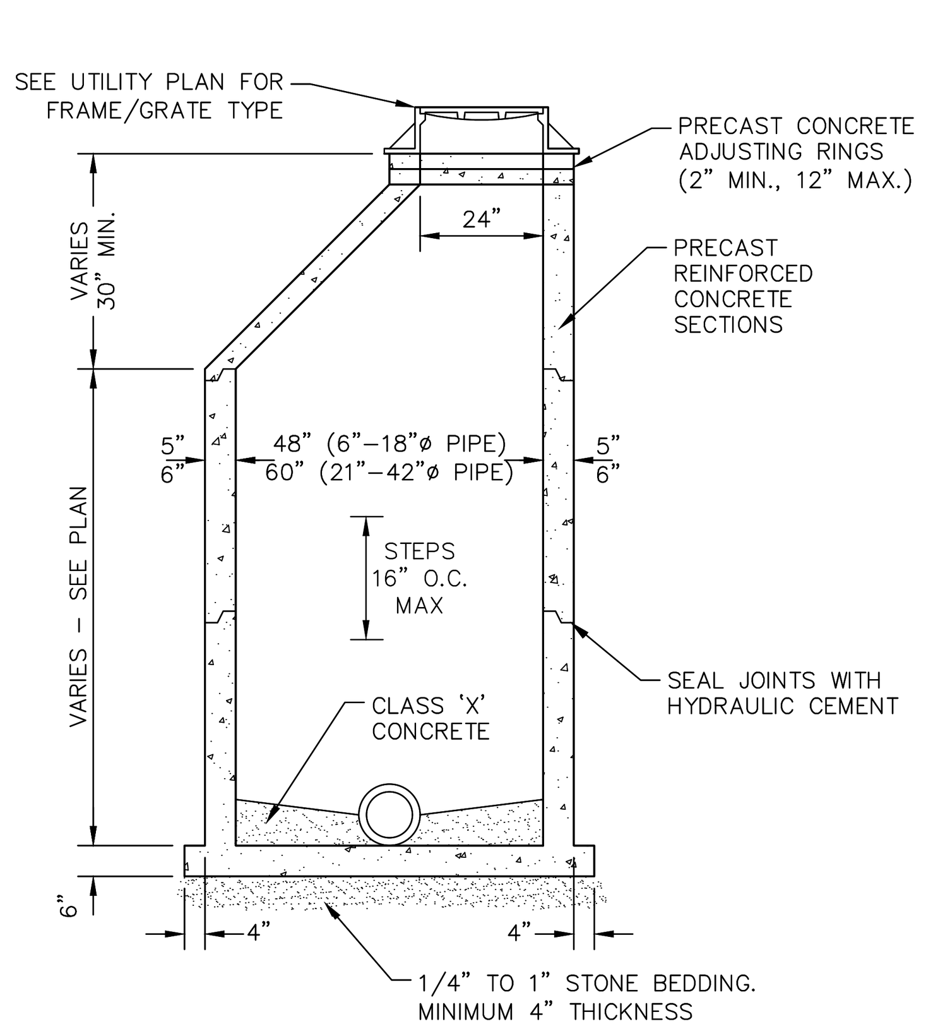
THE OVERLAND GROUP

DOLLAR GENERAL

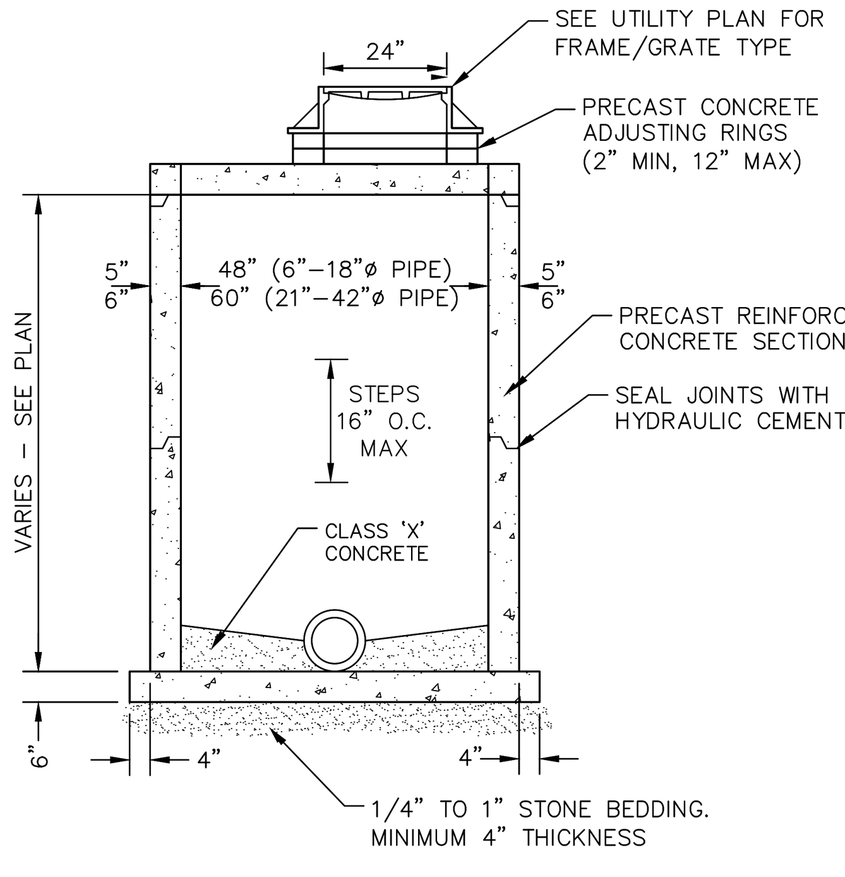
NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

CONSTRUCTION DETAILS

ORIGINAL ISSUE: 07/29/2020
KHA PROJECT NO. 168708007
SHEET NUMBER
C7.0

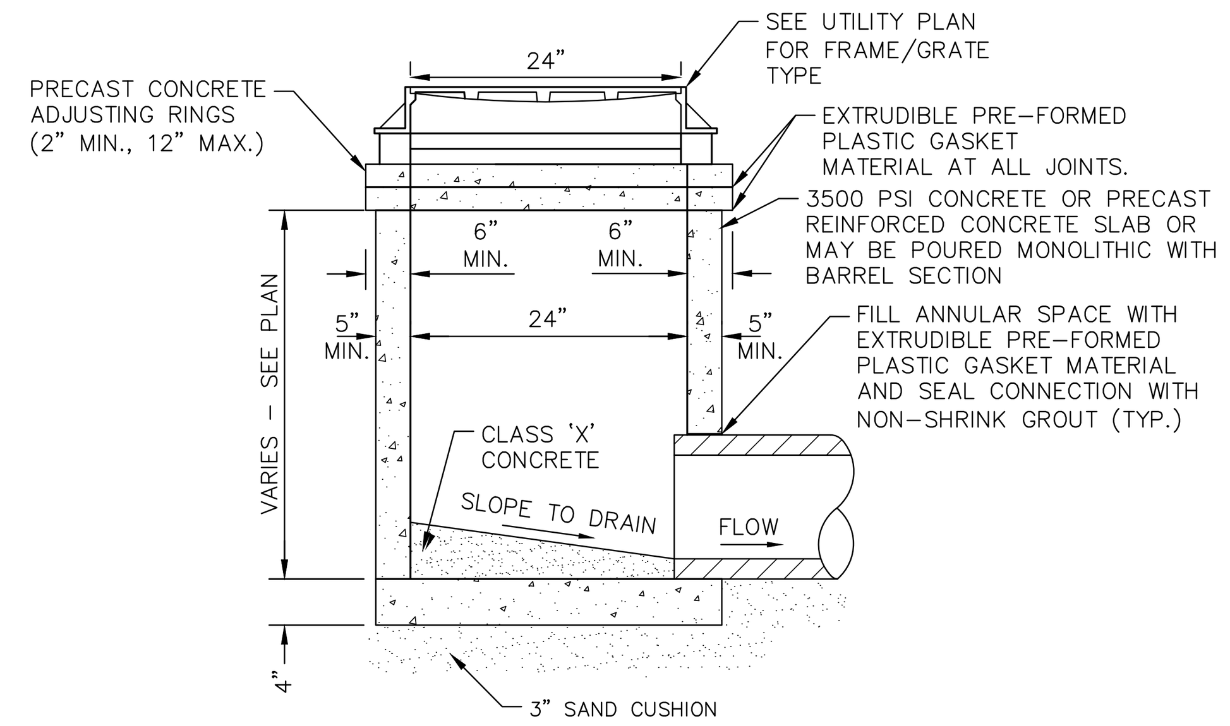


STORM MANHOLE TYPE A
N.T.S.

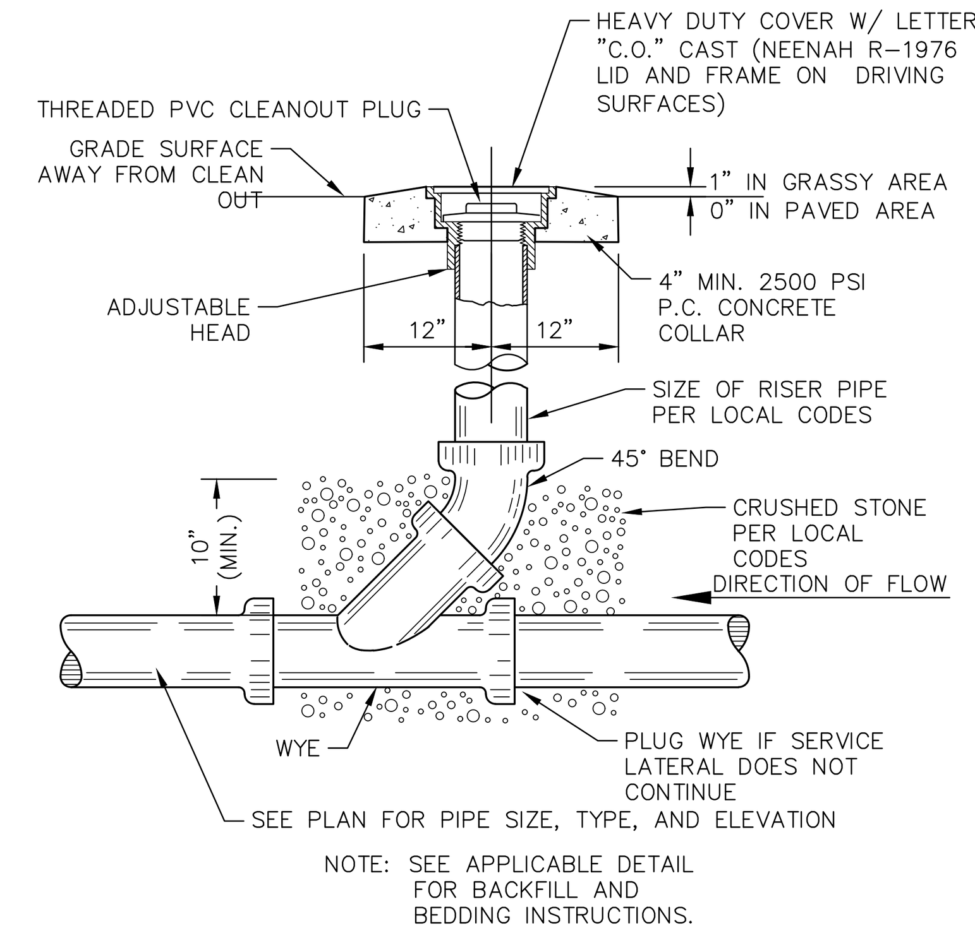


*FLAT TOP MANHOLE TO BE USED WHEN COVER IS LESS THAN 36". IF COVER IS GREATER THAN 36", USE TYPE A MANHOLE.

STORM MANHOLE (FLAT TOP)
N.T.S.

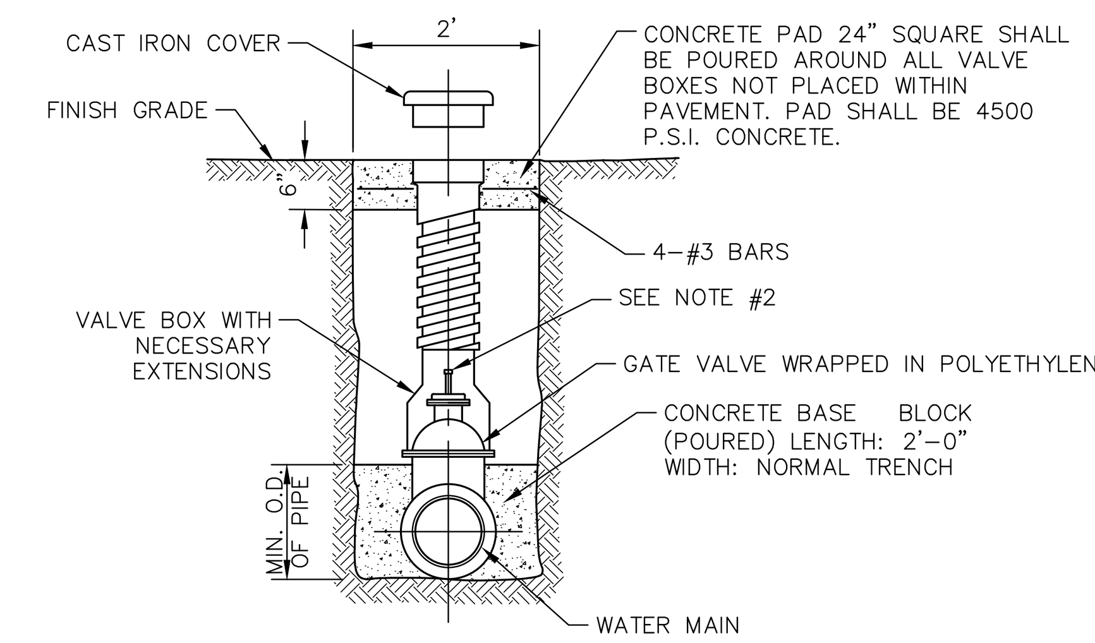


2' DIAMETER STORM INLET
N.T.S.



NOTE: SEE APPLICABLE DETAIL FOR BACKFILL AND BEDDING INSTRUCTIONS.

SANITARY/STORM CLEAN-OUT
N.T.S.



NOTES:
1. 4"–12" R.S. GATE VALVES SHALL BE IN ACCORDANCE WITH AWWA STANDARD C–509.
2. A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED IF THE OPERATING NUT FOR ANY VALVE IS LOCATED IN EXCESS OF 4' BELOW THE TOP OF THE VALVE BOX. THIS EXTENSION SHALL BE SUFFICIENT LENGTH TO ENSURE THAT THE TOP IS WITHIN 4' OF THE VALVE BOX LID.
3. DUCTILE IRON OR C–900 PVC PIPE SHALL BE USED FOR VALVE STACKS WITH VALVE BOX CASTING.
4. PLACE A BLUE DOT (3") ON NEAREST CURB FACE TO VALVE.
5. FOR GATE VALVES < 16" (FOR GATE VALVES ≥ 16" USE HORIZONTAL GATE VALVE)

TYPICAL VALVE SETTING AND BOX
N.T.S.

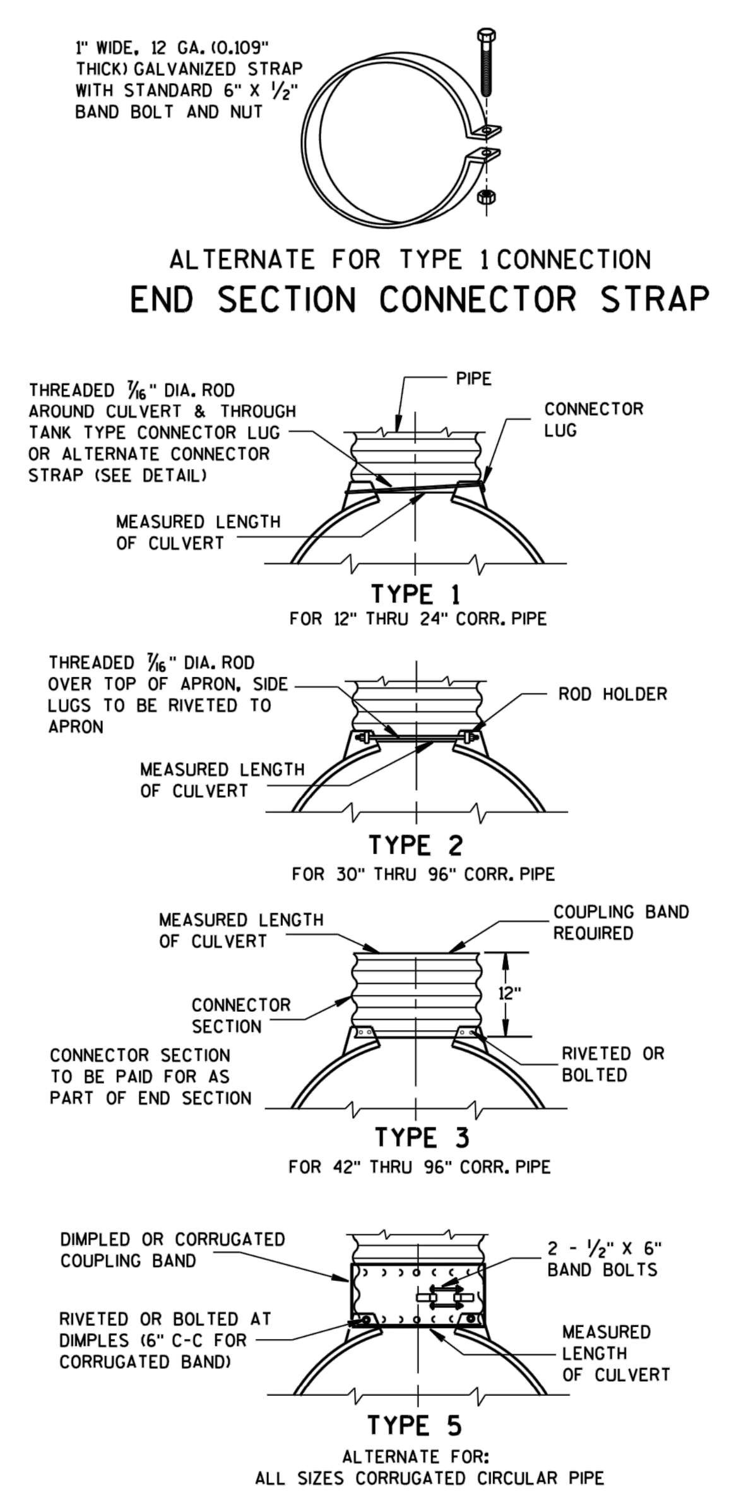
SDD 8f1 Apron Endwalls for Culvert Pipe

METAL APRON ENDWALLS											
PIPE DIA. (IN.)	MIN. THICK. (Inches) STEEL	MIN. THICK. (Inches) ALUM.	DIMENSIONS (Inches) A (±1")	B (MAX.)	H (±1")	L (±1 1/2")	L1 ①	L2 ①	W (±2")	APPROX. SLOPE	BODY
12	.064	.060	6	6	6	21	12	17 1/2	24	2 1/2 to 1	1 Pc.
15	.064	.060	7	8	6	26	14	21 3/4	30	2 1/2 to 1	1 Pc.
18	.064	.060	8	10	6	31	15	28 1/4	36	2 1/2 to 1	1 Pc.
21	.064	.060	9	12	6	36	18	29 5/8	42	2 1/2 to 1	1 Pc.
24	.064	.075	10	13	6	41	18	37 1/4	48	2 1/2 to 1	1 Pc.
30	.079	.075	12	16	8	51	18	52 1/4	60	2 1/2 to 1	1 Pc.
36	.079	.105	14	19	9	60	24	59 3/4	72	2 1/2 to 1	2 Pc.
42	.109	.105	16	22	11	69	24	75 5/8	84	2 1/2 to 1	2 Pc.
48	.109	.105	18	27	12	78	24	81	90	2 1/4 to 1	3 Pc.
54	.109	.105	18	30	12	84	30	85 1/2	102	2 1/4 to 1	3 Pc.
60	.109×	.105×	18	33	12	87	—	—	114	2 to 1	3 Pc.
66	.109×	.105×	18	36	12	87	—	—	120	2 to 1	3 Pc.
72	.109×	.105×	18	39	12	87	—	—	126	2 to 1	3 Pc.
78	.109×	.105×	18	42	12	87	—	—	132	1 1/2 to 1	3 Pc.
84	.109×	.105×	18	45	12	87	—	—	138	1 1/2 to 1	3 Pc.
90	.109×	.105×	18	37	12	87	—	—	144	1 1/2 to 1	3 Pc.
96	.109×	.105×	18	35	12	87	—	—	150	1 1/2 to 1	3 Pc.

× EXCEPT CENTER PANEL
SEE GENERAL NOTES

REINFORCED CONCRETE APRON ENDWALLS								
PIPE DIA. (IN.)	DIMENSIONS (Inches) T	A	B	C	D	E	G	APPROX. SLOPE
12	2	4	24	48 7/8	72 7/8	24	2	3 to 1
15	2 1/4	6	27	46	73	30	2 1/4	3 to 1
18	2 1/2	9	27	46	73	36	2 1/2	3 to 1
21	2 3/4	9	36	37 1/2	73 1/2	42	2 3/4	3 to 1
24	3	9 1/2	43 1/2	30	73 1/2	48	3	3 to 1
27	3 1/4	10 1/2	49 1/2	24	73 1/2	54	3 1/4	3 to 1
30	3 1/2	12	54	19 3/4	73 1/2	60	3 1/2	3 to 1
36	4	15	63	34 3/4	97 3/4	72	4	3 to 1
42	4 1/2	21	63	35	98	78	4 1/2	3 to 1
48	5	24	72	26	98	84	5	3 to 1
54	5 1/2	27	65	* 33 1/4 - ** 35	* 98 1/4 - ** 100	90	5 1/2	2 2/5 to 1
60	6	* 30 - ** 35	60	39	99	96	5	2 to 1
66	6 1/2	* 24 - ** 30	* 72 - ** 78	* 21 - ** 27	99	102	5 1/2	2 to 1
72	7	* 24 - ** 36	78	21	99	108	6	2 to 1
78	7 1/2	* 24 - ** 36	78	21	99	114	6 1/2	2 to 1
84	8	36	90 1/2	21	111 1/2	120	6 1/2	1 1/2 to 1
90	8 1/2	41	87 1/2	24	111 1/2	132	6 1/2	1 1/2 to 1

*MINIMUM
**MAXIMUM



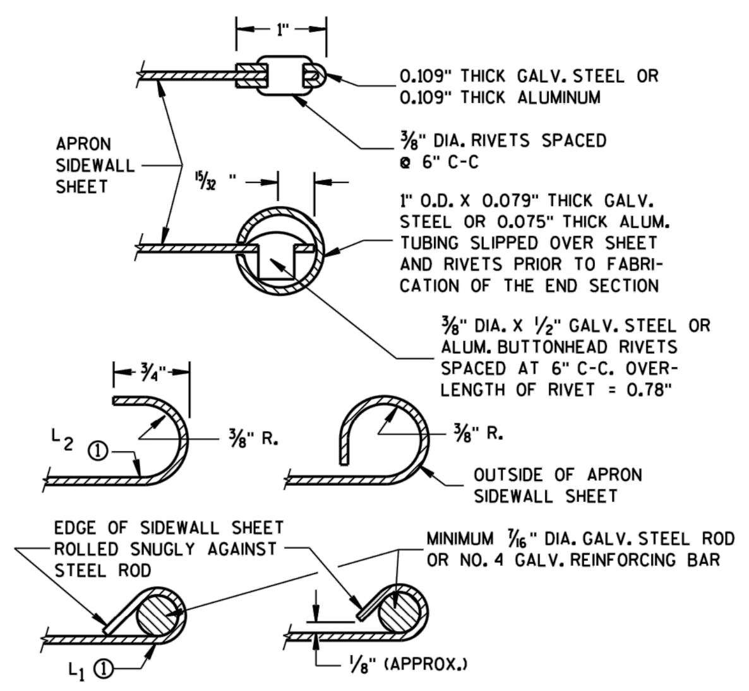
NOTE: DIMPLED BAND FITS OVER OUTSIDE OF ENDWALL, AND CORRUGATED BAND FITS INSIDE ENDWALL. DIMPLED BAND MAY BE USED WITH HELICALLY CORRUGATED PIPE.

FOR CIRCUMFERENTIALLY CORRUGATED PIPE USE ENDWALL CONNECTION DETAILS 1, 2, 3 OR 5 AS APPLICABLE.

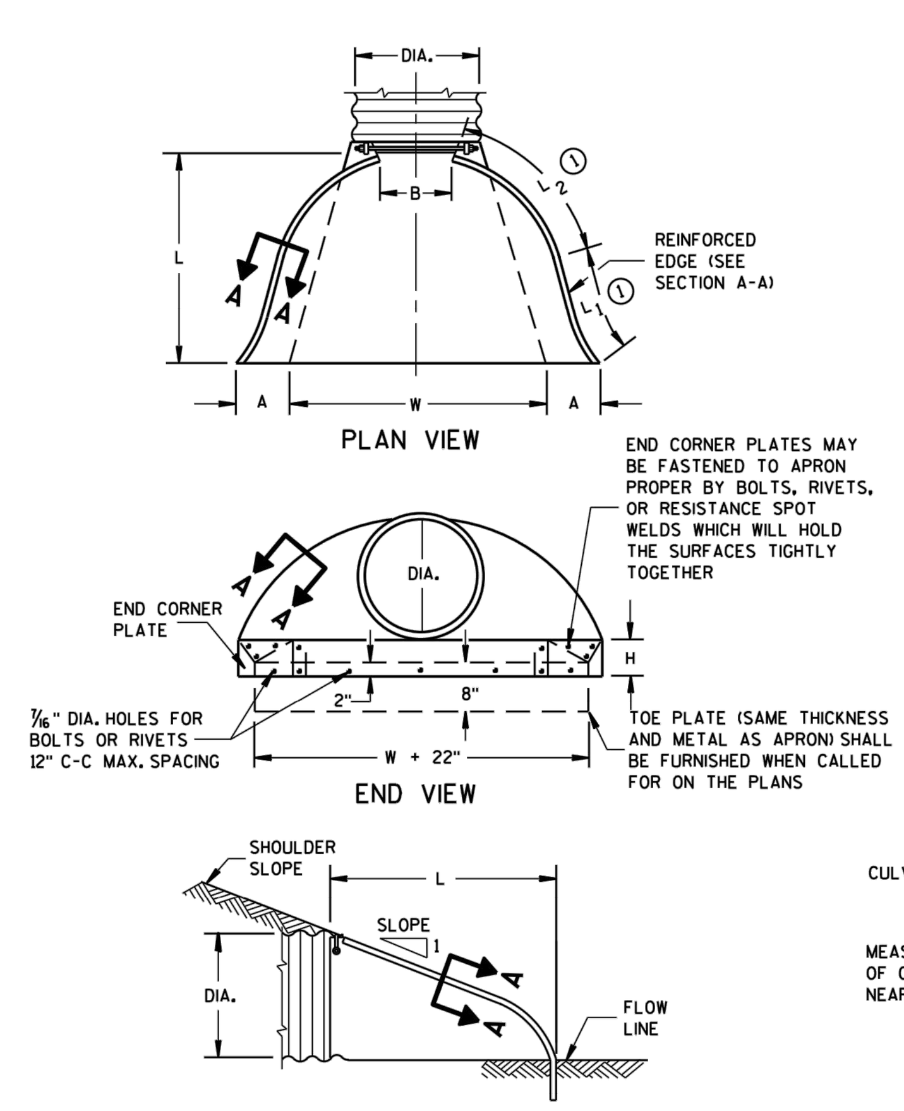
FOR HELICALLY CORRUGATED PIPE USE ENDWALL CONNECTION DETAILS 1, 2 OR 5.

FOR HELICALLY CORRUGATED PIPES WITH TWO CIRCUMFERENTIAL CORRUGATIONS AT EACH END USE ENDWALL CONNECTION DETAILS 1, 2 OR 3.

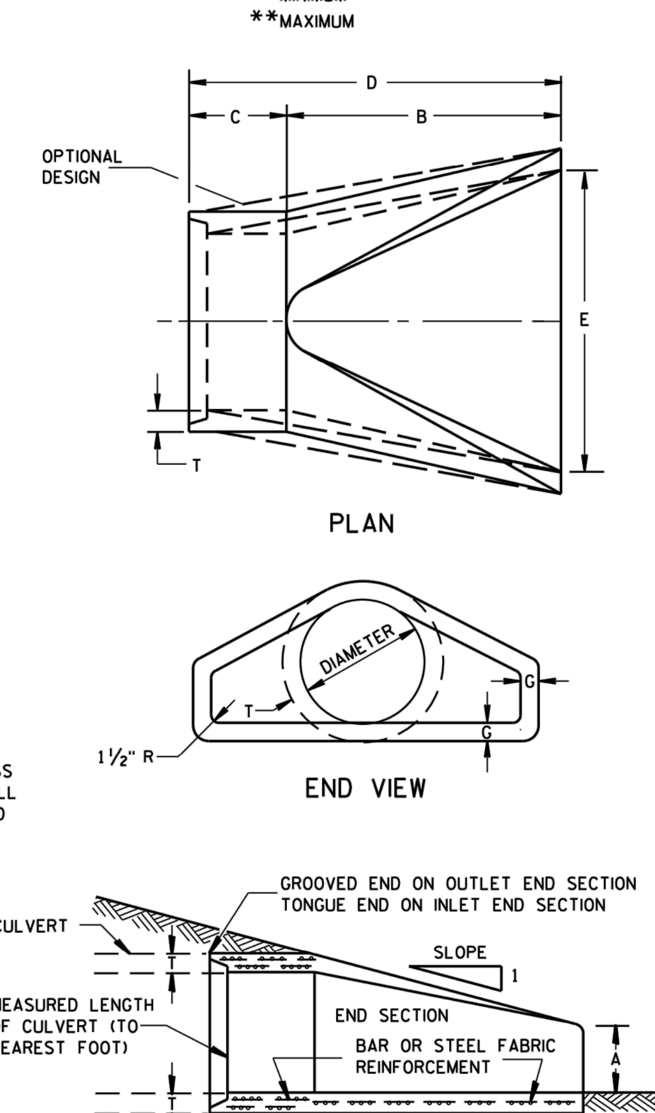
CONNECTION DETAILS



SECTION A-A



METAL ENDWALLS



CONCRETE ENDWALLS

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

CONCRETE CULVERT ENDWALLS MAY NOT BE USED WITH GALVANIZED STEEL OR ALUMINUM CULVERT PIPE OR VISE VERSA. GALVANIZED STEEL OR ALUMINUM ENDWALLS SHALL NORMALLY BE INSTALLED ON CULVERT PIPE OF THE SAME METAL.

ALL THREE PIECE STEEL APRON ENDWALLS FOR 60" DIAMETER PIPE AND LARGER SHALL HAVE 0.109" SIDES AND 0.138" CENTER PANELS. ALL THREE PIECE ALUMINUM APRON ENDWALLS FOR 60" DIAMETER PIPE AND LARGER SHALL HAVE 0.105" SIDES AND 0.134" CENTER PANELS. THE WIDTH OF CENTER PANELS SHALL BE GREATER THAN 20 PERCENT OF THE PIPE PERIMETER.

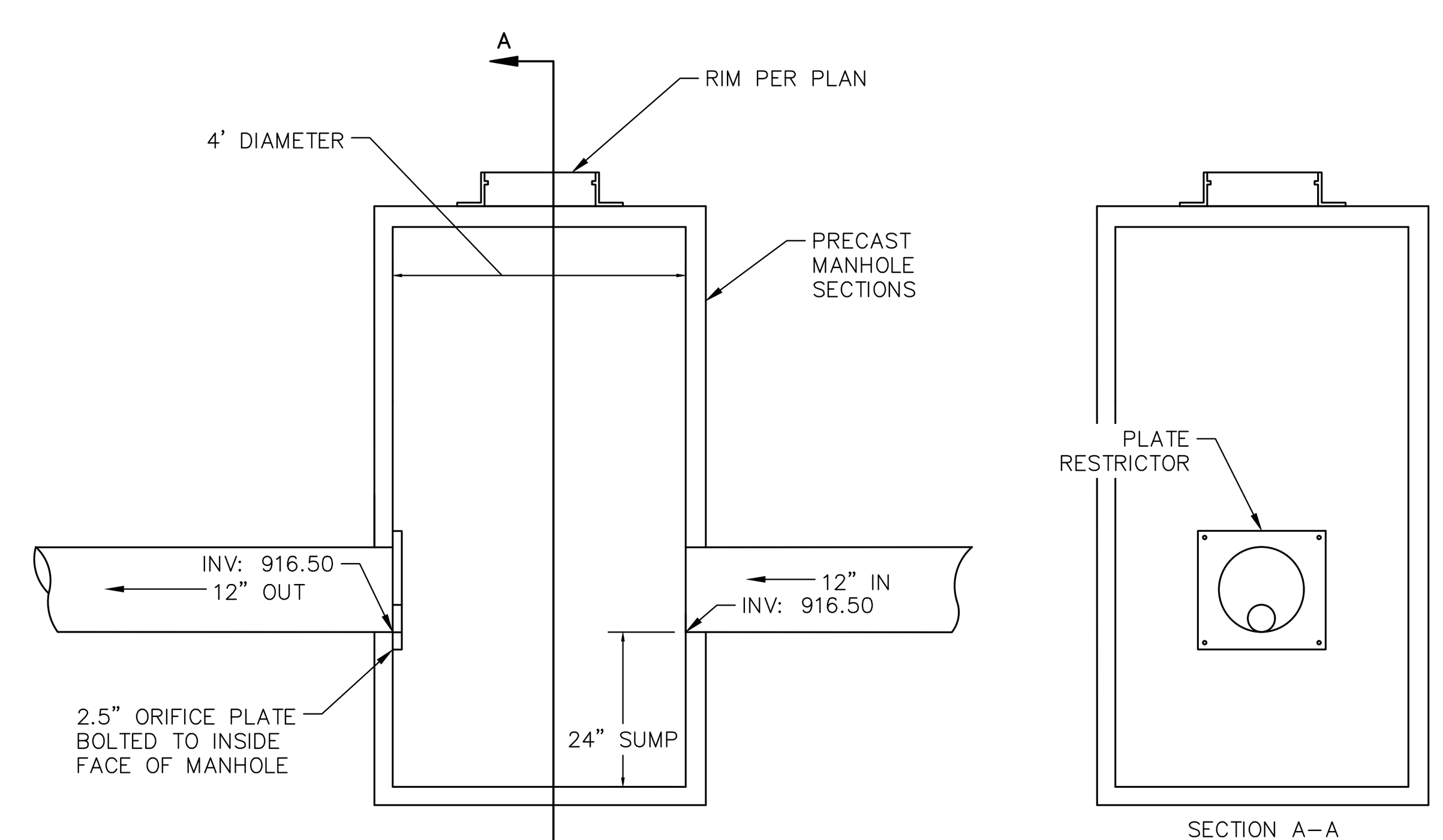
LAP SEAMS SHALL BE TIGHTLY JOINED BY GALVANIZED RIVETS OR BOLTS FOR STEEL UNITS AND ALUMINUM RIVETS AND BOLTS FOR ALUMINUM UNITS. FOR THE 60" THROUGH 96" DIAMETER APRON ENDWALL SIZES, THE REINFORCED EDGES AND CENTER PANEL SEAMS SHALL BE FURTHER REINFORCED WITH GALVANIZED STEEL OR ALUMINUM STIFFENER ANGLES. THE ANGLES SHALL BE ATTACHED BY GALVANIZED NUTS AND BOLTS FOR STEEL UNITS AND ALUMINUM NUTS AND BOLTS FOR ALUMINUM UNITS.

WHERE TWO OR MORE PIPES WITH APRON ENDWALLS ARE LAID ADJACENT TO EACH OTHER, THEY SHALL BE SEPARATED BY A DISTANCE SUFFICIENT TO PROVIDE A MINIMUM CLEARANCE OF 6 INCHES BETWEEN APRON ENDWALLS.

① FOR PIPE SIZES UP TO 60" DIAMETER, A 180° ROLLED EDGE MAY BE USED INSTEAD OF STEEL ROD REINFORCEMENT. SEE SECTION A-A.

APRON ENDWALLS FOR CULVERT PIPE
STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION
APPROVED 8-30-94 DATE — /S/ Rory L. Rhinesmith — CHIEF ROADWAY DEVELOPMENT ENGINEER
FHWA

6 — S.D.D. 8 F 1-11



OUTLET CONTROL STRUCTURE (D2)
N.T.S.

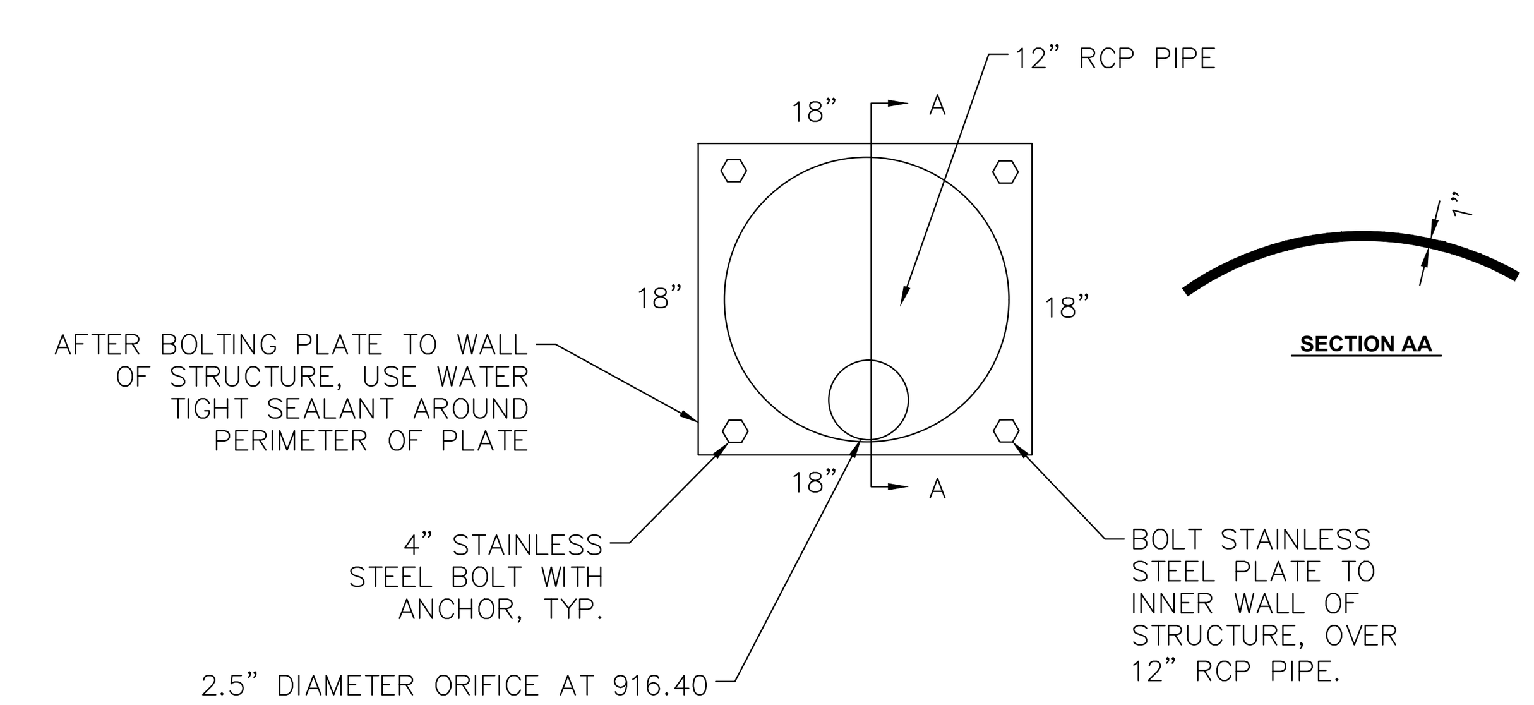


PLATE RESTRICTOR
N.T.S.

No.	REVISIONS	DATE	BY
1	TOWN COMMENTS	08/14/20	JPM

Kimley»Horn

4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

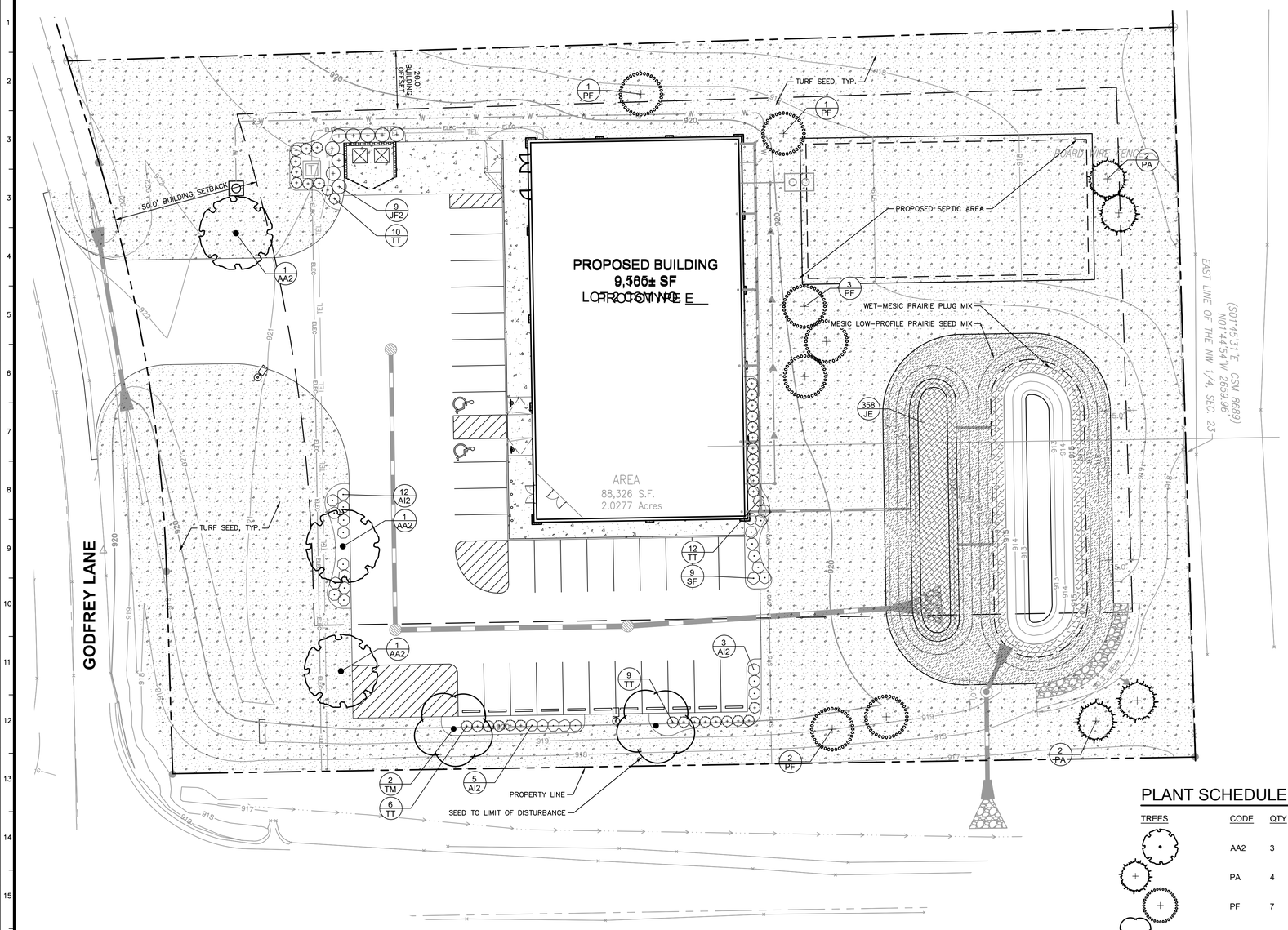
SCALE: AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: JMM

CONSTRUCTION DETAILS

THE OVERLAND GROUP

DOLLAR GENERAL
NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

ORIGINAL ISSUE: 07/29/2020
KHA PROJECT NO. 168708007
SHEET NUMBER
C7.1



GRAPHIC SCALE IN FEET
0 10 20 40

NORTH

DIGGERS HOTLINE®
1-800-242-8511

LANDSCAPE CODE		
CODE	REQUIRED	PROVIDED
STREET FRONTAGE		
60 POINTS FOR EVERY 100 LF	350/100=3.5*60=210	2 TALL DECIDUOUS TREES= 60 4 EVERGREEN TREES=160 220 POINTS
BUILDING FOUNDATION		
25 POINTS FOR EVERY 100 FEET OF BUILDING FOUNDATION PERIMETER	400/100=4*25=100	1 EVERGREEN TREE=40 12 MEDIUM EVERGREEN SHRUBS=60 100 POINTS
PARKING LOT LANDSCAPE		
120 POINTS FOR EVERY 10,000 SF OF PAVED AREA	16,510.58/10,000=1.65*120=198 POINTS	3 TALL DECIDUOUS TREE=90 15 TALL DECIDUOUS SHRUBS=75 7 MEDIUM EVERGREEN SHRUBS=35 200 POINTS
INTERIOR PARKING LOT LANDSCAPE		
10 POINTS FOR EVERY 1,000 SF OF BUILDING FLOOR AREA	9,100 SF/1,000=9 POINTS	9 LOW DECIDUOUS SHRUBS= 9 9 POINTS

*SCREENING OF UTILITIES PROVIDED
ADDITIONAL LANDSCAPE PROVIDED FOR SCREENING (SOUTH AND EAST SIDE)

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AA2	3	ACER FREEMANII `AUTUMN BLAZE` / AUTUMN BLAZE MAPLE	B & B	2" CAL MIN	
	PA	4	PICEA ABIES / NORWAY SPRUCE	B & B		4` HT MIN
	PF	7	PINUS FLEXILIS `VANDERWOLF`S PYRAMID` / VANDERWOLF`S PYRAMID PINE	B & B		4` HT MIN
	TM	2	TILIA AMERICANA `MCKSENTRY` / SENTRY LINDEN	B & B	2" CAL MIN	

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE	SPACING
	AI2	20	ARONIA MELANOCARPA `IROQUOIS BEAUTY` / BLACK CHOKEBERRY	-	SEE PLAN	36" HT MIN	48" o.c.
	JF2	9	JUNIPERUS CHINENSIS `FAIRVIEW` / FAIRVIEW JUNIPER	-	SEE PLAN	5` HT MIN	60" o.c.
	SF	9	SPIRAEA JAPONICA `NEON FLASH` / NEON FLASH SPIREA	-	SEE PLAN	18" HT MIN	48" o.c.
	TT	37	TAXUS X MEDIA `TAUNTONII` / TAUTON YEW	-	SEE PLAN	24" HT MIN	48" o.c.

SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	JE	358	JUNCUS EFFUSUS / COMMON RUSH	2" PLUG	24" o.c.

GROUND COVERS	BOTANICAL / COMMON NAME
	MESIC LOW-PROFILE PRAIRIE SEED MIX
	TURF SEED
	WET-MESIC PRAIRIE PLUG MIX

MESIC LOW-PROFILE PRAIRIE SEED MIX

BOTANICAL NAME	COMMON NAME	LBS / ACRE	% OF TOTAL
GRASSES, SEDGES, & RUSHES			
Avena sativa	Common Oat	20.0	50.0%
Bouteloua curtipendula	Side-Oats Grama	5.0	12.5%
Lolium multiflorum	Annual Rye	10.0	25.0%
Panicum virgatum	Switch Grass	0.5	1.3%
Schizachyrium scoparium	Little Bluestem	4.0	10.0%
Sporobolus heterolepsis	Prairie Dropseed	0.25	0.6%
	TOTAL LBS PER ACRE:	**39.75**	**99.4%**
FORBS & BROADLEAVES			
Coreopsis palmata	Prairie Coreopsis	0.10	0.3%
Echinacea purpurea	Purple Coneflower	0.15	0.4%
	FORBS & BROADLEAVES LBS PER ACRE:	**0.25**	**0.6%**
	SEED MIX TOTAL LBS PER ACRE:	**40.00**	

WET-MESIC PRAIRIE PLUG MIX

BOTANICAL NAME	COMMON NAME	QTY / ACRE	% OF TOTAL
Bouteloua curtipendula	Side Oats Grama	750	15%
Echinacea purpurea	Purple Coneflower	500	10%
Elymus canadensis	Canada Wild Rye	1,000	20%
Juncus effusus	Common Rush	750	15%
Panicum virgatum	Switch Grass	1,500	30%
Rudbeckia hirta	Black-Eyed Susan	500	10%
	TOTAL PLUGS PER ACRE:	**5,000**	

No.	REVISIONS	DATE	BY
1	TOWN COMMENTS	08/14/20	JPM

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SCALE: AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: JMM

THE OVERLAND GROUP

DOLLAR GENERAL

NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

LANDSCAPE PLAN

ORIGINAL ISSUE: 07/29/2020
KHA PROJECT NO. 168708007
SHEET NUMBER
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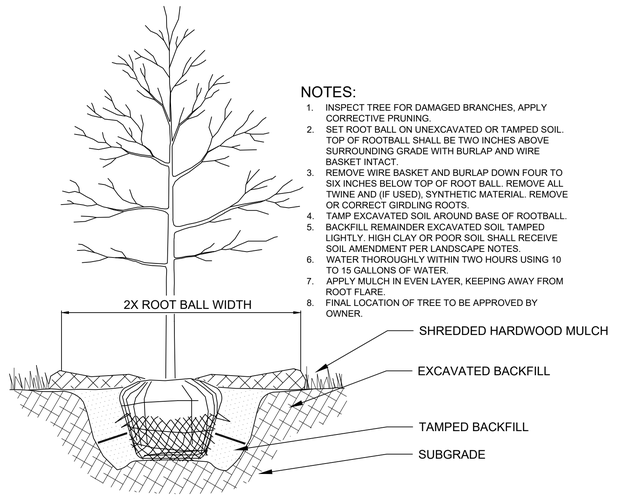
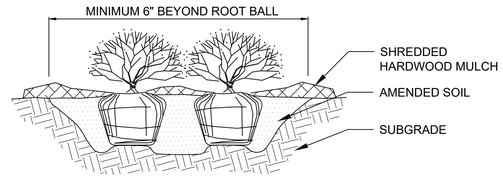


NOTES:

1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

1 TREE PLANTING

NTS



NOTES:

1. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4. REMOVE OR CORRECT GIRDLING ROOTS.
5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

2 SHRUB PLANTING

NTS

DIGGERS HOTLINE®
1-800-242-8511

LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHANGUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
9. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
10. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
11. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
12. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
13. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
14. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

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