



Village of East Troy
2015 Energy Drive
East Troy, WI 53120

Inspections
call (262) 352-4433
fax (262) 642-6259

Permit No. _____

Parcel No. RLB 00046

Property Address: 1610 Carriage Drive

Zoning Permit Application

OFFICE USE ONLY

Application Number: _____ Fee Paid: \$ _____ Check # _____ Fee Received By: _____ Date Received: _____

Property Owner

Name Nickolas and Crysta Wolf

Street address 224 Corby Drive

City, state, zip code North Prairie, WI 53153

Daytime telephone (262) 391-6056

E-mail address wolfna@gmail.com

Agent, if any

General description of proposed project (add sheet if necessary):

Seeking an exception for an oversized attached garage on a new single family home. The garage is larger than 70% the first floor square footage.

For assistance in the zoning districts, please visit: <https://villageofeasttroy.zoninghub.com/>

Zoning Information

Zoning District(s) (check all that apply)

- ☐ RH-35 Rural Holding
☐ SR-3 Estate Residential
☒ SR-4 Suburban Residential
☐ SR-5 Neighborhood Residential
☐ SR-6 Traditional-Front Residential
☐ SR-7 Traditional-Rear Residential
☐ TR-8 Two-Family Residential
☐ AR-9 Attached Residential
☐ MR-10 Multi-Family Residential
☐ MRH-6 Mobile Home Residential
☐ NB Neighborhood Business
☐ HB Highway Business
☐ CB Central Business
☐ BP Business Park
☐ LI Light Industrial
☐ GI General Industrial

Setbacks and Offsets

(N,S,E,W)

Front-yard setback: 26 feet from building foundation to base setback line (road right-of-way)

Side-yard offset: 9.00 feet from building foundation to north property boundary line

Side-yard offset: 13.88 feet from building foundation to south property boundary line

Rear-yard offset: 72.96 feet from building foundation to east property boundary line

Setback: N/A feet from building foundation to Flood Plain (if any)

Setback: N/A feet from building foundation to Shoreland Wetland (if any)

Overlay Zoning Districts

- ☐ PD Planned Development
☐ DD Downtown Design
☐ GP Groundwater Protection
☐ NFC Natural Features Conservancy
☐ FP 100 year Flood Plain
☐ S Shoreland
☐ SW Shoreland Wetland

Floor Area of Buildings in square feet from exterior wall to exterior wall (overhangs exceeding 2' shall be included)

	Existing	Proposed
Principal building (first floor)	N/A	1150
Principal building (second floor)	N/A	1060
Attached garage	N/A	1151
Detached building (#1)	N/A	N/A
Detached building (#2)	N/A	N/A
Total	3361	3361

Sanitary Permit No. (Buildings requiring sanitation only): _____

Applicant certification

- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the Zoning Administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner Signature(s):

Nickolas A. Wolf
Crysta M. Wolf

Date:

6/12/26
6/12/26

PLAT OF SURVEY

LOT 46 OF LAKE BLUFF SUBDIVISION, BEING PART OF CERTIFIED SURVEY MAP No. 2265, LOCATED IN THE SE ¼, NW ¼, & SW ¼, OF THE SW ¼ OF SECTION 17, (GOVERNMENT LOT 3) TOWNSHIP 4 NORTH, RANGE 18 EAST, VILLAGE OF EAST TROY, WALWORTH COUNTY, WISCONSIN.

LEGEND:

(100.00')

RECORDED DISTANCE

100.00'

MEASURED DISTANCE

●

1" FOUND IRON PIPE, UNLESS NOTED

⊙

¾" x 18" IRON PIPE SET, 1.13 lbs./L.F.

⊕

WATER VALVE

W LAT

WATER LATERAL

S LAT

SANITARY LATERAL

⊙

STORM MANHOLE

⊙

SANITARY MANHOLE

⊗

LIGHT POLE

E

ELECTRIC TRANSFORMER

E

ELECTRIC PEDESTAL

T

TELEPHONE PEDESTAL

T

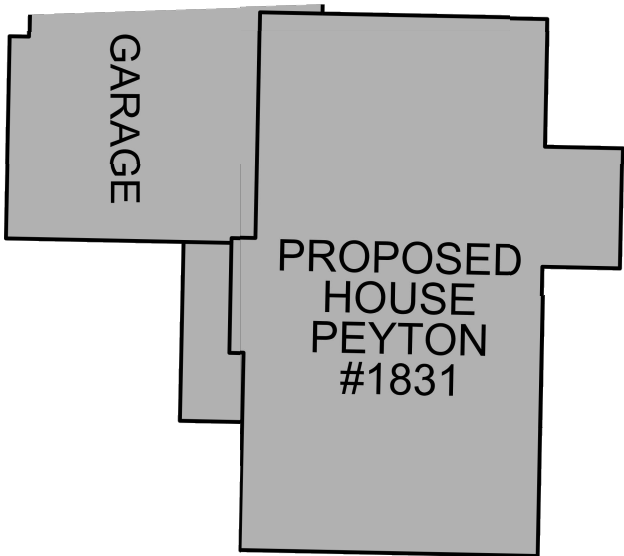
CABLE TV PEDESTAL

NOTES:

THIS PARCEL IS SUBJECT TO ALL AND ANY RESTRICTIONS, EASEMENTS AND NOTES SHOWN ON THE FINAL PLAT OF LAKE BLUFF SUBDIVISION RECORDED AT THE WALWORTH COUNTY REGISTER OF DEEDS.

EXPOSE SANITARY LATERAL PRIOR TO CONSTRUCTION TO VERIFY GRAVITY FLOW TO BASEMENT.

PROPOSED GRADES PER GRADING PLAN OR ADJUSTED BY BUILDER. CONTRACTOR TO VERIFY ALL PROPOSED GRADES AND WALL HEIGHTS PRIOR TO EXCAVATION.



PROPOSED ELEVATIONS	
YARD GRADE	863.60
EXPOSURE	NA
GARAGE FLOOR AT FIREDOOR	864.27
GARAGE FLOOR AT OVERHEAD DOOR	863.94
FOUNDATION HEIGHT	8.00
BASEMENT FLOOR EL	856.52
TOP FOOTING EL	856.27
TOP FOUNDATION	864.27
DRIVEWAY LENGTH TO BOW	40.56
ELEV AT BACK CURB	861.56
DRIVEWAY SLOPE TO EOP	6.68%



THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE TITLE TO WITHIN ONE (1) YEAR FROM DATE HERETO.

I, MICHAEL A. GREESON P.L.S. #2770, HEREBY CERTIFY THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR PROPERTY SURVEYS (CHAPTER A-E 7) FOR THE STATE OF WISCONSIN AND HAS BEEN PREPARED UNDER MY DIRECTION AND CONTROL AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

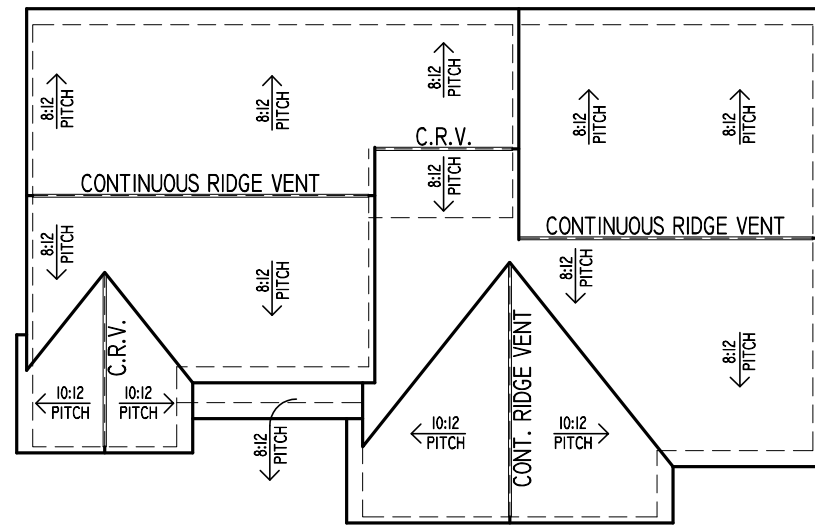
SURVEY MADE FOR:
BIELINSKI HOMES, INC.
1830 MEADOW LANE
PEWAUKEE, WI 53072

DATE	ITEM
04/20/2026	PRELIM SURVEY
04/29/2026	PERMIT SURVEY

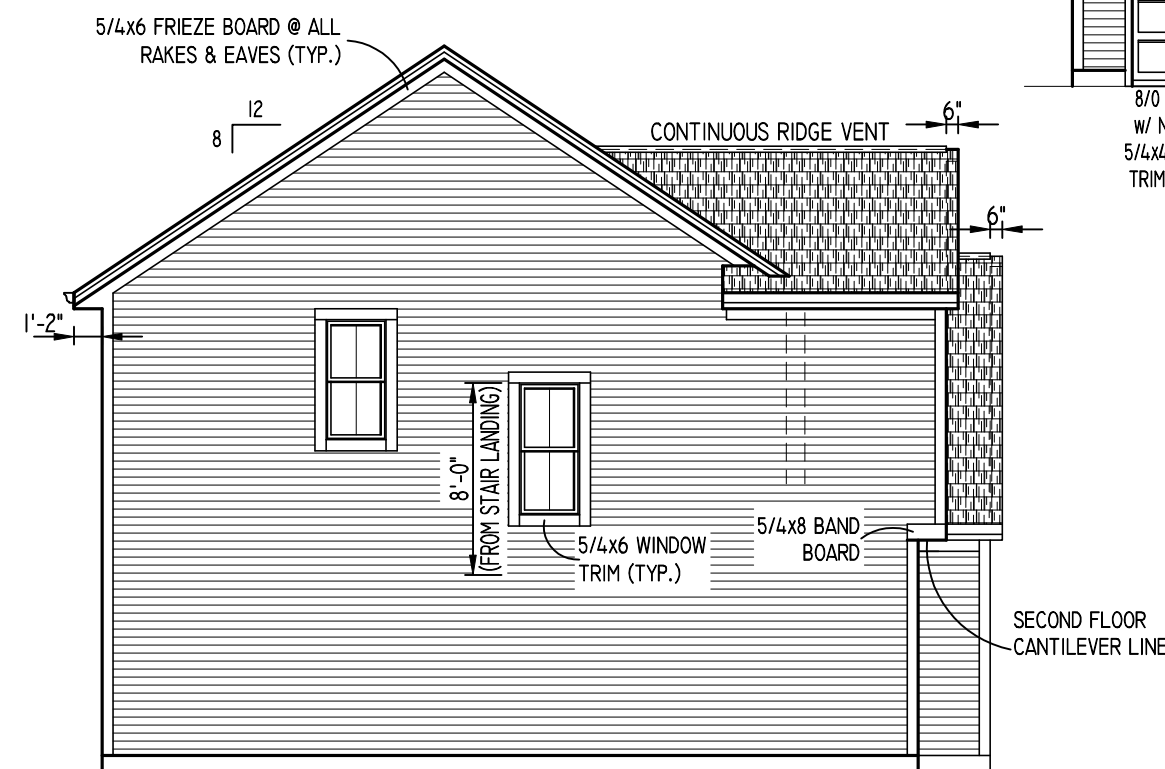
V²G

SURVEYING, LLC

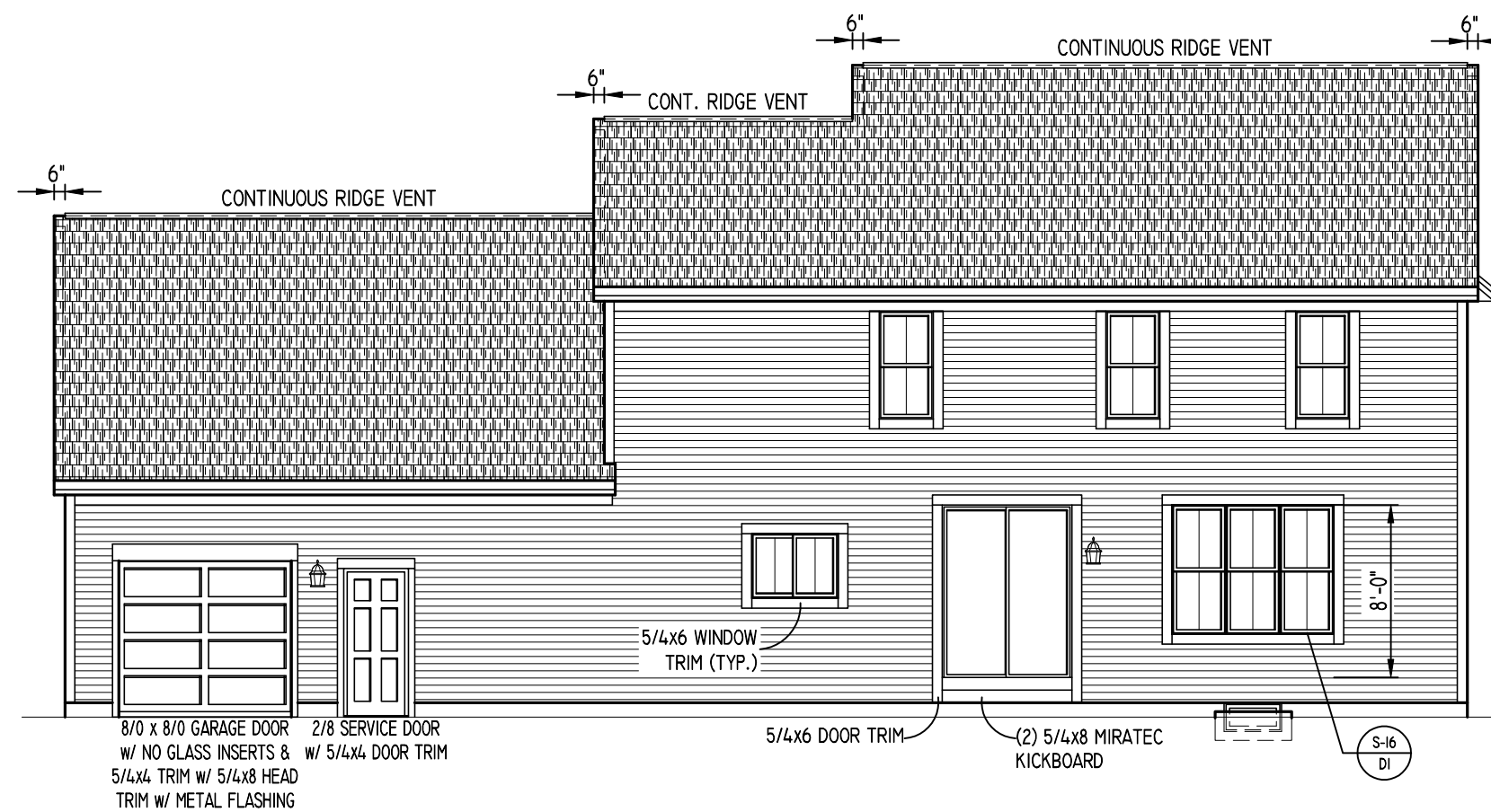
123 WOLF RUN - SUITE 4
MUKWONAGO, WI 53149
(262) 378-5097



ROOF PLAN
SCALE: 1/16" = 1'-0"

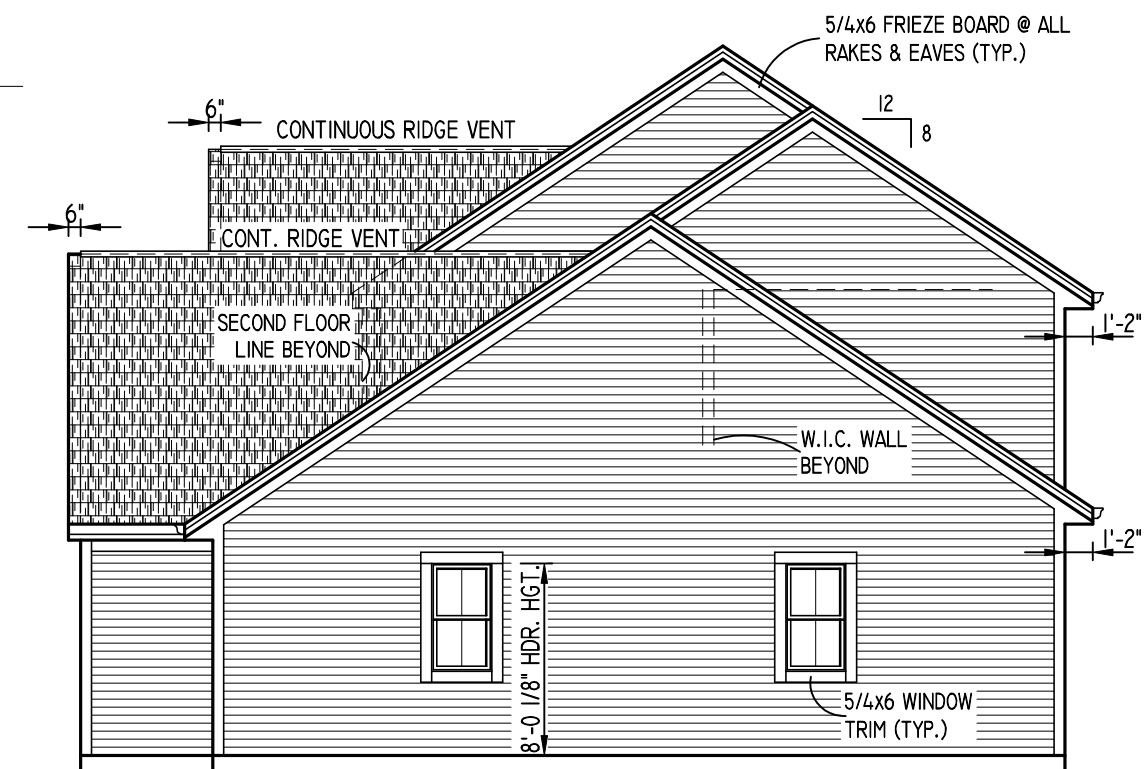


RIGHT ELEVATION

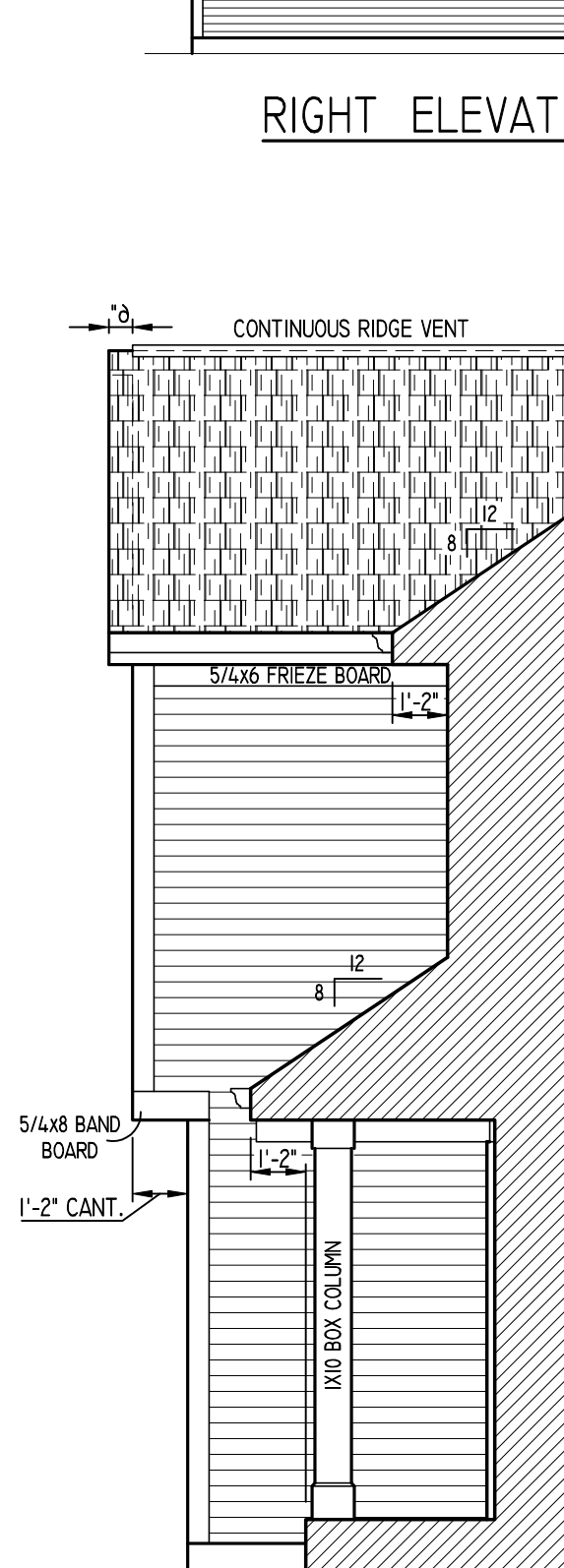


REAR ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: HEEL HEIGHTS ARE AS FOLLOWS:
-8:12 ROOF PITCH (7 11/16" HEEL) W/ 1'-2" OVERHANG
-10:12 ROOF PITCH (10 1/16" HEEL) W/ 1'-2" OVERHANG



LEFT ELEVATION



BUILDING SECTION/ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS

- ROOFING: DIMENSIONAL SHINGLES.
- SIDING: VINYL SIDING.
- 5/4x6 & 5/4x4 MIRATEC CORNERS BOARDS.
- VINYL CORNER ON INSIDE CORNERS.
- FASCIA: 8" ALUMINUM CLAD.
- SOFFIT: VENTED ALUMINUM.
- RAKE FASCIA: 6" ALUMINUM CLAD.
- RAKE TRIM: 3" ALUMINUM CLAD.
- RAKE FRIEZE: 5/4x6 MIRATEC.
- FIXTURE BLOCKS: PAINTED MIRATEC @ STONE AREAS.
- GARAGE JAMB: PAINTED MIRATEC.
- (1) ROW (3'-0" WIDE) ICE & WATER SHIELD ENTIRE LENGTH ALL VALLEYS
- ICE & WATER SHIELD AS REQUIRED @ SADDLES.

BIELINSKI
HOMES

1830 Meadow Lane, Suite A • Pewaukee, WI 53072 • (262) 542-9494

Revision	By	Date

Built for:
Nickolas & Crysta Wolf
Lake Bluff Ph.III Lot# 46
East Troy, WI 53120
Village Of East Troy

Job Number:
LAB3-H-0046

Phase: FINAL PLANS
Drawn By: JAB

Plan Date: 4/7/26 Release Date: 5/27/26

Technical Data:
SQUARE FOOTAGE:
1ST FLOOR - 1150 SQ. FT.
2ND FLOOR - 1060 SQ. FT.
OPEN VOLUME - N/A
TOTAL 2210 SQ. FT.

GARAGE AREA - 1151 SQ. FT.

OVERALL WIDTH - 65'-0"
OVERALL DEPTH - 41'-0"

Model:
SKYLAR

Elevation: NEW ENGLAND FARMHOUSE
Plan: #2210 Series: HARMONY

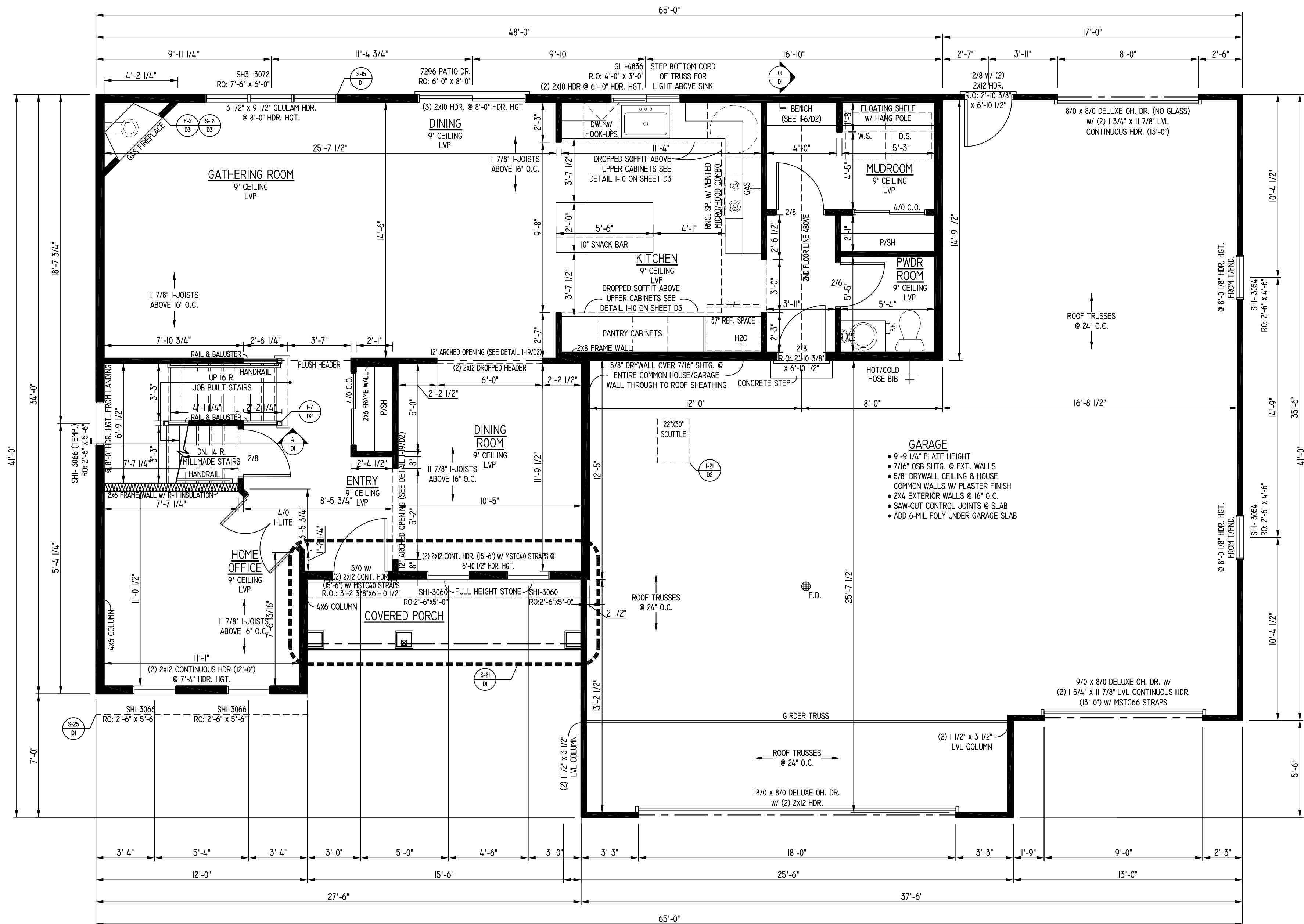
Sheet Title
3-CAR GARAGE ELEVATION

Sheet Number

1 of 4

FINAL PLANS

5/27/26



FIRST FLOOR PLAN

9'-1 1/8" PLATE HGT.

SCALE: 1/4" = 1'-0"

- WINDOW CALLOUTS IN FEET/INCHES
- WINDOW HEAD HEIGHT @ 8'-0" A.F.F. U.N.O.
- ALL VERTICAL SEAMS IN EXTERIOR WALL SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS
- ALL SEAMS IN ROOF SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS
- REVERSE OSMOSIS WATER PURIFYING SYSTEM INCLUDES LINE TO KITCHEN SINK, FAUCET & LINE TO ICE MAKER

FINAL PLANS
5/27/26

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HOMES

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Revision	By	Date

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East Troy, WI 53120
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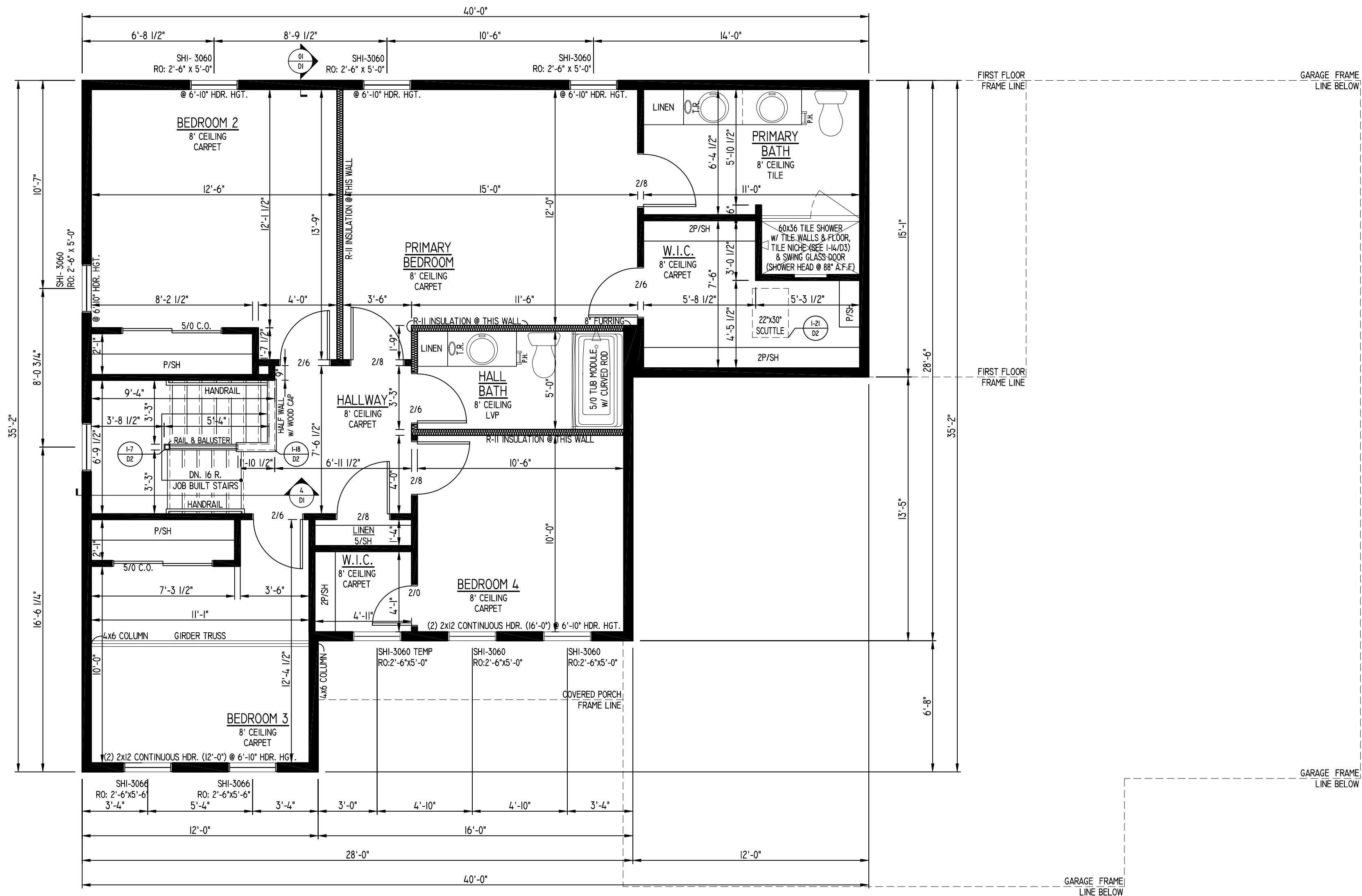
Elevation: NEW ENGLAND FARMHOUSE
Plan: #2210 Series: HARMONY

Sheet Title
FIRST FLOOR
PLAN

Sheet Number

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Model: SKYLAR
Series: HARMONY
Elevation: NEW ENGLAND FARMHOUSE
Plan: #2210



SECOND FLOOR PLAN

8'-1 1/8" PLATE HGT. SCALE: 1/4" = 1'-0"

- WINDOW CALLOUTS IN FEET/INCHES
- WINDOW HEAD HEIGHT @ 6'-10" A.F.F. U.N.O.
- ALL VERTICAL SEAMS IN EXTERIOR WALL SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS
- ALL SEAMS IN ROOF SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS

FINAL PLANS

5/27/26

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Model: SKYLAR
Elevation: NEW ENGLAND FARMHOUSE
Plan: #2210
Series: HARMONY

BELINSKI
HOMES
1830 Meadow Lane, Suite A • Pewaukee, WI 53072 • (262) 542-9494

Revision	By	Date

Built for:
Nickolas & Crysta Wolf
Lake Bluff Ph.III Lot# 46
East Troy, WI 53120
Village Of East Troy

Job Number:
LAB3-H-0046

Phase: FINAL PLANS

Drawn By: JAB

Plan Date: 4/7/26 Release Date: 5/27/26

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OVERALL WIDTH - 65'-0"
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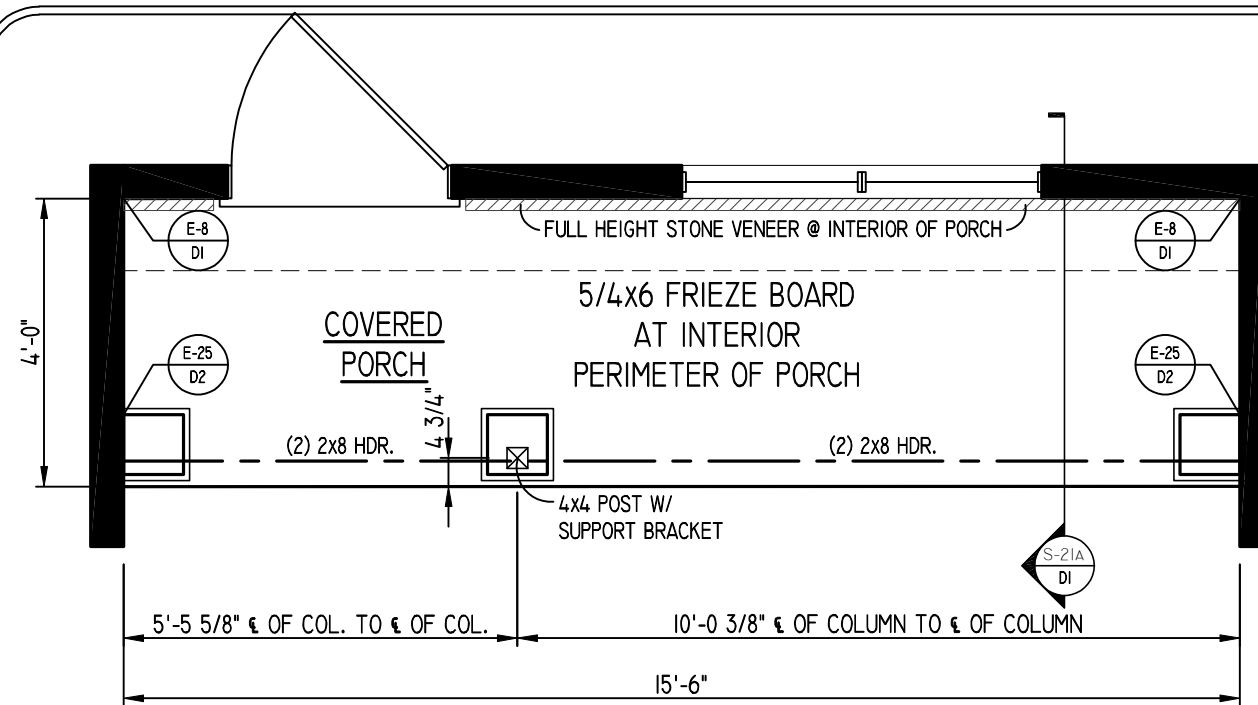
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Plan: #2210 Series: HARMONY

Sheet Title
SECOND FLOOR PLAN

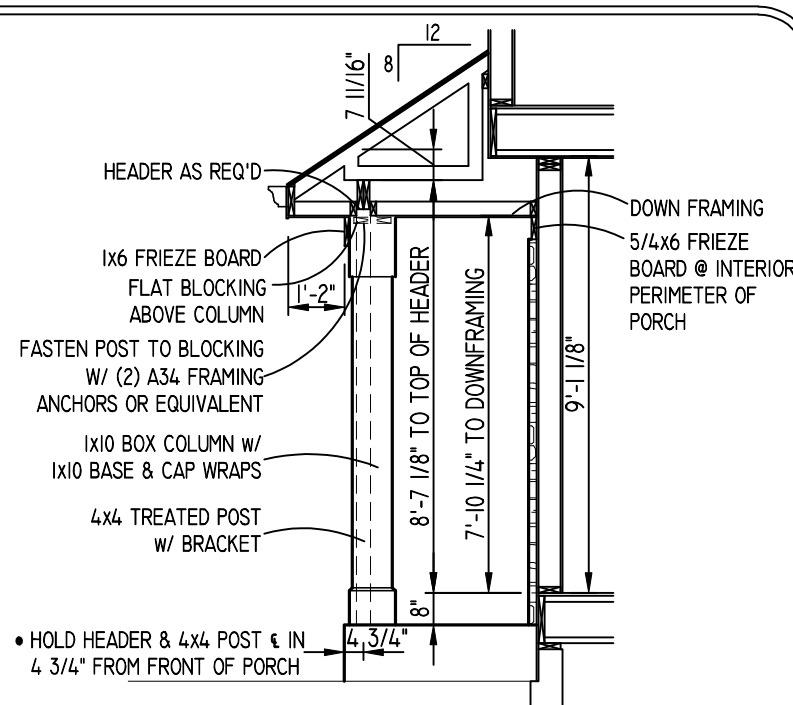
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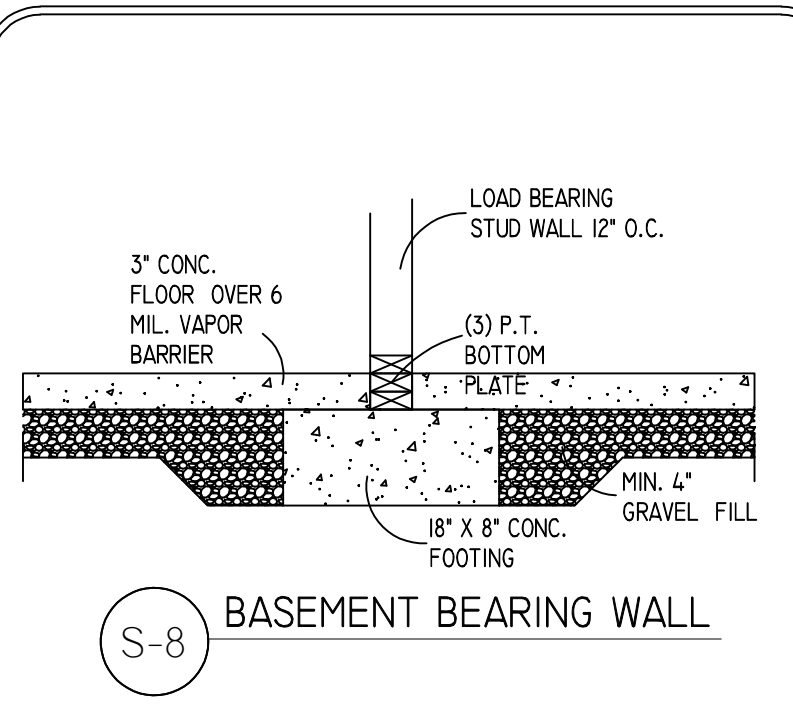
4 OF 4



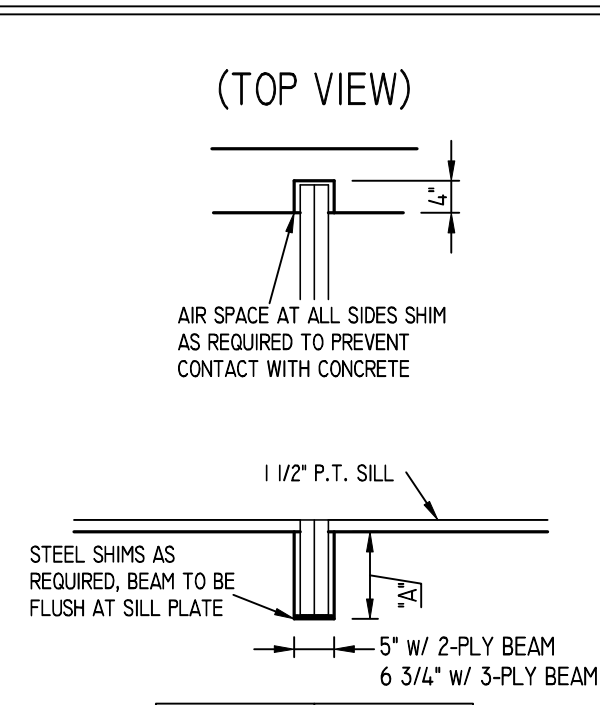
(S-21) COVERED PORCH PLAN
SCALE: 3/8" = 1'-0"



(S-21A) COVERED PORCH SECTION
SCALE: 1/4" = 1'-0"

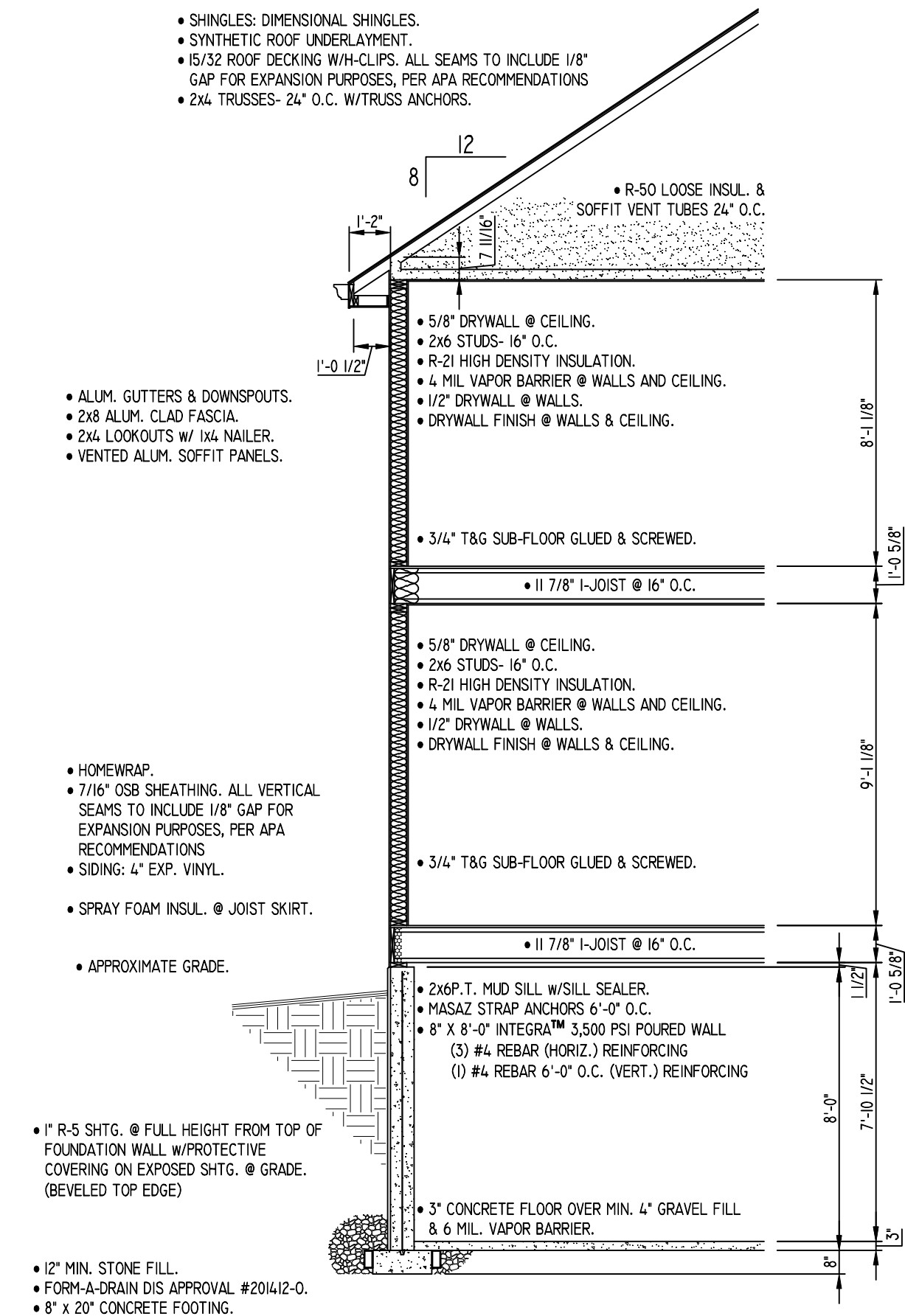


(S-8) BASEMENT BEARING WALL

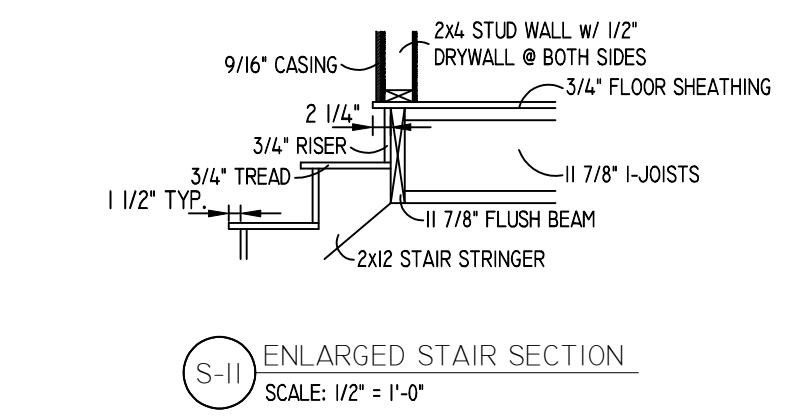


(S-9) BEAM POCKET DETAIL
WOOD BEAMS ONLY

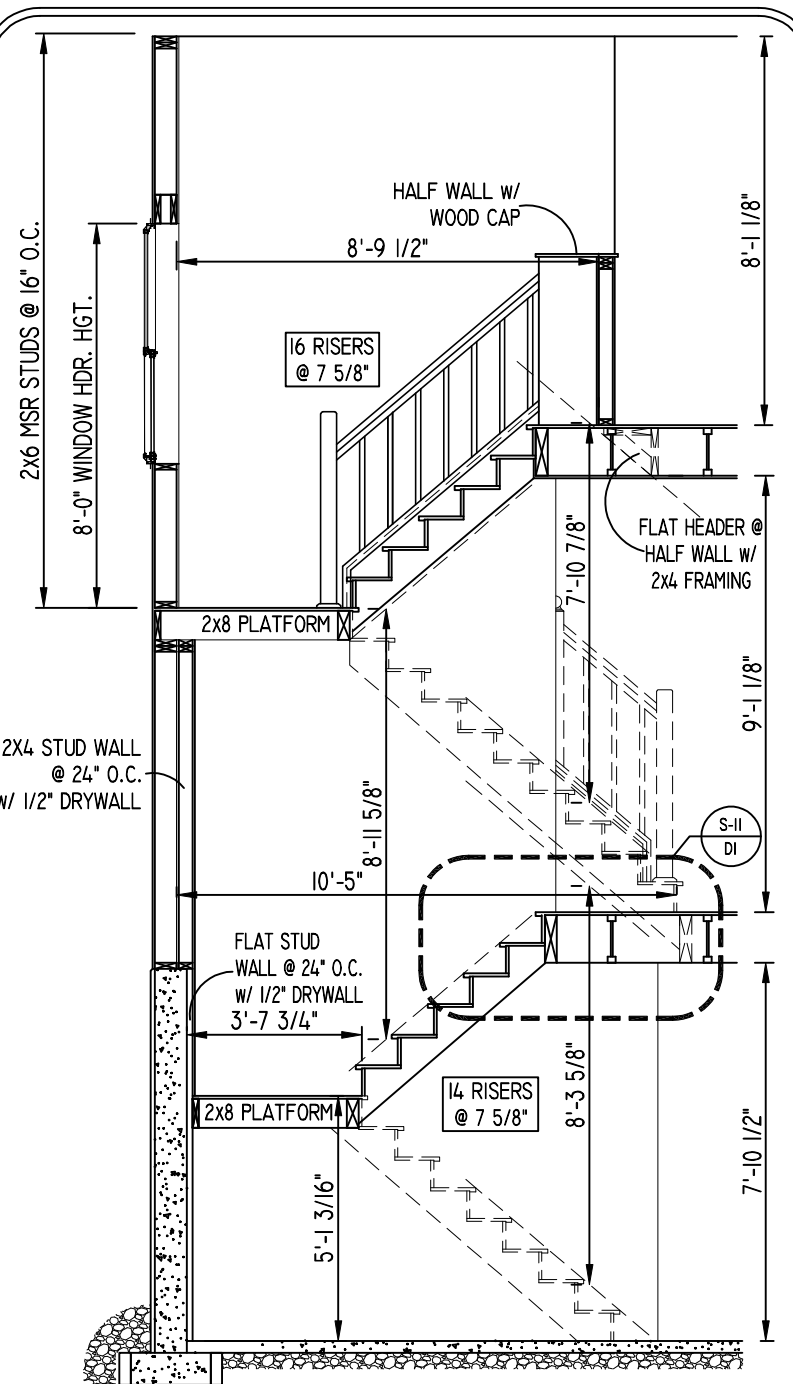
BEAM SIZE	POCKET DEPTH "A"
9 1/2"	8 1/2"
11 7/8"	10 7/8"
14"	13"
16"	15"



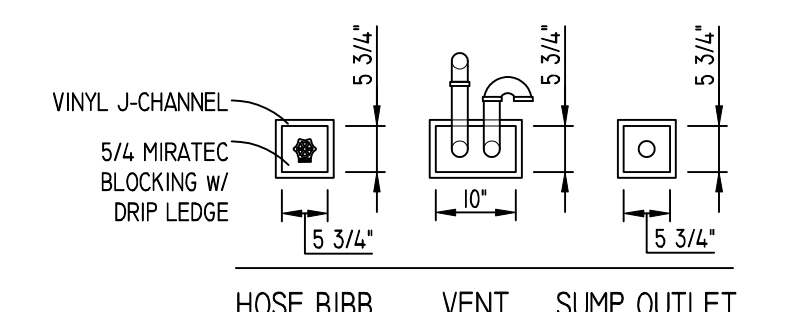
(01) TYPICAL SECTION
2 STORY W/ ALUMINUM CLAD



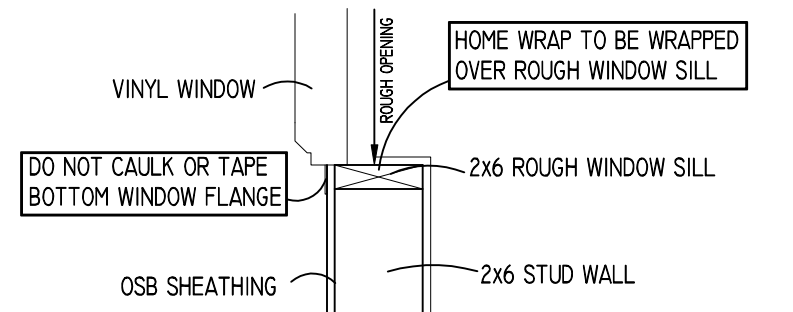
(S-11) ENLARGED STAIR SECTION
SCALE: 1/2" = 1'-0"



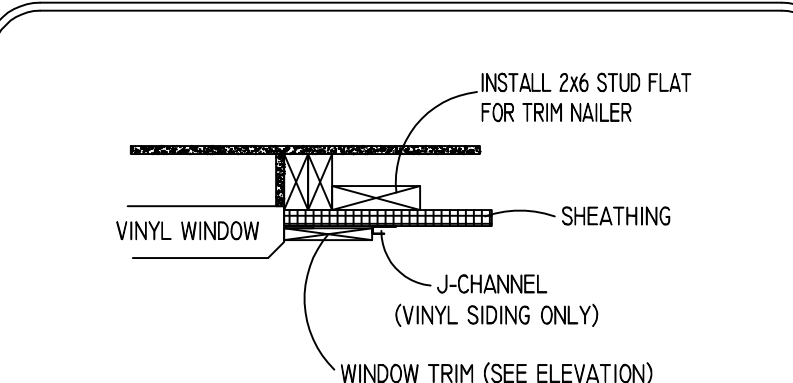
(4) STAIR SECTION
1/4" = 1'-0"



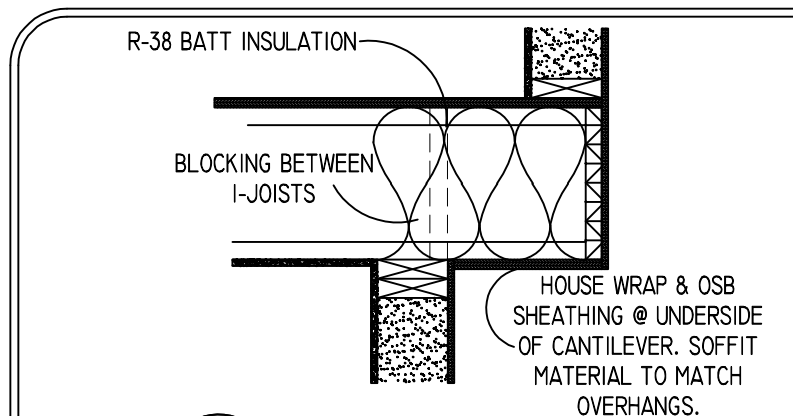
(E-6) WALL PENETRATION BLOCKING
SCALE: 1/2" = 1'-0"



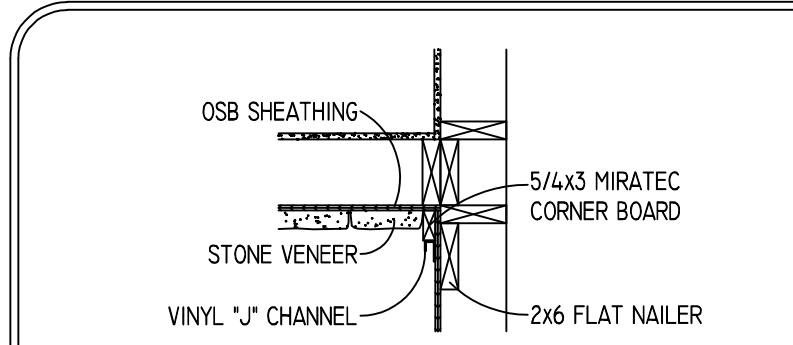
(S-15) WINDOW SILL DETAIL
SCALE: 1/4" = 1'-0"



(S-16) WINDOW TRIM DETAIL
SCALE: 1/4" = 1'-0"



(S-25) CANTILEVER DETAIL



(E-8) STONE INSIDE CORNER
SCALE: 3/4" = 1'-0"

FINAL PLANS
5/27/26

Model: SKYLAR
Series: HARMONY
Elevation: NEW ENGLAND FARMHOUSE
Plan: #2210

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HOMES
1830 Meadow Lane, Suite A • Pewaukee, WI 53072 • (262) 542-9494

Revision	By	Date

Built for:
Nickolas & Crysta Wolf
Lake Bluff Ph.III Lot# 46
East Troy, WI 53120
Village Of East Troy

Job Number:
LAB3-H-0046

Phase: FINAL PLANS
Drawn By: JAB
Plan Date: 4/7/26 Release Date: 5/27/26

Technical Data:
SQUARE FOOTAGE:
1ST FLOOR - 1150 SQ. FT.
2ND FLOOR - 1060 SQ. FT.
OPEN VOLUME - N/A
TOTAL 2210 SQ. FT.

GARAGE AREA - 1151 SQ. FT.

OVERALL WIDTH - 65'-0"
OVERALL DEPTH - 41'-0"

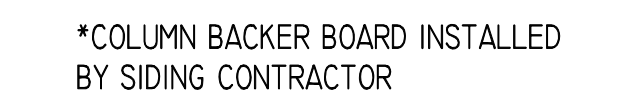
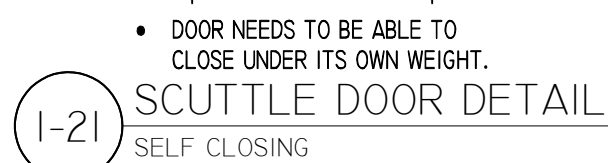
Model: SKYLAR

Elevation: NEW ENGLAND FARMHOUSE
Plan: #2210 Series: HARMONY

Sheet Title: DETAILS

Sheet Number

DI of 3



E-25 COLUMN BACKER DETAIL



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	SKYLAR	NEW ENGLAND FARMHOUSE
Sire(s):	HARMONY	Pace: #2210

BIELINSKI.
— HOMES —
1830 Meadow Lane, Suite A • Pewaukee, WI 53072 • (262) 542-9494

[illegible]

Built for:
Nickolas & Crysta Wohlschlag
Lake Bluff Ph.III Lot# 4
East Troy, WI 53120
Village Of East Troy

Job Number:
LAB3-H-004

Phase: FINAL PLANS

Drawn By: JAB

Plan Date:	Release Date:
4/7/26	5/27/26

Technical Data:

SQUARE FOOTAGE:

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TOTAL 2210 SQ. FT.

GARAGE AREA - 1151 SQ. FT.

OVERALL WIDTH - 65'-0"
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Model: SKYLAR

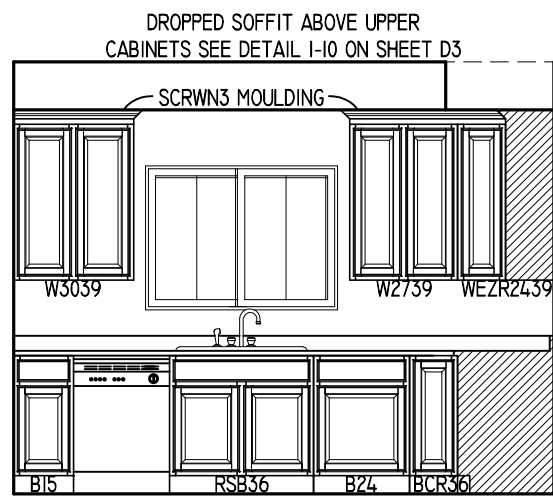
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Plan: #2210 Series: HARMON

Sheet Title
DETAILS

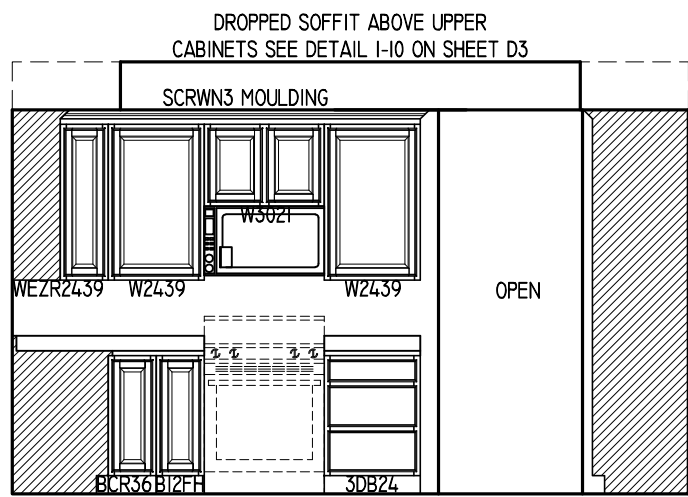
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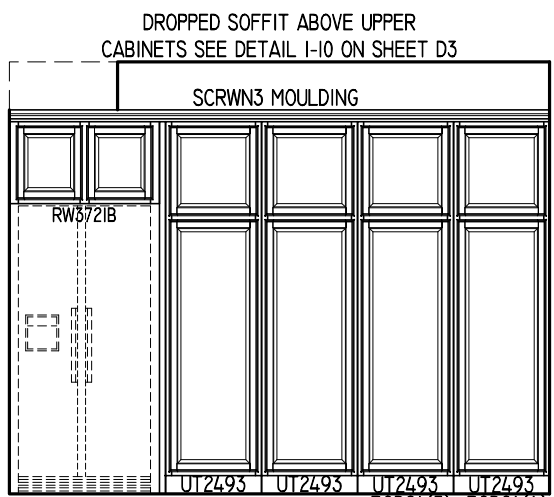
FINAL PLANS
5/27/26



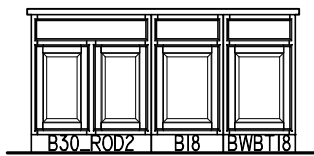
01 KITCHEN ELEVATION
1/4" = 1'-0"



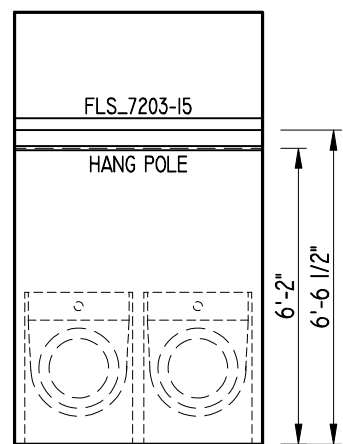
02 KITCHEN ELEVATION
1/4" = 1'-0"



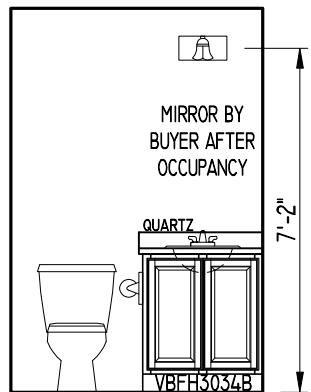
03 KITCHEN ELEVATION
1/4" = 1'-0"



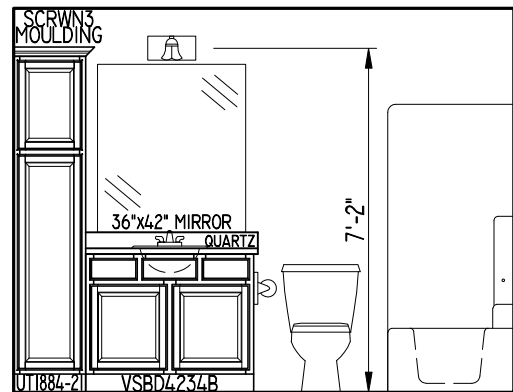
04 KITCHEN ELEVATION
1/4" = 1'-0"



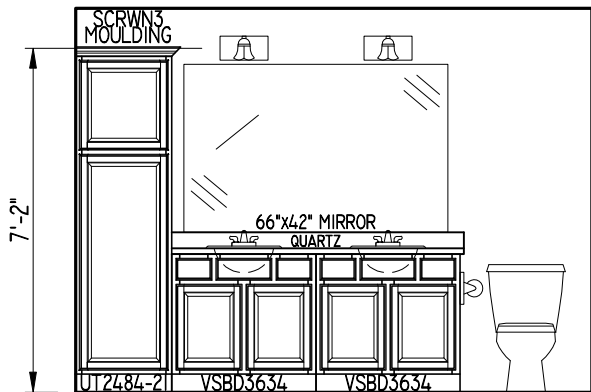
05 MUDROOM ELEVATION
1/4" = 1'-0"



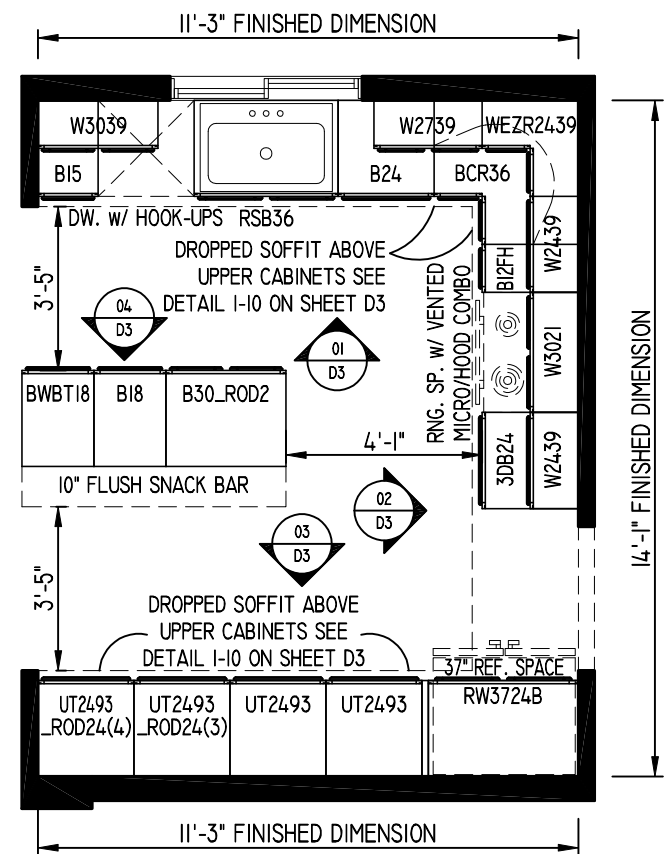
06 POWDER ROOM
1/4" = 1'-0"



07 HALL BATH
1/4" = 1'-0"



07 PRIMARY BATH
1/4" = 1'-0"

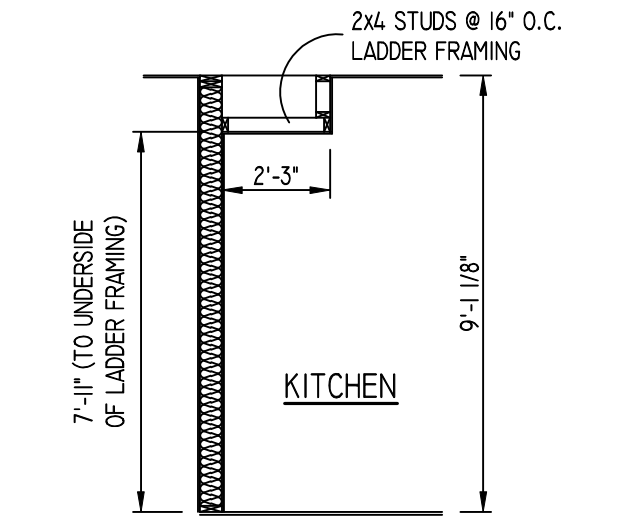


K-1 KITCHEN CABINET LAYOUT
9' CEILING HEIGHT

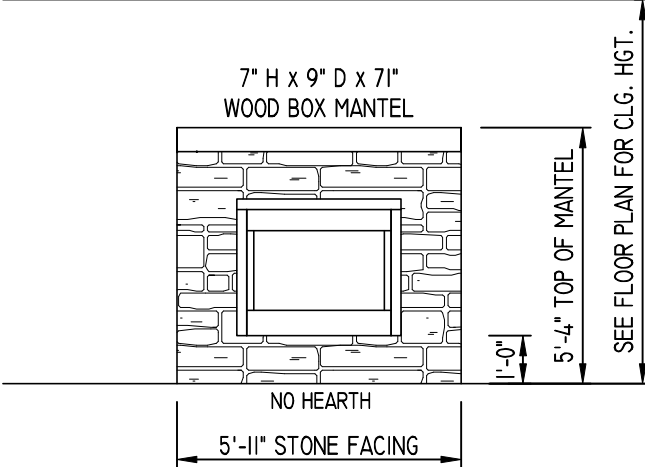
- SCRWN3 MOULDING @ KITCHEN
- QUARTZ COUNTERTOPS @ KITCHEN
- DELUXE LEVEL CABINET DOOR HARDWARE THROUGHOUT

NOTES

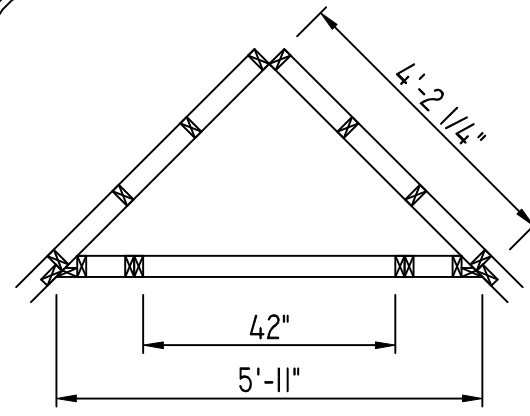
- GENERAL:**
- SOME NOTES MAY NOT PERTAIN. IT IS THE RESPONSIBILITY OF THE SUB-CONTRACTOR OR VENDOR TO CLARIFY WHICH NOTES DO NOT PERTAIN.
 - THESE NOTES ARE TO BE COMBINED WITH THE CONSTRUCTION WORK SHEET. IF THERE ARE VAGUE OR CONFLICTING INSTRUCTIONS, IT IS THE RESPONSIBILITY OF THE SUB-CONTRACTOR OR VENDOR TO GET CLARIFICATION FROM OUR CONSTRUCTION DEPARTMENT.
- EXTERIOR:**
- FLOOR PLAN DIMENSIONS ARE OUT-TO-OUT OF STUD WALLS.
 - OUTSIDE FACE OF 2X6 WALL STUDS ARE TO BE FLUSH WITH OUTSIDE OF FOUNDATION WALL.
 - ALL EXTERIOR WALLS ARE 2X6, 16" O.C., CONSTRUCTION UNLESS NOTED AT WALL LOCATION OR DETAIL.
 - ALL WINDOW CALLOUTS ARE LISTED IN INCHES.
 - ALL EXTERIOR HEADERS ARE TO BE (2) 2X6'S UNLESS OTHERWISE NOTED ON THE FLOOR PLAN.
 - WINDOW HEADERS HEIGHTS ARE TO BE AS FOLLOWS:
 - 6'-8" FOR 8'-0" CEILINGS; UNLESS NOTED OTHERWISE
 - 8'-0" FOR 9'-0" CEILINGS; UNLESS NOTED OTHERWISE
 - HOME WRAP TO BE INSTALLED ON THE ENTIRE EXTERIOR OF THE HOUSE INCLUDING GABLE ENDS.
 - GARAGE TO HAVE OSB SHEATHING @ ALL EXTERIOR WALLS & GABLES, DOUBLE SOLE PLATES W/ PRESSURE TREATED BOTTOM PLATE, AND THE FLOOR TO BE 4" CONCRETE, SLOPED TOWARDS DOOR.
 - ALL VERTICAL SEAMS IN EXTERIOR WALL SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS
 - ALL SEAMS IN ROOF SHEATHING TO INCLUDE 1/8" GAP FOR EXPANSION PURPOSES, PER APA RECOMMENDATIONS
 - ICE & WATER SHIELD TO BE USED AT ALL SADDLES AND DORMERS.
 - 8" MAX @ ALL EXTERIOR STEPS.
- INTERIOR:**
- ALL PLAN DIMENSIONS ARE ROUGH FRAMING DIMENSIONS
 - ALL INTERIOR WALLS ARE 2X4, 16" O.C., CONSTRUCTION UNLESS NOTED AT WALL LOCATION OR DETAIL.
 - ALL INTERIOR HEADERS ARE TO BE LADDER FRAME UNLESS OTHERWISE NOTED ON THE FLOOR PLAN.
 - PLUMBER TO VERIFY IF SEWER HOOK UP FOR SUMP PUMP IS REQUIRED. LOCATE CROCK FOR SEWER LATERAL. DO NOT DRILL THROUGH ANY LOAD BEARING STUDS @ WINDOW HEADERS. USE ISLAND VENT AS NEEDED.
 - ALL 42" HIGH MIRRORS ARE TO BE SET ON BACKSPLASH.
 - STANDARD HEIGHTS:
 - TOILET PAPER HOLDERS 26" A.F.F.
 - TOWEL BARS 54" A.F.F.
 - HAND RAILS 30" TO 36" ABOVE NOSING
 - GUARD RAILS 40" A.F.F.
 - SOLID BLOCKING REQUIRED @ SHOWER DOORS ON TILED WALLS AND WITHIN 1'-0" OF EACH END OF HAND RAILS.
 - STAIRS:
 - MINIMUM HEADROOM FOR ALL STAIRS TO BE 6'-8" UNLESS OTHERWISE NOTED.
 - 8" RISER HEIGHT MAX.
 - 20 MIN. FIRE RATED DOOR @ GARAGE COMMON WALL.
 - GARAGE COMMON WALL TO BE 3/4" FIRECODE DRYWALL W/ A 3/4 HOUR FIRE RATING.
 - ALL AREAS WITH VINYL FLOORING ARE TO BE FLUSH WITH ADJACENT WOOD OR CERAMIC FLOORS.
 - LOCATIONS OF HVAC, ELECTRICAL OUTLETS, LIGHTS & SWITCHES ARE APPROXIMATE; UNLESS NOTED OTHERWISE.
 - GFI OUTLETS @ WASHING MACHINE TO BE 38" A.F.F.
 - CEILING @ BASEMENT STAIR OPENINGS TO BE FLAT 6" ABOVE BOTTOM OF HEADER.
 - SCUTTLE DOORS TO BE SELF CLOSING W/ LATCH.
 - TEMPERED GLASS @ DOORS, SIDELIGHTS, TUB ENCLOSURES, STAIR LANDINGS & PANELS WITHIN 24" OF DOORS.



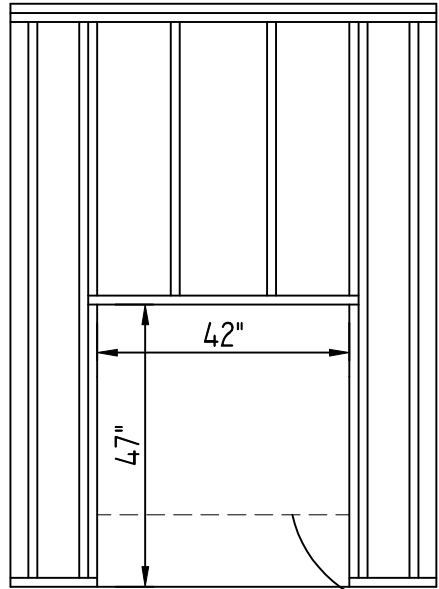
I-10 KITCHEN SOFFIT SECTION
SCALE: 1/4" = 1'-0" KDC CABINETS



F-2 FIREPLACE DETAIL
DIRECT VENT GAS FIREPLACE W/FANS SET ON 12" PLATFORM

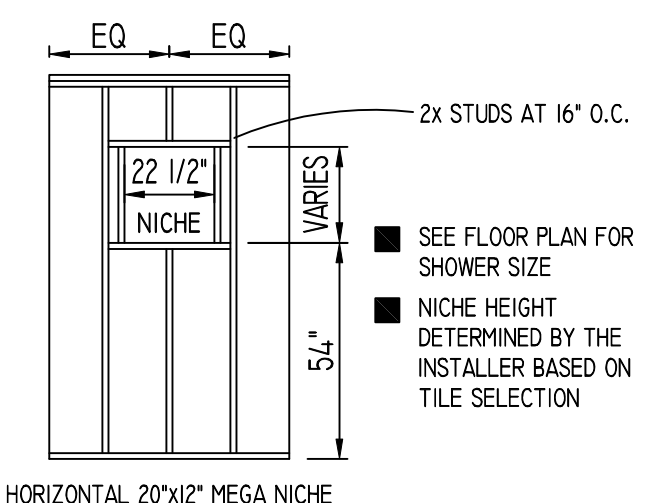


TOP VIEW



FRONT VIEW

S-12 FIREPLACE FRAMING DETAIL
CORNER UNIT



I-14 TILE SHOWER NICHE FRAMING DETAIL
SCALE: 1 1/2" = 1'-0"

FINAL PLANS
5/27/26

BIELINSKI
HOMES
1830 Meadow Lane, Suite A • Pewaukee, WI 53072 • (262) 542-9494

Revision	By	Date

Built for:
Nickolas & Crysta Wolf
Lake Bluff Ph.III Lot# 46
East Troy, WI 53120
Village Of East Troy

Job Number:
LAB3-H-0046

Phase: FINAL PLANS
Drawn By: JAB

Plan Date: 4/7/26 Release Date: 5/27/26

Technical Data:
SQUARE FOOTAGE:
1ST FLOOR - 1150 SQ. FT.
2ND FLOOR - 1060 SQ. FT.
OPEN VOLUME - N/A
TOTAL 2210 SQ. FT.

GARAGE AREA - 1151 SQ. FT.

OVERALL WIDTH - 65'-0"
OVERALL DEPTH - 41'-0"

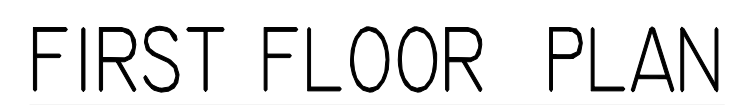
Model: SKYLAR

Elevation: NEW ENGLAND FARMHOUSE
Plan: #2210 Series: HARMONY

Sheet Title: INTERIOR ELEVATIONS

Sheet Number

D3 of 3



- FINAL PLANS**
5/27/26

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Village Of East Troy

b Number:
_AB3-H-0046

Case: FINAL PLANS
Drawn By: JAB

an Date:	Release Date:
7/26	5/27/26

Technical Data:

<u>SQUARE FOOTAGE:</u>	
1ST FLOOR -	1150 SQ. FT.
2ND FLOOR -	1060 SQ. FT.
OPEN VOLUME -	N/A
TOTAL	2210 SQ. FT.

ARAGE AREA - 1151 SQ. FT.

OVERALL WIDTH - 65'-0"
OVERALL DEPTH - 41'-0"

Model: SKYLAR

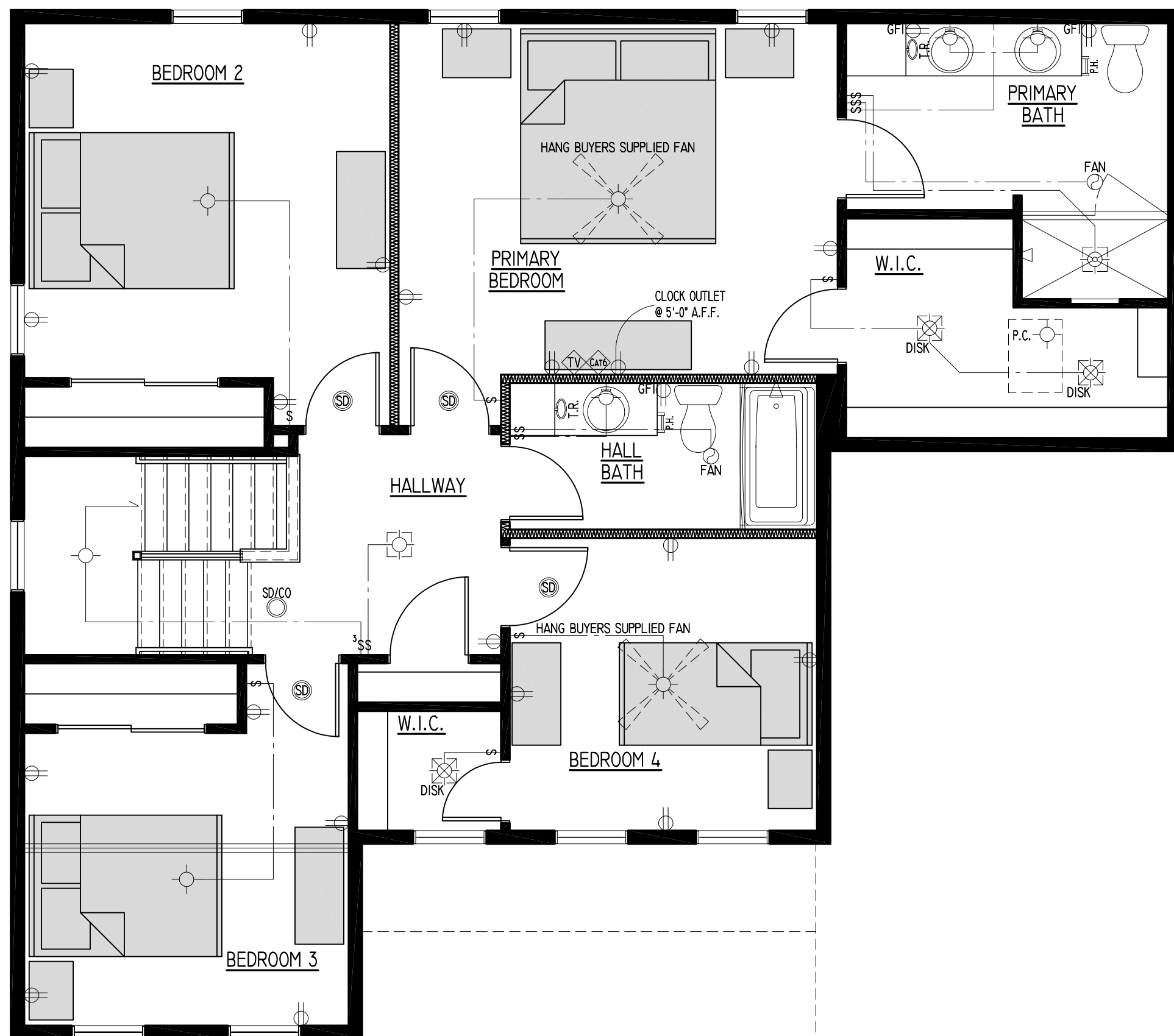
ation: NEW ENGLAND FARMHOUSE
n: #2210 Series: HARMONY

Sheet Title
FRIST FLOOR
ELECTRICAL PLAN

Page Number

E1 OF 2

GFCI (@ SOFFIT)



GFCI (@ SOFFIT)

SECOND FLOOR PLAN

- BUILDER TO INSTALL BUYERS SUPPLIED LIGHT FIXTURES
- BUILDER TO HANG BUYERS SUPPLIED CEILING FAN @:
 - PRIMARY BEDROOM
 - BEDROOM 4

FINAL PLANS
5/27/26

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SKYLAR

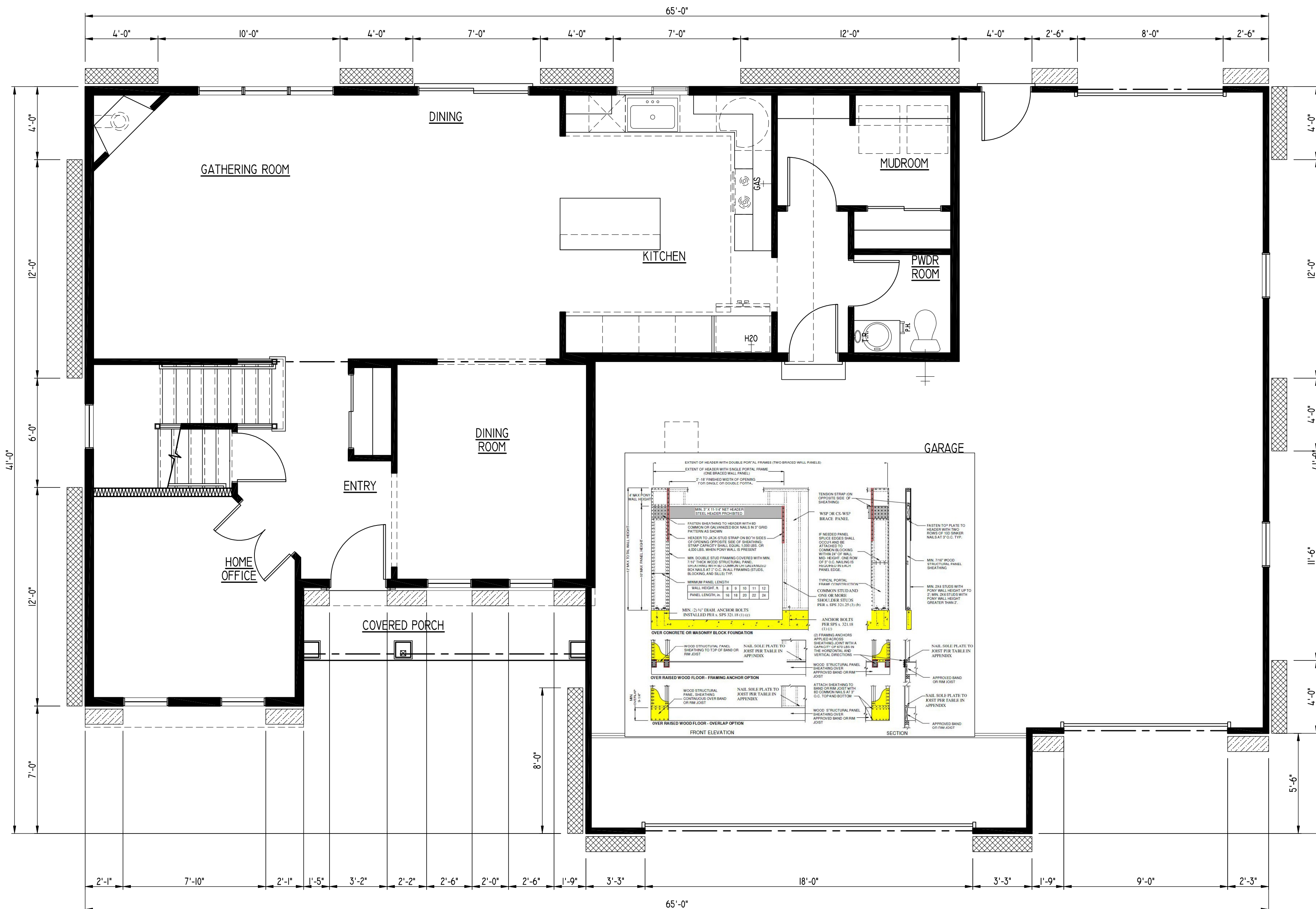
Elevation: NEW ENGLAND FARMHOUSE
Plan: #2210 Series: HARMONY

Sheet Title
**SECOND FLOOR
ELECTRICAL PLAN**

Sheet Number

E2 of 2

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Model: SKYLAR Elevation: NEW ENGLAND FARMHOUSE Plan: #2210 Series: HARMONY



WALL BRACING LEGEND

- LIB: 1x4 LET IN BRACING PER COMM SPS 321.25 (8)(b).
- CS-WSP: CONTINUOUS 15/32 OSB SHEATHING PER COMM SPS 321.25 (8)(b). ALL SEAMS MUST BE BLOCKED AND FASTENED.
- PF: PORTAL FRAMED CONTINUOUS 15/32 OSB SHEATHING PER COMM SPS 321.25 (8)(b). ALL SEAMS MUST BE BLOCKED AND FASTENED. SEE DETAIL 321-25A (THIS SHEET) FOR STRAP AND ALL OTHER INSTALLATION INFORMATION.

FIRST FLOOR PLAN

FINAL PLANS
5/27/26

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By	Revision

Build for:
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Lake Bluff Ph.III Lot# 46
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Village Of East Troy

Job Number:
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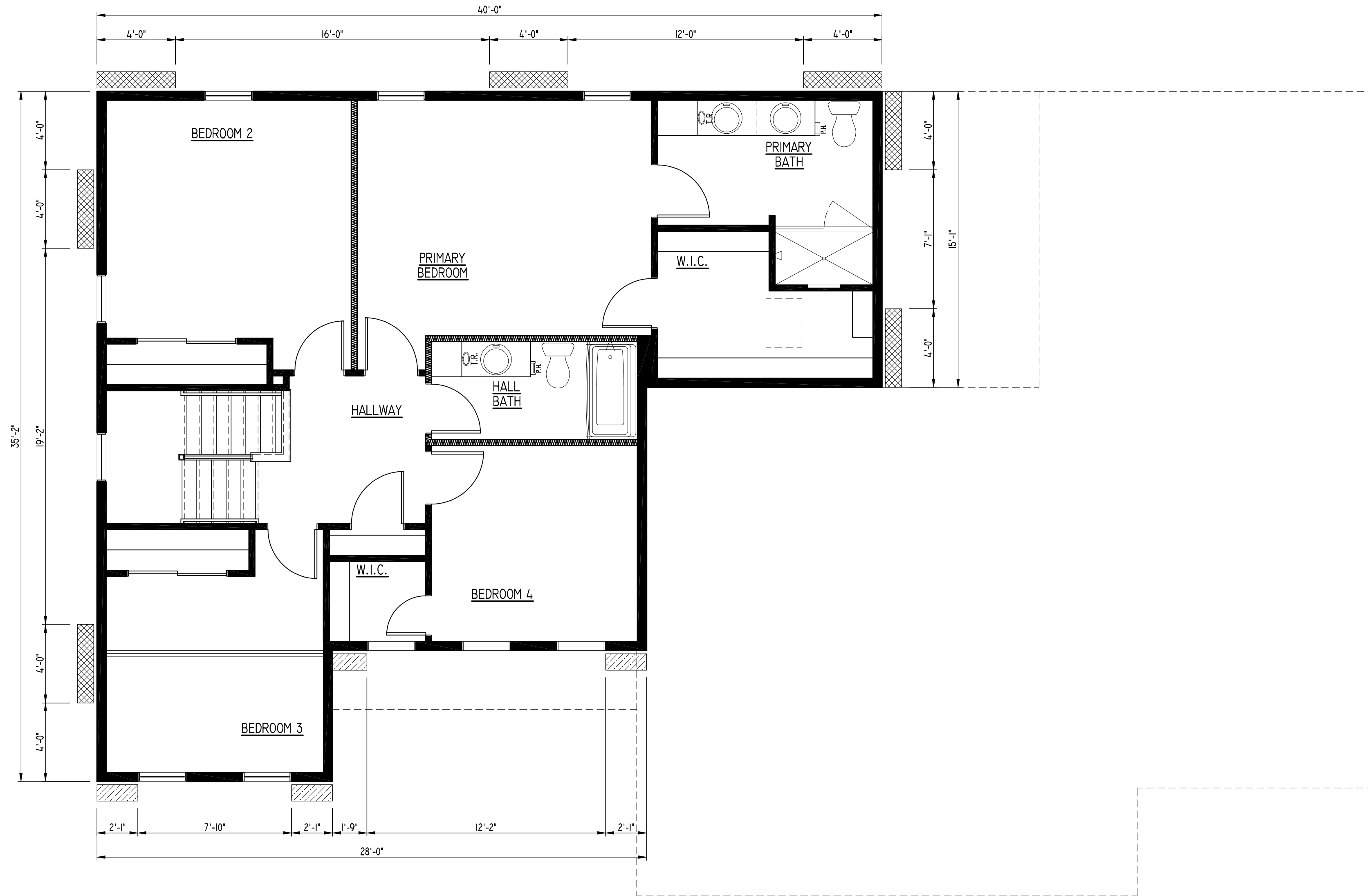
Phase: FINAL PLANS
Drawn By: JAB
Plan Date: 4/7/26 Release Date: 5/27/26

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Model: SKYLAR
Elevation: NEW ENGLAND FARMHOUSE
Plan: #2210 Series: HARMONY
Sheet Title: FIRST FLOOR WALL BRACING
Sheet Number: WI OF 2

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Elevation: NEW ENGLAND FARMHOUSE
Plan: #2210



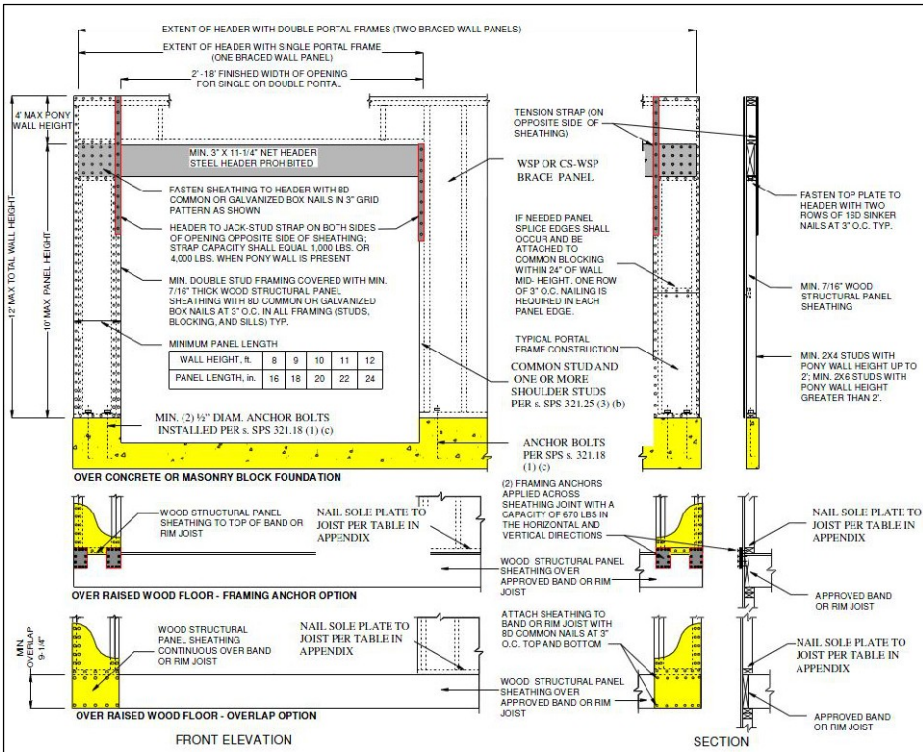
WALL BRACING LEGEND

LIB: 1x4 LET IN BRACING PER COMM SPS 321.25 (8)(9).

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SECOND FLOOR PLAN



FINAL PLANS

5/27/26

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Elevation: NEW ENGLAND FARMHOUSE

Series: HARMONY

Plan: #2210

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Plan: #2210 Series: HARMONY

Sheet Title
SECOND FLOOR
WALL BRACING

Sheet Number
W2 OF 2

LAB3H0046 Product Selections

Roof: Granite Black



Siding: Vinyl – Pacific Blue



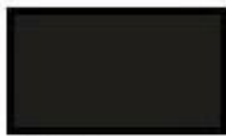
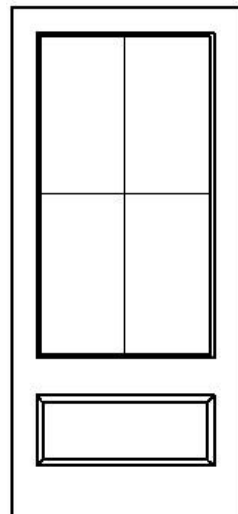
Trim: White



Windows: White Ext. /
White Int.



Front Door: Fiberglass 4-
lite, 1-panel; Frontline
Black



Garage Door: Black,
Clear Windows



Stone: Halquist –
Silverledge

