

Date: July 30, 2020

To: Town of Eagle Plan Commission and Town Board

From: Tim Schwecke, AICP, Town Planner

Subject: Site plan and plan of operation for a new retail business (Dollar General) located at northeast corner of Godfrey Lane and CTH NN (EGLT1818999021); The Overland Group (Jacob Stauffer, agent and Joe Mayer, consultant)

Application: 2020-17; <https://s.zoninghub.com/U6GWBGL6EG>

Meeting: August 3, 2020 Plan Commission – Town Board meeting

The Overland Group, purchaser of the subject property, has submitted an application to develop the property for a new retail business (Dollar General). In a separate application, the petitioner is proposing a two-lot land division. The new business will be located on the southern half of the subject property.



Prior approvals None – the property is undeveloped.

Zoning The subject property is zoned B-4 (Mixed Business). The proposed use is allowed by right in the district. The floor area of the proposed building is 9,100 square feet. The area of the building is less than the permissible maximum of 50 percent.

Building plans The code requires that rooftop mechanicals be placed so they are not readily visible from a public street. Screening is provided. The Plan Commission will need to determine if that complies as proposed.

Pilasters are being used to divide the wall surfaces on the front facades. They must comply with the requirements (8 inches and 12 inches wide).

Building materials consist of concrete masonry units (CMUs) along the base, brick pilasters, and lap siding. Metal panels are proposed for the east and north faces. The applicant will need to verify these building materials extend at least 25 percent along the secondary facades.

Parking Given the size of the building, 31 spaces are required. (1 space per 300 square feet) The site plan shows 32 spaces.

Stormwater management On-site stormwater management is being proposed. The Town Engineer will need to review and approve the final design.

Outdoor storage There will be no outside storage related to this use.

Dumpster enclosure A dumpster enclosure is shown along the north side of the parking area. No details were provided.

Outdoor lighting The building plans show a series of wallpack lights and two light poles. Additional information needs to be submitted to ensure the lights are full cut-off.

Landscaping The proposed landscaping complies with the standards in the zoning code.

Signage Signage consists of wall signs and a ground sign and will be reviewed by the Building inspector consistent with the Town's sign ordinance. The ground sign may not be located in the vision triangle as established as part of the Certified Survey Map.

Public notice Aside from being included on the meeting agenda, no other public notice is required for site plan/plan of operations reviews.

Proposed motion for Plan Commission Recommend to the Town Board the approval of the site plan/plan of operation as described in the petitioner's application, subject to the following conditions:

1. The property owner must reimburse the Town for any and all fees paid by the Town for technical assistance in reviewing and enforcing this approval. Such payments shall be paid upon request of the Town. The Town Clerk's office shall provide owner/applicant with itemized invoices.
2. The applicant must submit details for the dumpster enclosure, meeting code requirements, to the Town Planner for review and approval.
3. The applicant must provide documentation to the Town Planner to ensure that all light fixtures are full-cut off.
4. The property owner obtains a zoning permit for the approved building within 6 months of this date.
5. The property owner obtains a building permit for the approved building within 9 months of this date and completes the authorized work within one year of obtaining the permit.
6. The property owner obtains all other approvals as may be required to construct the building as planned (e.g., fire department review).

Building, Site Plan & Plan of Operation Application Town of Eagle (Waukesha County), Wisconsin

Town of Eagle
820 E. Main Street
Eagle, WI 53119

Version: January 17, 2020

Overview: The Plan Commission reviews building plans, site plans, and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix.

Governing regulations. The procedures and standards governing the review of this application are found in Article 6 of the Town's zoning code.

General instructions: Complete this application and submit one copy to the Town Clerk along with the application fee noted below. Alternatively, you can submit your application online at <https://townofeagle.zoninghub.com>.

Before you formally submit your application, you may meet with the Town Planner who can answer any questions you may have. The Town Planner can also review your application before it is formally submitted to determine if it is complete and provides enough information to describe the circumstances related to this application. If you have any questions, do not hesitate to contact the Town Planner at (920) 728-2814 or via email at tim.schwecke@civitekconsulting.com.

Application fee for a new project: \$50, plus charges for professional services consistent with the Town's chargeback policy; \$250 escrow deposit

Application fee for a new project: \$50, plus charges for professional services consistent with the Town's chargeback policy

Application submittal deadline: The Plan Commission and Town Board meet jointly, generally the first Monday of the month, to review certain types of development applications. This application must be submitted and determined to be complete by the Town Planner, no later than 30 days prior to the date established for the Plan Commission-Town Board meeting. Please contact the Town Planner to verify the deadline for a specific month.

1. **Applicant and agent information** Include the names of the agent, if any, that helped prepare this application including the supplemental information. Examples include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Applicant	Agent
Name	Jacob Stauffer, The Overland Group (Purchaser)	Joe Mayer, Kimley-Horn (Engineer)
Street address	1903 East Battlefield	4201 Winfield Road, Suite 600
City, state, zip code	Springfield, MO 65804	Warrenville, IL 60555
Daytime telephone	417-293-3332	630-487-5563
Email address	jacobstauffer@theoverlandgroup.com	joe.mayer@kimley-horn.com

2. **Type of application (check all that apply)**

- ☒ Building plans Complete Parts A, B and E
- ☒ Site plan Complete Parts A, C and E
- ☒ Plan of operation Complete Parts A, D and E
- ☒ New project
- ☐ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): _____

Part A. About the Property

3. **Subject property information**

Physical address NEC of Godfrey Lane and Main Street , Town of Eagle, WI

Tax key number(s) EGLT- 1818 999 021 EGLT - EGLT - EGLT -

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Town Clerk.

Is the subject property currently in violation of the Town's zoning code as determined by the Zoning Administrator?

- ☒ No
- ☐ Yes

If yes, please explain.

The applicant is not aware of any current violations

Comment: Pursuant to Section 500.106 of the Town's zoning code, the Town may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, or other required payment that are specifically related to the subject property?

- ☒ No
☐ Yes

If yes, please explain.

The applicant is not aware of any current unpaid taxes, assessment, or other required payments.

Comment: Pursuant to Section 500.107 of the Town's zoning code, the Town may not issue a permit or other approval that would benefit a parcel of land where taxes, assessments, or other required payments are delinquent and due.

4. Zoning information. The subject property is located in the following zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> P-1 Public | <input type="checkbox"/> AP Agricultural land preservation | <input type="checkbox"/> B-2 Local business |
| <input type="checkbox"/> Q-1 Quarry | <input type="checkbox"/> RR Rural residential | <input checked="" type="checkbox"/> B-4 Mixed business |
| <input type="checkbox"/> C-1 Conservancy | <input type="checkbox"/> R-1 Residential | <input type="checkbox"/> M-1 Limited industrial |
| <input type="checkbox"/> UC Upland conservancy | <input type="checkbox"/> B-1 Neighborhood business | <input type="checkbox"/> M-2 General industrial |

Part B. Building Plans

5. Building type. Which of the following best describes the building?

- | | | | |
|---------------------------------------|--|-------------------------------------|----------------------------------|
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Institutional | <input type="checkbox"/> Work/live | <input type="checkbox"/> Storage |
| <input type="checkbox"/> Multi-family | <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Industrial | <input type="checkbox"/> Other |

Please refer to the zoning code for any design requirements that may apply.

6. Exterior building materials

Roof

Roof - Metal with screening for RTUs

Front elevation

Front - Masonry (Brick and Split Face CMUs) and Nichiha Fiber-Cement Panel

Left elevation

Left - Masonry (Brick and Split Face CMUs) and Nichiha Fiber-Cement Panel

Right elevation

Right - 25% Masonry & Nichiha Fiber-Cement Panel, 75% Pre-Finished Metal

Rear elevation

Rear - 25% Masonry & Nichiha Fiber-Cement Panel, 75% Pre-Finished Metal

Part C. Site Plan

7. Site parameters (area in square feet or acres)

Subject property	<u>2.03 AC (88,324 SF)</u>	
Building coverage	<u>9,100 SF (10.3%)</u>	
Outdoor storage	<u>0.00 (Propane and Ice Outdoor Displays only)</u>	
Stormwater facilities	<u>7,500 SF (Wet Detention Pond)</u>	
Impervious surfaces	<u>19,650 SF</u>	Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.
Landscaping and other undeveloped areas	<u>52,074 SF</u>	
Wetlands	<u>0.00</u>	Attach appropriate documentation if there are any wetlands.
100-year floodplain	<u>0.00</u>	

8. Road access

Name	New Access	Change to Existing Access	No Change to Existing Access
<u>Godfrey Lane</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u></u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u></u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

9. Parking (See the standards and requirements in Article 11 of the zoning code.)

Minimum number of required spaces	<u>44 (see note)</u>	See Appendix B of the zoning code for parking requirements for the proposed land use(s).
Proposed number of spaces	<u>32</u>	Building Area is 9,100 SF, but only 7,400 SF of Primary Floor Area at 6 spaces / 1000 SF = 44 spaces
ADA van accessible spaces	<u>2</u>	Variance Requested for the 12 space reduction.
Other ADA accessible spaces	<u>0</u>	
Number of electric charging stations (if any)	<u>0</u>	
Number of spaces in front of the building	<u>12</u>	
Number of spaces on the side(s) of the building	<u>20</u>	
Number of spaces to the rear of the building	<u>0</u>	

Part D. Plan of Operation

10. Operating conditions

Hours of operation:

8am - 10pm, 7 Days a week

Estimated number of full-time employees

8 - 12 Full Time Employees

Estimated number of part-time employees

1 - 2 Part Time Employees

Estimated number of employees onsite at peak hours

3 - 5

Will the proposed business operation create any noise outside of the building?

No

Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?

No

Will the proposed business operation create any vibrations outside of the building?

No

Will the proposed business operation involve any explosives or other flammable materials?

Potential Propane Tanks displayed in cage outside of the building

Will the proposed business operation involve any radioactive materials?

No

Will the proposed business operation create special needs for wastewater disposal?

No

Will the proposed business operation require unusually high levels of potable water?

No

11. Licensing. What kind of federal, state, county or town licensees, if any, are needed to operate the proposed business?

Business Operating License

Part E. Other

12. Supplemental materials. Attach the following to this application form.

1. A project map with the information listed in Appendix A of the zoning code.
2. Proposed construction plans (if applicable)

13. Attachments. List any attachments included with your application.

Preliminary Engineering Plans (including ALTA Survey, Site Plan, Grading, Utilities. & Landscape plans),
Certified Survey Map, Site Lighting Plans, Building Elevations, Building Floor Plan, Sign Plans

14. Other information. You may provide any other information you feel is relevant to the review of your application.

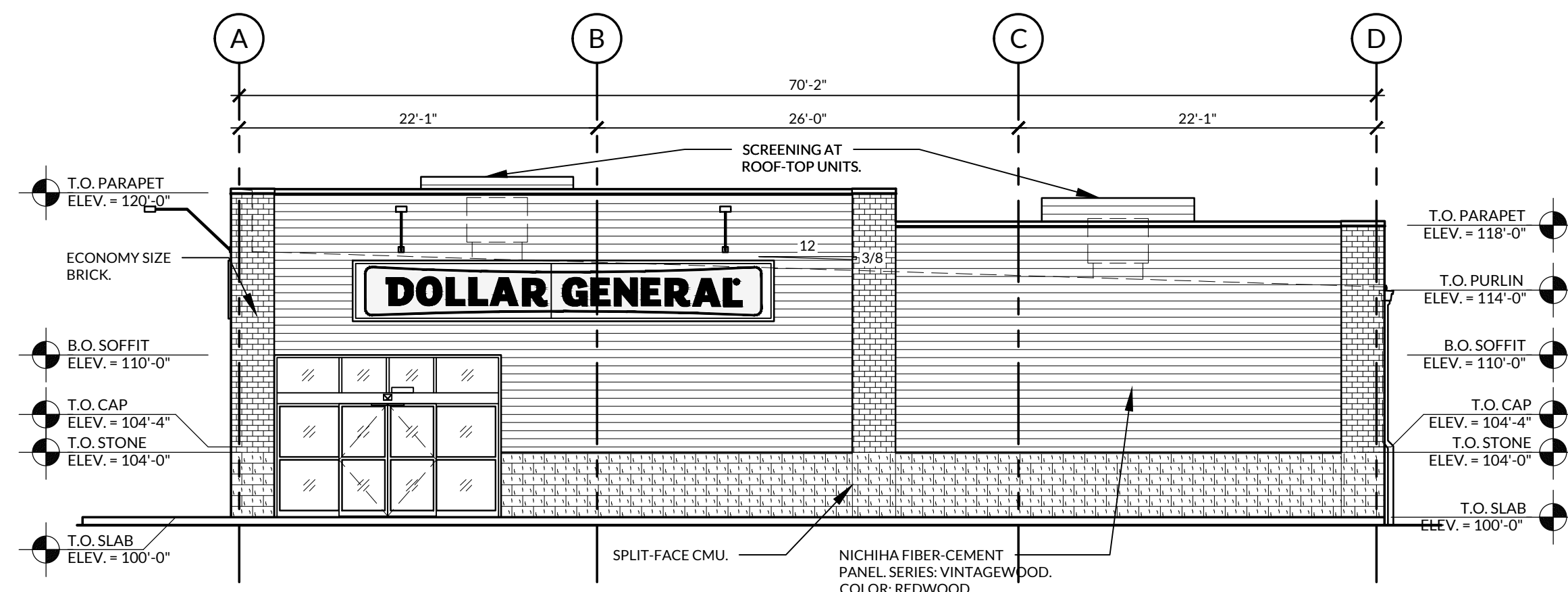
N/A

15. Applicant certification

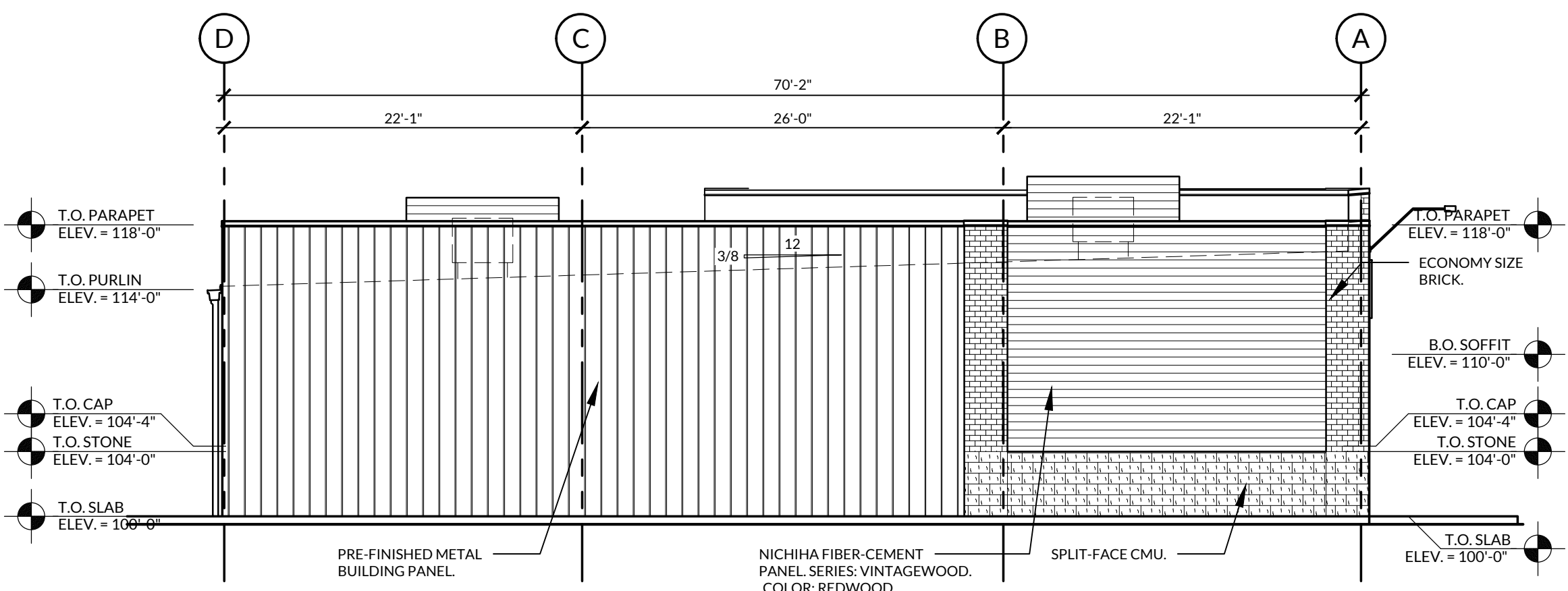
- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with the Town's chargeback policy. The signed chargeback form is attached
- I understand that submission of this application authorizes town officials, Plan Commission members, Town Board members, employees, and other designated agents to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the Town Planner will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Applicant Signature(s):

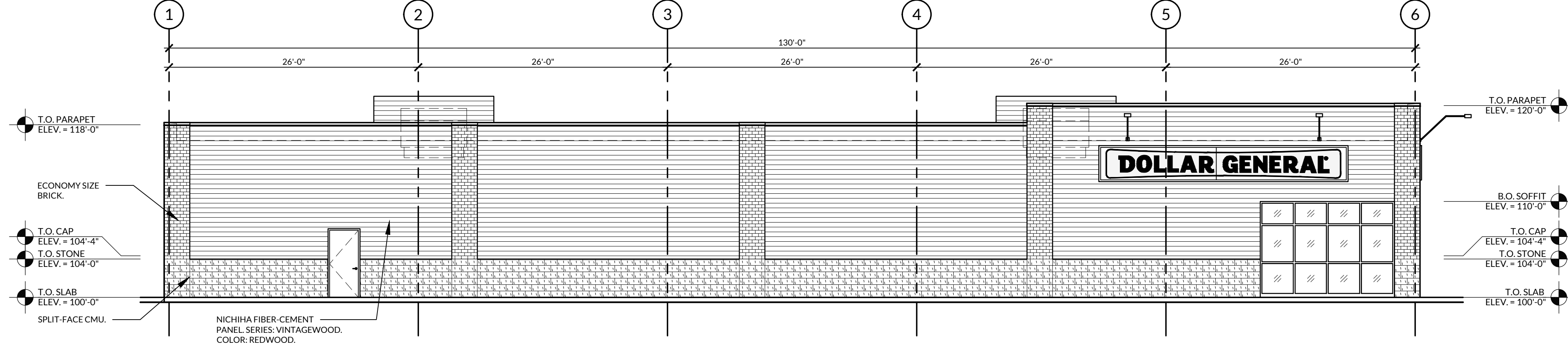
Date:



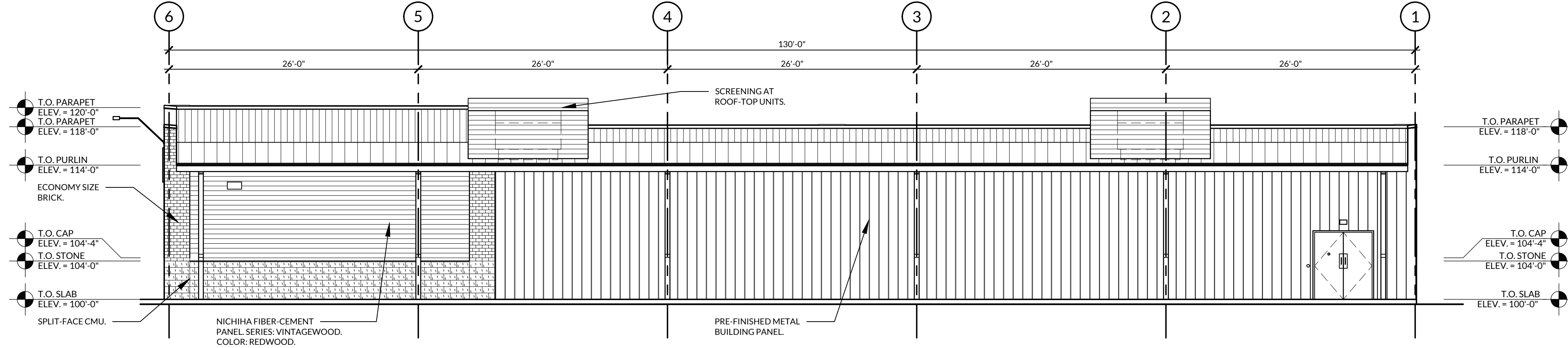
1 SOUTHWEST ELEVATION
SCALE: 1/8"=1'-0"



2 NORTHEAST ELEVATION
SCALE: 1/8"=1'-0"



3 NORTHWEST ELEVATION
SCALE: 1/8"=1'-0"



4 SOUTHEAST ELEVATION
SCALE: 1/8"=1'-0"

DOLLAR GENERAL

STORE #22466 • PROTOTYPE "E"
EAGLE, WISCONSIN
NORTHEAST CORNER OF HIGHWAY NN & GODFREY LANE/LEEDS DRIVE
EAGLE, WAUKESHA COUNTY, WISCONSIN 53119

PRELIMINARY
FOR CONSTRUCTION

ARCHITECT OF RECORD:
KYLE W. RADER
ARCHITECTURAL LICENSE #:
12667-5

PROJECT NUMBER:
19268 • DGWW

REVISION:

A2.1
EXTERIOR
ELEVATIONS

DATE: JULY 02, 2020

KYLE W. RADER - ARCHITECT
116 NORTH 2ND AVENUE • OZARK, MO 65721 • P (417) 581-8889 • F (417) 581-9002

Drawing name: K:\GIS\DESIGN\168708007_DollarGeneral_Eagle_WI\2 Design\CAD\PlanSheets\Preliminary Engineering\C0.0 - TITLE SHEET.dwg C0.0 Jul 02, 2020 2:44pm by: brethickey
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

PRELIMINARY ENGINEERING PLANS

DOLLAR GENERAL

NEC HIGHWAY NN & GODFREY LANE

TOWN OF EAGLE, WISCONSIN 53119



UTILITY AND GOVERNING AGENCY CONTACTS

PLANNING & ZONING DEPARTMENT
TOWN OF EAGLE
820 E. MAIN STREET
EAGLE, WI 531199
TEL: (920) 728-2814
CONTACT: TIM SCHWECKE

STORM SEWER SERVICE
TOWN OF EAGLE
820 E. MAIN STREET
EAGLE, WI 531199
TEL: (262) 594-5800

WATER SERVICE
PRIVATE WELL

SANITARY SERVICE
ON SITE SEPTIC

ROADWAY AUTHORITY
WAUKESHA COUNTY
515 W MORELAND BLVD, AC220
WAUKESHA, WI 53188
TEL: (262) 548-7740

POWER COMPANY
WE ENERGIES
S13 W33800 US-18
DELAFIELD, WI 53018
TEL: (262) 968-2575

NATURAL GAS COMPANY
WE ENERGIES
S13 W33800 US-18
DELAFIELD, WI 53018
TEL: (262) 968-2575

TELEPHONE
AT&T
TEL: (853) 293-7676

PROJECT TEAM

DEVELOPER
THE OVERLAND GROUP
1903 EAST BATTLEFIELD ST.
SPRINGFIELD, MO 65804
TEL: (417) 293-3332
CONTACT: JACOB W. STAUFFER

ARCHITECT
TORGERSON DESIGN PARTNERS
116 N. 2ND AVE.
OZARK, MO 65721
TEL: (417) 581-8889
CONTACT: MIKE SEBBEN

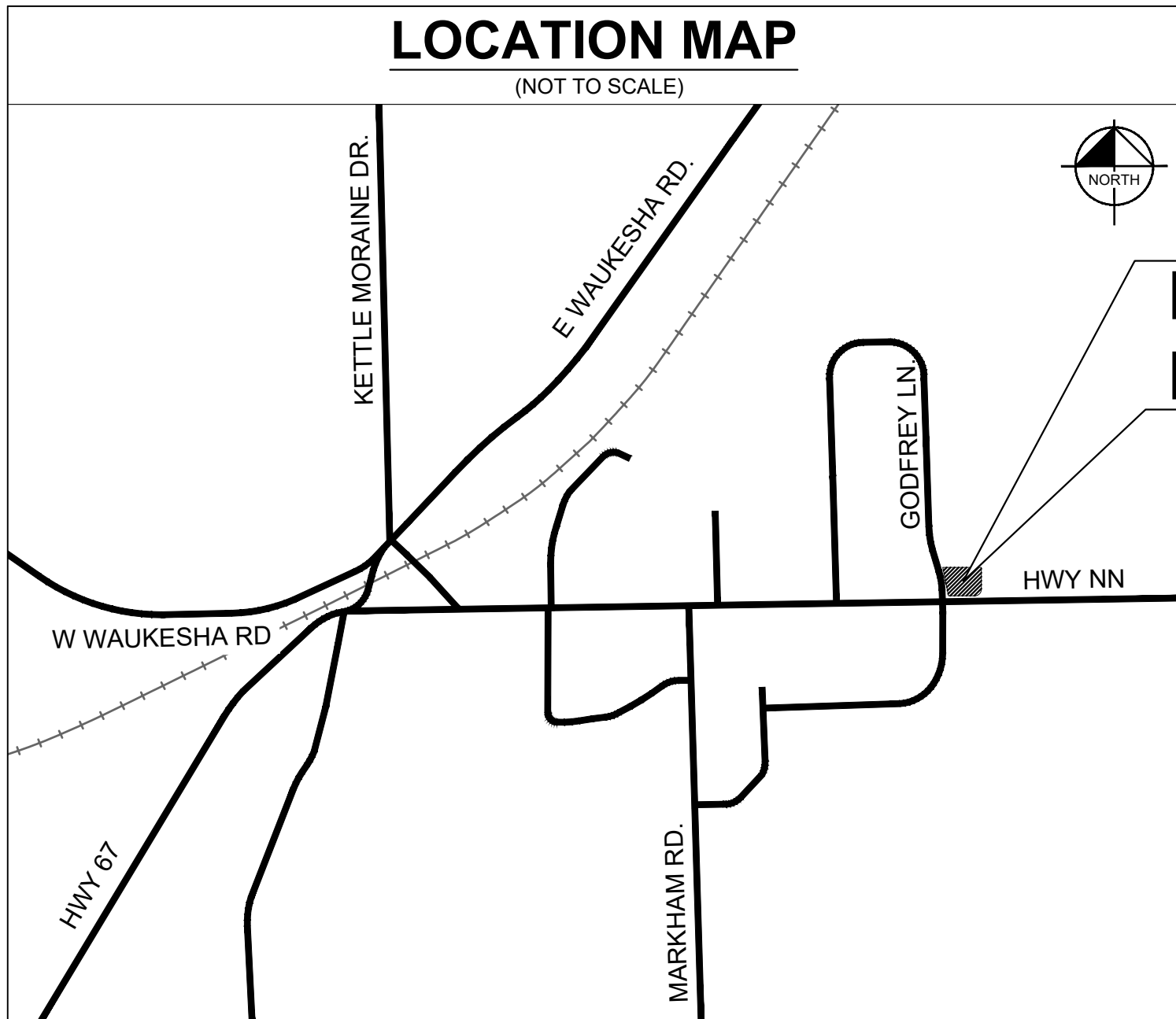
SURVEYOR
CHAPUT LAND SURVEYS
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
TEL: (414) 224-8068
CONTACT: DONALD CHAPUT

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: JOE.MAYER@KIMLEY-HORN.COM
CONTACT: JOE MAYER,
EMAIL: JUSTIN.MULLER@KIMLEY-HORN.COM
CONTACT: JUSTIN MULLER, P.E.

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: DANIEL.GROVE@KIMLEY-HORN.COM
CONTACT: DANIEL GROVE

LEGAL DESCRIPTION

PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8689, IN THE SOTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 17 EAST, IN THE TOWN OF EAGLE, WAUKESHA COUNTY, WISCONSIN, RECORDED DECEMBER 17, 1998 IN THE OFFICE OF THE REGISTER OF DEEDS FOR WAUKESHA COUNTY, IN VOLUME 77 OF CERTIFIED SRVEY MAPS ON PAGES 47, 48 AND 49, AS DOCUMENT NO. 239997, TOGETHER WITH ALL MINERAL RIGHTS CLAIMED THEREIN UNDER STATMENT OF MINERAL CLAIM RECORDED MAY 24, 2002 AS DOCUMENT NO. 2804813.



PROJECT
LOCATION

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

STARTING BENCHMARK: REFERENCE MARK AND REFERENCE BENCHMARK FOUND CHISELED CROSS IN TOP OF THE HYDRANT NOZZLE.
ELEVATION=927.61 (NGVD 29)

SITE BENCHMARK: NW FLANGE BOLT ON HYDRANT.
ELEVATION=920.34 (NGVD 29)

SITE BENCHMARK: SET CROSS ON NE COR. OF CONC. PAD.
ELEVATION=924.76 (NGVD 29)

SHEET INDEX	
SHEET NO.:	DESCRIPTION:
C0.0	TITLE SHEET
V0.0	ALTA SURVEY
C1.0	SITE PLAN
C2.0	GRADING PLAN
C3.0	UTILITY PLAN
L1.0	LANDSCAPE PLAN

PROFESSIONAL ENGINEER'S CERTIFICATION

I, JUSTIN MULLER, A LICENSED PROFESSIONAL ENGINEER OF WISCONSIN, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF THE OVERLAND GROUP BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS _____ DAY OF _____, A.D., 2020.

WISCONSIN LICENSED PROFESSIONAL ENGINEER E-40596
MY LICENSE EXPIRES ON MONTH DATE, YEAR

Kimley»Horn

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

SCALE:	AS NOTED
DESIGNED BY:	JPM
DRAWN BY:	JPM
CHECKED BY:	JMM

THE OVERLAND
GROUP

TITLE SHEET

DOLLAR GENERAL

NEC HIGHWAY NN & GODFREY LN,
TOWN OF EAGLE, WI 53119

ORIGINAL ISSUE:

07/01/2020

KHA PROJECT NO.

168708007

SHEET NUMBER

C0.0

TITLE COMMITMENT

This survey was prepared based on First American Title Insurance Company Commitment No. DM0004535, effective date of March 27, 2020 which lists the following easements and/or restrictions from schedule B-I:

- 1, 2, 3, 5, 9 & 10 visible evidence shown, if any.
- 4, 6, 7, 8, 11 & 14 not survey related.
12. Terms and provisions of Statement of Mineral Claim dated 05/23/2002 and recorded 05/24/2002 as Document No. 2804813. *Affects property by location, general in nature.*
13. Terms and provisions of Telephone Line Right-of-Way Easement to North-West Telephone Company, dated 01/31/1973 and recorded 04/05/1973 in Reel 34, Image 1185 as Document No. 845877. *Does not affect property by location, not shown.*

PARKING SPACES

There are no parking spaces marked on this site.

FLOOD NOTE

According to the flood insurance rate map of the County of Waukehsa, Community Panel No. 55133C0290G, effective date of September 26, 2008, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

MUNICIPAL ZONING

The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning changes that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A Item (6) nor to be relied on for site development purposes.

Site is zoned: B-4 (Mixed Business)
Minimum Setback: 50 feet
Minimum Principal building height: 35 feet
Maximum Principal building height: 20 feet
Maximum Accessory building height: 20 feet

LAND AREA

The Land Area of Proposed Lot 1 is 97.349 square feet or 2.2348 acres.

The Land Area of Proposed Lot 2 is 88.326 square feet or 2.0277 acres.

VICINITY MAP



ALT/NSPS
LAND TITLE SURVEY

CLIENT
Kimley Horn

SITE ADDRESS
Vacant Land, Godfrey Lane, Town of Eagle, Waukesha County, Wisconsin.

LEGAL DESCRIPTION

Part of Lot 1 of Certified Survey Map No. 8689, in the Southeast 1/4 of the Northwest 1/4 of Section 23, Township 5 North, Range 17 East, in the Town of Eagle, Waukesha County, Wisconsin, recorded December 17, 1998 in the office of the Register of Deeds for Waukesha County, in Volume 77 of Certified Survey Maps on pages 47, 48 and 49, as Document No. 2399997, together with all mineral rights claimed therein under Statement of Mineral Claim recorded May 24, 2002 as Document No. 2804813.

BASIS OF BEARINGS

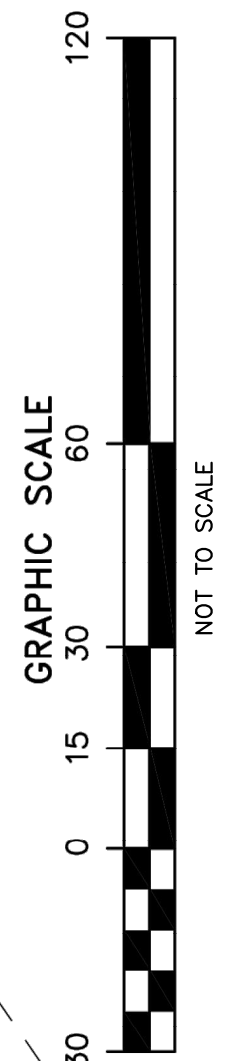
Bearings are referenced to grid North of the Wisconsin State Plane Coordinate System (South Zone) NAD 22, in which the South line of the Northwest 1/4 of Section 23, Township 5 North, Range 17 East, bears N89°03'53"E.

VERTICAL DATUM

Vertical datum is based on National Geodetic Vertical Datum of 1929.

TABLE "A" ITEMS

11. Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20202417914.



LEGEND

○ INDICATES FOUND 1" IRON PIPE	☐ TELEPHONE PEDESTAL	☐ HANDICAP SPACE
○ INDICATES SET 1" IRON PIPE	☐ CABLE PEDESTAL	☐ CONIFEROUS TREE
○ SANITARY MANHOLE	☐ CONTROL BOX	☐ DECIDUOUS TREE
○ SANITARY CLEANOUT OR VENT	☐ FIBER OPTIC PEDESTAL/SIGN	☐ SANITARY SEWER
○ SEWIC TANK ACCESS COVER	☐ TRAFFIC LIGHT	☐ STORM SEWER
○ UNKNOWN MANHOLE	☐ COMMUNICATION MANHOLE	☐ WATERLINE
○ STORM MANHOLE	☐ SOLID ROOFING/MONITORING WELL	☐ MARKED GAS MAIN
○ INLET (ROUND)	☐ WATER SURFACE	☐ MARKED ELECTRIC
☐ STORM SEWER END SECTION	☐ WETLANDS FLAG	☐ MARKED TELEPHONE
☐ GAS VALVE	☐ MARSH	☐ MARKED CABLE TV LINE
☐ WATER VALVE	☐ FLAGPOLE	☐ MARKED FIBER OPTIC
	☐ PARKING METER	☐ BOARD FENCE
	☐ SIGN	☐ CHAIN LINK FENCE
	☐ MAILBOX	☐ WIRE FENCE
	☐ RAILROAD CROSSING SIGNAL	

☐ HYDRANT	☐ TELEPHONE PEDESTAL	☐ HANDICAP SPACE
☐ WATER MANHOLE	☐ CABLE PEDESTAL	☐ CONIFEROUS TREE
☐ WATER SERVICE CURB STOP	☐ CONTROL BOX	☐ DECIDUOUS TREE
☐ WELL HEAD	☐ FIBER OPTIC PEDESTAL/SIGN	☐ SANITARY SEWER
☐ STAND PIPE	☐ TRAFFIC LIGHT	☐ STORM SEWER
☐ WALL INDICATOR VALVE	☐ COMMUNICATION MANHOLE	☐ WATERLINE
☐ LOSS OF VALVE	☐ SOLID ROOFING/MONITORING WELL	☐ MARKED GAS MAIN
☐ SPOT YARD LIGHT	☐ WATER SURFACE	☐ MARKED ELECTRIC
☐ UTILITY POLE	☐ WETLANDS FLAG	☐ MARKED TELEPHONE
☐ GUY WIRE	☐ MARSH	☐ MARKED CABLE TV LINE
☐ ELECTRIC MANHOLE	☐ FLAGPOLE	☐ MARKED FIBER OPTIC
☐ ELECTRIC PEDESTAL	☐ PARKING METER	☐ BOARD FENCE
☐ ELECTRIC METER	☐ SIGN	☐ CHAIN LINK FENCE
☐ TELEPHONE MANHOLE	☐ MAILBOX	☐ WIRE FENCE
	☐ RAILROAD CROSSING SIGNAL	

TO: The Overland Group, LLC
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21 and 22 of Table A thereof. The field work was completed on June 17, 2020.

Date of Map: June 22, 2020.

DONALD C. CHAPUT
S-1316
MILWAUKEE, WI
LAND SURVEYOR
Donald C. Chaput
Professional Land Surveyor
Registration Number S-1316

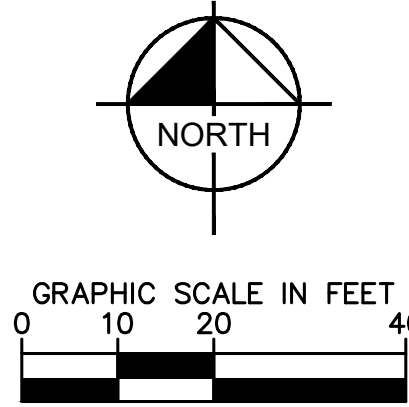
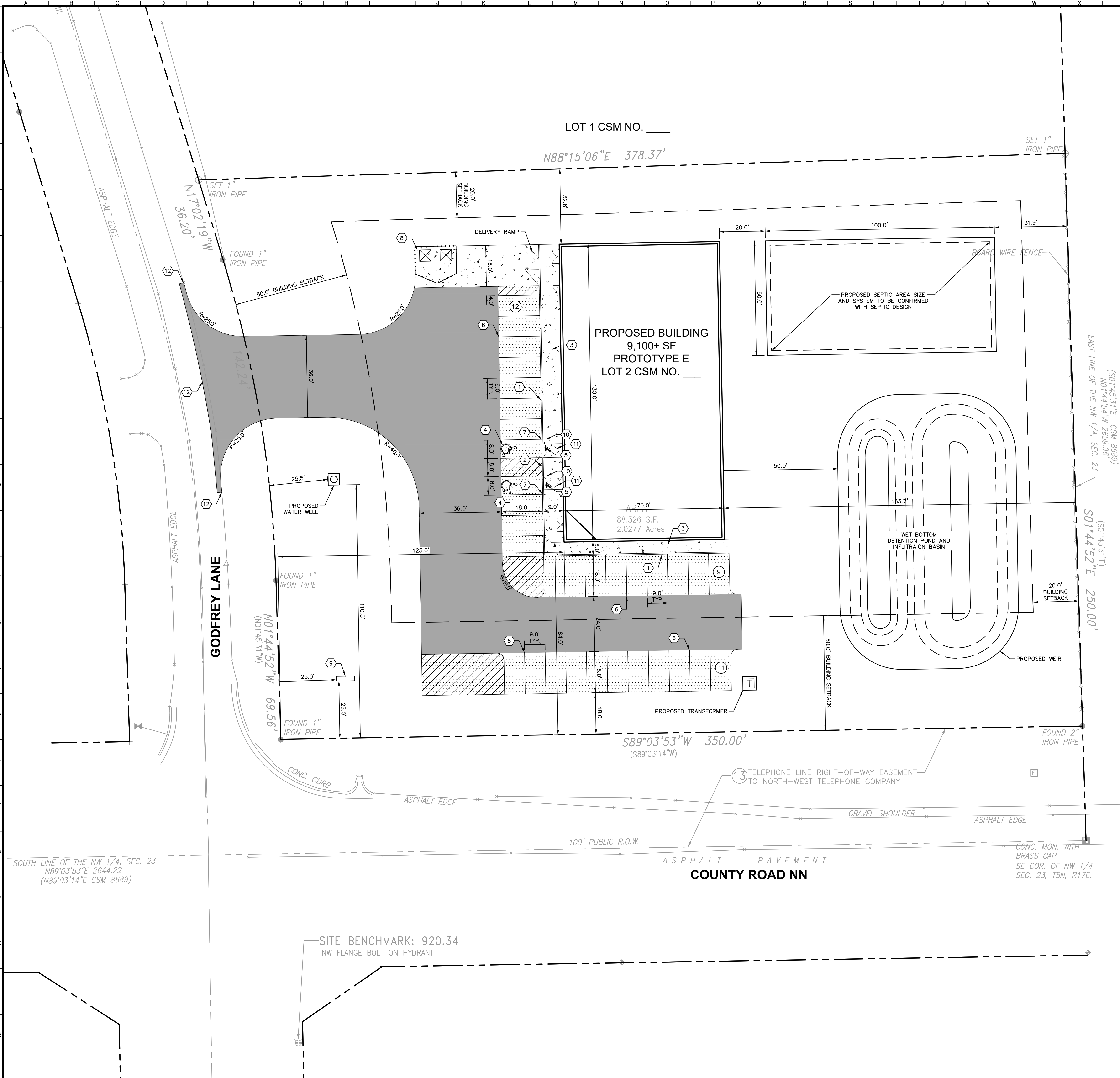
CHAPUT
LAND SURVEYS
234 W. Florida Street
Milwaukee, WI 53204
414-224-8058
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Date	Revision description

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Drawing No. 20200622AL1558-Tar

Drawing name: K:\GIS\LDE\168708007_DollarGeneral_Preliminary Engineering\C1.0 - SITE PLAN.dwg C1.0 Jul 02, 2020 2:44pm by: brethickey
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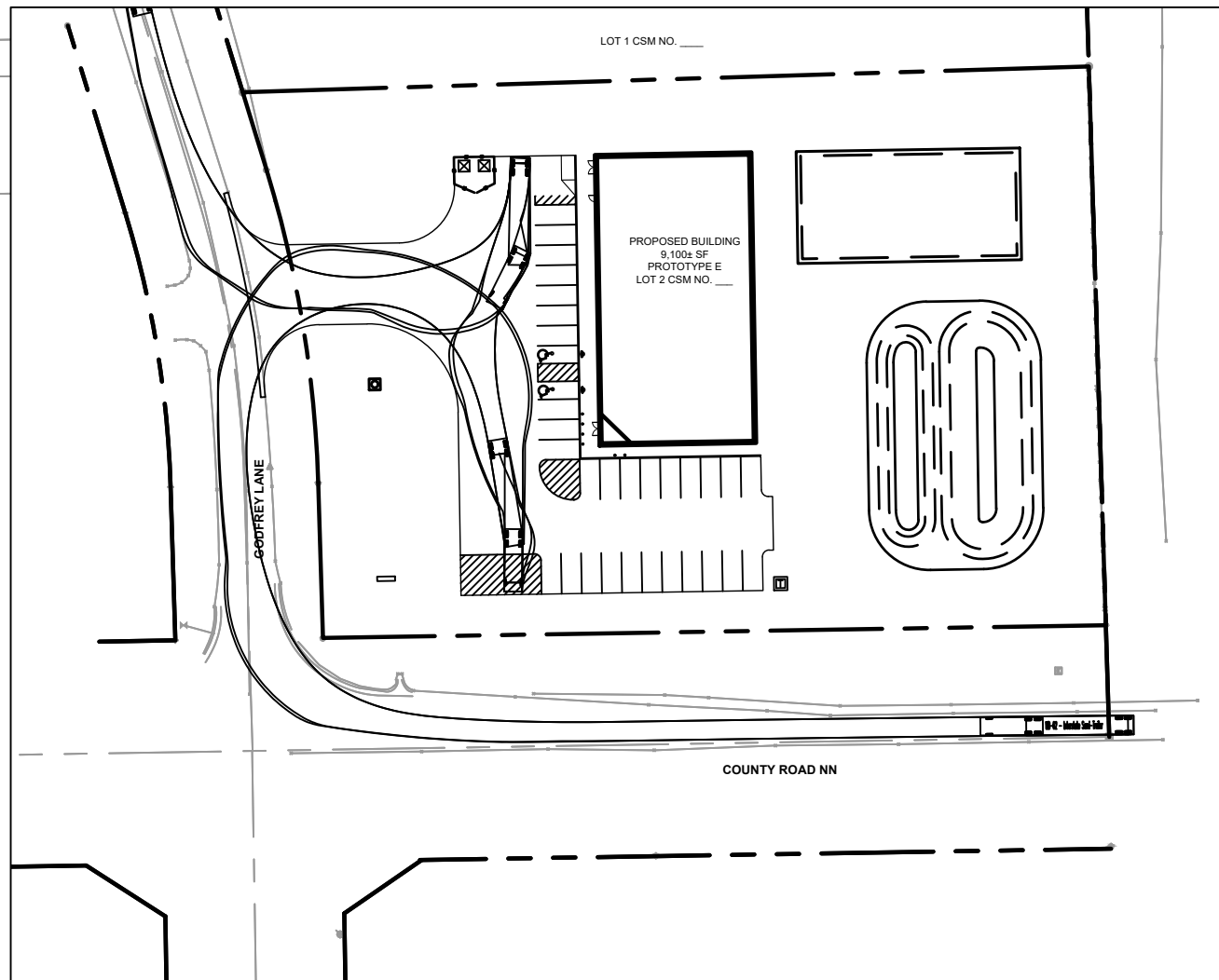


PARKING SUMMARY	
TOTAL BUILDING AREA	= 9,100 SF
PRIMARY SALES AREA	= 7,400± SF
PARKING SPACES REQUIRED (SIX SPACES PER 1,000 SF OF PRIMARY BUILDING AREA)	= 44 SPACES
STANDARD PARKING SPACES PROVIDED	= 30 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	= 2 SPACES
TOTAL PARKING SPACES PROVIDED	= 32 SPACES

KEY NOTES	
1	INTEGRAL CURB AND WALK, TYP.
2	FLUSH CURB AND WALK
3	CONCRETE SIDEWALK, TYP.
4	ACCESSIBLE PAVEMENT MARKINGS, TYP.
5	ACCESSIBLE PARKING SIGN, TYP.
6	4" WIDE PAINTED SOLID WHITE LINE, TYP.
7	TRANSITION FROM ZERO TO FULL CURB
8	TRASH ENCLOSURE
9	PROPOSED SIGN
10	BOLLARD, TYP.
11	ACCESSIBLE RAMP
12	CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.

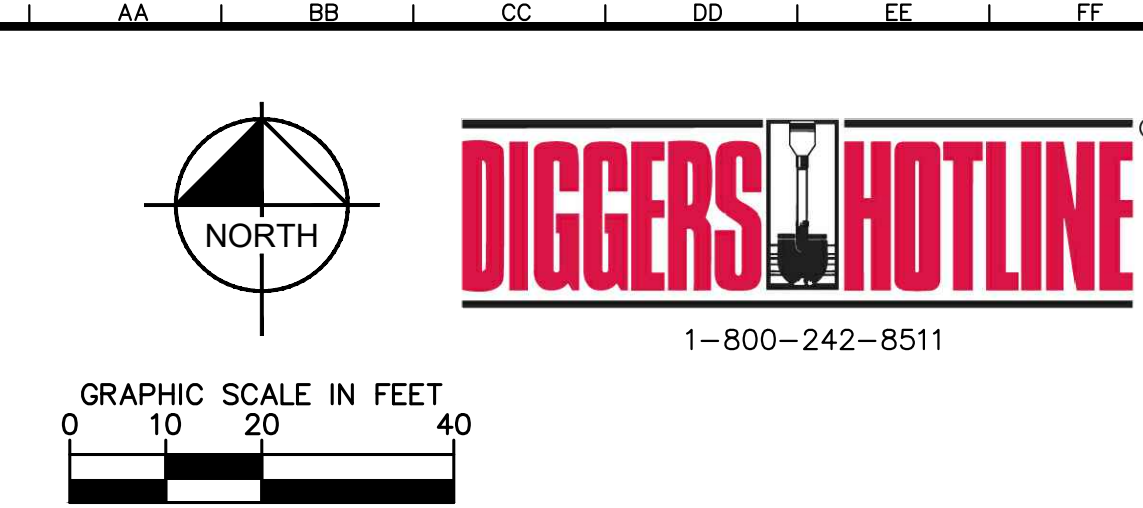
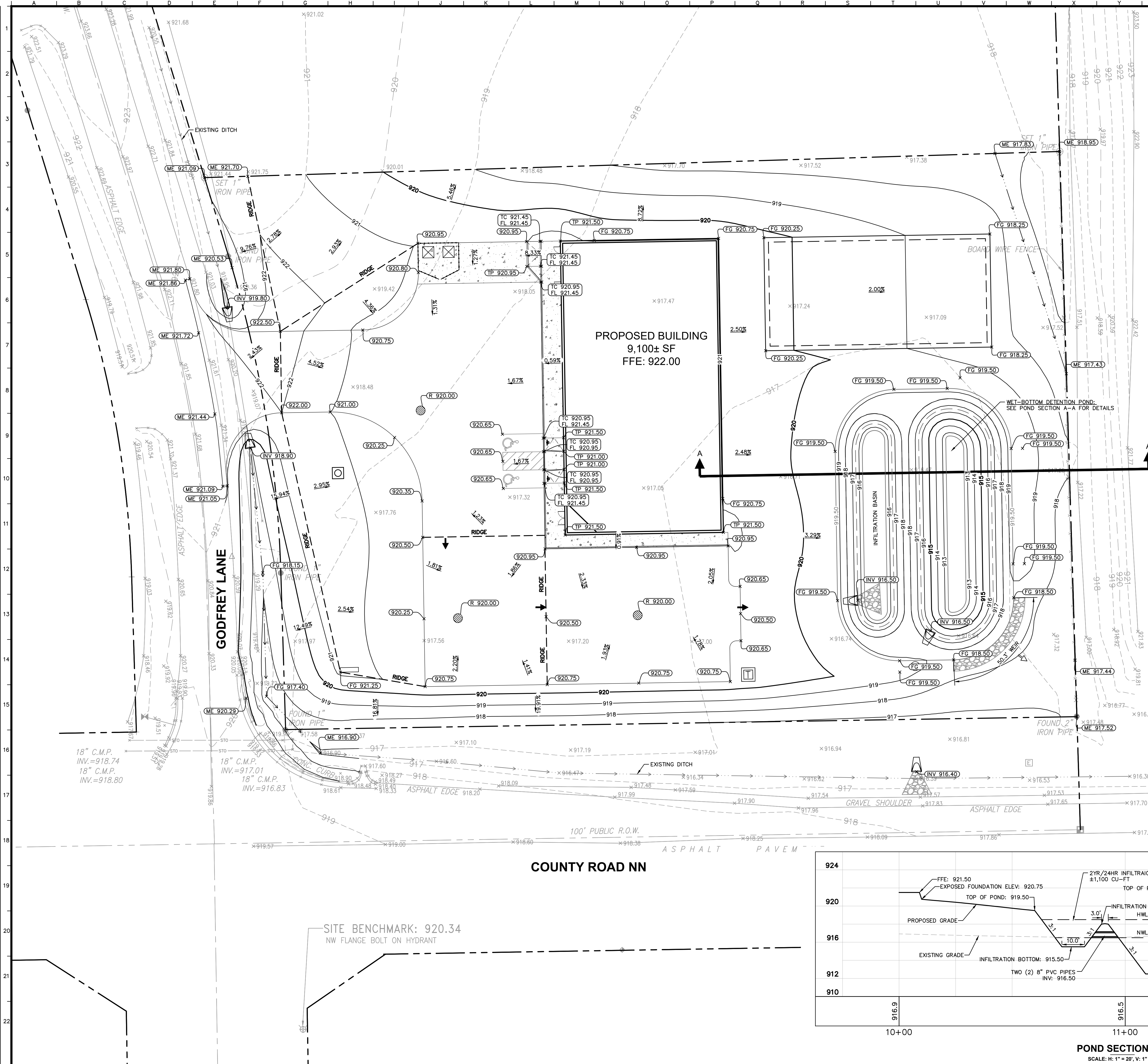
PAVING AND CURB LEGEND	
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK / PAVEMENT
	INTEGRAL CONCRETE CURB AND WALK
	FLUSH CURB AND WALK
	PROPERTY LINE
	SETBACK LINE
	PARKING COUNT

GENERAL NOTES	
1.	ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2.	BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3.	REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4.	RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
5.	REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
6.	ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.



TRUCK ROUTE (WB-62)
SCALE: 1" = 80'

No.	REVISIONS		DATE	BY
Kimley»Horn				
© 2020 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 EAGLE, WISCONSIN 53122 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM				
SCALE:	AS NOTED			
DESIGNED BY:	JPM			
DRAWN BY:	JPM			
CHECKED BY:	JMM			
THE OVERLAND GROUP				
PRELIMINARY SITE PLAN				
DOLLAR GENERAL				
NEC HIGHWAY NN & GODFREY LN. TOWN OF EAGLE, WI 53119				
ORIGINAL ISSUE: 07/01/2020				
KHA PROJECT NO. 168708007				
SHEET NUMBER				
C1.0				

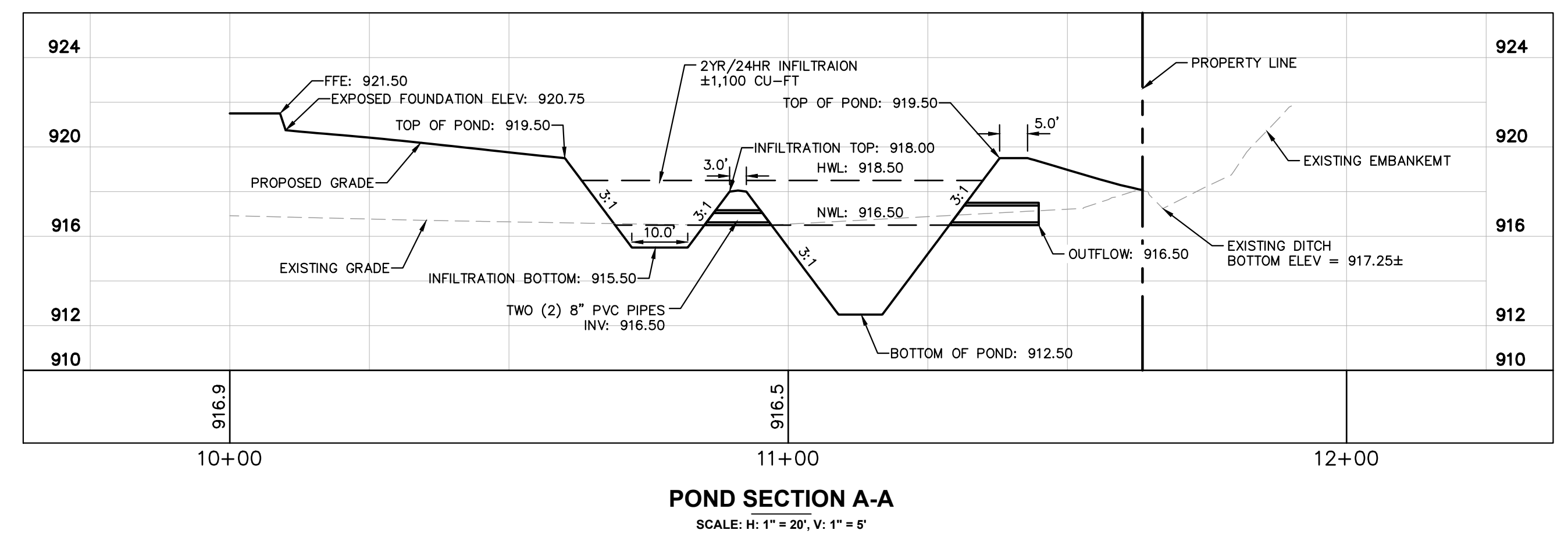


GRADING NOTES

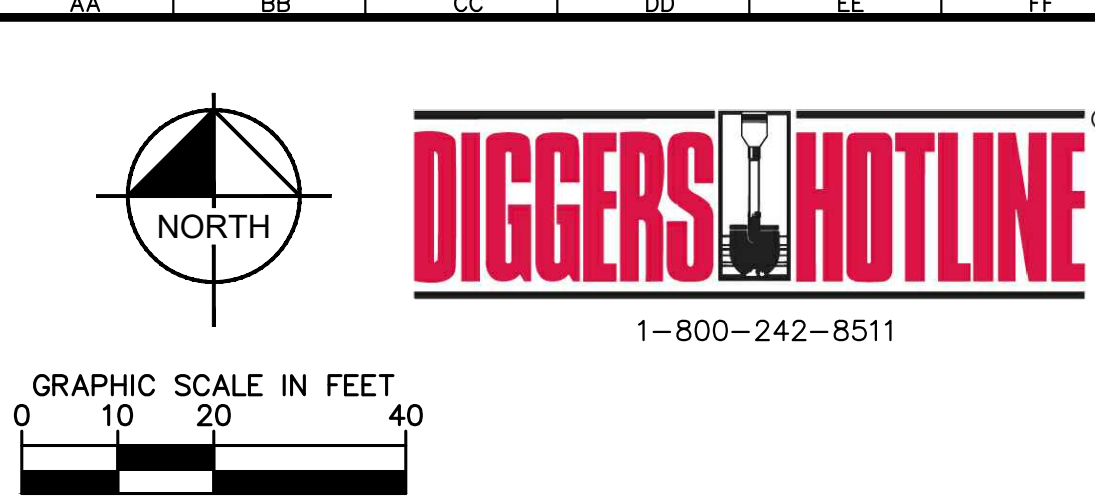
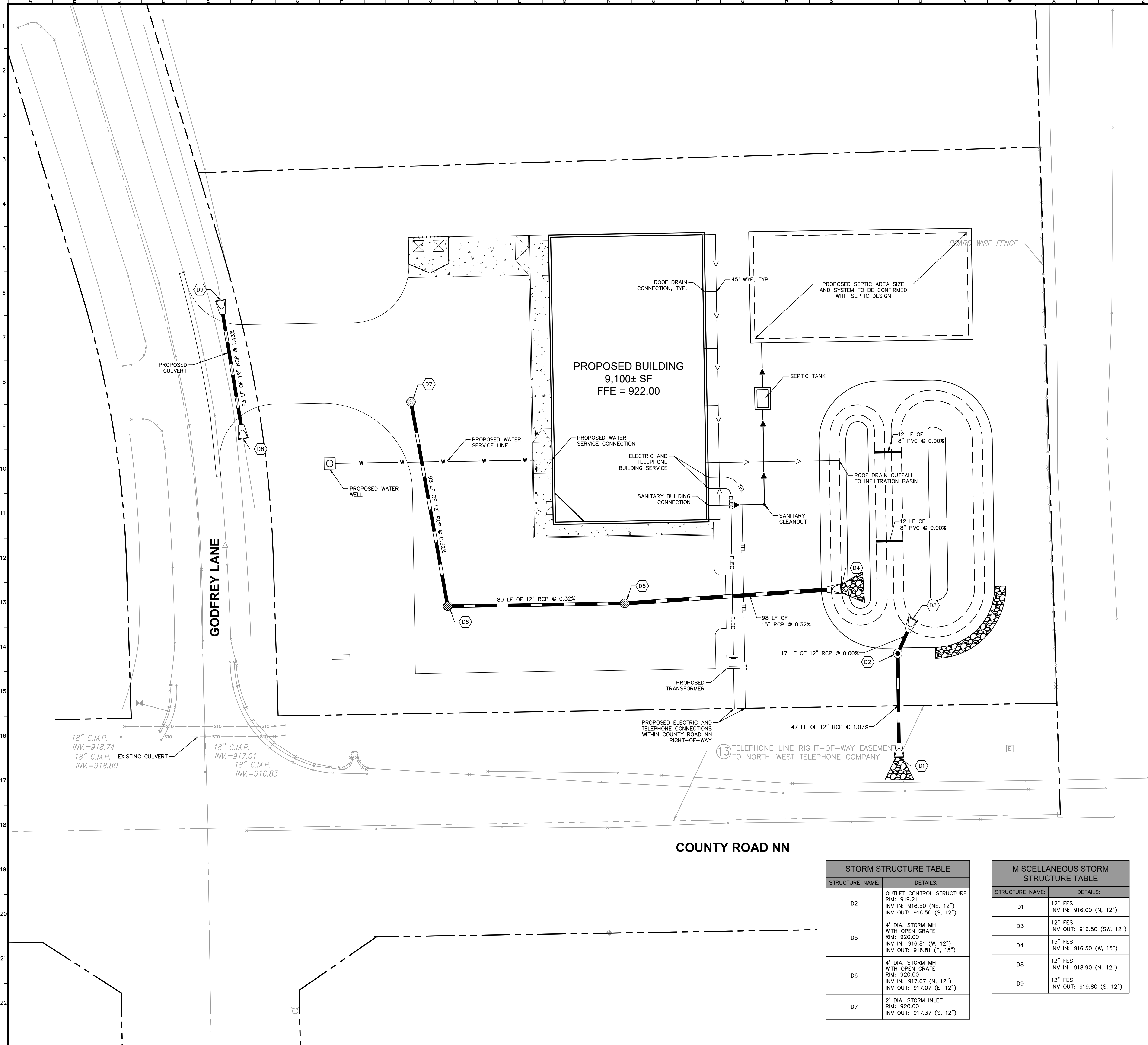
1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO INSTALL SUBGRADE ELEVATIONS.
4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

















- TP = TOP OF PAVEMENT
EP = EDGE OF PAVEMENT
FL = FLOW LINE
TC = TOP OF CURB
ME = MATCH ELEVATION
TF = TOP OF FOUNDATION
R = RIM ELEVATION
TW = TOP OF WALL
FG = FINISHED GRADE
TS = TOP OF STAIRS
BS = BOTTOM OF STAIRS
- PROPOSED CONTOUR
EXISTING CONTOUR
RIDGE LINE
SLOPE AND FLOW DIRECTION
100-YEAR OVERLAND OVERFLOW ROUTE
DETENTION BASIN 100-YEAR EMERGENCY
OVERLAND OVERFLOW ROUTE
PROPOSED SWALE
RIP RAP (SEE DETAILS)



C2.0	SHEET NUMBER	<div>DOLLAR GENERAL</div> <div>NEC HIGHWAY NN & GODFREY LN. TOWN OF EAGLE, WI 53119</div>	<div>PRELIMINARY</div> <div>GRADING PLAN</div>	<div>THE OVERLAND</div> <div>GROUP</div>	<div>Kimley»Horn</div> <div>© 2009 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 PRAIRIE RIDGE, IL 60068 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM</div>	SCALE:	AS NOTED	<div>No.</div> <div>REVISIONS</div> <div>DATE</div> <div>BY</div>
	DESIGNED BY: JPM							
	DRAWN BY: JPM							
	CHECKED BY: JMM							



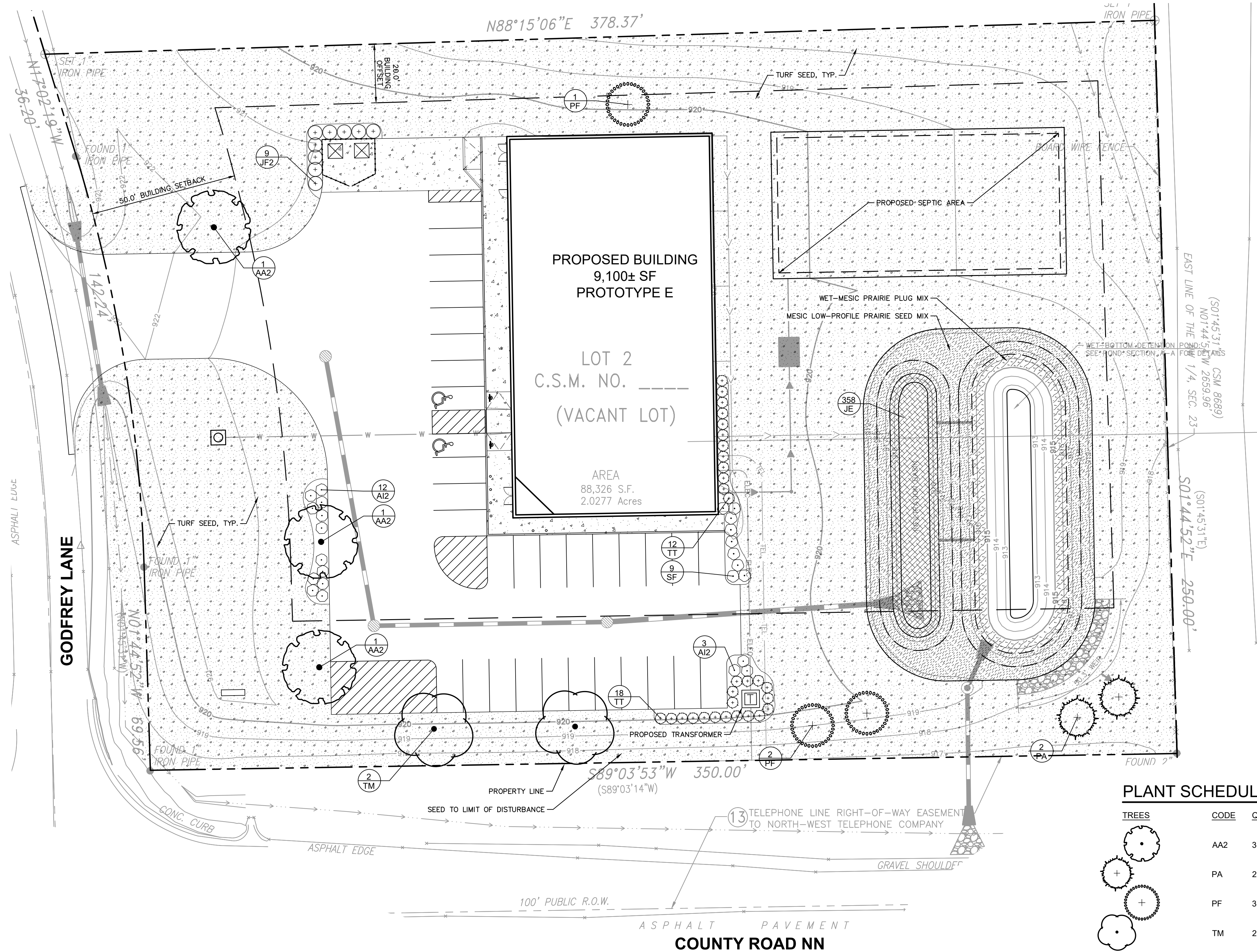
UTILITY LEGEND

	EX. STORM LINE
	EX. GAS LINE
	EX. GAS VALVE
	EX. ELECTRIC PEDESTAL
	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED PHONE LINE
	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM STRUCTURE
	PROPOSED CLOSED LID STORM STRUCTURE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED WATER WELL
	PROPOSED FIRE HYDRANT
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
	RIP RAP (SEE DETAILS)

UTILITY NOTES

1. ALL WATER LINES $\geq 3"$ SHALL BE DUCTILE IRON PIPE, CLASS 52.
2. ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
3. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
4. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
6. CONTRACTOR TO CALL "DIGGERS HOTLINE" (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
7. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER / CONTRACTOR OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE AT MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION, THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
8. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. CONTRACTOR TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
9. CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
10. ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
11. SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
12. LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE LIGHT LOCATING PLANS BY OTHERS FOR MORE INFORMATION.
13. SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
14. STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS.
15. WATER SERVICES SHALL HAVE A BLUE 12 GAUGE LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE IN THE CURB BOX AT THE EDGE OF THE BUILDING AND ENCLOSED IN A LOCATOR BOX WITH "WATER" ON THE COVER.
16. SANITARY SEWER SHALL HAVE A GREEN 12 GAUGE LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE AT THE EDGE OF THE BUILDING IN A LOCATOR BOX WITH "SEWER" ON THE COVER.
17. ALL SANITARY SEWER AND WATER TO BE INSTALLED IN ACCORDANCE WITH KENOSHA WATER UTILITY (KWU) STANDARDS.
18. ALL APPLICATIONS AND FEES FOR SANITARY SEWER AND WATER MUST BE COMPLETED AND PAID PRIOR TO CONNECTIONS TO SEWER/WATER SYSTEMS.
19. ALL WATER CONNECTIONS TO EXISTING WATER MAINS SHALL BE COMPLETED BY THE CONTRACTOR WITH EXCAVATION AND BACKFILL BY THE DEVELOPER. DEVELOPERS SHALL PROVIDE 48 HOURS NOTICE TO KWU WHEN CONNECTION IS TO BE MADE.
20. ANY UTILITY WORK WITHIN THE RIGHT-OF-WAY AND ALL SANITARY SEWER CONNECTIONS TO BE INSPECTED BY KWU. NOTIFY KWU 48 HOURS IN ADVANCE OF CONNECTIONS TO SEWER.


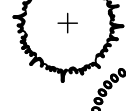


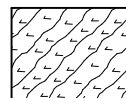
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LANDSCAPE CODE		
CODE	REQUIRED	PROVIDED
STREET FRONTAGE		
60 POINTS FOR EVERY 100 LF	$350/100=3.5^{\circ}60=210$	2 TALL DECIDUOUS TREES=60 4 EVERGREEN TREES=160 220 POINTS
BUILDING FOUNDATION		
25 POINTS FOR EVERY 100 FEET OF BUILDING FOUNDATION PERIMETER	$400/100=4^{\circ}25=100$	1 EVERGREEN TREE=40 12 MEDIUM EVERGREEN SHRUBS=60 100 POINTS
PARKING LOT LANDSCAPE		
120 POINTS FOR EVERY 10,000 SF OF PAVED AREA	$16,510.58/10,000=1.65^{\circ}120=198$ POINTS	3 TALL DECIDUOUS TREE=90 15 TALL DECIDUOUS SHRUBS=75 7 MEDIUM EVERGREEN SHRUBS=35 200 POINTS
INTERIOR PARKING LOT LANDSCAPE		
10 POINTS FOR EVERY 1,000 SF OF BUILDING FLOOR AREA	$9,100\text{ SF}/1,000=9$ POINTS	9 LOW DECIDUOUS SHRUBS= 9 9 POINTS

*SCREENING OF UTILITIES PROVIDED

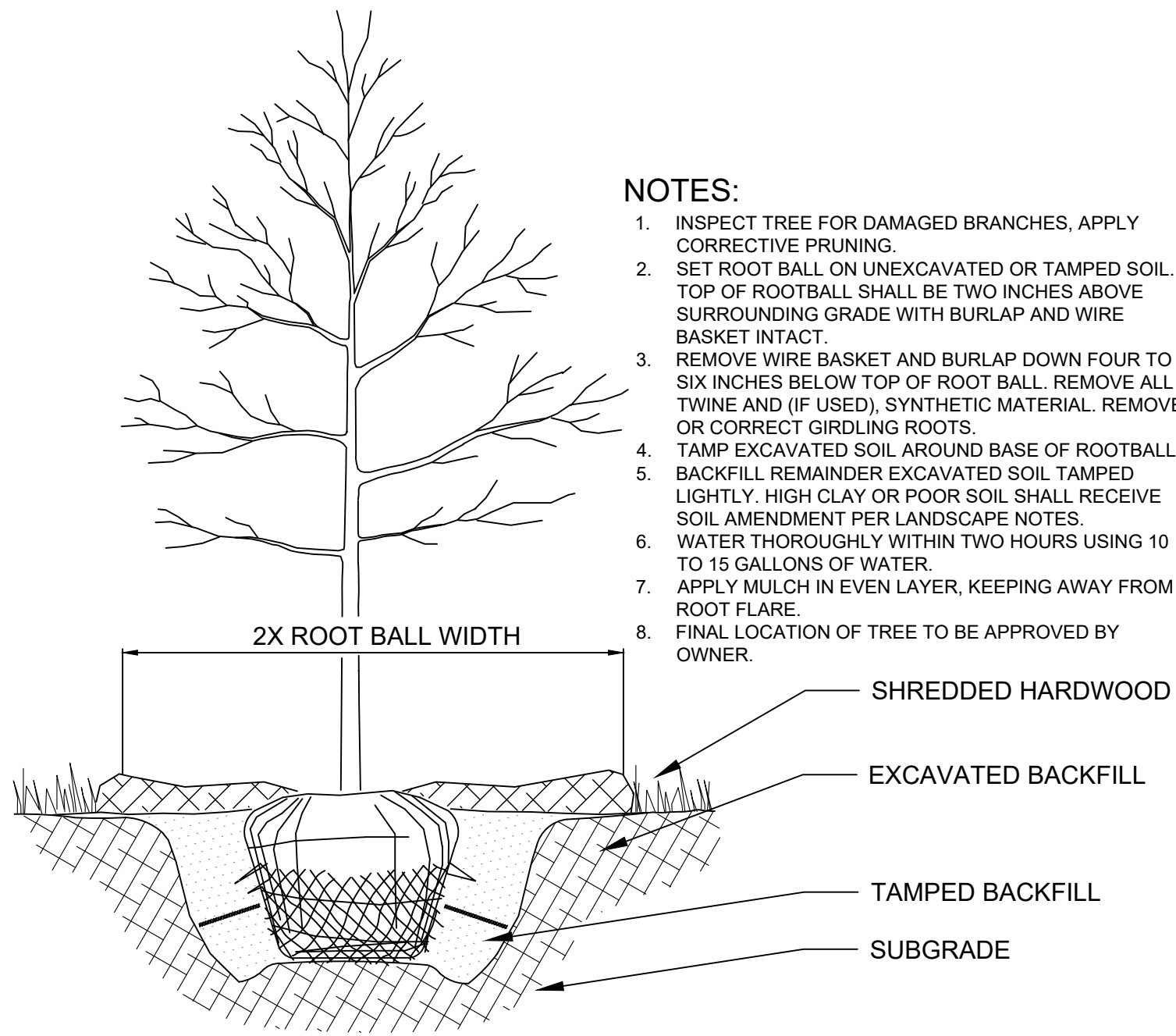
PLANT SCHEDULE

	<u>TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
	AA2	3	ACER FREEMANII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE	B & B	2" CAL MIN		
	PA	2	PICEA ABIES / NORWAY SPRUCE	B & B	4' HT MIN		
	PF	3	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B & B	4' HT MIN		
	TM	2	TILIA AMERICANA 'MCKSENTRY' / SENTRY LINDEN	B & B	2" CAL MIN		
<u>SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>	<u>SIZE</u>	<u>SPACING</u>
	A12	15	ARONIA MELANOCARPA 'IROQUOIS BEAUTY' / BLACK CHOKEBERRY	-	SEE PLAN	36" HT MIN	48" o.c.
	JF2	9	JUNIPERUS CHINENSIS 'FAIRVIEW' / FAIRVIEW JUNIPER	-	SEE PLAN	5' HT MIN	60" o.c.
	SF	9	SPIRAEA JAPONICA 'NEON FLASH' / NEON FLASH SPIREA	-	SEE PLAN	18" HT MIN	48" o.c.
	TT	30	TAXUS X MEDIA 'TAUNTONII' / TAUTON YEW	-	SEE PLAN	24" HT MIN	48" o.c.
<u>SHRUB AREAS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>			<u>SPACING</u>
	JE	358	JUNCUS EFFUSUS / COMMON RUSH	2" PLUG			24" o.c.
<u>GROUND COVERS</u>			<u>BOTANICAL / COMMON NAME</u>				
			MESIC LOW-PROFILE PRAIRIE SEED MIX				
			TURF SEED				
			WET-MESIC PRAIRIE PLUG MIX				

MESIC LOW-PROFILE PRAIRIE SEED MIX				
BOTANICAL NAME		COMMON NAME	LBS / ACRE	% OF TOTAL
GRASSES, SEDGES, & RUSHES				
Avena sativa		Common Oat	20.0	50.0%
Bouteloua curtipendula		Side-Oats Grama	5.0	12.5%
Lolium multiflorum		Annual Rye	10.0	25.0%
Panicum virgatum		Switch Grass	0.5	1.3%
Schizachyrium scoparium		Little Bluestem	4.0	10.0%
Sporobolus heterolepis		Prairie Dropseed	0.25	0.6%
TOTAL LBS PER ACRE:			39.75	99.4%
FORBS & BROADLEAVES				
Coreopsis palmata		Prairie Coreopsis	0.10	0.3%
Echinacea purpurea		Purple Coneflower	0.15	0.4%
FORBS & BROADLEAVES LBS PER ACRE:			0.25	0.6%
SEED MIX TOTAL LBS PER ACRE:			40.00	

WET-MESIC PRAIRIE PLUG MIX			
BOTANICAL NAME	COMMON NAME	QTY / ACRE	% OF TOTAL
Bouteloua curtipendula	Side Oats Grama	750	15%
Echinacea purpurea	Purple Coneflower	500	10%
Elymus canadensis	Canada Wild Rye	1,000	20%
Juncus effusus	Common Rush	750	15%
Panicum virgatum	Switch Grass	1,500	30%
Rudbeckia hirta	Black-Eyed Susan	500	10%
TOTAL PLUGS PER ACRE:		5,000	

Drawing name: K:\CHS_LDE\168708007_DollarGeneral_Eggs_M\2_Design\CAD\PlanSheets\Preliminary Engineering\L1.0 - LANDSCAPE PLAN.dwg L2.0 LANDSCAPE NOTES AND DETAILS Jul 20, 2020 4:34pm by: AmandaFalla
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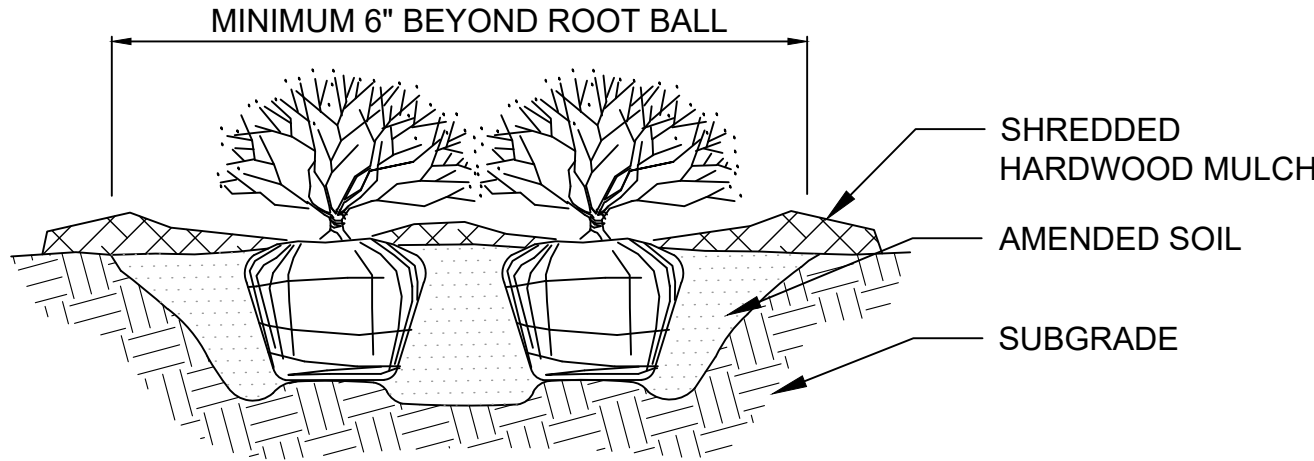
NOTES:

1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

SHREDDED HARDWOOD MULCH
EXCAVATED BACKFILL
TAMPED BACKFILL
SUBGRADE

1 TREE PLANTING

NTS

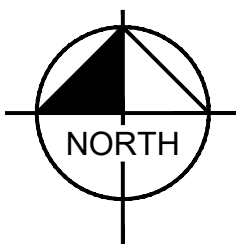
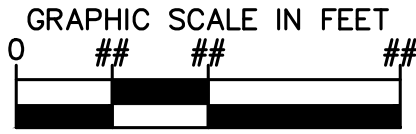


NOTES:

1. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4. REMOVE OR CORRECT GIRDLING ROOTS.
5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

2 SHRUB PLANTING

NTS



1-800-242-8511

LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHANGUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
9. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
10. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
11. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
12. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
13. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
14. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

SCALE: AS NOTED

DESIGNED BY: JPM

DRAWN BY: JPM

CHECKED BY: JMM

THE OVERLAND GROUP

LANDSCAPE NOTES AND DETAILS

DOLLAR GENERAL

NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

ORIGINAL ISSUE:

07/01/2020

KHA PROJECT NO.

168708007

SHEET NUMBER

L2.0

Kimley»Horn

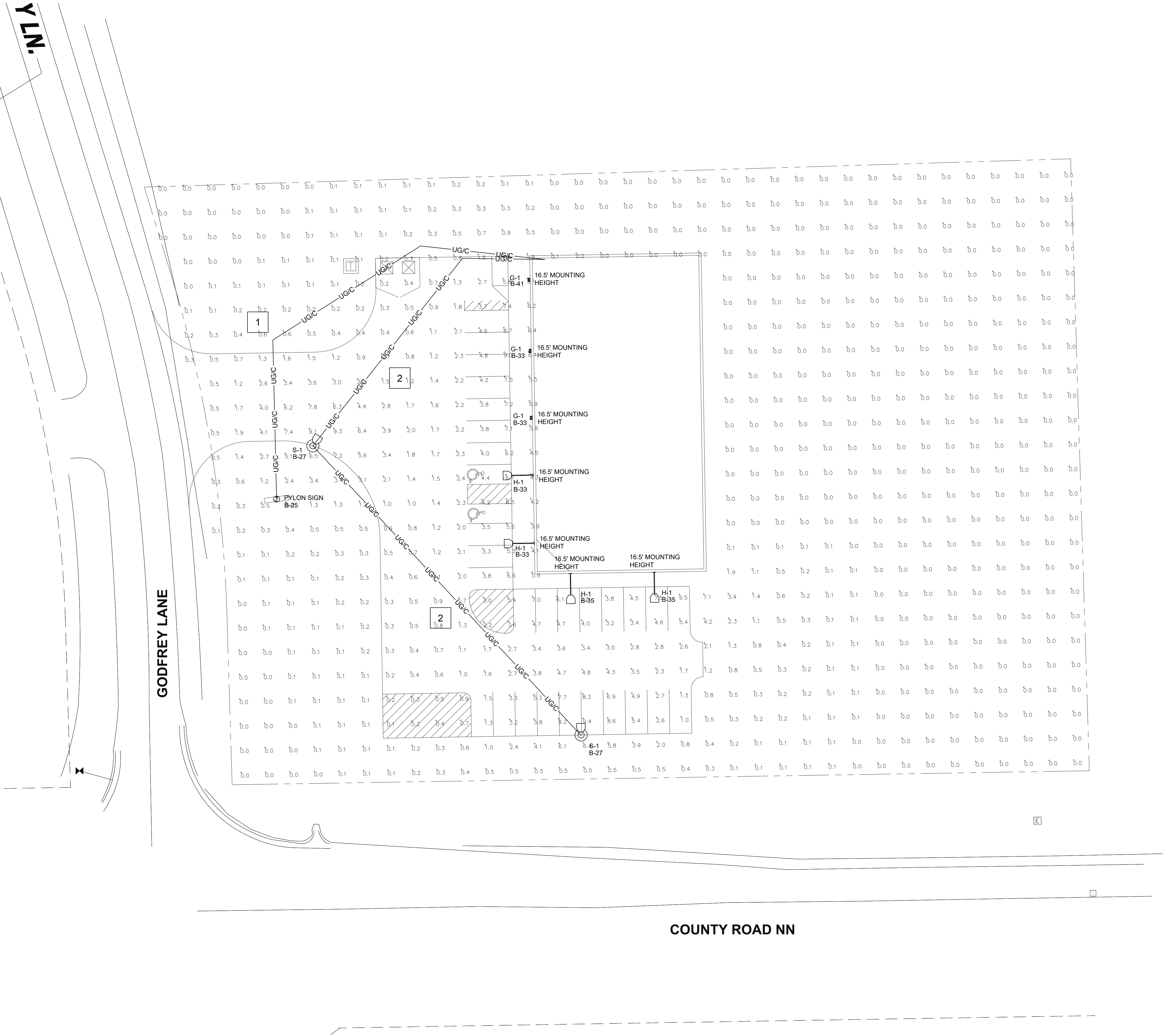
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REVISIONS

DATE

BY

No.



SITE UTILITY LEGEND		SITE UTILITY LEGEND	
— SS —	SANITARY SEWER	— FO —	FIBER OPTICS
— BS —	BUILDING SEWER	⊖	ELECTRIC METER
— W —	WATER PIPING	⊙	GAS METER
— GAS —	GAS PIPING	⊕	WATER METER
— UG/E —	UNDERGROUND ELECTRIC	⊕	FIRE HYDRANT
— OH/E —	OVERHEAD ELECTRIC	▲	PAD MOUNT TRANSFORMER
— UG/C —	UNDERGROUND CONDUIT	⊙	MANHOLE
— UG/S —	UNDERGROUND SLEEVE	●	CLEANOUT TO GRADE
— T —	TELEPHONE		

#	KEYNOTES
1	1" CONDUIT TO PYLON SIGN.
2	1" CONDUIT TO POLE LIGHTS.

DISCLAIMER: THE PHOTOMETRIC CALCULATIONS WILL BE CONFIRMED BY THE NATIONAL LIGHTING ACCOUNT VENDOR (NATIONAL LIGHTING ELECTRICAL SERVICE). THE E.C. AND G.C. WILL BE RESPONSIBLE TO CONFIRM THAT NATIONAL LIGHTING ELECTRICAL SERVICE (THE NATIONAL ACCOUNT LIGHTING VENDOR) HAS RUN THEIR PHOTOMETRICS FOR THIS SITE. IT IS ALSO THE RESPONSIBILITY OF THE E.C. AND G.C. TO CONFIRM ALL LIGHT FIXTURE MODEL NUMBERS WITH THE NATIONAL ACCOUNT VENDOR (NATIONAL LIGHTING ELECTRICAL SERVICE).

LED LIGHT HEADS ARE COVERED ON FOUR SIDES PLUS THE BACK WITH LIGHT BEING PROJECTED IN ONE DIRECTION. LIGHT HEADS MOUNTED AND POINTING IN A DOWNWARD DIRECTION ACCOMPLISHES THE GOAL OF WHAT USED TO BE CALLED "FULL CUT-OFF". IN THIS WAY THE PARKING LOT IS LIT AND THERE IS NO BLEED OVER TO THE PROPERTY LINE OR ACROSS PROPERTY LINES.

REVISED BY ADDING
PHOTOMETRICS TO
EXTERIOR SITE.

FIELD VERIFY AND COORDINATE ALL UNDERGROUND UTILITIES WITH STORM WATER DETENTION AND DRAIN PIPING TO AVOID CONFLICT/INTERFERENCE.

THE ENGINEER HAS PROVIDED ONLY MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING SERVICES. FLOOR PLANS AND SITE PLANS HAVE BEEN PROVIDED BY THE ARCHITECT FOR MY USE RELATIVE TO MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING SERVICES ONLY.

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DOLLAR GENERAL
TYPE E
GODFREY LANDE & COUNTY ROAD NN
EAGLE, WAUKESHA COUNTY, WISCONSIN



SIGNATURE
07-16-2020 REV
ENGINEER: Patrick D. Crocker
LICENSE #: 46902-6
DATE: 7/15/2020
REVISION: 07/16/2020
REVISION:
REVISION:
REVISION:
REVISION:
REVISION:
JOB #: 2020-113
SHEET #:

