

Building, Site Plan & Plan of Operation Application Town of Eagle (Waukesha County), Wisconsin

Town of Eagle
820 E. Main Street
Eagle, WI 53119

Version: January 17, 2020

Overview: The Plan Commission reviews building plans, site plans, and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix.

Governing regulations. The procedures and standards governing the review of this application are found in Article 6 of the Town's zoning code.

General instructions: Complete this application and submit one copy to the Town Clerk along with the application fee noted below. Alternatively, you can submit your application online at <https://townofeagle.zoninghub.com>.

Before you formally submit your application, you may meet with the Town Planner who can answer any questions you may have. The Town Planner can also review your application before it is formally submitted to determine if it is complete and provides enough information to describe the circumstances related to this application. If you have any questions, do not hesitate to contact the Town Planner at (920) 728-2814 or via email at tim.schwecke@civitekconsulting.com.

Application fee for a new project: \$50, plus charges for professional services consistent with the Town's chargeback policy; \$250 escrow deposit

Application fee for a new project: \$50, plus charges for professional services consistent with the Town's chargeback policy

Application submittal deadline: The Plan Commission and Town Board meet jointly, generally the first Monday of the month, to review certain types of development applications. This application must be submitted and determined to be complete by the Town Planner, no later than 30 days prior to the date established for the Plan Commission-Town Board meeting. Please contact the Town Planner to verify the deadline for a specific month.

1. **Applicant and agent information** Include the names of the agent, if any, that helped prepare this application including the supplemental information. Examples include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Applicant	Agent
Name	Jacob Stauffer, The Overland Group (Purchaser)	Joe Mayer, Kimley-Horn (Engineer)
Street address	1903 East Battlefield	4201 Winfield Road, Suite 600
City, state, zip code	Springfield, MO 65804	Warrenville, IL 60555
Daytime telephone	417-293-3332	630-487-5563
Email address	jacobstauffer@theoverlandgroup.com	joe.mayer@kimley-horn.com

2. **Type of application (check all that apply)**

- ☒ Building plans Complete Parts A, B and E
- ☒ Site plan Complete Parts A, C and E
- ☒ Plan of operation Complete Parts A, D and E
- ☒ New project
- ☐ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): _____

Part A. About the Property

3. **Subject property information**

Physical address NEC of Godfrey Lane and Main Street , Town of Eagle, WI

Tax key number(s) EGLT- 1818 999 021 EGLT - EGLT - EGLT -

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Town Clerk.

Is the subject property currently in violation of the Town's zoning code as determined by the Zoning Administrator?

- ☒ No
- ☐ Yes

If yes, please explain.

The applicant is not aware of any current violations

Comment: Pursuant to Section 500.106 of the Town's zoning code, the Town may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, or other required payment that are specifically related to the subject property?

- ☒ No
☐ Yes

If yes, please explain.

The applicant is not aware of any current unpaid taxes, assessment, or other required payments.

Comment: Pursuant to Section 500.107 of the Town's zoning code, the Town may not issue a permit or other approval that would benefit a parcel of land where taxes, assessments, or other required payments are delinquent and due.

4. Zoning information. The subject property is located in the following zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> P-1 Public | <input type="checkbox"/> AP Agricultural land preservation | <input type="checkbox"/> B-2 Local business |
| <input type="checkbox"/> Q-1 Quarry | <input type="checkbox"/> RR Rural residential | <input checked="" type="checkbox"/> B-4 Mixed business |
| <input type="checkbox"/> C-1 Conservancy | <input type="checkbox"/> R-1 Residential | <input type="checkbox"/> M-1 Limited industrial |
| <input type="checkbox"/> UC Upland conservancy | <input type="checkbox"/> B-1 Neighborhood business | <input type="checkbox"/> M-2 General industrial |

Part B. Building Plans

5. Building type. Which of the following best describes the building?

- | | | | |
|---------------------------------------|--|-------------------------------------|----------------------------------|
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Institutional | <input type="checkbox"/> Work/live | <input type="checkbox"/> Storage |
| <input type="checkbox"/> Multi-family | <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Industrial | <input type="checkbox"/> Other |

Please refer to the zoning code for any design requirements that may apply.

6. Exterior building materials

Roof

Roof - Metal with screening for RTUs

Front elevation

Front - Masonry (Brick and Split Face CMUs) and Nichiha Fiber-Cement Panel

Left elevation

Left - Masonry (Brick and Split Face CMUs) and Nichiha Fiber-Cement Panel

Right elevation

Right - 25% Masonry & Nichiha Fiber-Cement Panel, 75% Pre-Finished Metal

Rear elevation

Rear - 25% Masonry & Nichiha Fiber-Cement Panel, 75% Pre-Finished Metal

Part C. Site Plan

7. Site parameters (area in square feet or acres)

Subject property	<u>2.03 AC (88,324 SF)</u>	
Building coverage	<u>9,100 SF (10.3%)</u>	
Outdoor storage	<u>0.00 (Propane and Ice Outdoor Displays only)</u>	
Stormwater facilities	<u>7,500 SF (Wet Detention Pond)</u>	
Impervious surfaces	<u>19,650 SF</u>	Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.
Landscaping and other undeveloped areas	<u>52,074 SF</u>	
Wetlands	<u>0.00</u>	Attach appropriate documentation if there are any wetlands.
100-year floodplain	<u>0.00</u>	

8. Road access

Name	New Access	Change to Existing Access	No Change to Existing Access
<u>Godfrey Lane</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u></u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u></u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

9. Parking (See the standards and requirements in Article 11 of the zoning code.)

Minimum number of required spaces	<u>44 (see note)</u>	See Appendix B of the zoning code for parking requirements for the proposed land use(s).
Proposed number of spaces	<u>32</u>	Building Area is 9,100 SF, but only 7,400 SF of Primary Floor Area at 6 spaces / 1000 SF = 44 spaces
ADA van accessible spaces	<u>2</u>	Variance Requested for the 12 space reduction.
Other ADA accessible spaces	<u>0</u>	
Number of electric charging stations (if any)	<u>0</u>	
Number of spaces in front of the building	<u>12</u>	
Number of spaces on the side(s) of the building	<u>20</u>	
Number of spaces to the rear of the building	<u>0</u>	

Part D. Plan of Operation

10. Operating conditions

Hours of operation:

8am - 10pm, 7 Days a week

Estimated number of full-time employees

8 - 12 Full Time Employees

Estimated number of part-time employees

1 - 2 Part Time Employees

Estimated number of employees onsite at peak hours

3 - 5

Will the proposed business operation create any noise outside of the building?

No

Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?

No

Will the proposed business operation create any vibrations outside of the building?

No

Will the proposed business operation involve any explosives or other flammable materials?

Potential Propane Tanks displayed in cage outside of the building

Will the proposed business operation involve any radioactive materials?

No

Will the proposed business operation create special needs for wastewater disposal?

No

Will the proposed business operation require unusually high levels of potable water?

No

11. Licensing. What kind of federal, state, county or town licensees, if any, are needed to operate the proposed business?

Business Operating License

Part E. Other

12. Supplemental materials. Attach the following to this application form.

1. A project map with the information listed in Appendix A of the zoning code.
2. Proposed construction plans (if applicable)

13. Attachments. List any attachments included with your application.

Preliminary Engineering Plans (including ALTA Survey, Site Plan, Grading, Utilities. & Landscape plans),
Certified Survey Map, Site Lighting Plans, Building Elevations, Building Floor Plan, Sign Plans

14. Other information. You may provide any other information you feel is relevant to the review of your application.

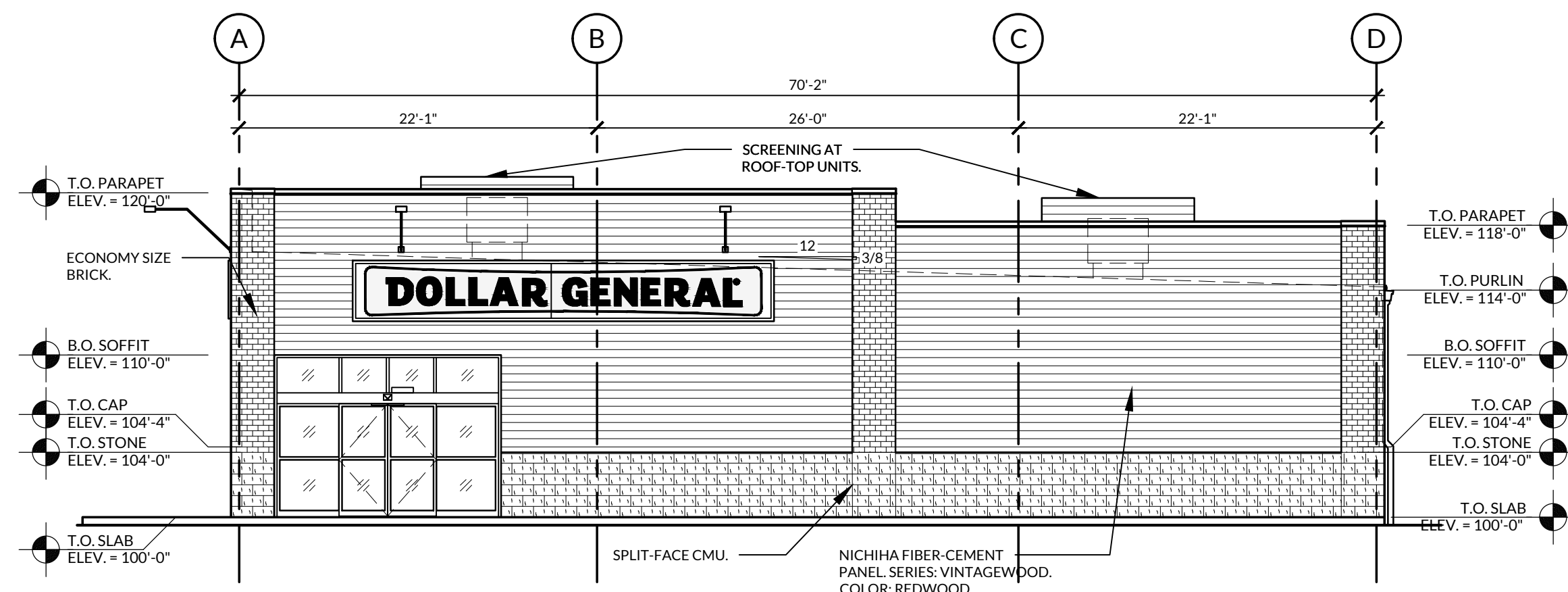
N/A

15. Applicant certification

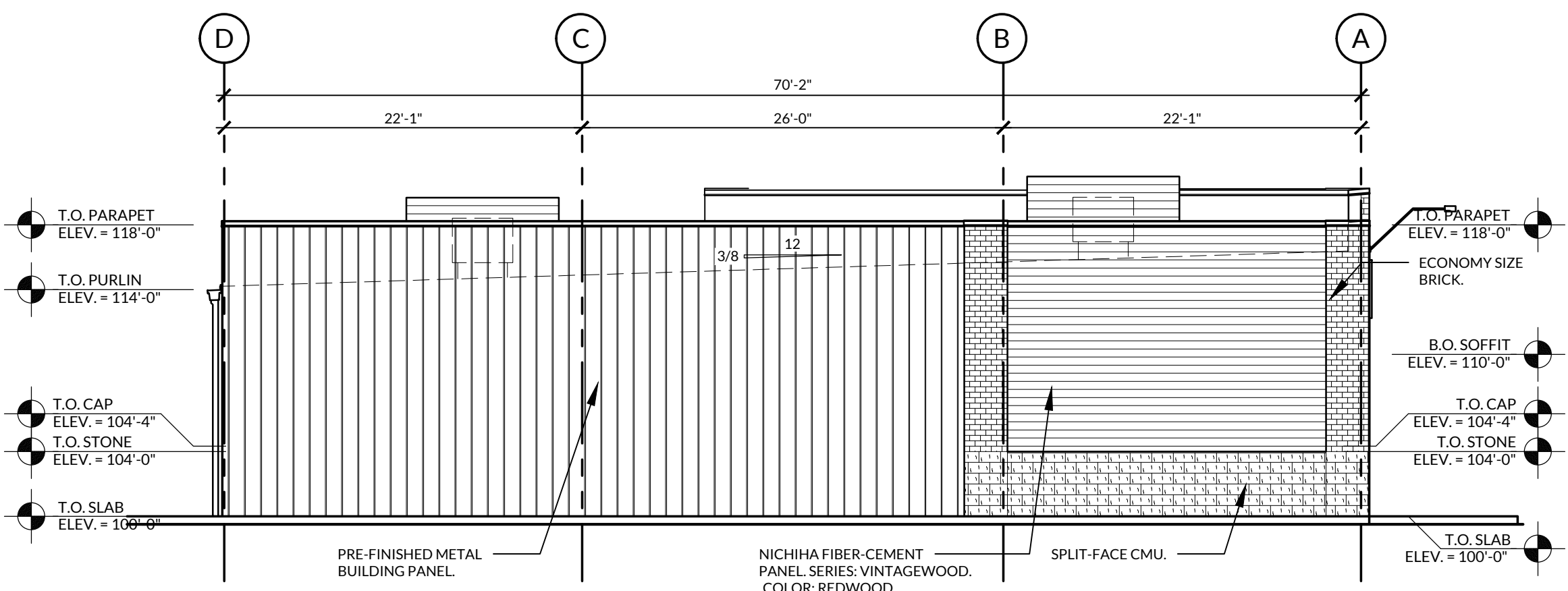
- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with the Town's chargeback policy. The signed chargeback form is attached
- I understand that submission of this application authorizes town officials, Plan Commission members, Town Board members, employees, and other designated agents to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the Town Planner will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Applicant Signature(s):

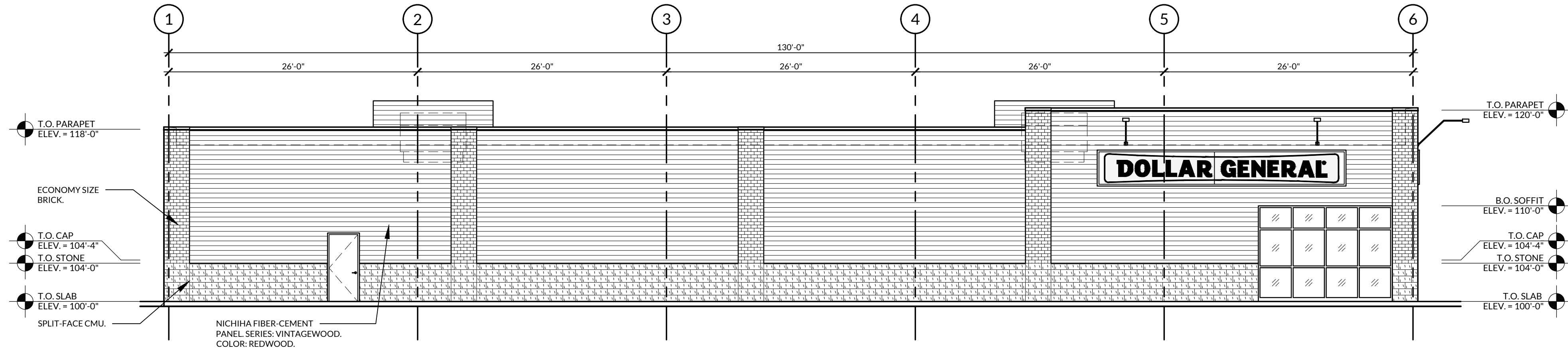
Date:



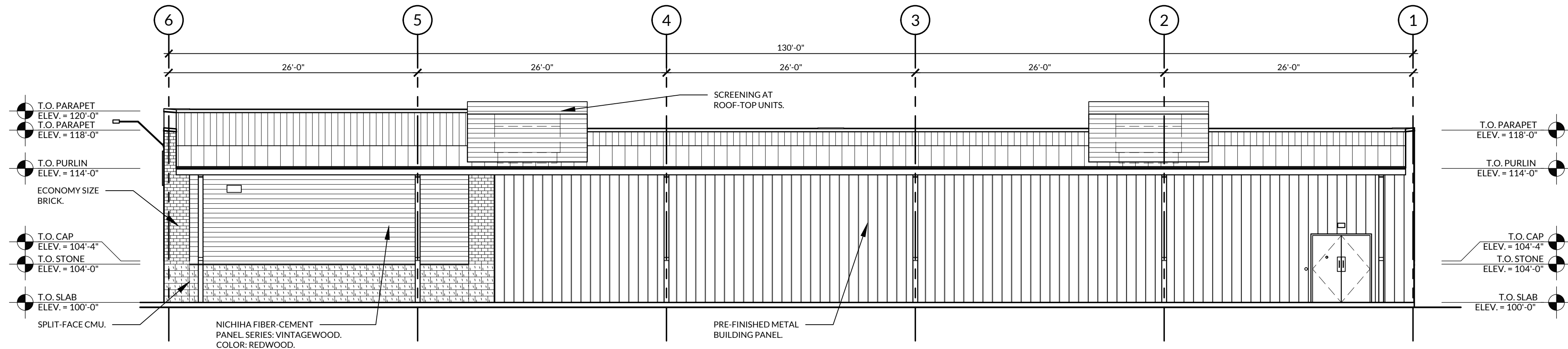
1 SOUTHWEST ELEVATION
SCALE: 1/8"=1'-0"



2 NORTHEAST ELEVATION
SCALE: 1/8"=1'-0"



3 NORTHWEST ELEVATION
SCALE: 1/8"=1'-0"



4 SOUTHEAST ELEVATION
SCALE: 1/8"=1'-0"

DOLLAR GENERAL

STORE #22466 • PROTOTYPE "E"
EAGLE, WISCONSIN
NORTHEAST CORNER OF HIGHWAY NN & GODFREY LANE/LEEDS DRIVE
EAGLE, WAUKESHA COUNTY, WISCONSIN 53119

PRELIMINARY
FOR CONSTRUCTION

ARCHITECT OF RECORD:
KYLE W. RADER
ARCHITECTURAL LICENSE #:
12667-5

PROJECT NUMBER:
19268 • DGWW

REVISION:

A2.1
EXTERIOR
ELEVATIONS

DATE: JULY 02, 2020

KYLE W. RADER - ARCHITECT
116 NORTH 2ND AVENUE • OZARK, MO 65721 • P (417) 581-8889 • F (417) 581-9002

Drawing name: K:\GIS\DESIGN\168708007_DollarGeneral_Eagle_WI\2 Design\CAD\PlanSheets\Preliminary Engineering\C0.0 - TITLE SHEET.dwg C0.0 Jul 02, 2020 2:44pm by: brethickey
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PRELIMINARY ENGINEERING PLANS

DOLLAR GENERAL

NEC HIGHWAY NN & GODFREY LANE

TOWN OF EAGLE, WISCONSIN 53119

UTILITY AND GOVERNING AGENCY CONTACTS

PLANNING & ZONING DEPARTMENT
TOWN OF EAGLE
820 E. MAIN STREET
EAGLE, WI 531199
TEL: (920) 728-2814
CONTACT: TIM SCHWECKE

STORM SEWER SERVICE
TOWN OF EAGLE
820 E. MAIN STREET
EAGLE, WI 531199
TEL: (262) 594-5800

WATER SERVICE
PRIVATE WELL

SANITARY SERVICE
ON SITE SEPTIC

ROADWAY AUTHORITY
WAUKESHA COUNTY
515 W MORELAND BLVD, AC220
WAUKESHA, WI 53188
TEL: (262) 548-7740

POWER COMPANY
WE ENERGIES
S13 W33800 US-18
DELAFIELD, WI 53018
TEL: (262) 968-2575

NATURAL GAS COMPANY
WE ENERGIES
S13 W33800 US-18
DELAFIELD, WI 53018
TEL: (262) 968-2575

TELEPHONE
AT&T
TEL: (853) 293-7676

PROJECT TEAM

DEVELOPER
THE OVERLAND GROUP
1903 EAST BATTLEFIELD ST.
SPRINGFIELD, MO 65804
TEL: (417) 293-3332
CONTACT: JACOB W. STAUFFER

ARCHITECT
TORGERSON DESIGN PARTNERS
116 N. 2ND AVE.
OZARK, MO 65721
TEL: (417) 581-8889
CONTACT: MIKE SEBBEN

SURVEYOR
CHAPUT LAND SURVEYS
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
TEL: (414) 224-8068
CONTACT: DONALD CHAPUT

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: JOE.MAYER@KIMLEY-HORN.COM
CONTACT: JOE MAYER,
EMAIL: JUSTIN.MULLER@KIMLEY-HORN.COM
CONTACT: JUSTIN MULLER, P.E.

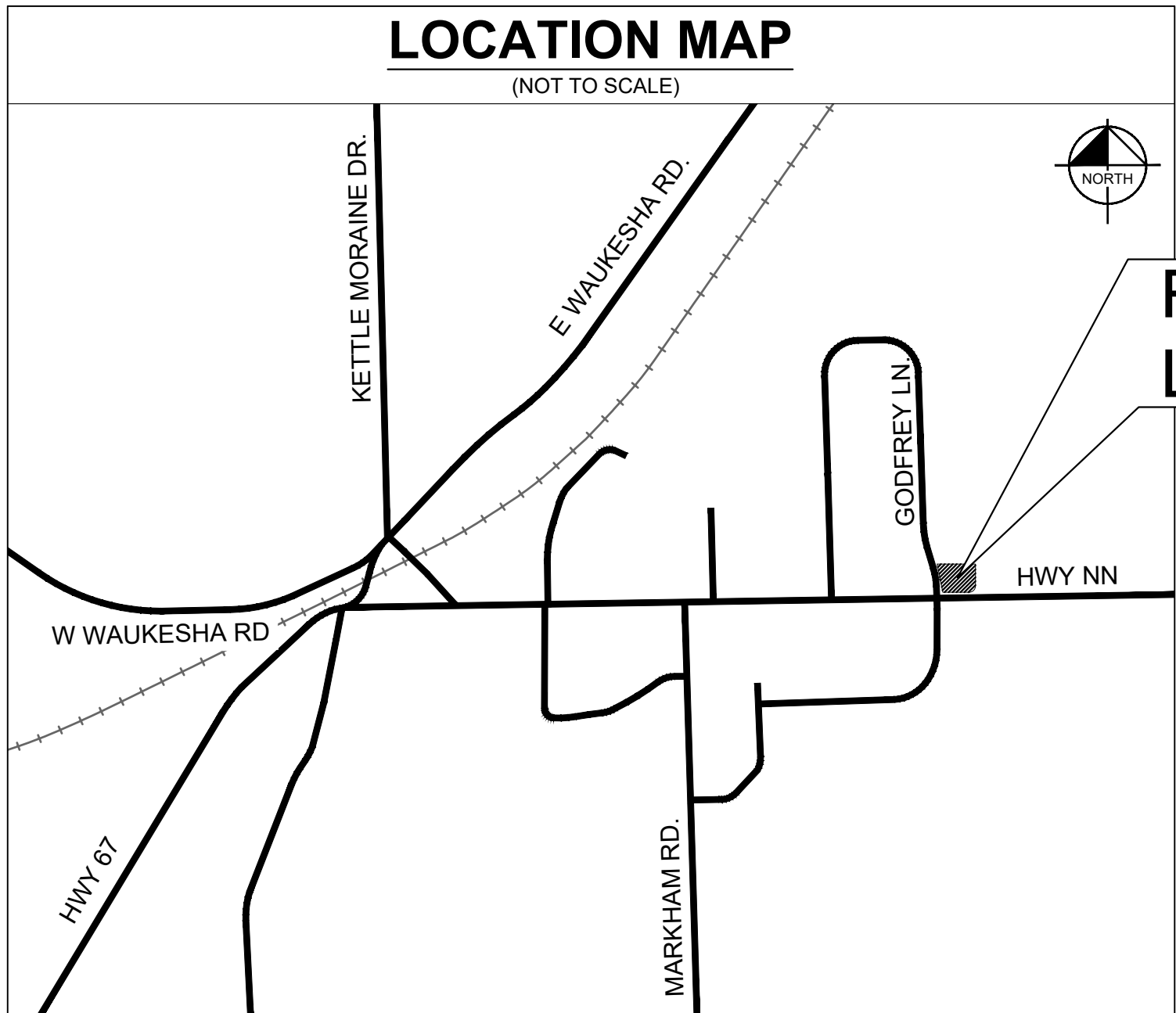
LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: DANIEL.GROVE@KIMLEY-HORN.COM
CONTACT: DANIEL GROVE

LEGAL DESCRIPTION

PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8689, IN THE SOTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 17 EAST, IN THE TOWN OF EAGLE, WAUKESHA COUNTY, WISCONSIN, RECORDED DECEMBER 17, 1998 IN THE OFFICE OF THE REGISTER OF DEEDS FOR WAUKESHA COUNTY, IN VOLUME 77 OF CERTIFIED SRVEY MAPS ON PAGES 47, 48 AND 49, AS DOCUMENT NO. 239997, TOGETHER WITH ALL MINERAL RIGHTS CLAIMED THEREIN UNDER STATMENT OF MINERAL CLAIM RECORDED MAY 24, 2002 AS DOCUMENT NO. 2804813.

LOCATION MAP

(NOT TO SCALE)



PROJECT
LOCATION

SHEET INDEX

SHEET NO.:	DESCRIPTION:
C0.0	TITLE SHEET
V0.0	ALTA SURVEY
C1.0	SITE PLAN
C2.0	GRADING PLAN
C3.0	UTILITY PLAN
L1.0	LANDSCAPE PLAN

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

STARTING BENCHMARK: REFERENCE MARK AND REFERENCE BENCHMARK FOUND CHISELED CROSS IN TOP OF THE HYDRANT NOZZLE.
ELEVATION=927.61 (NGVD 29)

SITE BENCHMARK: NW FLANGE BOLT ON HYDRANT.
ELEVATION=920.34 (NGVD 29)

SITE BENCHMARK: SET CROSS ON NE COR. OF CONC. PAD.
ELEVATION=924.76 (NGVD 29)

PROFESSIONAL ENGINEER'S CERTIFICATION

I, JUSTIN MULLER, A LICENSED PROFESSIONAL ENGINEER OF WISCONSIN, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF THE OVERLAND GROUP BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS _____ DAY OF _____, A.D., 2020.

WISCONSIN LICENSED PROFESSIONAL ENGINEER E-40596
MY LICENSE EXPIRES ON MONTH DATE, YEAR

Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

SCALE:
AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: JMM

THE OVERLAND
GROUP

TITLE SHEET

DOLLAR GENERAL
NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

ORIGINAL ISSUE:
07/01/2020
KHA PROJECT NO.
168708007
SHEET NUMBER

C0.0

TITLE COMMITMENT
This survey was prepared based on First American Title Insurance Company Commitment No. DM0004535, effective date of March 27, 2020 which lists the following easements and/or restrictions from schedule B-II:

1, 2, 3, 5, 9 & 10 visible evidence shown, if any.

- 1, 2, 3, 5, 9 & 10 visible evidence shown, if any.
- 4, 6, 7, 8, 11 & 14 not survey related.
12. Terms and provisions of Statement of Mineral Claim dated 05/23/2002 and recorded 05/24/2002 as Document No. 2804813. **Affects property by location, general in nature.**
13. Terms and provisions of Telephone Line Right-of-Way Easement to North-West Telephone Company, dated 01/31/1973 and recorded 04/05/1973 in Reel 34, Image 1185 as Document No. 845877. **Does not affect property by location, not shown.**

PARKING SPACES
There are no parking spaces marked on this site.

FLOOD NOTE
According to the flood insurance rate map of the County of Waukehsa, Community Panel No. 55133C0290G, effective date of September 26, 2008, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

MUNICIPAL ZONING

The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A Item 6(a) nor to be relied on for site development purposes.

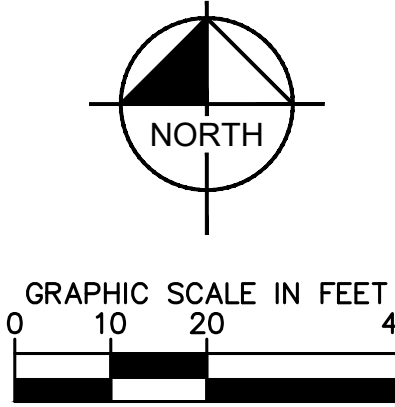
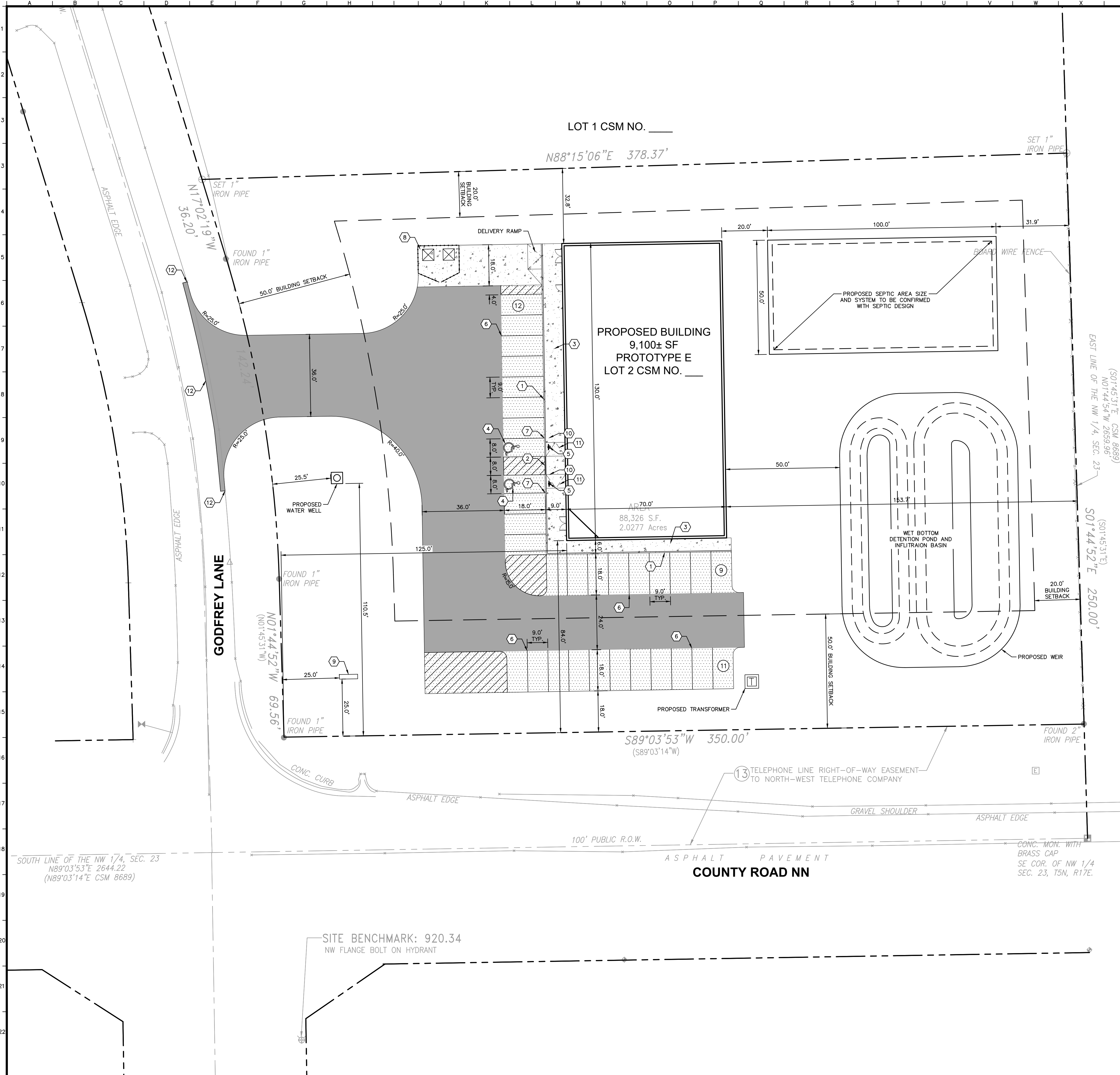
Minimum Setback: 50 feet

Maximum Accessory building height: 20 feet

LAND AREA
The Land Area of Proposed Lot 1 is 97,349 square feet or 2.2348 acres.
The Land Area of Proposed Lot 2 is 88,326 square feet or 2.0277 acres.

Drawing No. 20200622ALT3538-far

Drawing name: K:\CHS_DEU\168708007_DollarGeneral_Eagle_WV2 Design\CAD\PierSheets\Preliminary Engineering\C1.0 - SITE PLAN.dwg
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 by: brathidney



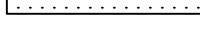

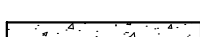
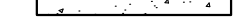




PARKING SUMMARY

TOTAL BUILDING AREA	= 9,100 SF
PRIMARY SALES AREA	= 7,400± SF
PARKING SPACES REQUIRED (SIX SPACES PER 1,000 SF OF PRIMARY BUILDING AREA)	= 44 SPACES
STANDARD PARKING SPACES PROVIDED	= 30 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	= 2 SPACES
TOTAL PARKING SPACES PROVIDED	= 32 SPACES

KEY NOTES

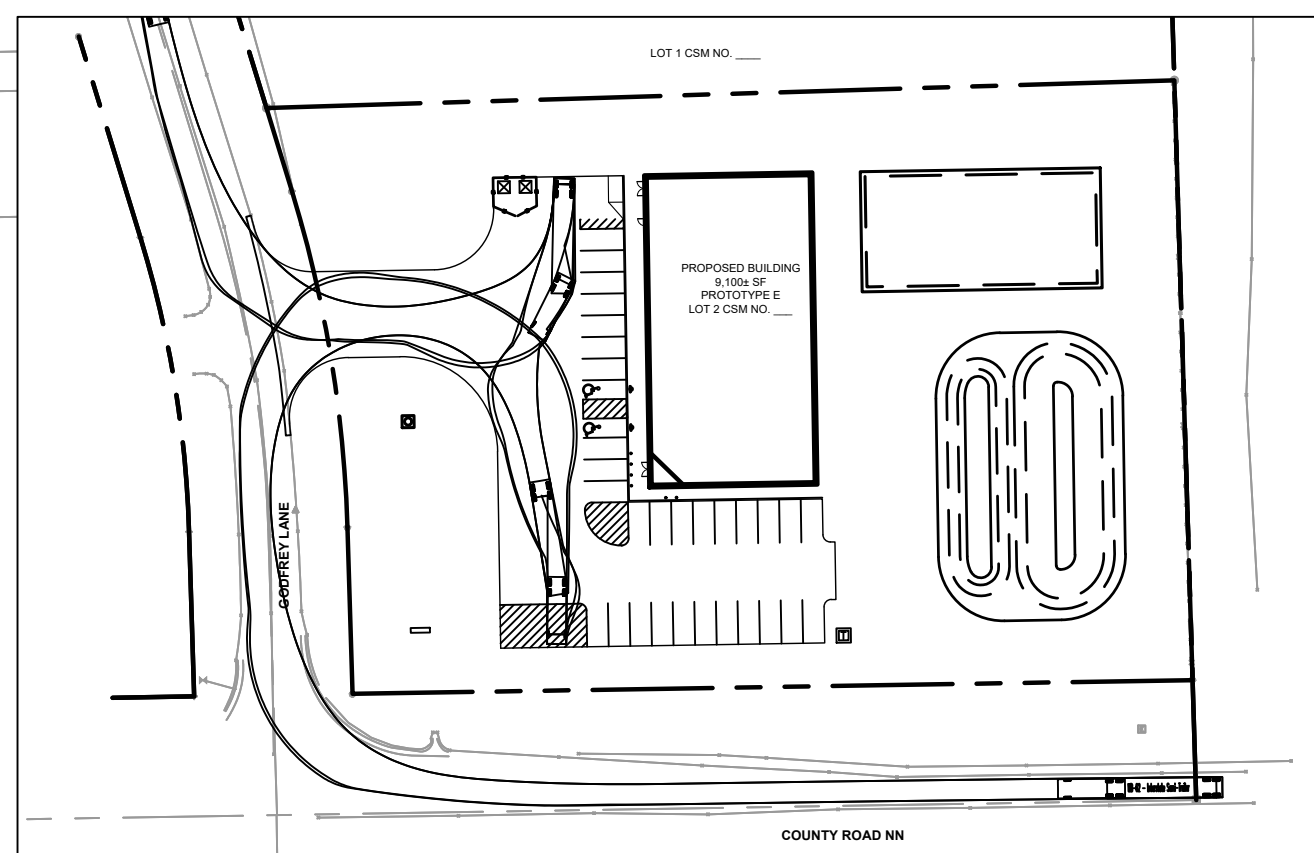
- | | |
|----|--|
| 1 | INTEGRAL CURB AND WALK, TYP. |
| 2 | FLUSH CURB AND WALK |
| 3 | CONCRETE SIDEWALK, TYP. |
| 4 | ACCESSIBLE PAVEMENT MARKINGS, TYP. |
| 5 | ACCESSIBLE PARKING SIGN, TYP. |
| 6 | 4" WIDE PAINTED SOLID WHITE LINE, TYP. |
| 7 | TRANSITION FROM ZERO TO FULL CURB |
| 8 | TRASH ENCLOSURE |
| 9 | PROPOSED SIGN |
| 10 | BOLLARD, TYP. |
| 11 | ACCESSIBLE RAMP |
| 12 | CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP. |

PAVING AND CURB LEGEND

	<u>STANDARD DUTY ASPHALT PAVEMENT</u>
	<u>HEAVY DUTY ASPHALT PAVEMENT</u>
	<u>CONCRETE SIDEWALK / PAVEMENT</u>
	INTEGRAL CONCRETE CURB AND WALK
	FLUSH CURB AND WALK
	PROPERTY LINE
	SETBACK LINE
	PARKING COUNT

GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.



TRUCK ROUTE (WB-62)
SCALE: 1" = 80'

Kimley»Horn

THE OVERLAND
GROUP

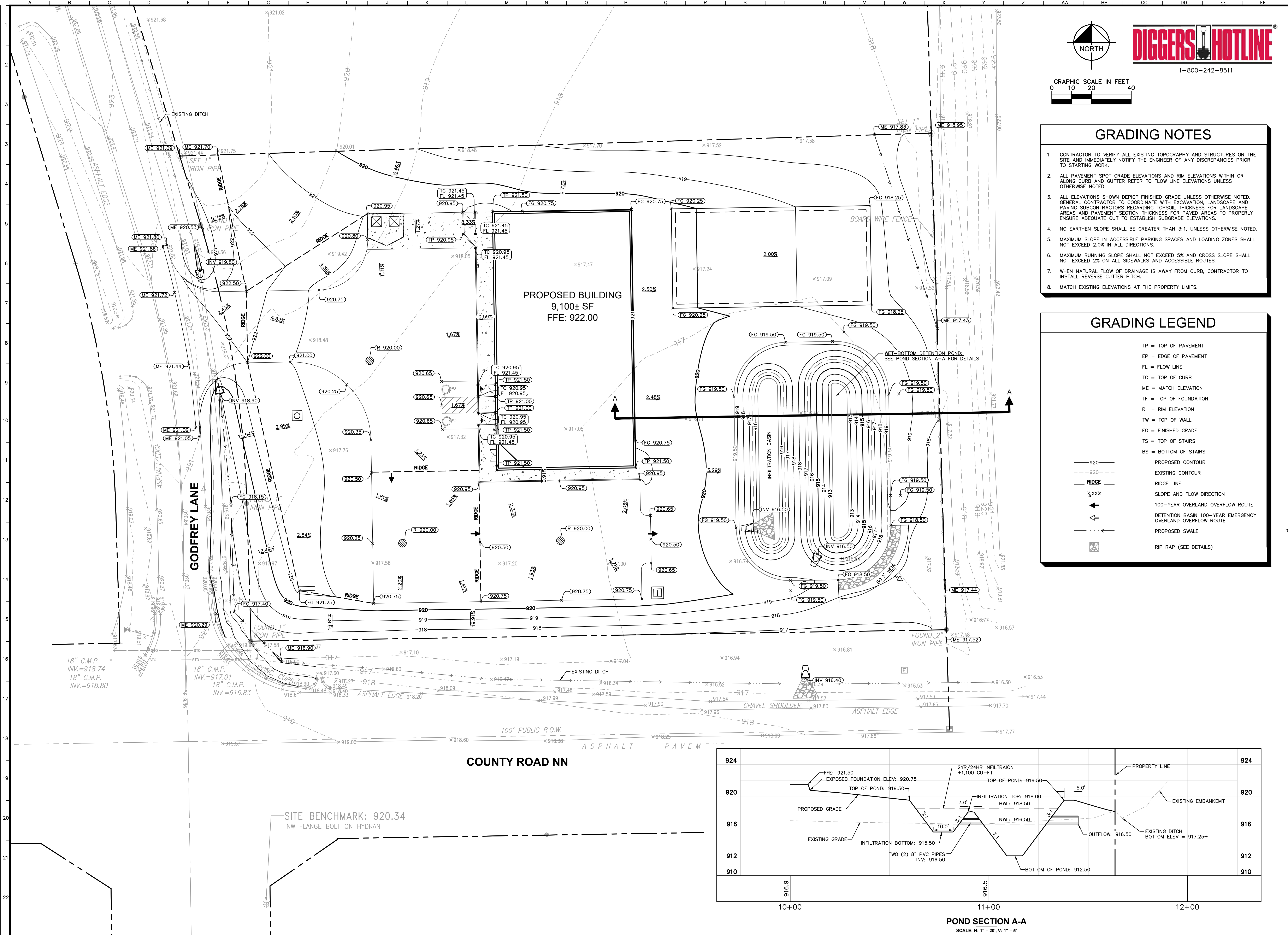
PRELIMINARY SITE PLAN

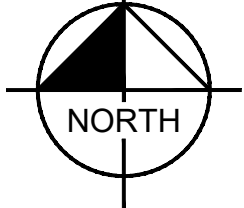
DOLLAR GENERAL
NEC HIGHWAY NN & GODFREY LN.
TOWN OF FAGI F. WI 53119

ORIGINAL ISSUE: 07/01/2020
KHA PROJECT NO. 168708007
SHEET NUMBER

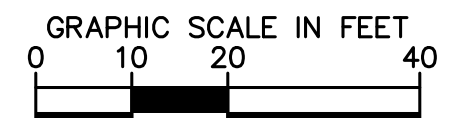
C1.0

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NORTH



GRAPHIC SCALE IN FEET
0 10 20 40

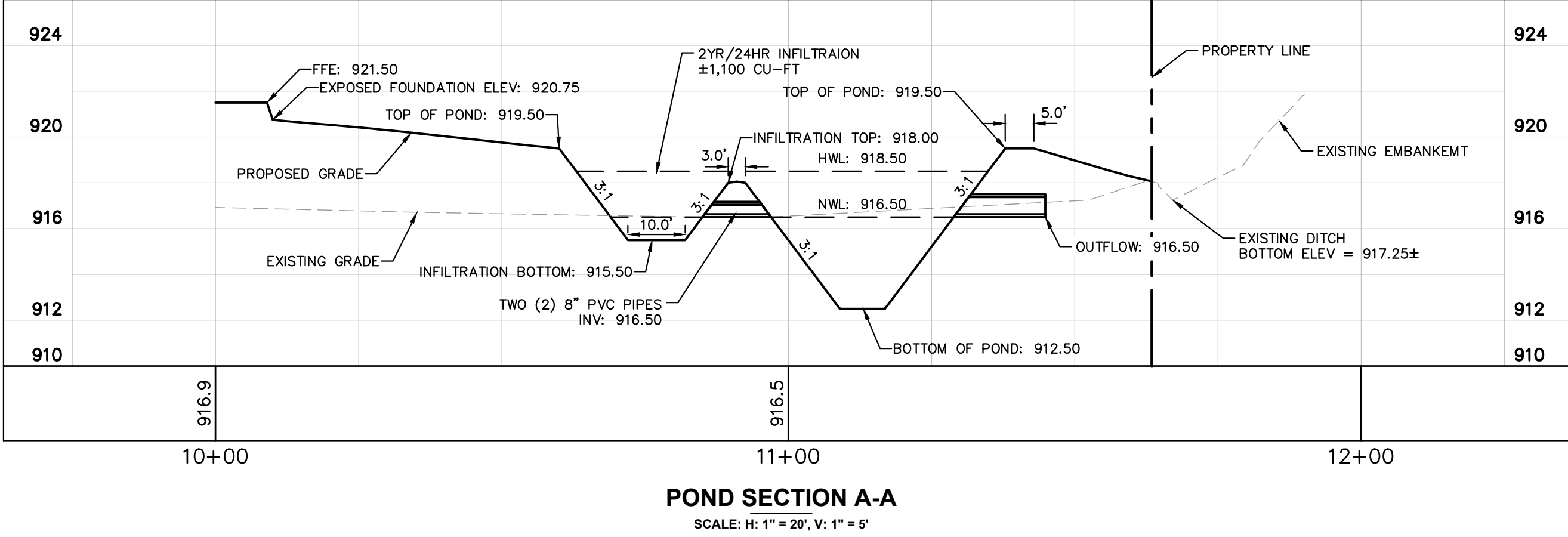


DIGGERS HOTLINE
1-800-242-8511


- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
 - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

— 920 —	TP = TOP OF PAVEMENT
- - - 920 - - -	EP = EDGE OF PAVEMENT
- - - 920 - - -	FL = FLOW LINE
- - - 920 - - -	TC = TOP OF CURB
- - - 920 - - -	ME = MATCH ELEVATION
- - - 920 - - -	TF = TOP OF FOUNDATION
- - - 920 - - -	R = RIM ELEVATION
- - - 920 - - -	TW = TOP OF WALL
- - - 920 - - -	FG = FINISHED GRADE
- - - 920 - - -	TS = TOP OF STAIRS
- - - 920 - - -	BS = BOTTOM OF STAIRS
- - - 920 - - -	PROPOSED CONTOUR
- - - 920 - - -	EXISTING CONTOUR
- - - 920 - - -	RIDGE LINE
- - - 920 - - -	SLOPE AND FLOW DIRECTION
- - - 920 - - -	100-YEAR OVERLAND OVERFLOW ROUTE
- - - 920 - - -	DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE
- - - 920 - - -	PROPOSED SWALE
- - - 920 - - -	RIP RAP (SEE DETAILS)



REVISIONS		DATE	BY
No.			



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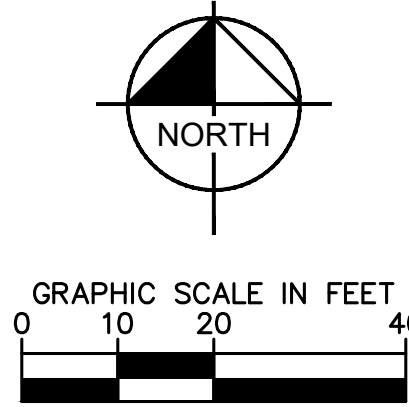
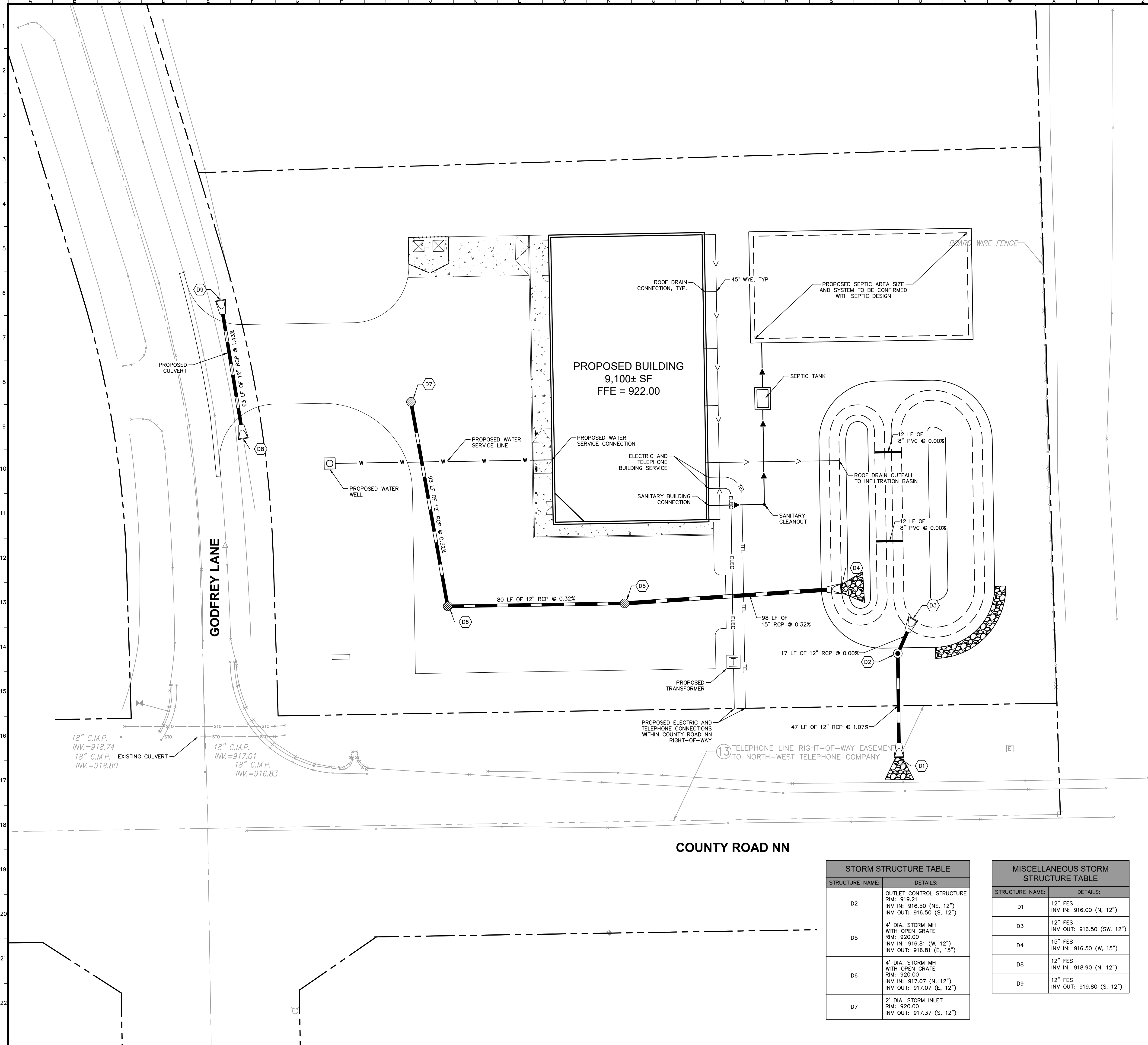
THE OVERLAND GROUP

PRELIMINARY GRADING PLAN

DOLLAR GENERAL
NEC HIGHWAY NN & GODFREY LN.
TOWN OF EAGLE, WI 53119

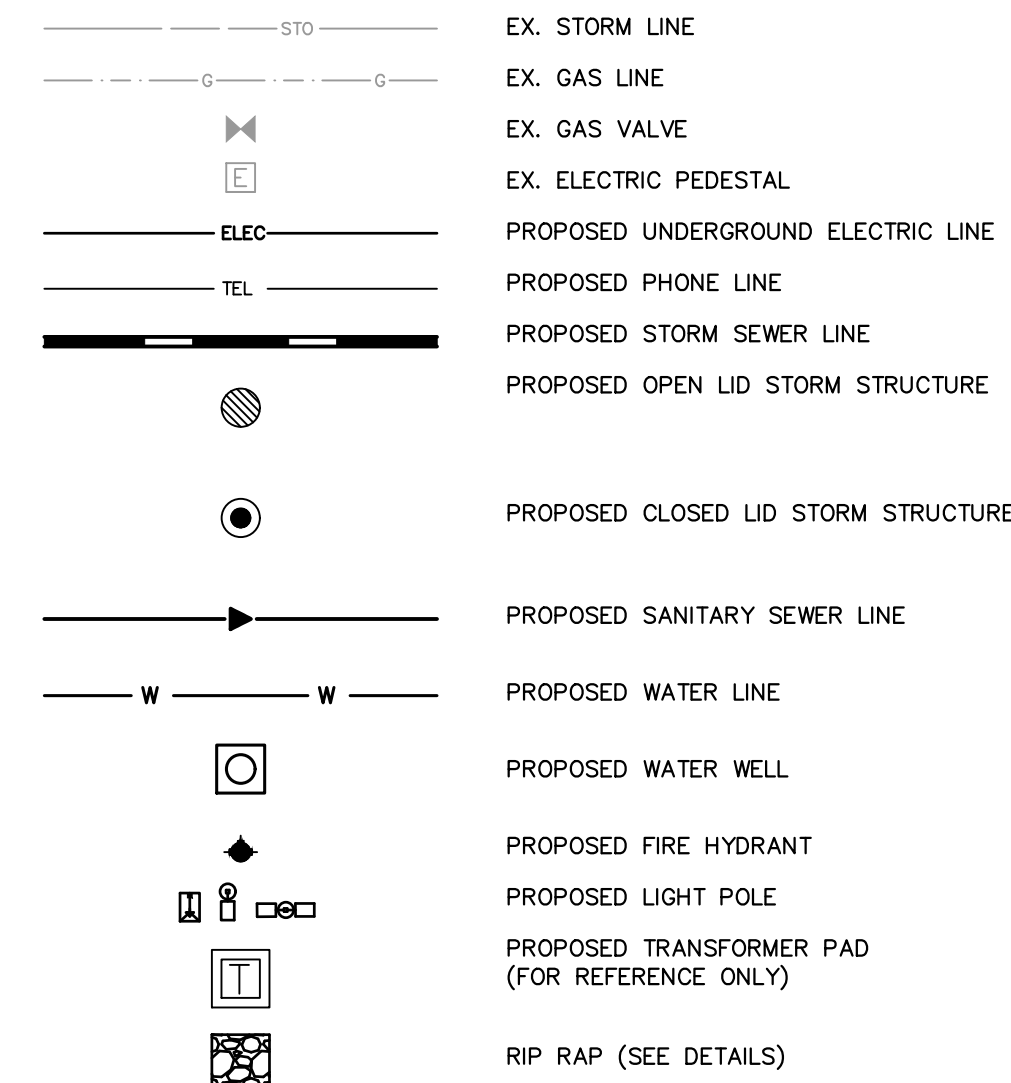
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SHEET NUMBER

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1-800-242-8511

UTILITY LEGEND



UTILITY NOTES

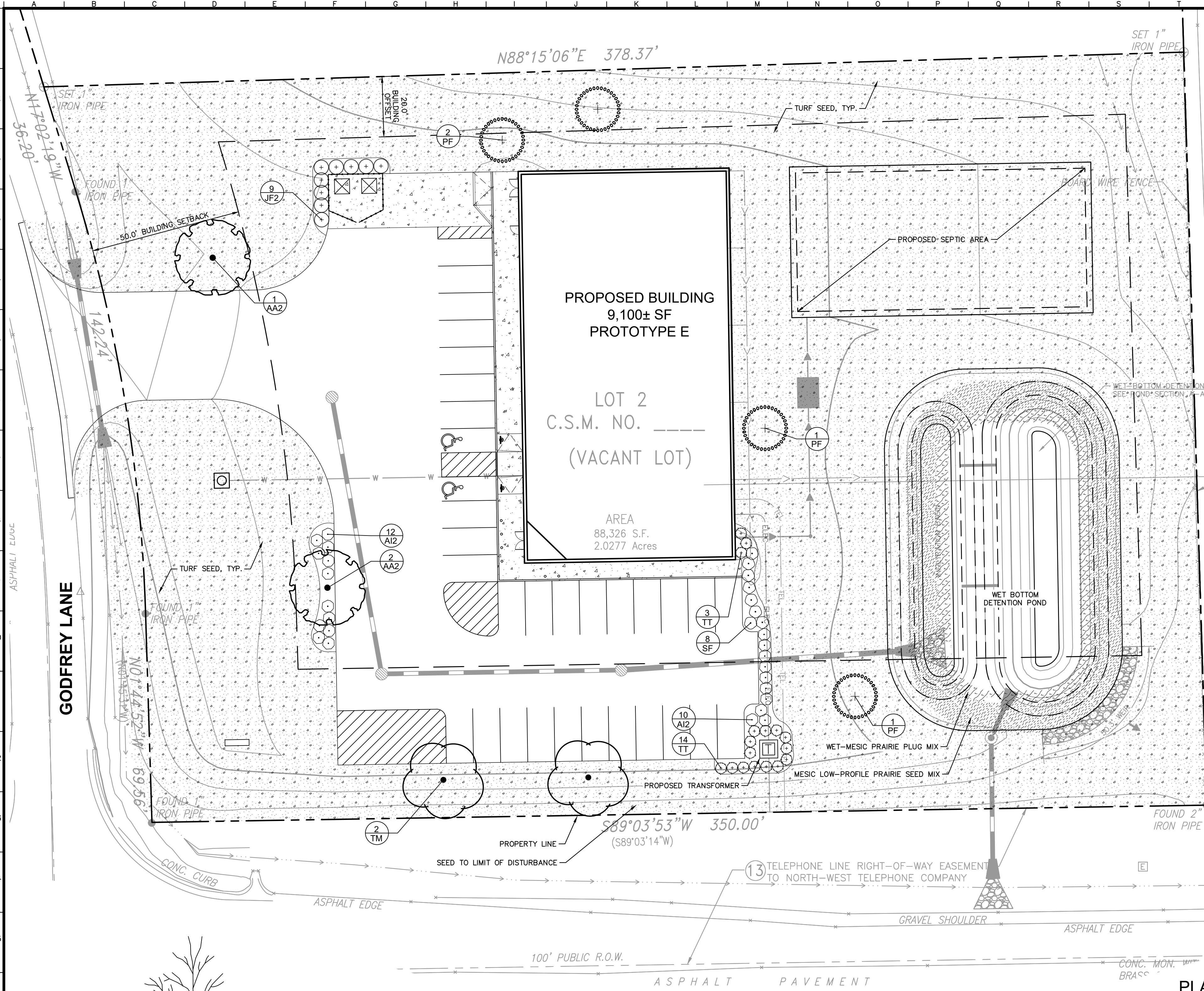
1. ALL WATER LINES $\geq 3"$ SHALL BE DUCTILE IRON PIPE, CLASS 52.
2. ALL SANITARY SEWER LINES SHALL BE PVC METEING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
3. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
4. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
6. CONTRACTOR TO CALL "DIGGERS HOTLINE" (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
7. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSEINGS AND INFORM THE ENGINEER AND THE OWNER/ DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
8. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SAFETY SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
9. CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
10. ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
11. SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
12. LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
13. SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
14. STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS.
15. WATER SERVICES SHALL HAVE A BLUE 12 GAUGE LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE IN THE CURB BOX AT THE EDGE OF THE BUILDING AND ENCLOSED IN A LOCATOR BOX WITH "WATER" ON THE COVER.
16. SANITARY SEWER SHALL HAVE A GREEN 12 GAUGE LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE AT THE EDGE OF THE BUILDING IN A LOCATOR BOX WITH "SEWER" ON THE COVER.
17. ALL SANITARY SEWER AND WATER TO BE INSTALLED IN ACCORDANCE WITH KENOSHA WATER UTILITY (KWU) STANDARDS.
18. ALL APPLICATIONS AND FEES FOR SANITARY SEWER AND WATER MUST BE COMPLETED AND PAID PRIOR TO CONNECTIONS TO SEWER/ WATER SYSTEMS.
19. ALL WATER CONNECTIONS TO EXISTING WATER MAINS SHALL BE COMPLETED BY KENOSHA EXCAVATION AND BACKFILL BY THE DEVELOPER. DEVELOPERS SHALL PROVIDE 72 HOURS NOTICE TO KWU WHEN CONNECTION IS TO BE MADE.
20. ANY UTILITY WORK WITHIN THE RIGHT-OF-WAY AND ALL SANITARY SEWER CONNECTIONS TO BE SPECIFIED BY KWU. NOTIFY KWU 48 HOURS IN ADVANCE OF CONNECTIONS TO SEWER.

STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D2	OUTLET CONTROL STRUCTURE RIM: 919.21 INV IN: 916.50 (NE, 12") INV OUT: 916.50 (S, 12")
D5	4' DIA. STORM MH WITH OPEN GRATE RIM: 920.00 INV IN: 916.81 (W, 12") INV OUT: 916.81 (E, 15")
D6	4' DIA. STORM MH WITH OPEN GRATE RIM: 920.00 INV IN: 917.07 (N, 12") INV OUT: 917.07 (E, 12")
D7	2' DIA. STORM INLET RIM: 920.00 INV OUT: 917.37 (S, 12")

MISCELLANEOUS STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D1	12" FES INV IN: 916.00 (N, 12")
D3	12" FES INV OUT: 916.50 (SW, 12")
D4	15" FES INV IN: 916.50 (W, 15")
D8	12" FES INV IN: 918.90 (N, 12")
D9	12" FES INV OUT: 919.80 (S, 12")

[illegible]

Drawing name: K:\GIS\LDE\168708007_DollarGeneral_Eggs_W\2 Design\CAD\PlanSheets\Preliminary Engineering\L1.0 - LANDSCAPE PLAN.dwg Jul 02, 2020 2:46pm by brethickey
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LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
9. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDS AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
10. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
11. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
12. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
13. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
14. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

MESIC LOW-PROFILE PRAIRIE SEED MIX

BOTANICAL NAME	COMMON NAME	LBS / ACRE	% OF TOTAL
GRASSES, SEDGES, & RUSHES			
Avena sativa	Common Oat	20.0	50.0%
Bouteloua curtipendula	Side-Oats Grama	5.0	12.5%
Lolium multiflorum	Annual Rye	10.0	25.0%
Panicum virgatum	Switch Grass	0.5	1.3%
Schizachyrium scoparium	Little Bluestem	4.0	10.0%
Sporobolus heterolepis	Prairie Dropseed	0.25	0.6%
TOTAL LBS PER ACRE:		39.75	99.4%

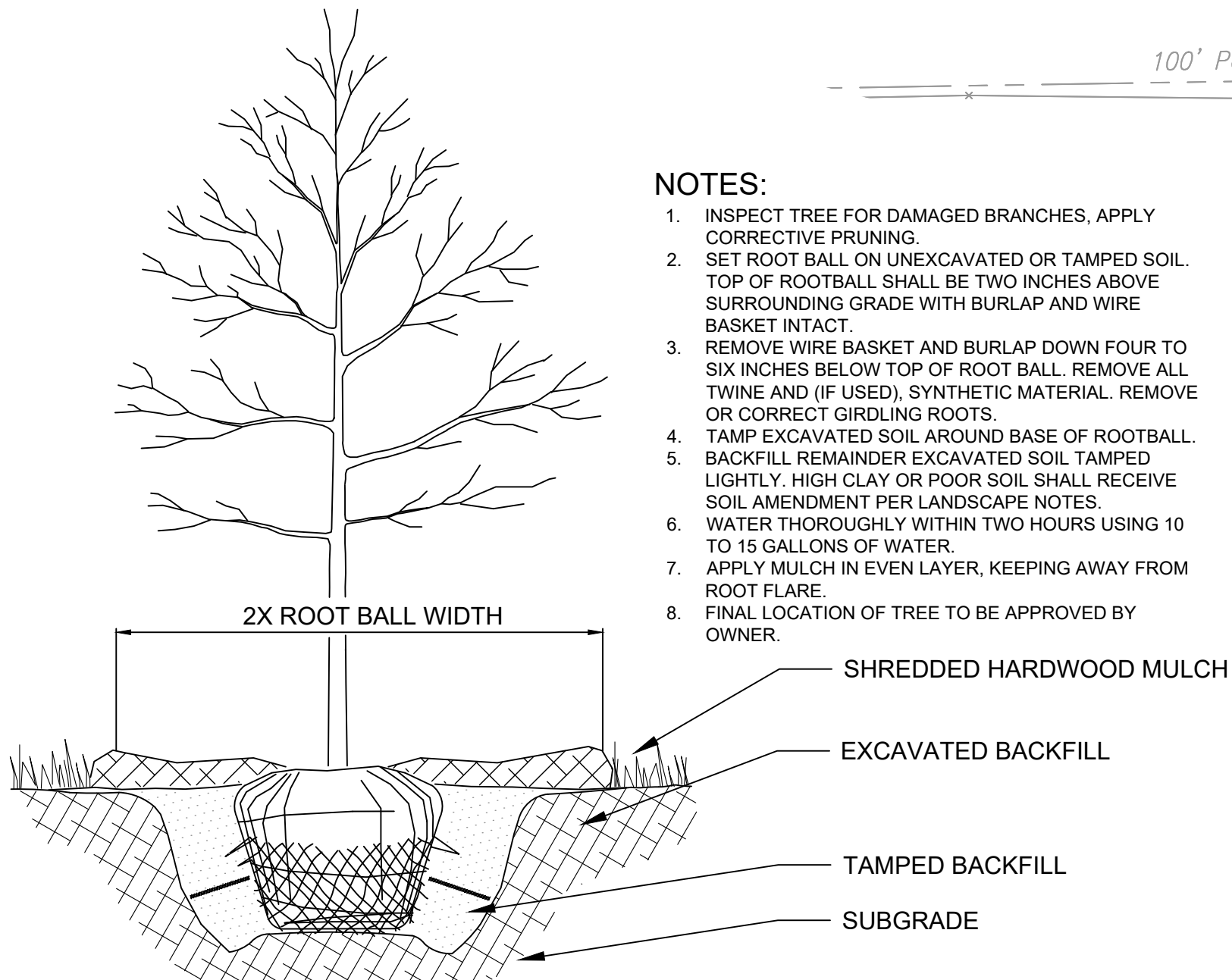
WET-MESIC PRAIRIE PLUG MIX

BOTANICAL NAME	COMMON NAME	QTY / ACRE	% OF TOTAL
FORBS & BROADLEAVES			
Coreopsis palmata	Prairie Coreopsis	0.10	0.3%
Echinacea purpurea	Purple Coneflower	0.15	0.4%
FORBS & BROADLEAVES LBS PER ACRE:		0.25	0.6%

BOTANICAL NAME	COMMON NAME	QTY / ACRE	% OF TOTAL
Bouteloua curtipendula	Side Oats Grama	750	15%
Echinacea purpurea	Purple Coneflower	500	10%
Elymus canadensis	Canada Wild Rye	1,000	20%
Juncus effusus	Common Rush	750	15%
Panicum virgatum	Switch Grass	1,500	30%
Rudbeckia hirta	Black-Eyed Susan	500	10%
TOTAL PLUGS PER ACRE:		5,000	

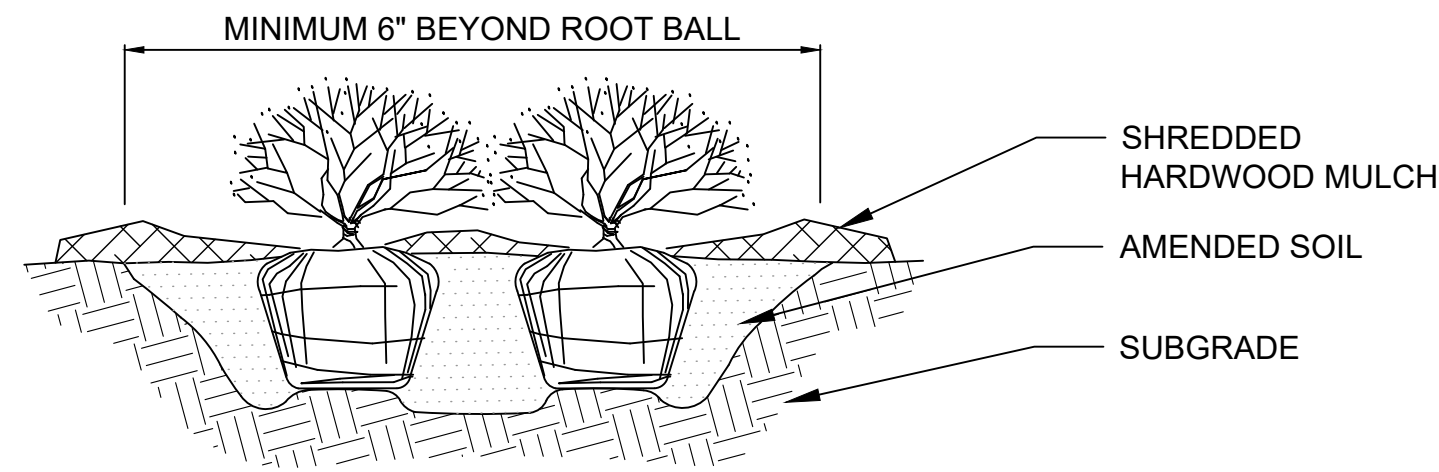
PLANT SCHEDULE

TREES		CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
		AA2	2	ACER FREEMANII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE	B & B	2.5" CAL MIN	
		PF	4	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B & B		5' HT MIN
		TM	2	TILIA AMERICANA 'MCKSENTRY' / SENTRY LINDEN	B & B	2.5" CAL MIN	
SHRUBS		CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
		AI2	22	ARONIA MELANOCARPA 'IROQUOIS BEAUTY' / BLACK CHOKEBERRY	-	SEE PLAN	36" HT MIN 48" o.c.
		JF2	9	JUNIPERUS CHINENSIS 'FAIRVIEW' / FAIRVIEW JUNIPER	-	SEE PLAN	6' HT MIN 60" o.c.
		SF	8	SPIRAEA JAPONICA 'NEON FLASH' / NEON FLASH SPIREA	-	SEE PLAN	24" HT MIN 48" o.c.
		TT	17	TAXUS X MEDIA 'TAUNTONII' / TAUTON YEW	-	SEE PLAN	24" HT MIN 48" o.c.
GROUND COVERS				BOTANICAL / COMMON NAME			
				MESIC LOW-PROFILE PRAIRIE SEED MIX			
				TURF SEED			
				WET-MESIC PRAIRIE PLUG MIX			



NOTES:

1. INSPECT TREE FOR DAMAGED BRANCHES. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



NOTES:

1. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4. REMOVE OR CORRECT GIRDLING ROOTS.
5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.

1 TREE PLANTING

2 SHRUB PLANTING

SCALE:
AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: JMM

Kimley»Horn

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THE OVERLAND
LANDSCAPE
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