Scott Niles, Owner of 7 Mile fair at 2720 W. 7 Mile Road in Caledonia, WI 53108, intends to Add on to an existing outbuilding. This addition will be used for cold storage. The addition will be added onto the rear (west side of the existing building) So it will not change the aesthetics of what is currently there now. The addition is 95' x 60'. The addition will be the same width and height of the current building, so the walls and the roof will continue along the same plane. The building will be built on top of the existing pavement so there will be no ground disturbance.

Foth

Staff Review

TO:	Village of Raymond Plan Commission
FROM:	Shaun Mularkey, AICP, Planning Consultant
RPT DATE:	June 15, 2026
MTG DATE:	June 22, 2026
APRVL DATE:	
FOTH FILE:	26R050.03/20
RE:	**7 Mile Fair – Site Plan & Plan of Operation Amendment Request**

BACKGROUND:

1. Petitioner/Agent: Scott Niles
2. Property Owner: 7 Mile Fair, Inc.
3. Location/Address: 2720 7 Mile Rd
4. Taxkey Number: 168-04-21-01-054-010 & 168-04-21-01-054-000
5. Area: 33.29 AC
6. Existing Zoning: B-3 Commercial Service District (w/ Racine County PUD)
7. Proposed Zoning: N/A
8. Future Land Use: Commercial & Business Park

OVERVIEW:

There is a long, incremental history of zoning approvals and conditional use permits for 7 Mile Fair dating back to the 1980s, with each step expanding or modifying the site's use while adding/modifying operational conditions.

The earliest approvals established the use of the property as a vendor marketplace. Racine County granted a conditional use permit for vendor sales buildings in the B-5 Highway Business district, with restrictions on use (sales/storage only, no residential occupancy) and requirements such as lighting controls and compliance with other permits. These initial approvals were followed by a much larger conditional use permit allowing development of an indoor/outdoor market, including a large exposition building, parking areas, and vendor facilities. This approval introduced extensive operational conditions covering fencing, traffic improvements, hours of operation, vendor camping, sanitation, stormwater management, buffering and landscaping, and strict limitations on activities (e.g., no amusement rides, amplified entertainment, or certain sales).

Through the late 1980s and early 1990s, additional permits expanded the site's built environment and uses. The County approved a large multi-use indoor building (Expo I) and later modified its size, maintaining conditions on sanitation, lighting, stormwater, and permitted uses. The County approved the use of parking areas as "special sales and event areas," allowing activities such as equipment and vehicle sales, meetings, and temporary events, while reiterating operational limits and requiring coordination with the Town and County for each event. Further expansion included the second exposition building (Expo II) and parking lot improvements, subject to environmental controls, erosion prevention, and consistency with road plans.

A zoning change occurred in 1995 when the property was rezoned from B-5 to B-5 with a Planned Unit Development (PUD) overlay covering roughly 30 acres. Later, in 2002, an additional rezoning and amendment extended PUD zoning to adjacent acreage and authorized further improvements, including a building addition,

parking adjustments, and a retention pond, with requirements tied to floodplain analysis, drainage, and ongoing maintenance.

In 2013, Racine County approved a conditional use amendment allowing limited retail auto sales (approximately 30 vehicles) on site, subject to compliance with zoning standards, coordination with the Town of Raymond and Village of Caledonia, and separation from existing vendor sales activities. This reflects a pattern of incremental diversification while maintaining the overall market-oriented character of the property.

The property is currently zoned B-3 under the Village of Raymond Zoning. All past County approvals remain. The Petitioner is requesting approval of a Site Plan/Plan of Operation amendment to construct a 60' x 95' (5,700 SF) addition to an existing 60' x 120' (7,200 SF) storage building on the far west side of the property. The building would be constructed in an existing impervious area on the property, so no additional impervious area will be added. The building will be used for cold storage including a plow truck, will have no electrical, and no added exterior lighting.

PLANNER COMMENTS:

1. **Comprehensive Plan.** The 7 Mile Fair property included multiple parcels and is planned for a mix of *Commercial & Business Park.*
2. **Zoning.** The property is zoned B-3 Commercial Service and recognizes the County PUD for the properties. The Petitioner is requesting a minor Site Plan/Plan of Operation to allow the addition of storage, which is a permitted use in the zoning district. The proposed building meets the requirements of the zoning. No other changes to the site or plan of operation are proposed.

STAFF RECOMMENDATION:

If the Village of Raymond Plan Commission chooses to recommend to the Village of Raymond Board <u>Approval</u> of the Site Plan & Plan of Operation Amendment request for Scott Niles for the property owned by 7 Mile Fair, Inc. located at 2720 7 Mile Rd, taxkey 168-04-21-01-054-010, then it is recommended approval be subject to the following conditions:

1. The conditions of the existing Site Plan/Plan of Operation and zoning approvals for the property shall remain in effect, except as amended by the conditions of this approval.
2. This site plan approval for the 60' x 95' (5,700 SF) addition to the existing 60' x 120' (7,200 SF) storage building is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Raymond Plan Commission on June 22, 2026.
3. The Site Plan approval shall not be in full force and effect until such time as the Petitioner obtains the necessary approvals and satisfies all comments, conditions, and concerns of the Village of Raymond Plan Commission and Board, Village Fire Chief (or designee), Village Engineer, Village Planner, and Village Attorney with respect to the submitted plans, documents, and specifications.
4. The Petitioner must obtain a zoning permit and building permit prior to commencement of the construction of the new building.
5. The Petitioner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
6. The Petitioner shall allow Village of Raymond representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
7. The property shall comply with all rules and regulations of the Village of Raymond and the Raymond Fire Department, including submission to routine inspections by the Village and Fire Department Staff.

8. This site plan approval will expire nine (9) months from the date of the issuance of the zoning permit unless substantial work has commenced following said approval. If the Village determines that no substantial work has commenced, the project may not occur unless the Village Board grants a written extension. Written extension requests shall be submitted to the Village at least 30 days prior to permit/approval expiration.

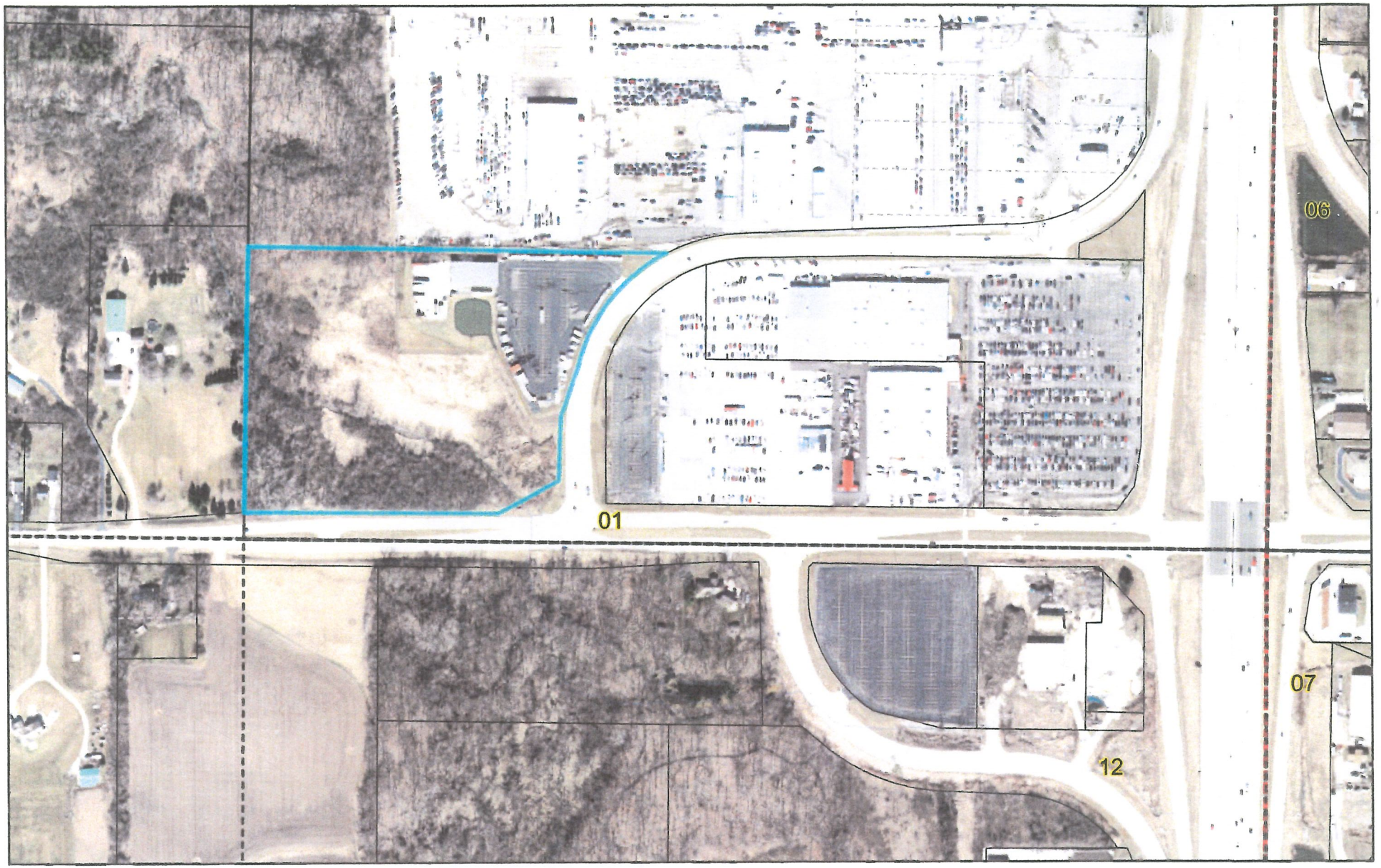
9. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Raymond for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions. Additionally, any unpaid bills owed to the Village of Raymond by the Subject Property Owner and/or Agent, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees or forfeitures owed to the Village of Raymond must be paid on demand and prior to issuance of any permits and shall be placed upon the tax roll for the Subject Property if not paid within thirty (30) days of the billing by the Village of Raymond, pursuant to Section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional approval that is subject to all remedies available to the Village of Raymond, including possible cause for termination of the conditional approval.

EXHIBIT:

A. GIS Property Location Map

B. Petitioner Application

7 Mile Fair



6/17/2026

Quarter Quarter Section
Quarter Section
Sections
Tax Parcels
Parcel Tie Lines
Municipal Boundaries

2024 Spring Aerial
Red: Band_1
Green: Band_2
Blue: Band_3
Citations

1:5,789

0 0.04 0.07 0.14 mi

0 0.05 0.1 0.2 km

PLSS, Racine County Land Information, Racine County, SEWRPC, Esri Canada, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA

From: Mularkey, Shaun S <Shaun.Mularkey@Foth.com>

Date: Tuesday, June 23, 2026 at 11:21 AM

To: Jason Lawrence <jason@josephscotthomes.com>

Subject: 7 Mile Fair Approval

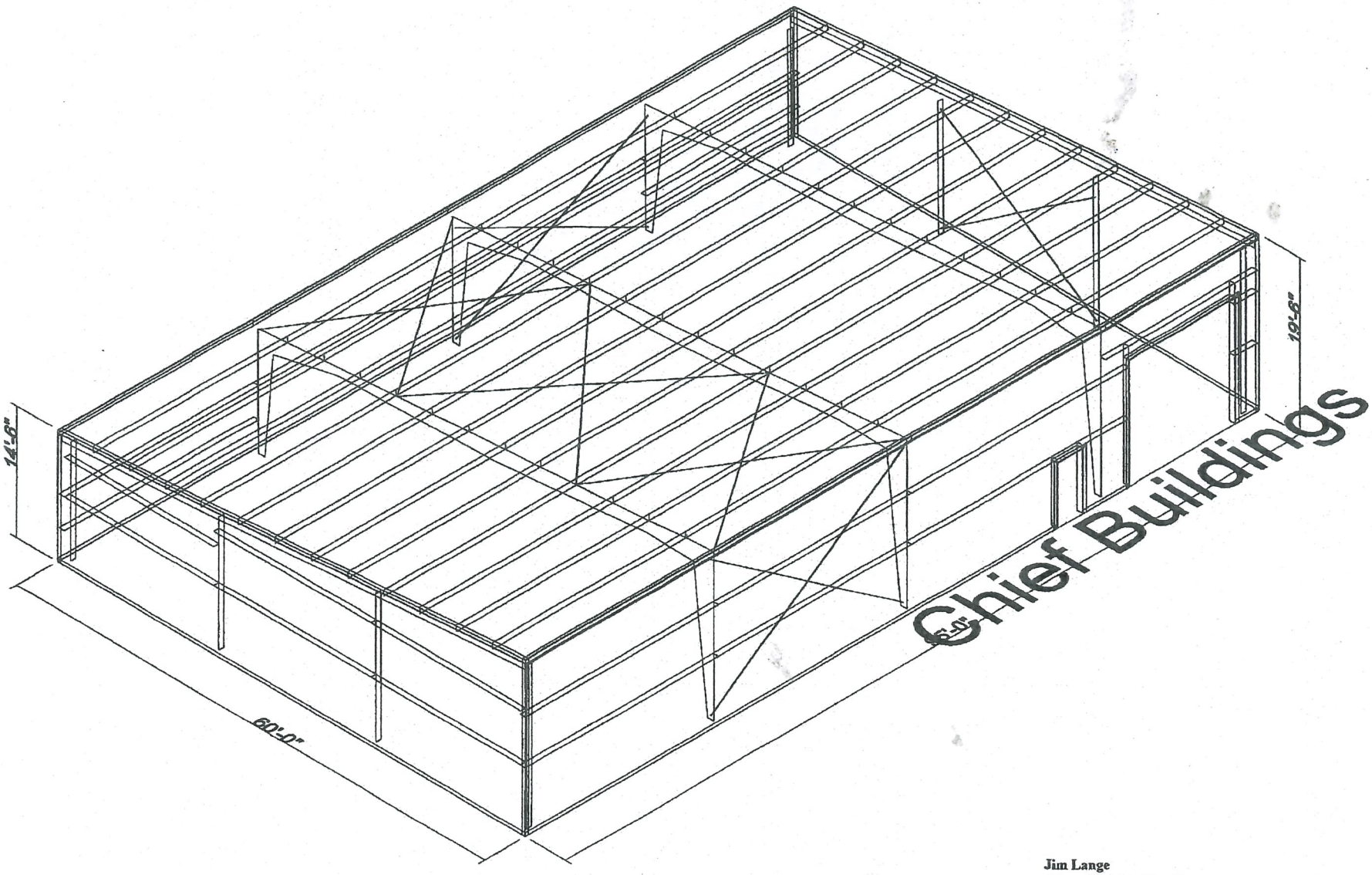
Hi Jason,

You're probably aware, but the storage building expansion was approved last night. Since the project is within 1 mile of the interstate, this still needs Caledonia approval.

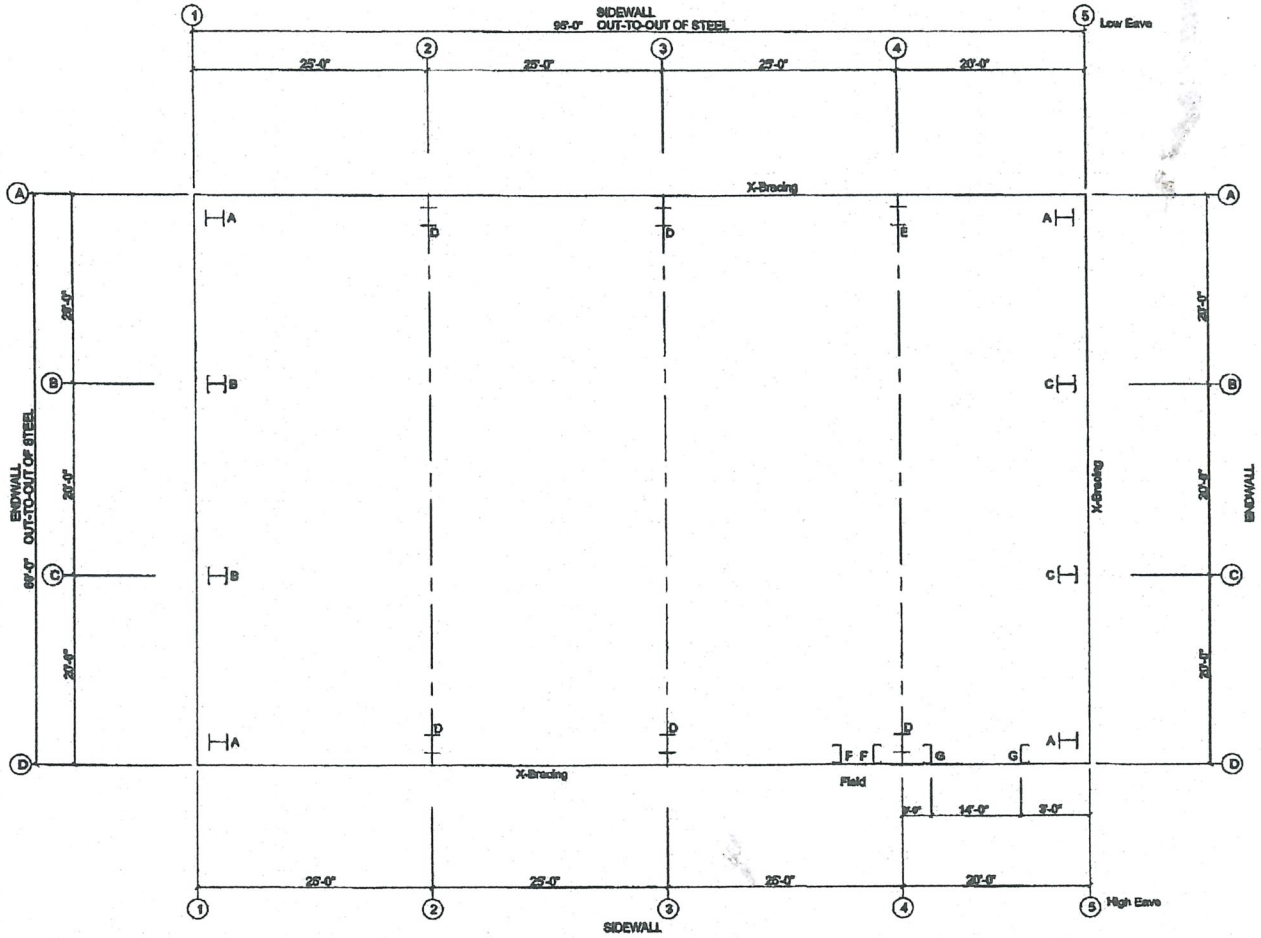
After you have that I can issue the zoning permit and you can apply for a building permit.

Shaun Mularkey, AICP
Lead Planner

Foth Infrastructure & Environment, LLC
7044 S. Ballpark Drive, Suite 200
Franklin, WI 53132
Office: (414) 336-7900
Direct: (414) 336-7907
Cell: (262) 323-1465
foth.com



Jim Lange
Mega Construction, Inc.
19650 Sommers Drive
Brookfield, WI 53045
262-796-2760 / Cell 262-993-1714
jlange@megacc.com



SIDEWALL

ANCHOR ROD PLAN

NOTE: All Base Plates @ 100'-0" (U.N.)

REFERENCE NOTES:

1. All Anchor Rods including nuts and washers for eave are not furnished by CHIEF BUILDINGS.
2. Anchor Rod material shall conform to ASTM F1554 having a minimum yield of 36KSI or greater.
3. Rod projections are recommended minimums based on the base plate bearing directly on the concrete pier. If the base plate is to bear on grout, the rod projection must be increased accordingly.
4. Concrete shall have a minimum strength of 3000 PSI.
5. ALL DRAWINGS ARE NOT TO SCALE.
6. Anchor Rod Summary Table.
   - Quantity includes all buildings, all phases.
   - However, anchor rods for Partitions and Smart Canopies are found on separate pages (when applicable).

ANCHOR ROD SUMMARY

Qty	Locate	Dia (in)	Type	Proj (in)
8	Jamb	1/2"	F1554	1.50
52	Sidewall	3/4"	F1554	2.00
24	Frame	3/4"	F1554	2.00

PRELIMINARY

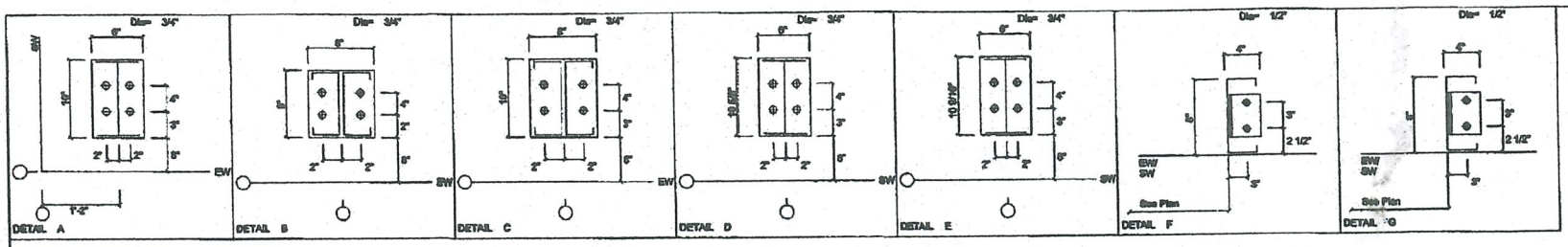
- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

NOT FOR CONSTRUCTION

Drawing	ANCHOR ROD
Buyer	Mega Construction, Inc.
End Owner	Unknown-Not Given
Jobsite Address	Milwaukee, WI 53291
Project Name	7 Mile Fair

CHIEF BUILDINGS

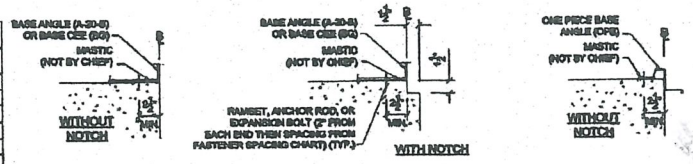
DATE DRAWN	QUOTE NO.
3/25/26	GF70609A



BASE ANCHORAGE SPACING FOR STANDARD BASE ANGLE, BASE CEE OR ONE PIECE BASE WITH CB OR AP WALLS			
FASTENER TYPE & DIAMETER		MINIMUM EMBEDMENT	MAXIMUM SPACING
5/8" HEAVY HEX ANCHOR	①	1 1/2"	1 @ 3'-0"
5/8" SHEET TYPE ANCHOR	②	1 1/2"	1 @ 3'-0"
3/8" CHEM ANCHOR		4" MIN HOLE OR HEX	1 @ 3'-0"
1/4" HAMMER	③	1 1/2"	1 @ 2'-0"
1/4 POWER ACTUATED	③	1 1/2"	1 @ 1'-0"

① HILTI HEAVY BOLT, RAMset TRUBOLT, POWERS POWERBOLD, OR EQUAL
② CPS TAPCON, HILTI KWIK-CON II, POWERS WEDGE-BOLT, OR EQUAL
③ POWERS DRIVE HAMMER SCREW, HILTI METAL HIT ANCHOR, OR EQUAL
④ POWERS BALLISTIC POST PIN, RAMset "EDGEMAN" SERIES, HILTI DX MEDIUM, HAS, OR EQUAL

FASTENER SPACING CHART



BASE MEMBER DETAILS

CONTRACTOR IS RESPONSIBLE FOR ANCHORING BASE MEMBER TO CONCRETE.

REFERENCE NOTES:

1. ACTUAL BASE PLATE DIMENSIONS MAY BE SMALLER THAN BASE PLATE DIMENSIONS SHOWN.

PRELIMINARY

- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

NOT FOR CONSTRUCTION

Drawing	ANCHOR ROD
Buyer	Mega Construction, Inc.
End Owner	Unknown-Not Given
Jobsite Address	Milwaukee, WI 53201
Project Name	7 Mile Fair

CHIEF BUILDINGS

DATE DRAWN	QUOTE NO.
3/25/26	GF70609A

ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

Frame Line	Col Line	Dead Horz	Dead Vert	Collat Horz	Collat Vert	Live Horz	Live Vert	Snow Horz	Snow Vert	Wind_Left Horz	Wind_Left Vert	Wind_Right Horz	Wind_Right Vert	Wind_Uplift Horz	Wind_Uplift Vert
1	A	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
1	B	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

Frame Line	Col Line	Sdwk_Left Horz	Sdwk_Left Vert	Sdwk_Right Horz	Sdwk_Right Vert	SPAT_R_L Horz	SPAT_R_L Vert	SPAT_R_R Horz	SPAT_R_R Vert	SPAT_R_U Horz	SPAT_R_U Vert	SPAT_R_D Horz	SPAT_R_D Vert
1	A	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
1	B	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

Frame Line	Col Line	SPAT_R_L Horz	SPAT_R_L Vert	SPAT_R_R Horz	SPAT_R_R Vert	SPAT_R_U Horz	SPAT_R_U Vert
1	A	0.0	0.0	0.0	0.0	0.0	0.0
1	B	0.0	0.0	0.0	0.0	0.0	0.0

Frame Line	Col Line	Wind_Left Horz	Wind_Left Vert	Wind_Right Horz	Wind_Right Vert	Wind_Uplift Horz	Wind_Uplift Vert	Sdwk_Left Horz	Sdwk_Left Vert	Sdwk_Right Horz	Sdwk_Right Vert	Wind_Uplift Horz	Wind_Uplift Vert
1	A	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
1	B	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

Frame Line	Col Line	SPAT_R_L Horz	SPAT_R_L Vert	SPAT_R_R Horz	SPAT_R_R Vert	SPAT_R_U Horz	SPAT_R_U Vert
1	A	0.0	0.0	0.0	0.0	0.0	0.0
1	B	0.0	0.0	0.0	0.0	0.0	0.0

a - Out of Plane to achieve wind reaction

ENDWALL COLUMN: MAXIMUM REACTIONS

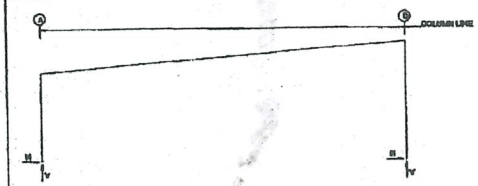
Frame Line	Col Line	Load ID	Horz H	Vert V	Load ID	Horz H	Vert V
1	A	5	0.0	-1.7	5	0.0	-1.7
1	B	7	0.0	-1.6	7	0.0	-1.6
1	C	7	0.0	-1.6	7	0.0	-1.6
1	D	7	0.0	-1.6	7	0.0	-1.6
6	D	5	0.0	-1.6	5	0.0	-1.6
6	C	5	0.0	-1.6	5	0.0	-1.6
6	B	5	0.0	-1.6	5	0.0	-1.6
6	A	5	0.0	-1.6	5	0.0	-1.6

BUILDING BRACING REACTIONS

Frame Line	Col Line	Wind Horz	Wind Vert	Sdwk Horz	Sdwk Vert	Fixed_Base Uplift	Sdwk
BW	1					0	0
BW	6	0.0	0.0	0.0	0.0		
FCW	6	0.0	0.0	0.0	0.0		
FCW	A	0.0	0.0	0.0	0.0		

Reactions for sdwk do represent shear force, lb
Reaction values shown are unfactored

FRAME LINE: 2 3 4



RIGID FRAME: MAXIMUM REACTIONS

Frame Line	Col Line	Load ID	Horz H	Vert V	Load ID	Horz H	Vert V
2	A	2	10.0	20.0	3	-0.0	-13.3
					6	-3.1	-13.3
2	D	4	0.0	-7.4	4	-13.6	13.3
		2	-10.0	20.0	1	3.0	-13.3

2' Frame Drift: 2 3

RIGID FRAME: MINIMUM REACTIONS

Frame Line	Col Line	Load ID	Horz H	Vert V	Load ID	Horz H	Vert V
4	A	2	13.3	21.0	3	-1.7	-3.4
					6	-3.3	3.4
4	D	4	3.3	-3.7	3	-13.3	21.0
		2	-13.3	21.0	6	1.7	-3.7

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Col Line	Dead Horz	Dead Vert	Collat Horz	Collat Vert	Live Horz	Live Vert	Snow Horz	Snow Vert	Wind_Left Horz	Wind_Left Vert	Wind_Right Horz	Wind_Right Vert
2	A	-1.5	2.0	1.5	2.0	-1.7	3.5	-2.0	2.0	-1.5	-2.0	1.5	-2.0
2	D	-1.5	2.0	-1.5	2.0	-1.7	3.5	-2.0	2.0	-1.5	-2.0	1.5	-2.0

Frame Line	Col Line	Wind_Left Horz	Wind_Left Vert	Wind_Right Horz	Wind_Right Vert	Wind_Uplift Horz	Wind_Uplift Vert	Sdwk_Left Horz	Sdwk_Left Vert	Sdwk_Right Horz	Sdwk_Right Vert
2	A	-1.5	-2.0	1.5	-2.0	-1.7	3.5	-2.0	-2.0	1.5	-2.0
2	D	-1.5	-2.0	-1.5	-2.0	-1.7	3.5	-2.0	-2.0	1.5	-2.0

Frame Line	Col Line	Sdwk_Left Horz	Sdwk_Left Vert	Sdwk_Right Horz	Sdwk_Right Vert	Wind_Left Horz	Wind_Left Vert	Wind_Right Horz	Wind_Right Vert	Wind_Uplift Horz	Wind_Uplift Vert
2	A	-1.5	-2.0	1.5	-2.0	-1.7	3.5	-2.0	-2.0	1.5	-2.0
2	D	-1.5	-2.0	-1.5	-2.0	-1.7	3.5	-2.0	-2.0	1.5	-2.0

Frame Line	Col Line	Wind_Uplift Horz	Wind_Uplift Vert	Sdwk_Left Horz	Sdwk_Left Vert	Sdwk_Right Horz	Sdwk_Right Vert	Wind_Uplift Horz	Wind_Uplift Vert
2	A	-1.5	-2.0	1.5	-2.0	-1.7	3.5	-2.0	-2.0
2	D	-1.5	-2.0	-1.5	-2.0	-1.7	3.5	-2.0	-2.0

2' Frame Drift: 2 3

CONTROLLING LOAD CASES

1 Dead+Collateral+Snow+Sdwk_Left
2 Dead+Collateral+Snow+Sdwk_Right
3 Collateral+Wind_Left
4 Collateral+Wind_Right
5 Collateral+Wind_Uplift
6 Dead+Collateral+Snow+1.0SPAT_R_L
7 Collateral+Wind_Left+0.6Wind_Uplift
8 Collateral+Wind_Pressure+0.6Wind_Uplift
9 Dead+Collateral+Snow+1.0SPAT_R_R
10 Dead+Collateral+Snow+1.0SPAT_R_U
11 Dead+Collateral+Snow+0.6SPAT_R_L
12 Dead+Collateral+Snow+0.6SPAT_R_R
13 Collateral+Wind_Left+0.6Wind_Uplift
14 Dead+Collateral+Snow+1.0SPAT_R_R
15 Collateral+Wind_Right+0.6Wind_Uplift
16 Dead+Collateral+Snow+1.0SPAT_R_L
17 Dead+Collateral+Snow+0.6SPAT_R_L

PRELIMINARY

- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

NOT FOR CONSTRUCTION

Drawing	ANCHOR ROD
Buyer	Mega Construction, Inc.
End Owner	Unknown-Not Given
Jobsite Address	Milwaukee, WI 53201
Project Name	7 Mile Fair

CHIEF BUILDINGS

DATE DRAWN	QUOTE NO.
3/25/26	GF70609A

1. Column footings and piers shall be designed to withstand horizontal and vertical reactions as shown on the Anchor Rod Plan. Chief Buildings is not responsible for design of concrete foundations. Chief Buildings recommends that the services of a qualified engineer be employed by the contractor/builder to design the foundations for the indicated reactions.

2. Reactions are provided in both Ground and Anchored conditions. The BASIC COMBINATIONS tables are for Anchored conditions only and combo combined as required for footings, columns, and foundation design. The MAXIMUM REACTIONS tables provide the maximum and minimum vertical and horizontal reactions using the load combinations for Allowable Stress Design. The Load for here out of position other to the combined combination in the CONTROLLING LOAD CASES tab.

3. A list of common load cases with their abbreviations and description is provided on the Reaction pages.

   a. Longitudinal cases represent dynamic rolling loads (wind, seismic, etc.) acting perpendicular to the primary frames (parallel to displacement) while lateral cases represent dynamic rolling parallel to the primary frame (perpendicular to displacement).

   b. Different wind cases (WLX, WRX, WLYD, LX, WLYU, RX, WP, WS, etc.) represent different wind conditions and do not need to be combined together.

   c. Combined combined conditions (FIL1 to FIL2) represent different combinations of seismic (E_h or E_v) and lateral pressure conditions (W_{LX}) as required by code.

   d. Rolling loads with cases containing L or R designation represent the primary direction the load is acting from (WLX forward and case F acting from behind right).

   e. For unbalanced snow load cases (FWW_BL_), L and R represent the side of the roof with the larger snow load. Unbalanced cases do not need to be combined with other (BL).

   f. Wind Pressure (WP) and Wind Suction (WS) are implicitly load cases acting on windward and leeward faces on the endwalls and do not need to be combined with other wind cases.

   g. Snow Drift (SRFT) and Sliding Snow (SLIDE) are combined separately with Snow (SL) instead of having all three in the same combination.

   h. Future live and future snow cases represent the partial loading cases required by code for multi-span roof configurations. Future live cases (FWW_LL_) do not need to be combined with Live (LL) but future snow cases (FWW_SL_) should be combined with Snow (SL).

   i. The various snow cases represent different snow load locations and direction, as well as different combinations of snows in the case of multiple hinges and eaves. The different snow cases do not need to be combined.

4. Reactions shown in the table for GROUND SPACING REACTIONS have not been combined in the Basic Column Reactions values for wind (uplift, lateral, wind length) or seismic (axis long). Reactions in the table for GROUND SPACING REACTIONS have not been combined in the Basic Column Reactions. However, the vertical (uplift) reactions have been included in the Maximum Reactions values and otherwise. Note: the "lateral" reactions in the Anchored tables of the Controlling loading generally acting perpendicular to the column axis and 90 degrees to the "lateral" reactions shown in the Basic Column Reactions and Maximum Reactions.

5. Reactions provided for wind loads (lateral loads) and/or seismic loads are been combined with the reactions of adjacent/same columns. In the case of a single foundation element supporting both columns, the foundation engineer should apply both provided reactions to the element. Reactions for wind loads are generally bidirectional and should be considered to act in both positive and negative directions.

6. Reactions are given in kips. (1 kip = 1000 lbs.) Moments, Temp, are given in kip-ft.

7. The signs of the reactions represent to the direction of the arrows provided in the corresponding graphic of each frame (a positive reaction is in direction of the arrow). The direction of the arrow represents the direction of the reaction required to resist the loading basis and should be shown to the opposite direction when loading the foundation elements (an upward reaction will apply a downward force on the foundation, while a lateral reaction will apply a rightward force on the foundation).

8. Anchor rod design is based on shear, tension, and combined tension and shear. Due to large plate holes being only 1/16 over size of the anchor rod, shear shear transfer will be dependent of the anchor rods in accordance to manufactured anchor rod. Chief Buildings is not responsible for anchor rod shear connections where the anchor rod configuration places the rods in bending. Where the column base plate hole-to-anchor rod plate holes are enlarged, the contractor/builder or foundation engineer must engineer bending in the anchor rods and provide a shear key for the column base to the plan where the anchor rods are not adequate to resist bending about the plate.

9. Use to standard base plate holes being sufficiently smaller than the hardened anchor rod/anchor anchored rods, weld washers are not required. Follow consult due to field installations or consult up to foundation engineer/anchor requirements may need weld washers. Chief Buildings should be contacted to work as need.

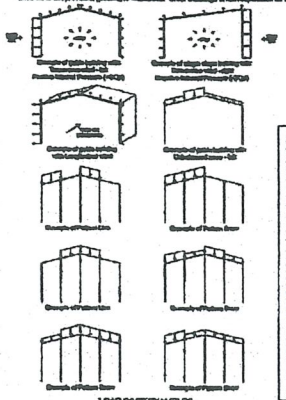
10. According to the foundation design, shear keys may be required to transfer large shear forces into the foundation or to prevent bending in the anchor rods. Detailing the need for and sizing of shear keys is the responsibility of the foundation engineer.

11. Reactions for foundation footings are minimum. The foundation designer may need to calculate the reactions based on footing width, footing length and the applicable structural shown on the Frame Wind Zone (FZW) drawings. The provided loads are based on the Design Criteria shown on the Project Notes (PN) drawing and are unbalanced.

12. Reactions for portion columns are shown on the PORTICO WALL PLAN drawings. The provided Maximum Reaction is the largest reaction resulting using Allowable Stress Design combinations, of all columns along the wall position. The foundation engineer may calculate a more detailed set of reactions by multiplying each column's tributary area by the applicable anchor rod reaction. For interior positions, the wind load is controlled by code minimums for uniform load according to IBC section 1607.13. Wind loads for portions exposed to be anchor loads are to found on the Frame Wind Zone (FZW) drawings. The provided loads are based on the Design Criteria shown on the Project Notes (PN) drawing and are unbalanced.

13. Anchor rod be installed at each anchor rod and fully engaged with the rod threads. Full engagement is achieved with the end of thread in, at minimum, flush with the top of the nut. The projection of the anchor rod shall be of sufficient distance to allow for the rod installation to fully engage the threads. The rod should be in full contact with the washer and washer in contact with the base plate. If the anchor rod "overhangs" from an other for full contact, foundation designer may require an alternate attachment.

14. Base plates for columns must generally rest on the slab or concrete pedestal. The base plate thickness is based on the column base rating to 1/2 (0.5 in) thickness with the concrete distributed. If base plate cannot sit flush on the concrete or 1/2 in. of contact between base plate and concrete is not provided, grouting is required. Chief Buildings is not responsible for the grouting.



LOAD CASE EXAMPLES

PRELIMINARY

- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

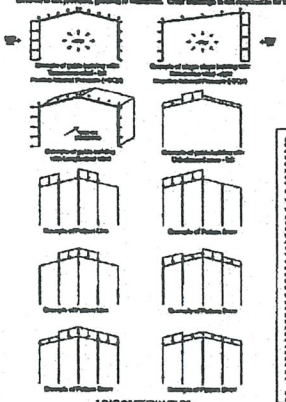
NOT FOR CONSTRUCTION

Drawing	ANCHOR ROD
Buyer	Mega Construction, Inc.
End Owner	Unknown-Not Given
Jobsite Address	Milwaukee, WI 53201
Project Name	7 Mile Fair

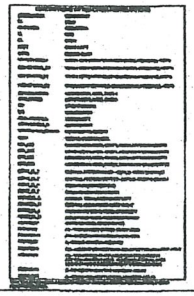
CHIEF BUILDINGS

DATE DRAWN	QUOTE NO.
3/25/26	GF70809A

1. Column footings and piers shall be designed to withstand horizontal and vertical reactions as shown on the Anchor Rod Plan. Chief Buildings is not responsible for design of concrete foundations. Chief Buildings recommends that the services of a qualified engineer be employed by the customer/owner to design the foundations for the indicated reactions.
2. Reactions are provided in both Ground and Anchored conditions. The BASE COLUMN REACTIONS values are for fixed anchored bases and anchor combined as required for stiffness, moments, and foundation design. The MAXIMUM REACTIONS values provide the maximum and minimum vertical and horizontal reactions using the load combinations for Allowable Stress Design. The Load for each set of reactions shown in the combined combination is the CONTROLLING LOAD CASE#.
3. A list of minimum load cases with their abbreviations and description is provided on the reaction pages.
   a. Longitudinal cases represent dynamic shifting loads (wind, seismic, etc.) acting perpendicular to the primary frame (parallel to ridge beam) while lateral cases represent loading parallel to the primary frame (perpendicular to ridge beam).
   b. Different wind cases (WLL, WR1, WR2, LL, WRR1_R1, WP, WS, etc.) represent different wind conditions and do not need to be combined together.
   c. Different combined combinations (FULL1 vs FULL2) represent different combinations of ordered (D_L or D_R) and blanket patterns combined (DL_B) as required by code.
   d. Sliding loads with cases containing L or R directly have represent the primary direction the load is acting from (DL1 is wind load acting from left to right).
   e. For unbalanced snow load cases (FUNS_R_*), L and R represent the low side of the roof with the larger snow load. Unbalanced snow drift cases need to be combined with Snow (SL).
   f. Wind Pressure (WP) and Wind Suction (WS) are longitudinal load cases acting on windward and leeward faces on the endwalls and do not need to be combined with other wind cases.
   g. Snow Drift (SNFT) and Sliding Snow (SLSN) are combined separately with Snow (SL) instead of including all three in the same combination.
   h. Pattern live and pattern snow cases represent the partial loading cases required by code for continuous multi-span beam analysis. Pattern live cases (FUNF_LL_*) do not need to be combined with Live (LL) but pattern snow cases (FUNF_SL_*) should be combined with Snow (SL).
   i. The various cases cases represent different snow load location and direction, as well as different combinations of cases in the case of multiple bridges and skins. The different cases cases do not need to be combined.
4. Reactions shown in the table for BASE COLUMN REACTIONS have not been combined in the Basic Column Reactions values for wind (wind_length, wind_length) or seismic (seis_long). Reactions in the table for GROUND REACTIONS have not been combined in the Basic Column Reactions. However, the vertical (gravity) reactions have been included in the Maximum Reactions values and shown. Note: The "max" reactions in the horizontal vector of the diagonal loading generally acting perpendicular to the column web and 45 degrees to the "max" reaction shown in the Basic Column Reactions and Maximum Reactions.
5. Reactions provided for wind loads (gusts) based and they contain have not been combined with the reactions of adjacent frame columns. In lieu of a single foundation element supporting both columns, the foundation engineer should apply both provided reactions to the element. Reactions for wind loads are reversible and should be calculated to act in both positive and negative directions.
6. Reactions are given in kips. (1 lbs = 1000 lbs.) Moments, Force, are given in kips.
7. The signs of the reactions correspond to the directions of the axes provided in the corresponding panels of each frame (a positive reaction is in direction of the axis). The direction of the axes represents the direction of the moment required to resist the loading loads and should be taken in the opposite direction when loading the foundation elements (an upward reaction will apply a downward force on the foundation, and a downward reaction will apply a upward force on the foundation).
8. Anchor rod design is based on shear, tension, and combined tension and shear. Base plates below bolts bolts only 3/16 over size of the anchor rod, check shear transfer, stiffener bracing of the anchor rods is required between the base plate and anchor rod. Chief Buildings is not responsible for anchor rod shear connections where the anchor rod configuration shown the side is binding. Where the column base plate bears on grout or base plate holes are enlarged, the contractor/installer or foundation engineer shall investigate bearing in the anchor rods and provide a shear key for the column base below the plate when the anchor rods are not adequate to resist bending about the plate.
9. For standard base plate holes being sufficiently smaller than the hardened washer and anchor washer and nuts, weld washers are not required. Holes oversized due to field installations or oversizing to foundation engineer/installer requirements may need weld washers. Chief Buildings should be contacted in such an event.
10. According to the foundation design, shear keys may be required to transfer large shear forces into the foundation or to prevent bending in the anchor rods. Determining the need for and sizing of shear keys is the responsibility of the foundation engineer.
11. Reactions for transverse frames are minimum. The foundation designer may elect to calculate the reactions based on frame tributary length length and the applicable wind/load shown on the Project Wind Zone (PWZ) drawings. The provided loads are based on the Design Criteria shown on the Project Notes (PN) drawings and are calculated.
12. Reactions for portion columns are shown on the PORTICO WALL PLAN drawings. The provided Maximum Reaction is the largest factored reaction, using Allowable Stress Design combinations, of all columns along the wall portion. The foundation engineer may calculate a more detailed set of reactions by multiplying each column tributary area by the applicable similar calculated load. For interior portions, the wind load is calculated by code minimum (for example 8 psf according to IBC section 1609.1.2). Wind loads for portions accessible to vehicle loads can be found on the Panel Wind Zone (PWZ) drawings. The provided loads are based on the Design Criteria shown on the Project Notes (PN) drawings and are calculated.
13. A rod must be installed at each anchor rod and fully engaged with the rod threads. Full engagement is achieved with the rod at least to, at minimum, flush with the top of the rod. The projection of the anchor rod shall be of sufficient distance to allow for the rod installation to fully engage the threads. The rod should be in full contact with the washer and washer is welded with the base plate. If the anchor rod "protrusion" does not allow for full contact, foundation designer may require an alternate attachment.
14. Base plates for columns are generally washer for slab or concrete pedestal. The base plate thickness is based on the column base being to 50 (50ksi) contact with the concrete distributed. If base plate cannot all touch on the concrete or 100% of contact between base plate and concrete is not provided, grouting is required. Chief Buildings is not responsible for the grouting.



LOAD CASE EXAMPLES



PRELIMINARY

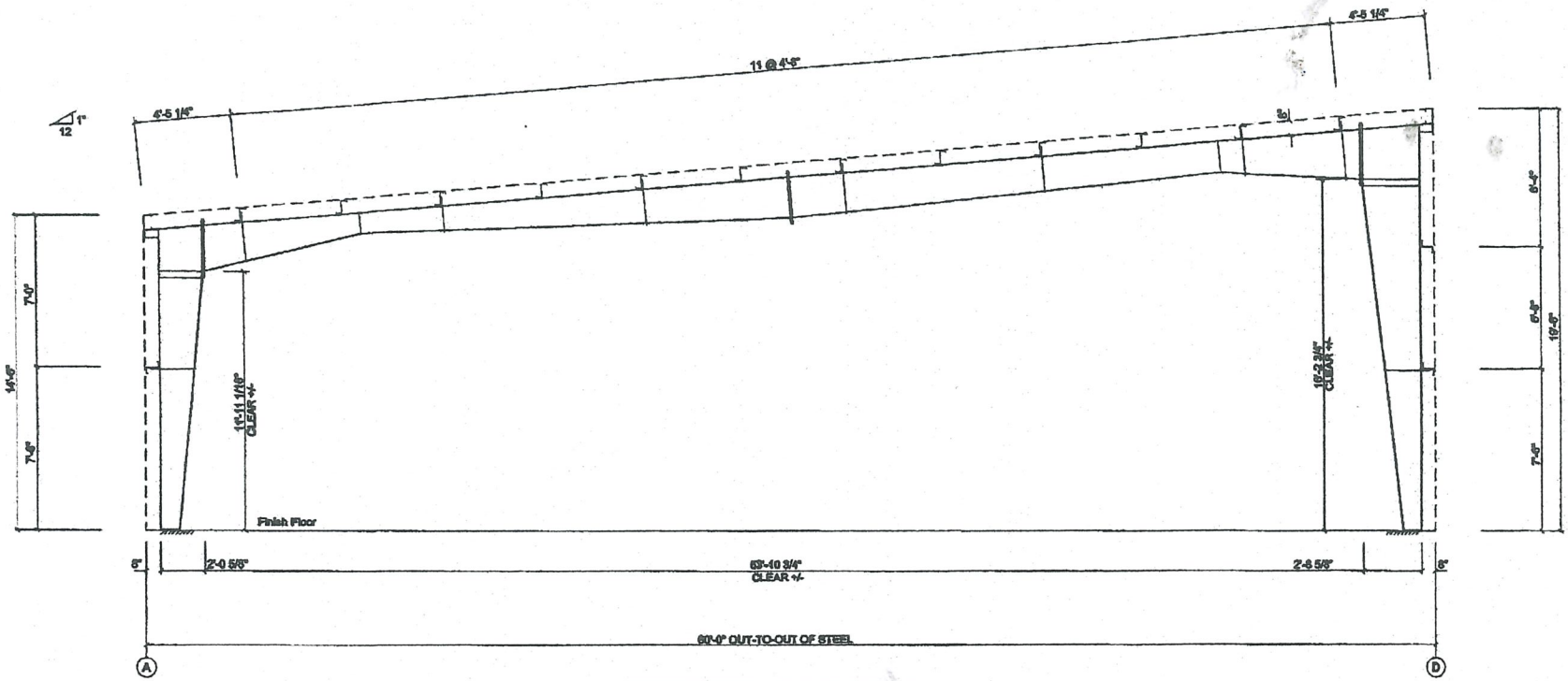
- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

NOT FOR CONSTRUCTION

Drawing	ANCHOR ROD
Buyer	Mega Construction, Inc.
End Owner	Unknown-Not Given
Jobsite Address	Milwaukee, WI 53201
Project Name	7 Mile Fair

CHIEF BUILDINGS

DATE DRAWN	QUOTE NO.
3/25/26	GF70609A



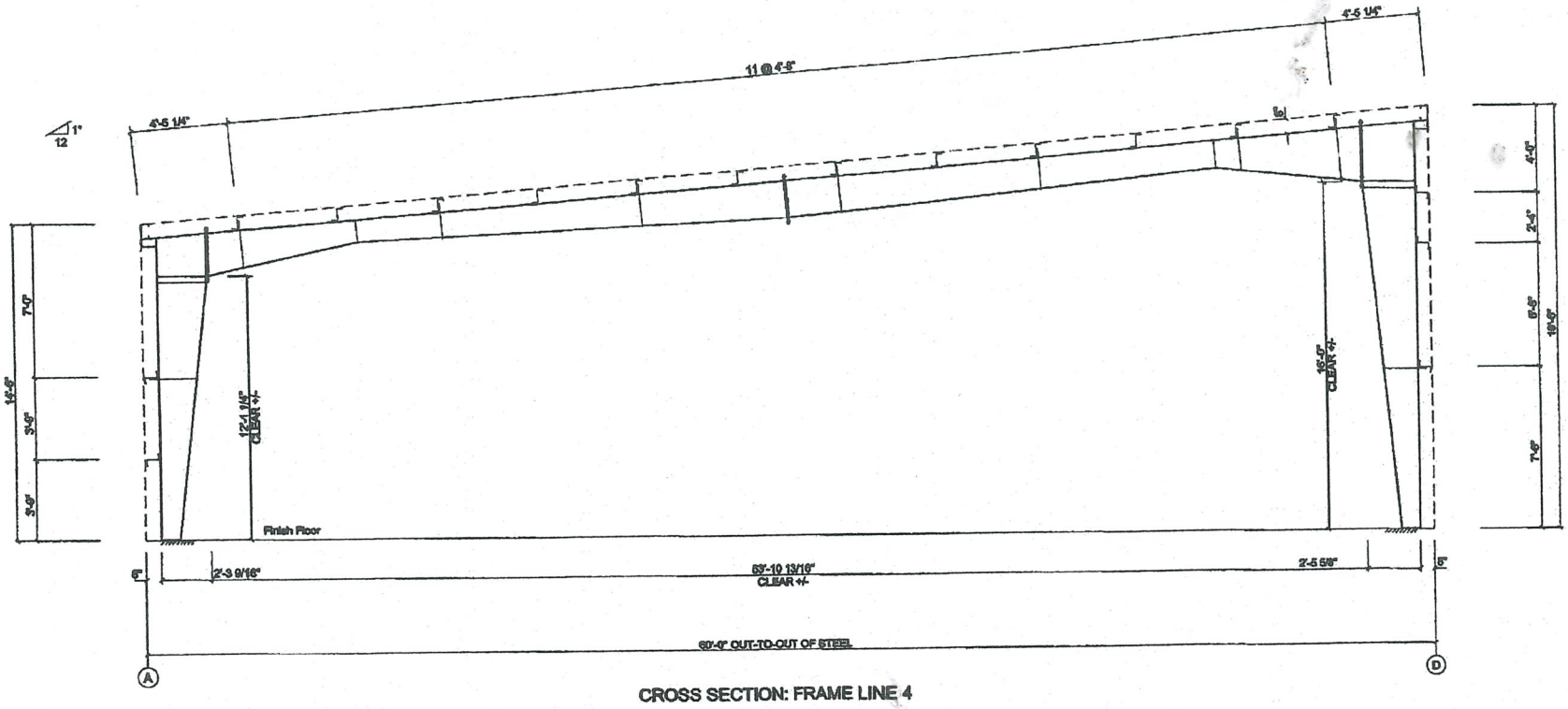
CROSS SECTION: FRAME LINE 2 3

PRELIMINARY

- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

NOT FOR CONSTRUCTION

Drawing	CROSS SECTION		
Buyer	Mega Construction, Inc.		
End Owner	Unknown-Not Given		
Jobsite Address	Milwaukee, WI 53201		
Project Name	7 Mile Fair		
CHIEF BUILDINGS		DATE DRAWN	QUOTE NO.
		3/25/26	GF70609A



CROSS SECTION: FRAME LINE 4

PRELIMINARY

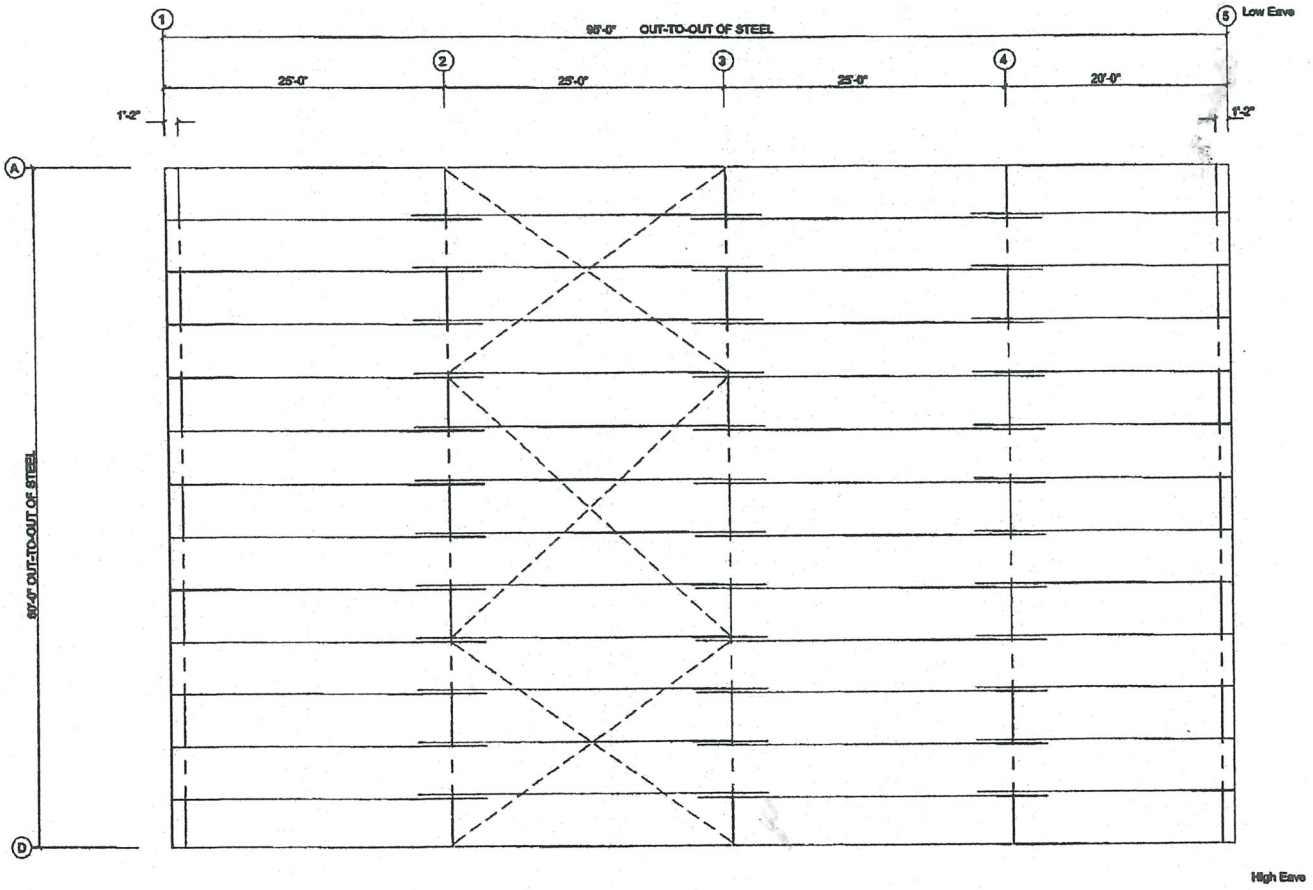
- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

NOT FOR CONSTRUCTION

Drawing	CROSS SECTION
Buyer	Maga Construction, Inc.
End Owner	Unknown-Not Given
Jobsite Address	Milwaukee, WI 53201
Project Name	7 Mile Fair

CHIEF BUILDINGS

DATE DRAWN	QUOTE NO.
3/25/26	GF70609A



ROOF FRAMING PLAN

PRELIMINARY

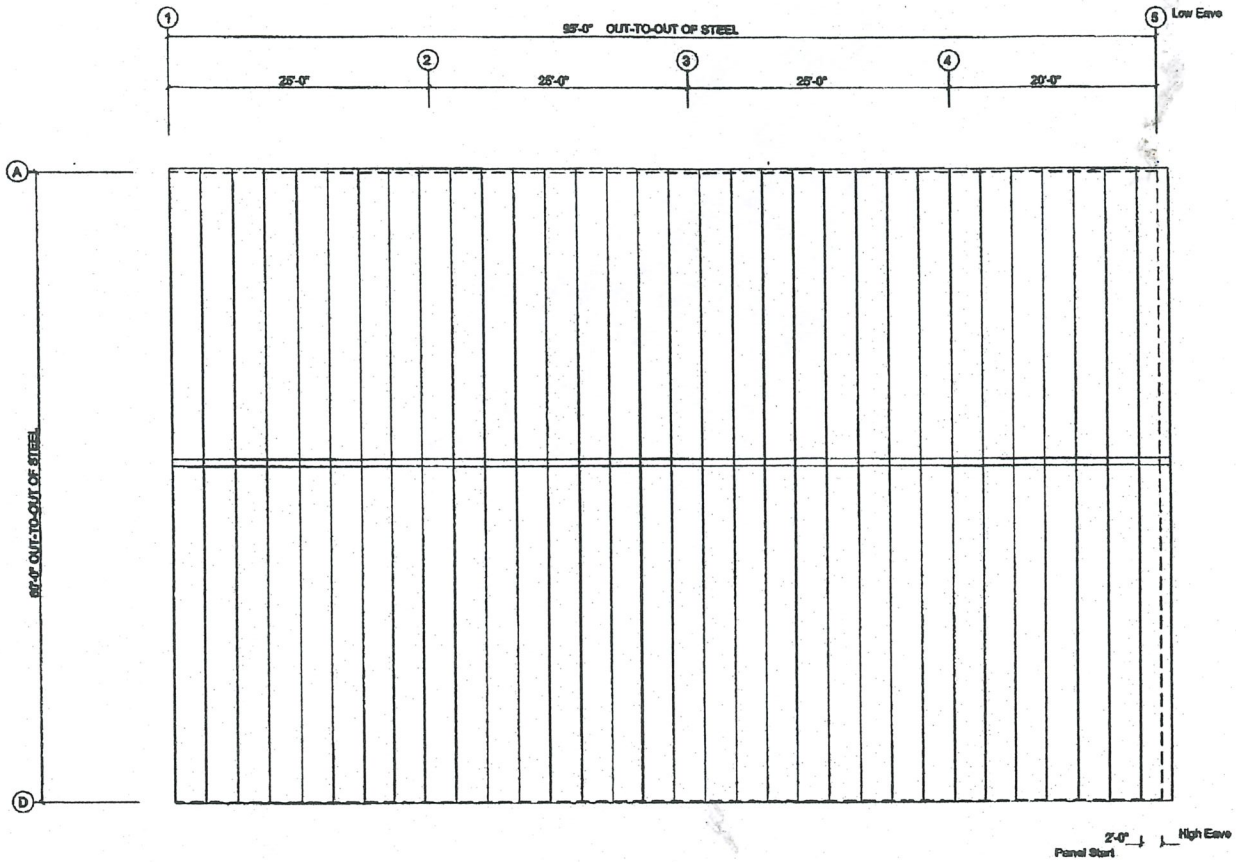
- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

NOT FOR CONSTRUCTION

Drawing	ROOF FRAMING
Buyer	Mega Construction, Inc.
End Owner	Unknown-Not Given
Jobsite Address	Milwaukee, WI 53201
Project Name	7 Mile Fair

CHIEF BUILDINGS

DATE DRAWN	QUOTE NO.
3/25/26	GF70609A



ROOF SHEETING PLAN

PANELS: 26 Ga. CS - Galvalume (GM)

PRELIMINARY

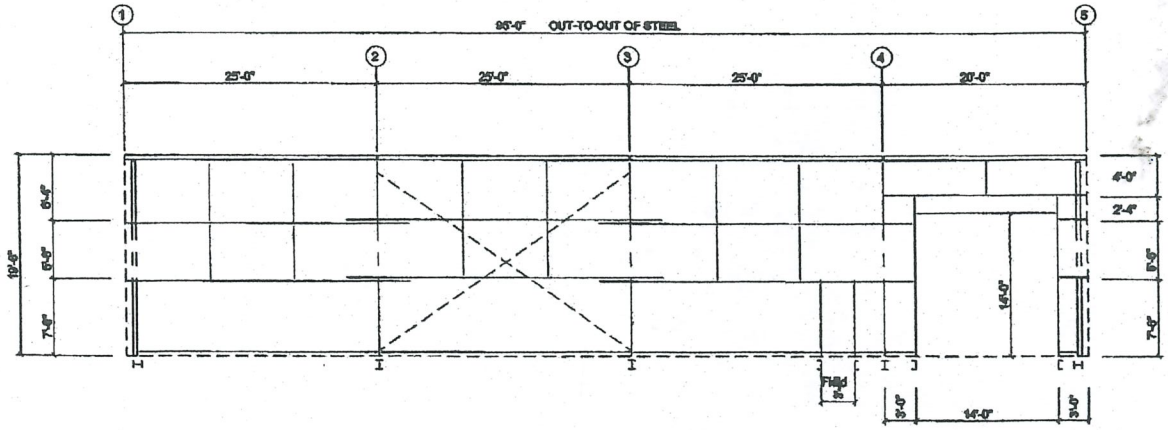
- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

NOT FOR CONSTRUCTION

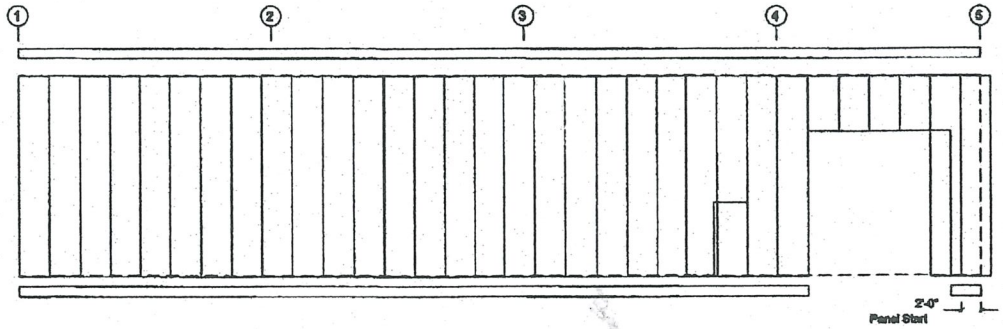
Drawing	ROOF SHEETING
Buyer	Mega Construction, Inc.
End Owner	Unknown-Not Given
Jobsite Address	Milwaukee, WI 53201
Project Name	7 Mile Fair

CHIEF BUILDINGS

DATE DRAWN	QUOTE NO.
3/25/26	GF70609A



SIDEWALL FRAMING: FRAME LINE D



SIDEWALL SHEETING & TRIM: FRAME LINE D

PANELS: 26 Ga. AP - Std.PVDF-FEVE Finish

GIRT DEPTH: 8.00

PRELIMINARY

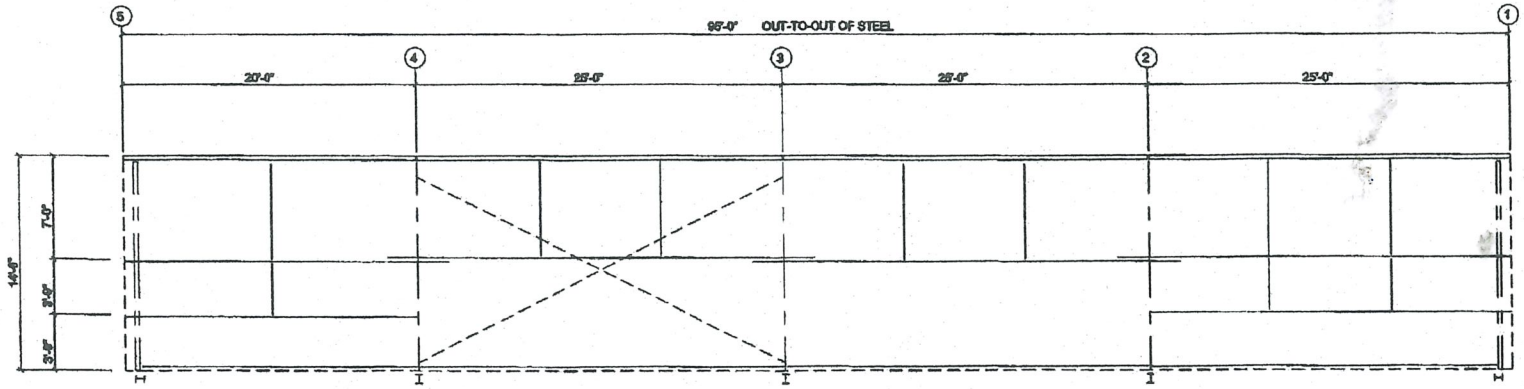
- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

NOT FOR CONSTRUCTION

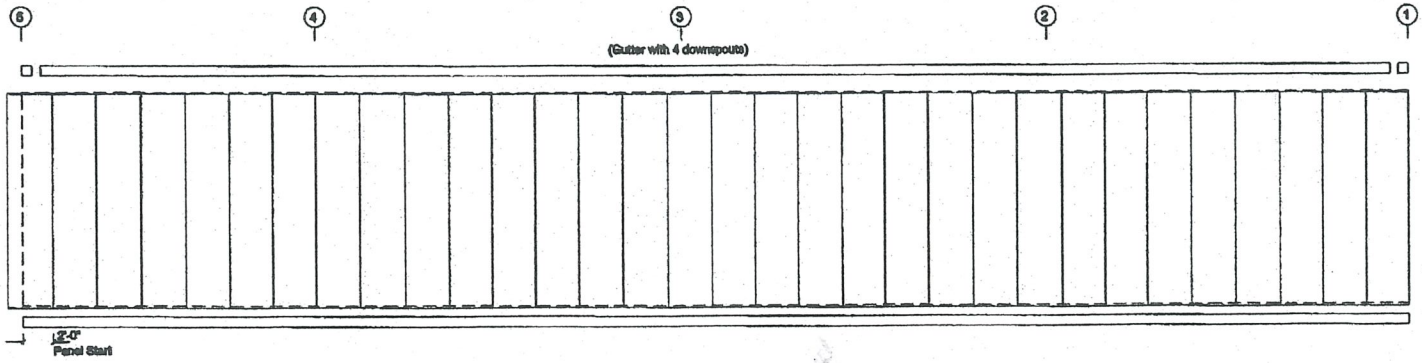
Drawing	SIDEWALL DRAWING
Buyer	Mega Construction, Inc.
End Owner	Unknown-Not Given
Jobsite Address	Milwaukee, WI 53201
Project Name	7 Mile Fair

CHIEF BUILDINGS

DATE DRAWN	QUOTE NO.
3/25/26	GF70609A



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL SHEETING & TRIM: FRAME LINE A

PANELS: 26 Ga. AP - Std.PVDF-FEVE Finish

GIRT DEPTH: 8.00

PRELIMINARY

- Preliminary drawings for sales and estimating purposes only.
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Drawing	SIDEWALL DRAWING
Buyer	Mega Construction, Inc.
End Owner	Unknown-Not Given
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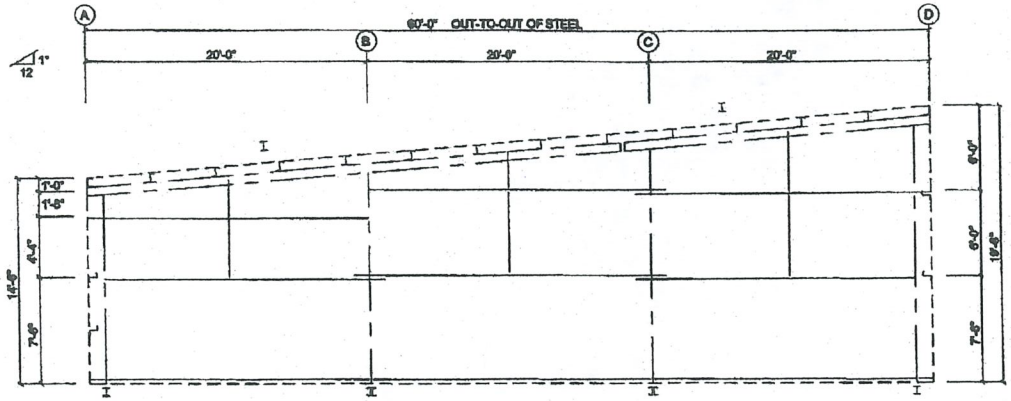
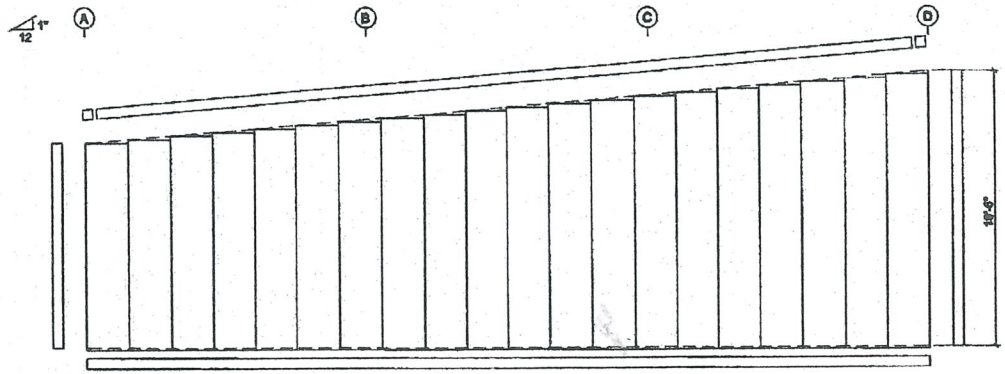
Project Name	7 Mile Fair

CHIEF BUILDINGS

DATE DRAWN	QUOTE NO.
3/25/26	GF70609A



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Ga. AP - Std.PVDF-FEVE Finish

GIRT DEPTH: 8.00

PRELIMINARY

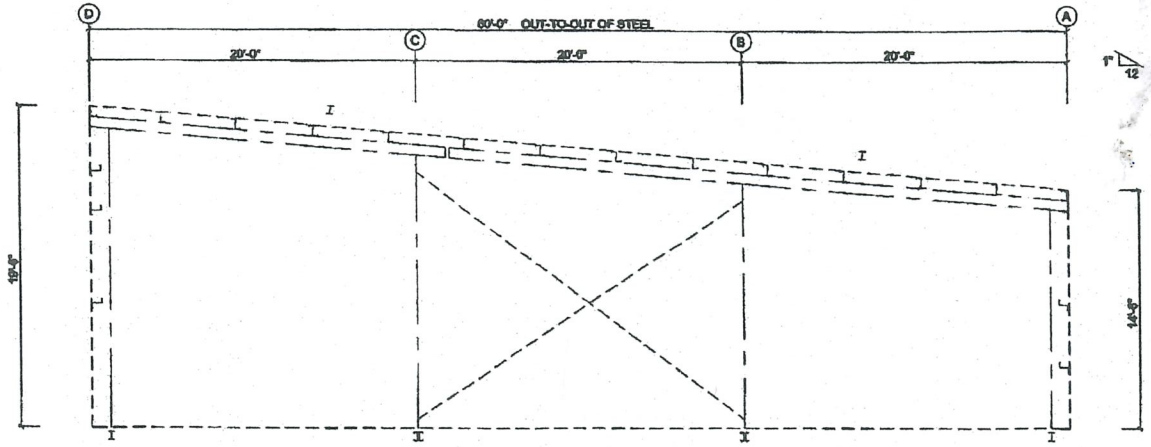
- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

NOT FOR CONSTRUCTION

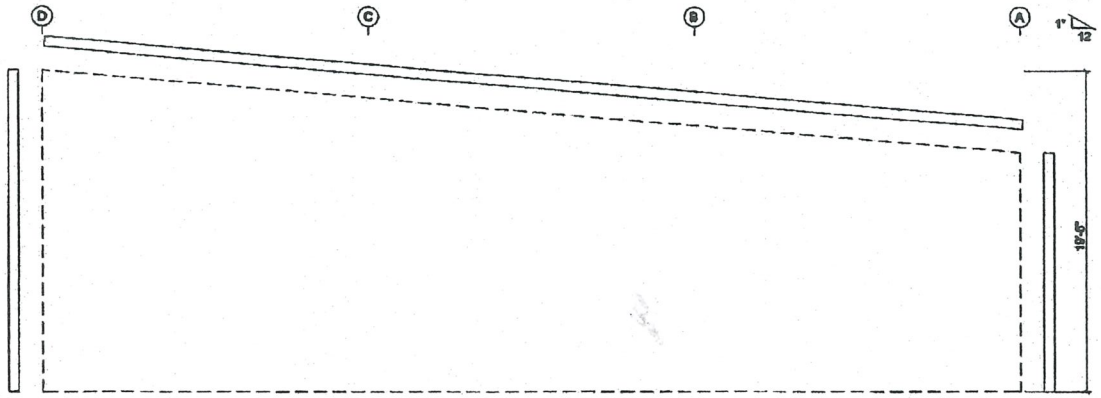
Drawing	ENDWALL DRAWING
Buyer	Mega Construction, Inc.
End Owner	Unknown-Not Given
Jobsite Address	Milwaukee, WI 53201
Project Name	7 Mile Fair

CHIEF BUILDERS

DATE DRAWN	QUOTE NO.
3/25/26	GF70609A



ENDWALL FRAMING: FRAME LINE 5



ENDWALL SHEETING & TRIM: FRAME LINE 5

GIRT DEPTH: 8.00

PRELIMINARY

- Preliminary drawings for sales and estimating purposes only.
- Subject to change during order process.

NOT FOR CONSTRUCTION

Drawing	ENDWALL DRAWING
Buyer	Mega Construction, Inc.
End Owner	Unknown-Not Given
Jobsite Address	Milwaukee, WI 53201
Project Name	7 Mile Fair

CHIEF BUILDINGS

DATE DRAWN	QUOTE NO.
3/25/26	GF70609A

MEGACON-02 MWITTENMEIER01

ACORD

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 6/9/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER
AssuredPartners
2501 Parmenter Street Suite 200A
Middleton, WI 53562

CONTACT NAME:
PHONE (A/C, No, Ext): (608) 827-4525 FAX (A/C, No): (608) 827-4712
E-MAIL ADDRESS: certificates.apwi-mid@assuredpartners.com

INSURER(S) AFFORDING COVERAGE	NAIC #
INSURER A: Selective Insurance Company of America	12572
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	
INSURER F:	

INSURED
Mega Construction Inc
19650 Sommer Drive
Brookfield, WI 53045

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	X COMMERCIAL GENERAL LIABILITY CLAIMS-MADE X OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: POLICY PRO-JECT LOC OTHER:			S 2618133	6/8/2025	6/8/2026	EACH OCCURRENCE	$ 2,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	$ 500,000
							MED EXP (Any one person)	$ 15,000
							PERSONAL & ADV INJURY	$ 2,000,000
							GENERAL AGGREGATE	$ 4,000,000
							PRODUCTS - COMP/OP AGG	$ 4,000,000
								$
A	AUTOMOBILE LIABILITY X ANY AUTO OWNED AUTOS ONLY SCHEDULED AUTOS HIRED AUTOS ONLY NON-OWNED AUTOS ONLY			S 2618133	6/8/2025	6/8/2026	COMBINED SINGLE LIMIT (Ea accident)	$ 1,000,000
							BODILY INJURY (Per person)	$
							BODILY INJURY (Per accident)	$
							PROPERTY DAMAGE (Per accident)	$
								$
A	X UMBRELLA LIAB X OCCUR EXCESS LIAB CLAIMS-MADE DED X RETENTION $ 0			S 2618133	6/8/2025	6/8/2026	EACH OCCURRENCE	$ 5,000,000
							AGGREGATE	$ 5,000,000
								$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) Y/N If yes, describe under DESCRIPTION OF OPERATIONS below	N/A		WC 9136334	6/8/2025	6/8/2026	X PER STATUTE X OTH-ER	
							E.L. EACH ACCIDENT	$ 500,000
							E.L. DISEASE - EA EMPLOYEE	$ 500,000
							E.L. DISEASE - POLICY LIMIT	$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Sample

CERTIFICATE HOLDER

Mega Construction Inc
19650 Sommer Drive
Brookfield, WI 53045

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE
Kyle McPadd

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MEGA CONSTRUCTION, INC.

19650 Sommers Drive Brookfield, WI 53045
262-796-2760

STANDARD TERMS AND CONDITIONS

SAFETY:
Building Owner / General Contractor to abide by all current OSHA regulations.

PERMITS:
All permits and fees are to be obtained and paid for by others. Mega Construction, Inc. will furnish Professional Engineer stamped plans from the building manufacturer to assist others in obtaining required permits.

INSURANCE:
Building owner or general contractor shall carry builder's risk, fire, tornado and other necessary insurance for all materials delivered to or stored on site, and all steel erection work in place. Mega Construction, Inc. will carry workman's compensation and public liability insurance.

HOLD HARMLESS AGREEMENTS:
Our proposal excludes any losses caused by the sole negligence of our customers or the end customer. We do not agree to provide any additional insurance coverage provisions that are not provided in our current insurance policy.

OTHER TRADES:
All concrete, masonry, site work, mechanical, electrical, plumbing, HVAC, interior finishes and engineering for same are to be by others.

SITE CONDITIONS:
Adequate site access is required (i.e., compacted stone or gravel), for delivery trucks, crane, forklifts and building storage. We need a level working area, a minimum of 15' wide around the perimeter of the building. Electrical power and temporary toilets are to be provided by others (i.e., General Contractor). All waste and debris caused by our trade will be picked up and placed in a pile or dumpster (dumpster provided by others). Snow removal to be provided by others (i.e., General Contractor) if necessary to perform our work. Building foundation must be back filled and ready to accept structure. Any additional cost due to poor or inadequate site conditions will be invoiced immediately. Cleaning mud or dirt from the steel or sheeting is not included. All concrete work must be done in compliance with SENRAC requirements.

DELIVERY:
Price quoted is based on erection beginning immediately upon delivery of building to the site. If Mega Construction, Inc. must unload the building and is unable to immediately begin erection for any reason beyond our control, an additional $1,250.00 per load will be invoiced to the customer.

SHORTAGES AND DELAYS:
All site work necessary to complete the erection of the building must be completed before we start. A charge of $1,500.00 will be billed each time Mega Construction, Inc. must pull off the job for any reason beyond our control.

PAYMENT
All materials delivered to the site that Mega Construction, Inc. has been authorized to supply, will be invoiced immediately with payment due and payable within (31) days. Labor costs will be invoiced for work completed through the end of each month, and are due and payable by the 30th of the following month. Any invoices that are not paid within (30) days are subject to interest charges of 18% per annum.

ATTORNEY'S FEES
Should Mega Construction, Inc. employ an attorney to institute litigation, mediation or arbitration to enforce any provision of this subcontract, or to collect damages or debt under this subcontract, then Mega Construction, Inc. shall be entitled to recover reasonable attorney's fees, costs and expenses incurred by Mega Construction, Inc.

RETAINAGE:
The price quoted assumes no retainage!

SCHEDULE:
Our proposal is based on Mega Construction, Inc. and the customer, reaching a mutual agreement on erection schedule and contract terms. Additional pricing may be required if original schedule is delayed, changed, accelerated or compressed.