



Conditional Use

Village of East Troy, Wisconsin

Version: Sept. 18, 2025

Village of East Troy
2015 Energy Drive
East Troy, WI 53120

Overview: The Village's zoning code identifies land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Plan Commission conducts a public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Plan Commission serves in an advisory capacity to the Village Board, which makes the final decision. The recommendation of the Plan Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

Governing regulations: The procedures and standards governing the review of this application are found in Section § 510-157 of the Village's zoning code.

General instructions: Complete this application and submit one copy to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (414) 336-7915 or via email at orin.sumwalt@foth.com. You may download this form at <https://villageofeasttroy.zoninghub.com/highlights/procedures/procedure.aspx?id=138>

Application fee: \$250.00, plus charges for professional services

Application submittal deadline: Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

1. Applicant information

Applicant name East Troy Community School District
Street address 2043 Division Street
City, state, zip code East Troy, WI 53120
Daytime telephone number [REDACTED]
Email

2. Agent contact information.

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	<u>Sean Bekx</u>	<u>Gage Johnson</u>
Company	<u>raSmith</u>	<u></u>
Street address	<u>100 W. Lawrence Street, Suite 306</u>	<u></u>
City, state, zip code	<u>Appleton, WI 54911</u>	<u></u>
Daytime telephone number	<u>[REDACTED]</u>	<u></u>
Email	<u>[REDACTED]</u>	<u></u>

3. Type of application (select one)

☐ New conditional use

☐ Yes ☐ No Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

☒ An amendment of a previously approved conditional use

If an amendment, attach a copy of the current approval document.

4. Subject property information

Physical address 3128 Graydon Ave., East Troy, WI 53120
Tax key number(s) RXUP 00202

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

5. Zoning information (refer to the Village's current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|---|---|---|
| ☐ RH-35 Rural Holding | ☐ TR-8 Two-Family Residential | ☐ NB Neighborhood Business |
| ☐ SR-3 Estate Residential | ☐ AR-9 Attached Residential | ☐ HB Highway Business |
| ☒ SR-4 Suburban Residential | ☐ MR-10 Multi-Family Residential | ☐ CB Central Business |
| ☐ SR-5 Neighborhood Residential | ☐ MHR-6 Mobile Home Residential | ☐ BP Business Park |
| ☐ SR-6 Traditional-Front Residential | | ☐ LI Light Industrial |
| ☐ SR-7 Traditional-Rear Residential | | ☐ GI General Industrial |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|---|---|---|
| ☐ PD Planned Development | ☐ GP Groundwater Protection | ☐ FP 100-Year Floodplain |
| ☐ DD Downtown Design | ☐ NFC Natural Features Conservancy | ☐ FP 500-Year Floodplain |
| | | ☐ SW Shoreland-Wetland |

6. Adjoining land uses and zoning

	Zoning district(s)	Current uses
North	Open	Residential
South	SR-4	East Troy Middle School
East	RH-35	Library
West	SR-4 / MR-10	Residential

7. Current use. Describe the current use of the subject property.

The subject property is currently developed as East Troy High School and includes an existing transportation facility and bus parking area (bus yard), which has been operational for several decades.

8. Proposed use. Describe the proposed conditional use or the proposed amendment.

This request is to amend the previously approved Conditional Use Permit (2015) to include the existing transportation facility and bus parking area (bus yard) as an authorized use. No expansion of the use is proposed as part of this amendment.

9. Evaluation criteria. The factors listed below will be used in evaluating this application. Your responses are important.

- Whether the proposed conditional use (**the use in general, independent of its location**) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

The proposed amendment recognizes an existing long-standing use associated with the high school and is consistent with institutional land uses anticipated by the Comprehensive Plan.

2. Whether the proposed conditional use (**in its specific location**) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the zoning code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village.

The transportation facility and bus yard have operated at this location for several decades and are compatible with the existing school use and surrounding institutional and residential development.

3. Whether the proposed conditional use, in its proposed location and as depicted on the required site plan results in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the zoning code, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development.

No changes to operations or expansion are proposed. Therefore, no new impacts to surrounding properties, traffic, parking, or public infrastructure are anticipated.

4. Whether the proposed conditional use would maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The amendment maintains the existing land use pattern and does not introduce any new or more intensive use.

5. Whether the proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

The existing use is currently served by public utilities and services, and no changes are proposed that would increase demand.

6. Whether the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

The amendment provides a public benefit by bringing the existing use into conformance with zoning requirements without creating new impacts.

10. Large development requirements.

- ☐ Yes ☒ No Does the proposed project include indoor sales or service, outdoor display, indoor commercial entertainment, outdoor commercial entertainment, in-vehicle sales or service, commercial indoor lodging, with a total area exceeding 20,000 square feet where one or both the following conditions exist:

1. The parking area is or will be served by an integrated system of off-street parking benefiting all or substantially all improvements within such area.
 2. The area is or will be subject to reciprocal access rights benefiting all or substantially all improvements within such area.
- (See § 510-109 of the zoning code.)

If yes, include each of the following as described in § 510-109 (D) of the zoning code:

1. Large development questionnaire

2. Economic and fiscal analysis
3. Traffic impact analysis
4. Detailed neighborhood plan

11. Supplemental materials. Attach the following.

1. Site plan application and related materials
2. A copy of the existing conditional use if this application is intended to amend that approval.

12. Attachments. List any attachments included with your application.

1. Site Plan Exhibit – Existing Conditions and Uses
2. 2015 Conditional Use Approval Document
3. Reimbursement Agreement

13. Other information. You may provide any other information you feel is relevant to the review of your application.

N/A

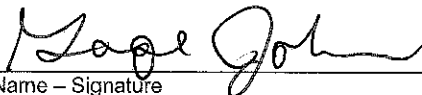
14. Applicant certification

- ♦ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- ♦ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with § 510-149 (D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property. Please use the link above to download the form and visit FAQ for current year rates.
- ♦ I understand that submission of this application authorizes Village officials and employees, Plan Commission members, Village Board members, and other designated agents, including those retained by the Village, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- ♦ I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- ♦ I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Gage Johnson

Name – print


Name – Signature

5/18/26

Date

Name – print

Name – Signature

Date

Applicant (if different than Property Owner):

Gage Johnson

Name -- print



Name -- Signature

5/18/26

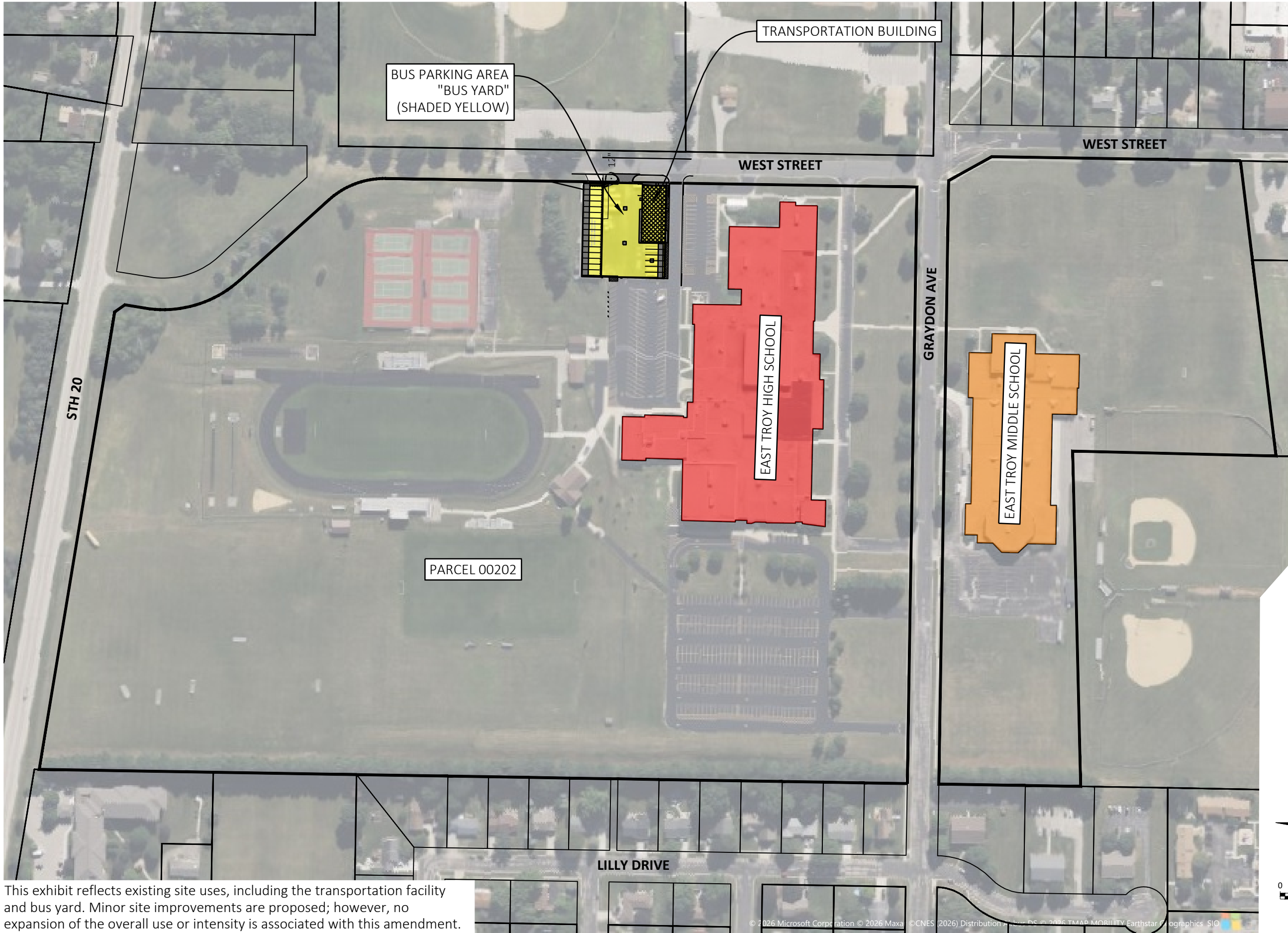
Date

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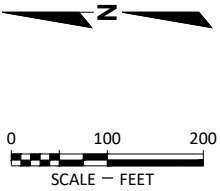
Name -- Signature

Date

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This exhibit reflects existing site uses, including the transportation facility and bus yard. Minor site improvements are proposed; however, no expansion of the overall use or intensity is associated with this amendment.



EAST TROY TRANSPORTATION BUILDING		raSmith CREATIVITY BEYOND ENGINEERING 100 West Lawrence Street, Suite 306 Appleton, WI 54911-5754 (920) 731-3499 rasmith.com	DATE	DESCRIPTION	
SITE PLAN AMENDMENT EXHIBIT 3128 GRAYDON AVE		Brookfield, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA			



Site Plan

Village of East Troy, Wisconsin

Version: Sept. 18, 2025

Village of East Troy
2015 Energy Drive
East Troy, WI 53120

Overview: The site plan review process ensures that proposed land uses and development activity complies with the requirements of the Village's zoning regulations. This review must occur before any building, occupancy, and building permits can be issued; except that development activity associated with an approved final plat of subdivision or certified survey map, and development activity associated with an approved final development plan of a planned development, is exempt from this requirement.

Governing regulations: The procedures and standards governing the review of this application are found in § 510-160 of the Village's zoning code.

General instructions: Complete this application and submit one copies to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (414) 336-7915 or via email at orin.sumwalt@foth.com. You may download this form at <https://villageofeasttroy.zoninghub.com/highlights/procedures/procedure.aspx?id=142>.

When you fill out this application, you should think about how your business operation may expand or be different in the future. For example, if your business will have 5 employees to start and you hope to have 25, tell us. Also, if you foresee an expansion to a building or a parking lot, your site plan should show that. If you invest time to do this now, you will end up with a more thoughtful plan. Not only that, you will save time and the expense of having to submit a new site plan sometime in the future. So, think ahead.

Application fee: none

Application submittal deadline: Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

1. Applicant and property owner information

	Applicant	Property owner
Name	East Troy Community School District	East Troy Community School District
Street address	2043 Division Street	2043 Division Street
City, state, zip code	East Troy, WI 53120	East Troy, WI 53120
Daytime telephone number	[REDACTED]	[REDACTED]
Email		

2. Agent contact information. Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	Sean Bekx	
Company	raSmith	
Street address	100 W. Lawrence St. Suite 306	
City, state, zip code	Appleton, WI 54911	
Daytime telephone number	[REDACTED]	
Email	[REDACTED]	

3. Type of application (select one)

- ☐ New site plan
- ☒ An amendment of a previously approved site plan (i.e., revision and/or expansion)

4. Business information

Current business name	East Troy High School
Date business began	1950s
Previous name, if any	

5. Subject property information

Physical address 3128 Graydon Ave., East Troy, WI 53120

Tax key number(s) RXUP 00202

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

6. Zoning information (refer to the Village's current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

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The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|---|---|---|
| ☐ PD Planned Development | ☐ GP Groundwater Protection | ☐ FP 100-Year Floodplain |
| ☐ DD Downtown Design | ☐ NFC Natural Features Conservancy | ☐ FP 500-Year Floodplain |
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7. Adjoining land uses and zoning

	Zoning district(s)	Current uses
North	Open	Residential
South	SR-4	East Troy Middle School
East	RH-35	Library
West	SR-4 / MR-10	Residential

Note: If the subject property abuts a property located in a different zoning district, a bufferyard may be required. You will need to submit a Landscaping and Bufferyard Worksheet if a bufferyard is required.

8. Current use. Describe the current use of the subject property.

The subject property is currently developed as East Troy High School and includes an existing transportation facility and bus parking area (bus yard), which has been in operation for several decades.

9. Proposed use. Describe the proposed use or the proposed amendment.

This application is to amend the previously approved site plan to include the existing transportation facility and bus parking area (bus yard). No changes or expansion of the use are proposed as part of this amendment.

10. **Hours of operation.** Describe when the proposed use will be open for business (i.e., hours and days).

6 AM to 7 PM, Monday - Friday

11. **Employees.** Describe number by type, number on largest works shift, etc.

58 Teachers and Admin

12. **Customers / patrons of business.** Describe the customers and patrons, including peak loads.

High School Students - Day / Community Members - Night

13. **Miscellaneous**

☒ Yes ☐ No Has the Village approved a variance for the subject property?

If yes, provide the year of issuance and a short description for each one.

Zoning Variance - Conditional Use Permit - 1999

☒ Yes ☐ No Is the subject property currently in violation of the Village's zoning code?

If yes, describe the nature of the violation and what is being done to bring the property into compliance.

The existing bus yard use is not currently reflected in the approved conditional use or site plan. This application is intended to bring the property into compliance.

☐ Yes ☒ No Are there any nonconforming buildings on the subject property? A nonconforming building does not meet the dimensional requirements for the zoning district in which it is located.

If yes, describe what building is nonconforming and the nature of the nonconformity.

☐ Yes ☒ No Will the proposed use create any detectable ground vibrations? (See § 510-99 of the zoning code.) If yes, describe.

☐ Yes ☒ No Will the proposed use create any detectable noise beyond the property boundary lines? (See § 510-100 of the zoning code.) If yes, describe.

☐ Yes ☒ No Will the proposed use create any air pollution? (See § 510-101 of the zoning code.) If yes, describe.

☐ Yes ☒ No Will the proposed use create any detectable odor beyond the property boundary lines? (See § 510-102 of the zoning code.) If yes, describe.

☐ Yes ☒ No Will the proposed use create any detectable glare or heat beyond the property boundary lines? (See § 510-104 of the zoning code.) If yes, describe.

☐ Yes ☒ No Will the proposed use involve any materials which could detonate by any means? (See § 510-105 of the zoning code.) If yes, describe.

☐ Yes ☒ No Will the proposed use involve any materials that are toxic or noxious or that are considered waste materials? (See § 510-106 of the zoning code.)
If yes, describe.

☒ Yes ☐ No Will the proposed use involve any outdoor storage of materials?
If yes, describe.

Existing outdoor storage of materials and bus parking associated with school transportation operations. No additional outdoor storage is proposed.

☐ Yes ☒ No If the proposed use involves processing or manufacturing of materials, will water be used in any of those processes?
If yes, describe the nature of the activity and anticipated water demand and sanitary loading

☐ Yes ☒ No Is expansion of the proposed use or building anticipated?
If yes, describe the nature of the expansion and potential timeline for such expansion

14. Utilities

Water ☒ Municipal ☐ Private well
If private well, when was the well installed and approved?

Sewer ☒ Municipal ☐ On-site septic system
If septic system, when was the system installed and approved?

15. Licenses and permits

Required

- ☐ Beer ☐ Have ☐ To Get
☐ Liquor ☐ Have ☐ To Get
☐ Cigarette ☐ Have ☐ To Get
☐ Food service ☐ Have ☐ To Get
☐ Amusement Device ☐ Have ☐ To Get
☐ Other: _____ ☐ Have ☐ To Get
☐ Other: _____ ☐ Have ☐ To Get
☐ Other: _____ ☐ Have ☐ To Get

16. Property access (refer to § 510-91 of the zoning code for details)

	Current	New
Local street	Graydon Ave	
County highway		
State highway		

17. On-site parking (refer to § 510-91.1 of the zoning code for details)

	Current	Required [1]	New
Standard spaces	350	300	350
Accessible spaces	2	2	2

Notes:

[1] On-site parking is not required in the Central Business (CB) zoning district

☐ Yes ☒ No Are you proposing shared parking pursuant to § 510-93(G) of the zoning code?

If yes, attach a draft shared parking agreement.

18. Calculations for maximum building coverage and impervious surface coverage

a. Area of subject property as determined by site survey	acres	47.37
b. Land located within proposed rights-of-ways of roads and within proposed boundaries of public facilities that are designated within the Village's comprehensive plan and/or required for dedication per subdivision regulations	acres	0
c. Land which, although part of the same parcel, is not contiguous to or is not accessible from the proposed road network serving the project	acres	0
d. Land which is proposed for a different development option or a different zoning district	acres	0
e. Navigable waters (lakes & streams not within a designated floodplain)	acres	0
f. Designated floodplains	acres	0
g. Wetlands	acres	0.3
h. Lakeshores	acres	0
i. Woodlands	acres	0.6
j. Steep slopes (12 percent or greater)	acres	0.5
k. Total of "b" through "j"	acres	1.4
l. Net developable area (subtract "k" from "a")	acres	45.97
m. Building coverage ratio (see the standard for the appropriate zoning district)	percent	30
n. Impervious surface coverage ratio (see the standard for the appropriate zoning district)	percent	50
o. Maximum building coverage on property (multiply "l" by "m")	acres	13.79
p. Maximum impervious surface coverage on property (multiply "l" by "n")	acres	22.99

	Maximum (acres)	Proposed (acres)
Building coverage (For Maximum, enter calculated value for "o" from above table)	13.79	4.1
Impervious surface (For Maximum, enter calculated value for "p" from above table)	22.99	13.9

19. Supplemental materials. Attach each of the following as appropriate. Upon written petition, the Village Administrator, Village Engineer, Village Planner, or the Zoning Administrator may waive specific site plan requirements.

Site plan with the following information:

- Title block showing the name, address, and phone of the current property owner and/or agent(s) (i.e. developer, architect, engineer, or planner) for project.
- The date of the original plan and the latest date of revision to the plan.
- A north arrow and a graphic scale (at a minimum scale of 1" = 100').
- A legal description of the subject property.
- All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
- All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
- Ground contours when any slope exceeds 12 percent
- All required building setback lines.

9. All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls.
10. If the project is designed to be completed in phases or allow expansion of the building and other features, indicate these.
11. The location and dimension (cross-section and entry throat) of all access points onto public streets.
12. The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by this Chapter.
13. The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.
14. The location of all outdoor storage areas and the design of all screening devices.
15. Floodplains, wetlands, lakeshores, woodlands, steep slopes, and other environmentally sensitive lands.
16. The location, type, height, size, and lighting of all signage on the subject property.
17. The location and type of any permanently protected green space areas.
18. The location of existing and proposed drainage facilities.
19. Environmental and manmade development constraints and hazards including brownfields, contaminated sites, unstable soils, high groundwater, bedrock, and high-pressure natural gas lines.
20. In the legend, the following data for the subject property: lot area, building coverage, building coverage ratio, floor area ratio, impervious surface area, impervious surface ratio, and building height.
21. Any additional information as requested by the Plan Commission or Village Board.

Landscaping plan prepared at the same scale as the main plan showing the location of all required bufferyard and landscaping areas, and existing and proposed landscape point fencing and berm options for meeting said requirements. The landscaping plan shall demonstrate complete compliance with the requirements of Article XIV of Chapter 510 of the zoning code. Be sure to show the individual plant locations and species, fencing types and heights, and berm heights. In addition to the drawing, include the Worksheet for Landscaping and Bufferyards.

Grading and erosion control plan prepared at the same scale as the main plan, showing existing and proposed grades, including retention walls and related devices, and erosion control measures.

Outdoor lighting plan (photometric plan) prepared at the same scale as the main plan that shows all existing and proposed exterior light fixtures. Calculations for the photometric plan shall be rounded to the nearest 0.10 foot-candles. A legend must be included to show the following information for each type of fixture: (1) manufacturer name, (2) product number, (3) mounting height, and (4) any other pertinent information. Be sure that current and proposed lighting will not exceed the 0.50 foot-candles threshold at the property boundary line. See § 510-95 of the zoning code for more details.

Plat of survey prepared by a registered land surveyor if in the judgment of the Zoning Administrator such accuracy is needed to ensure compliance with all dimensional standards, including setback requirements. The survey shall depict property lines, easements, and other existing and proposed improvements, and other information as may be needed to establish compliance with zoning requirements.

Architectural review application for any new buildings or for remodeling of existing buildings. The application must include elevation drawings showing finished exterior treatment, with adequate labels to clearly depict exterior materials, texture, color, and overall appearance. Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings. (Refer to § 510-90 of the zoning code for additional details.)

20. Attachments. List any attachments included with your application.

1. Site Plan Exhibit – Existing Conditions and Uses
2. Site Civil Engineering Plan
3. Land Information Report
4. Reimbursement Agreement

21. Other information. You may provide any other information you feel is relevant to the review of your application.

This is an amendment to an existing approved site plan. The attached exhibit reflects existing site uses, including the bus yard. Minor site improvements are proposed; however, no expansion of the overall use or intensity is associated with this amendment.

22. Applicant certification

- ◆ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- ◆ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with § 510-149 (D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property. Please use the link above to download the form and visit FAQ for current year rates.
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to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.

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Property Owner:

Gage Johnson

Name – print



Name – Signature

5/18/26

Date

Name – print

Name – Signature

Date

Applicant (if different than Property Owner):

Name – print

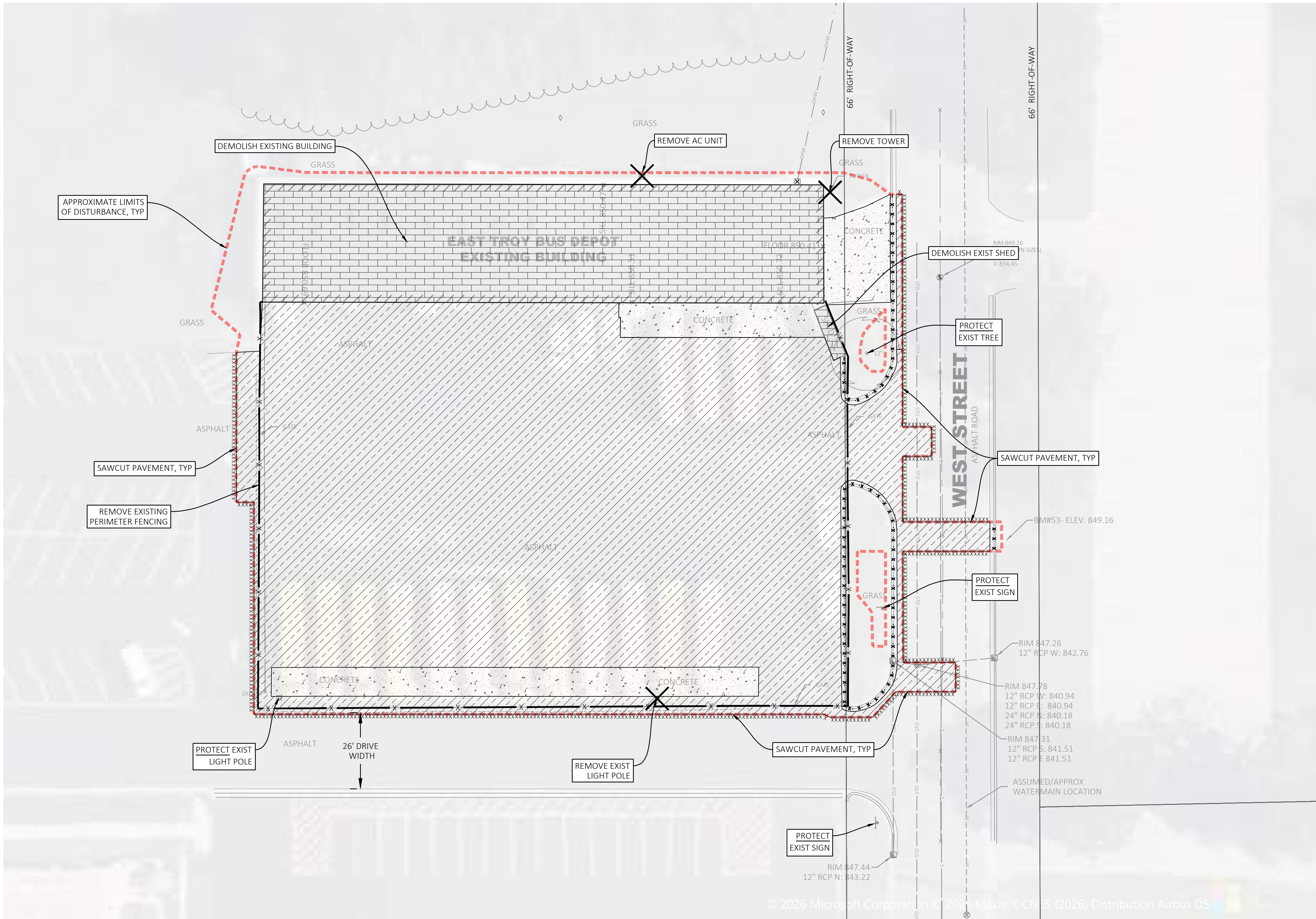
Name – Signature

Date

Name – print

Name – Signature

Date



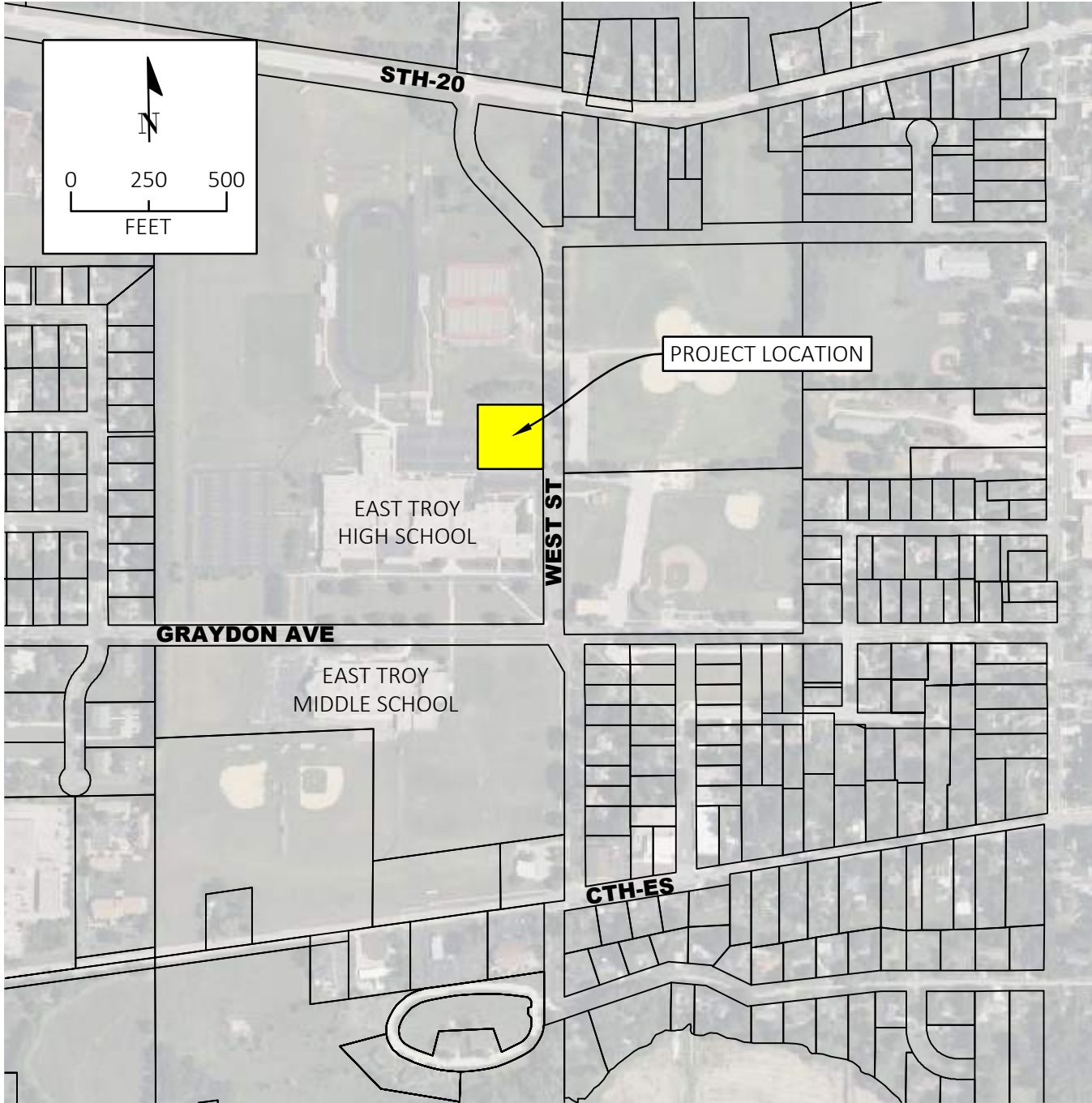
EXISTING LEGEND

() INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT	TRAFFIC SIGNAL	STORM MANHOLE	EDGE OF TREES
OR SECTION OR 1/4 SECTION CORNER AS DESCRIBED	RAILROAD CROSSING SIGNAL	ROUND INLET	SANITARY SEWER
1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)	CABLE PEDESTAL	SQUARE INLET	STORM SEWER
1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)	POWER POLE	STORM SEWER END SECTION	WATERMAIN
BOLLARD	GUY POLE	SANITARY MANHOLE	MARKED GAS MAIN
SOIL BORING/MONITORING WELL	GUY WIRE	SANITARY CLEANOUT / SEPTIC VENT	MARKED ELECTRIC
FLAGPOLE	LIGHT POLE	SANITARY INTERCEPTOR MANHOLE	OVERHEAD WIRES
MAILBOX	SPOT/YARD/PEDESTAL LIGHT	MISCELLANEOUS MANHOLE	BUREAU ELEC. SERV.
BILLBOARD	HANDICAPPED PARKING	WATER VALVE	MARKED TELEPHONE
AIR CONDITIONER	ELECTRIC MANHOLE	HYDRANT	MARKED CABLE TV LINE
CONTROL BOX	ELECTRIC PEDESTAL	WATER SERVICE CURB STOP	MARKED FIBER OPTIC
	ELECTRIC METER	WATER MANHOLE	EXIST CONTOUR ELEVATION
	ELECTRIC TRANSFORMER	WELL	EXIST SPOT ELEVATION
	TELEPHONE MANHOLE	WATER SURFACE	EXISTING PROPERTY LINE
	TELEPHONE PEDESTAL	WETLANDS FLAG	EXISTING EASEMENT LINE
	MARKED FIBER OPTIC	CONIFEROUS TREE	
	GAS VALVE	DECIDUOUS TREE	
	GAS METER	SHRUB	
	GAS WARNING SIGN		

DEMOLITION NOTES

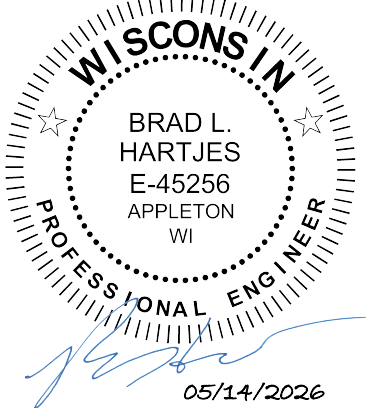
- SEWER & WATER SERVICES TO THE EXISTING BUILDING SHALL BE LOCATED IN THE FIELD DURING DEMOLITION, AND THE SERVICE CONNECTIONS SHALL BE ABANDONED AT THE MAIN PER THE VILLAGE OF EAST TROY STANDARD SPECIFICATIONS SECTIONS 33 11 13 AND 33 31 00.

LOCATION MAP



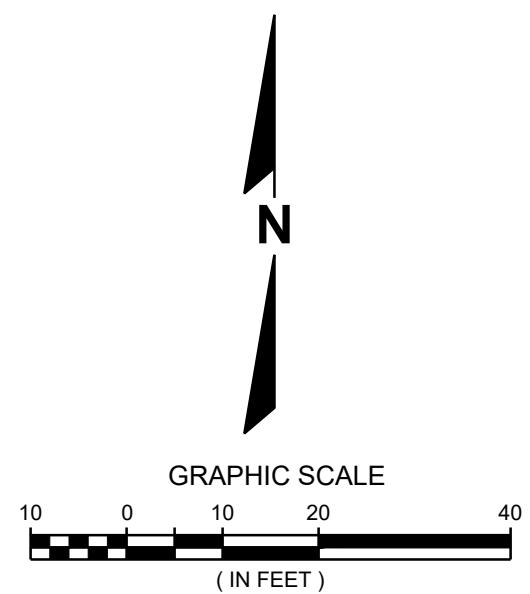
CIVIL SHEET INDEX

C100	DEMOLITION PLAN
C200	SITE PLAN
C300	UTILITY PLAN
C400	GRADING PLAN
C450	EROSION CONTROL PLAN
C500	CONSTRUCTION DETAILS
C501	CONSTRUCTION DETAILS
C502	CONSTRUCTION DETAILS
C503	CONSTRUCTION DETAILS
C550	GATE DETAILS
C552	GATE DETAILS
C553	GATE DETAILS



DEMOLITION PLAN KEY

	REMOVE EXISTING BUILDING
	REMOVE EXISTING ASPHALT
	REMOVE EXISTING CONCRETE
	SAWCUT PAVEMENT (FULL-DEPTH)
	REMOVE EXISTING CURB & GUTTER
	REMOVE EXISTING FENCE
	MISCELLANEOUS REMOVAL (AS NOTED)
	APPROXIMATE LIMITS OF DISTURBANCE



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SITE PLAN DESIGNER:

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DEMOLITION PLAN

() INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT	⚡ TRAFFIC SIGNAL	⚡ STORM MANHOLE	EDGE OF TREES
	⚡ RAILROAD CROSSING SIGNAL	⚡ ROUND INLET	SANITARY SEWER
	⚡ CABLE PEDESTAL	⚡ SQUARE INLET	STORM SEWER
⊕ OR SECTION OR 1/4 SECTION CORNER AS DESCRIBED	⚡ POWER POLE	⚡ STORM SEWER END SECTION	WATERMAIN
● 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)	⚡ GUY POLE	⚡ SANITARY MANHOLE	MARKED GAS MAIN
○ 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)	⚡ GUY WIRE	⚡ SANITARY CLEANOUT / SEPTIC VENT	MARKED ELECTRIC
	⚡ LIGHT POLE	⚡ SANITARY INTERCEPTOR MANHOLE	OVERHEAD WIRES
	⚡ SPOT/YARD/PEDESTAL LIGHT	⚡ MISCELLANEOUS MANHOLE	BUREAU ELEC. SERV.
	⚡ HANDICAPPED PARKING	⚡ WATER VALVE	MARKED TELEPHONE
	⚡ ELECTRIC MANHOLE	⚡ HYDRANT	MARKED CABLE TV LINE
	⚡ ELECTRIC PEDESTAL	⚡ WATER SERVICE CURB STOP	MARKED FIBER OPTIC
	⚡ ELECTRIC METER	⚡ WATER MANHOLE	EXIST CONTOUR ELEVATION
	⚡ ELECTRIC TRANSFORMER	⚡ WELL	EXIST SPOT ELEVATION
	⚡ TELEPHONE MANHOLE	⚡ WATER SURFACE	EXISTING PROPERTY LINE
	⚡ TELEPHONE PEDESTAL	⚡ WETLANDS FLAG	EXISTING EASEMENT LINE
	⚡ MARKED FIBER OPTIC	⚡ MARSH	
	⚡ GAS VALVE	⚡ CONIFEROUS TREE	
	⚡ GAS METER	⚡ DECIDUOUS TREE	
	⚡ GAS WARNING SIGN	⚡ SHRUB	

1. GATES OPERATORS ARE TO BE HYSECURITY SLIDSMART DC HD 30.

SITE PLAN DESIGNER:

raSmith
CREATIVITY BEYOND ENGINEERING

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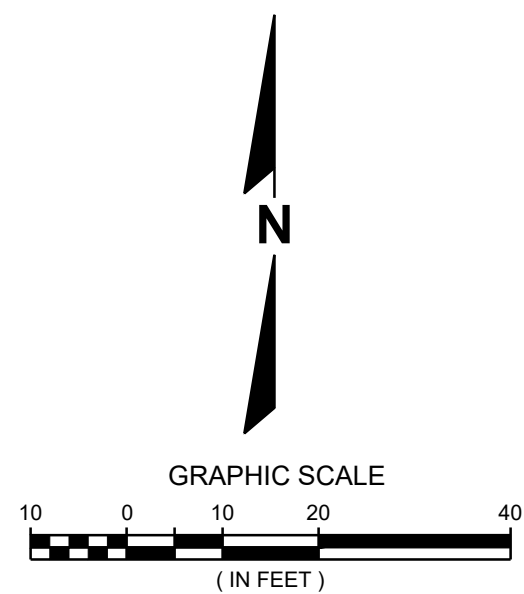
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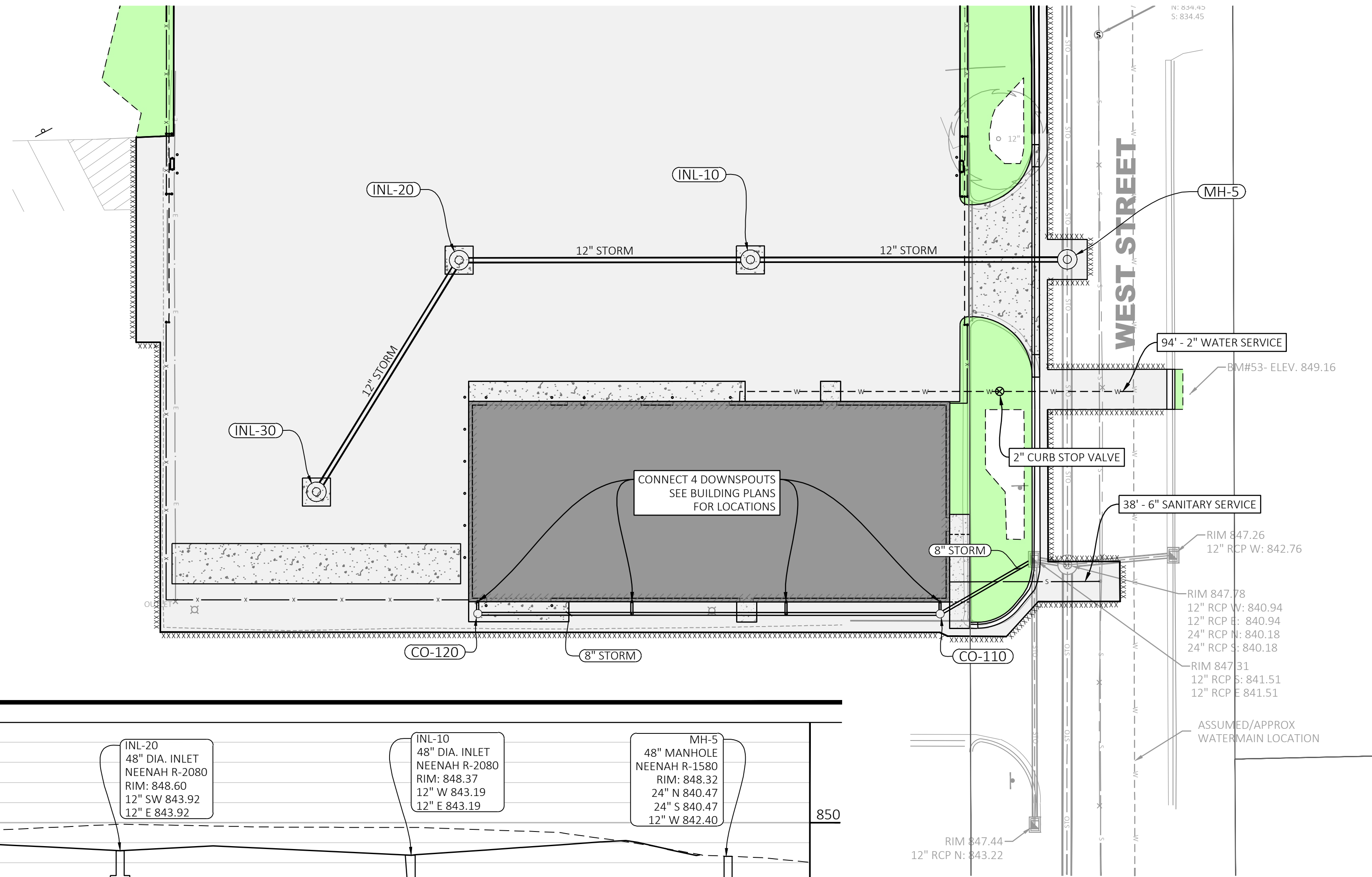
SITE PLAN



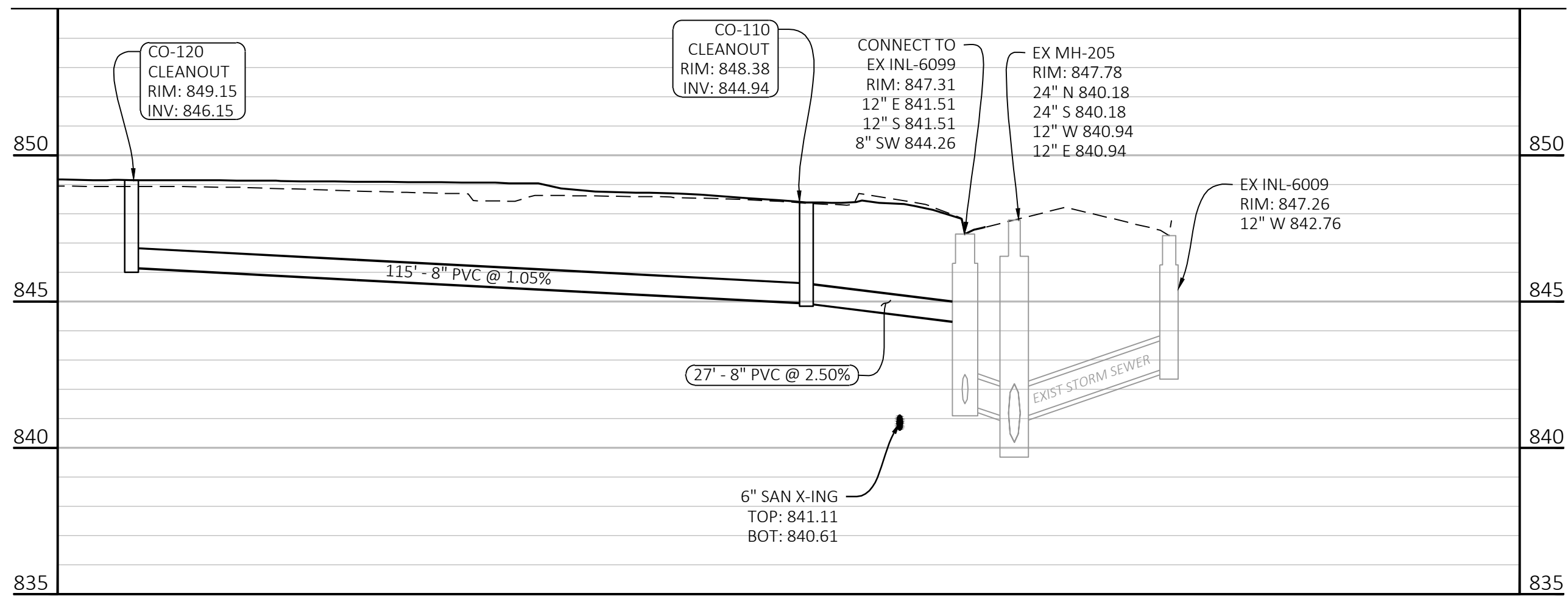
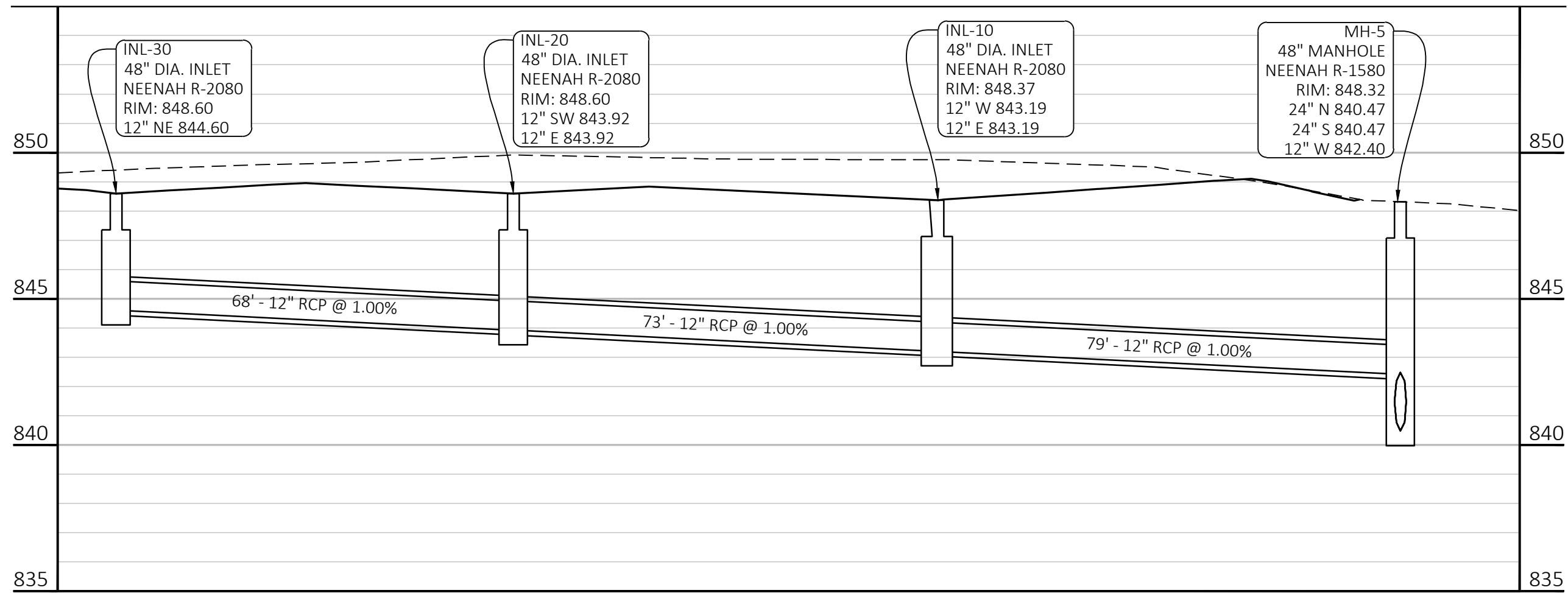
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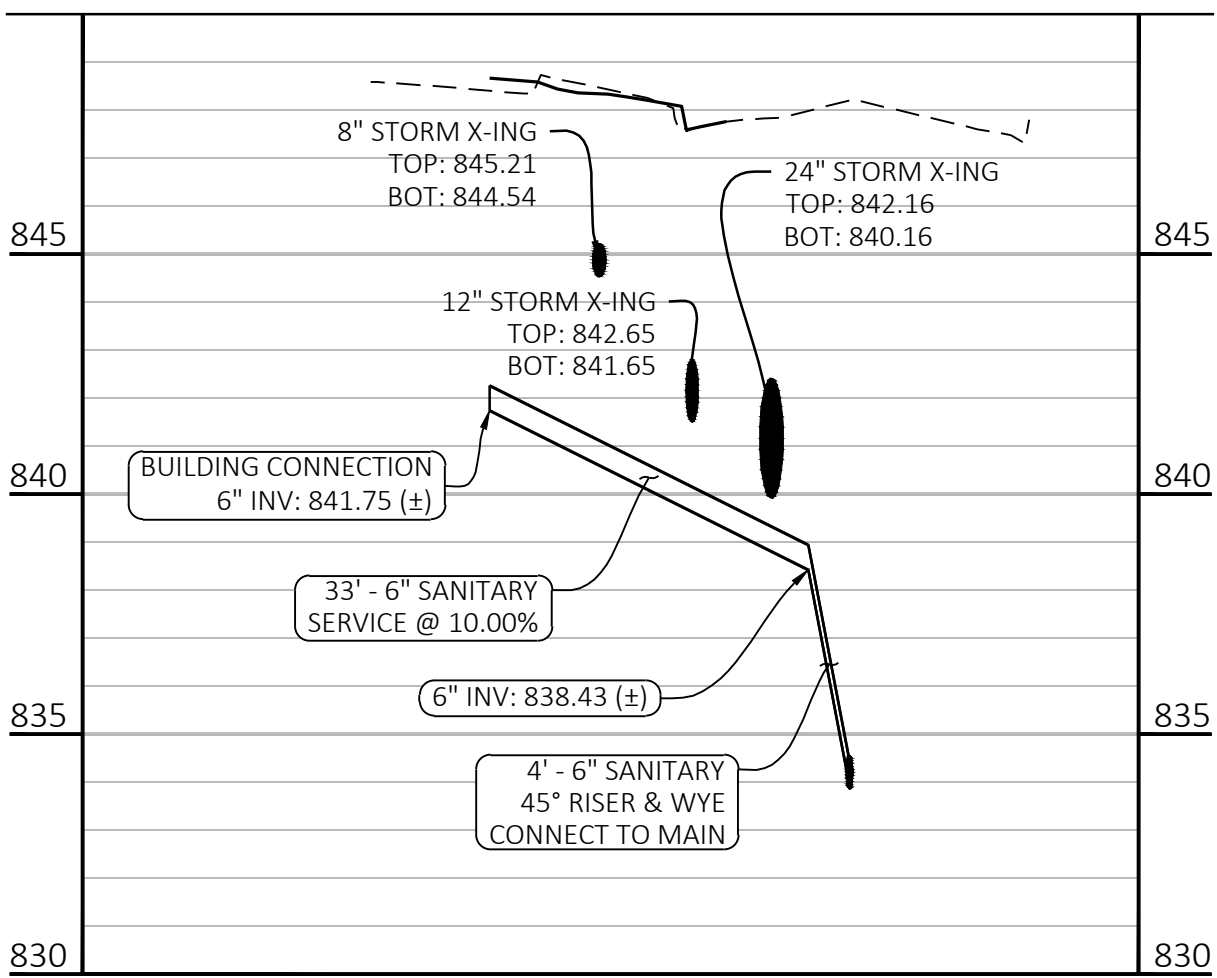
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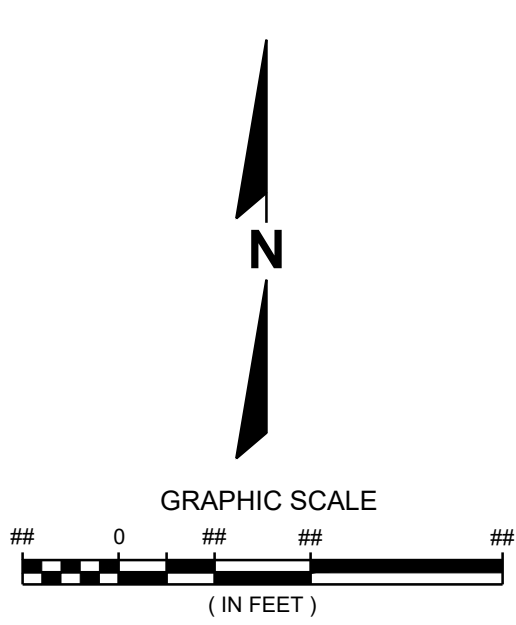
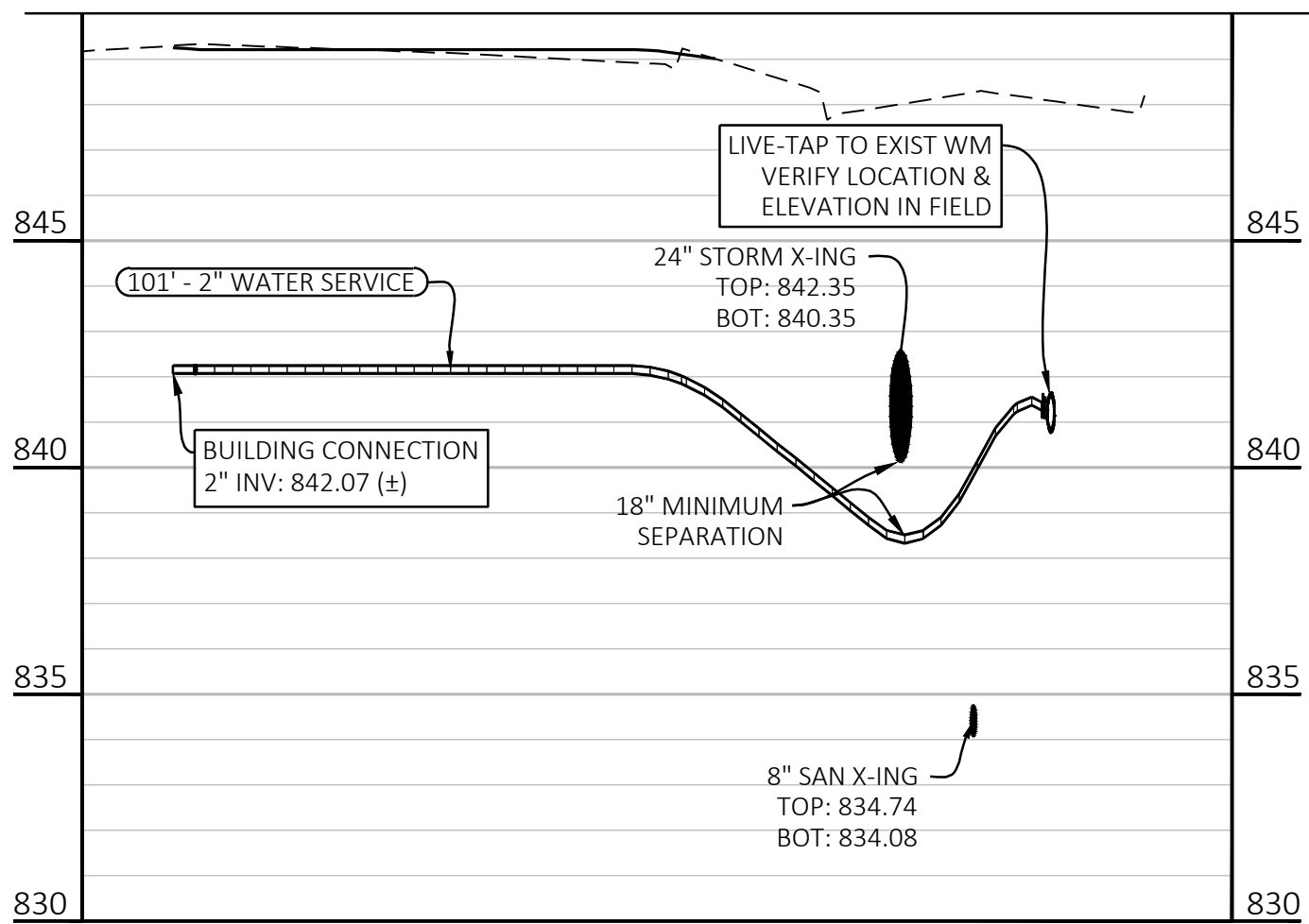
STORM SEWER PROFILES



SANITARY SERVICE PROFILE



WATER SERVICE PROFILE



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UTILITY NOTES

- ALL PIPE LENGTHS ARE FROM CENTER-TO-CENTER OF STRUCTURE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE BUILDING UTILITY CONNECTIONS WITH THE BUILDING CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL UTILITY CONNECTION ELEVATIONS. DISCREPANCIES BETWEEN PLAN GRADES AND EXISTING GRADES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
- ALL STORM, SANITARY, AND WATER PIPING SHALL BE INSTALLED WITH TRACER WIRE AS A MEANS TO LOCATE THE NON-METALLIC UTILITIES. STORM SEWER AND SERVICES SHALL BE INSTALLED WITH BROWN TRACER WIRE. SANITARY SEWER AND SERVICES SHALL BE INSTALLED WITH GREEN TRACER WIRE. POTABLE WATER PIPING SHALL BE INSTALLED WITH BLUE TRACER WIRE.

FLUSHING AND DISINFECTION

FLUSHING AND DISINFECTION OF POTABLE WATER SUPPLY SYSTEMS - SPS 382.40(8)(i):

- BEFORE A NEWLY CONSTRUCTED WATER SUPPLY SYSTEM IS TO BE PUT INTO USE, THE PIPING OF THE SYSTEM SHALL BE FLUSHED WITH WATER AND DISINFECTED. EACH WATER OUTLET SHALL BE FLUSHED BEGINNING WITH THE OUTLET CLOSEST TO THE BUILDING CONTROL VALVE AND THEN EACH SUCCESSIVE OUTLET IN THE SYSTEM. THE FLUSHING AT EACH WATER OUTLET SHALL CONTINUE FOR AT LEAST 1 MINUTE AND UNTIL THE WATER APPEARS CLEAR AND WITH NO TRACE OF DISINFECTANT AT THE OUTLET.
 - EACH PORTION OF A WATER SUPPLY SYSTEM WHICH IS ALTERED OR REPAIRED SHALL BE FLUSHED FOR AT LEAST ONE MINUTE AND UNTIL THE WATER APPEARS CLEAR.
- NEW PRIVATE WATER MAINS AND EXTENSIONS TO PRIVATE WATER MAINS SHALL BE DISINFECTED PRIOR TO USE IN ACCORDANCE WITH AWWA C651 OR THE FOLLOWING METHOD:
 - THE PIPE SYSTEM SHALL BE FLUSHED WITH CLEAN WATER UNTIL NO DIRTY WATER APPEARS AT THE POINTS OF OUTLET.
 - THE SYSTEM OR PART THEREOF SHALL BE FILLED WITH A SOLUTION OF WATER AND CHLORINE CONTAINING AT LEAST 50 PARTS PER MILLION OF CHLORINE AND THE SYSTEM OR PART THEREOF SHALL BE VALVED OFF AND ALLOWED TO STAND FOR 24 HOURS OR THE SYSTEM OR PART THEREOF SHALL BE FILLED WITH A SOLUTION OF WATER AND CHLORINE CONTAINING AT LEAST 200 PARTS PER MILLION OF CHLORINE AND ALLOWED TO STAND FOR 3 HOURS.
 - FOLLOWING THE ALLOWED STANDING TIME, THE SYSTEM SHALL BE FLUSHED WITH CLEAN POTABLE WATER.
 - THE PROCEDURES SHALL BE REPEATED IF IT IS SHOWN BY A BACTERIOLOGICAL EXAMINATION THAT CONTAMINATION STILL EXISTS IN THE SYSTEM.
- THE DEPARTMENT MAY REQUIRE A WATER QUALITY ANALYSIS TO BE DONE FOR A NEW OR REPAIRED WATER SUPPLY SYSTEM. THE ANALYSIS SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTABLE NATIONALLY RECOGNIZED LABORATORY PRACTICES. IF THE WATER SUPPLY SYSTEM HAS BEEN DISINFECTED, WATER SAMPLES FOR THE ANALYSIS MAY NOT BE TAKEN SOONER THAN 24 HOURS AFTER DISINFECTION.

NOTE: SEE S. SPS 384.30 (1) REGARDING THE BENDING OF PIPE AND PROTECTION FROM PUNCTURE.
- NEW OR REPAIRED COMBINATION WATER SERVICES OR COMBINATION PRIVATE WATER MAINS SHALL BE FLUSHED AND DISINFECTED PRIOR TO USE IN ACCORDANCE WITH NFPA 24.

SITE PLAN DESIGNER:

raSmith

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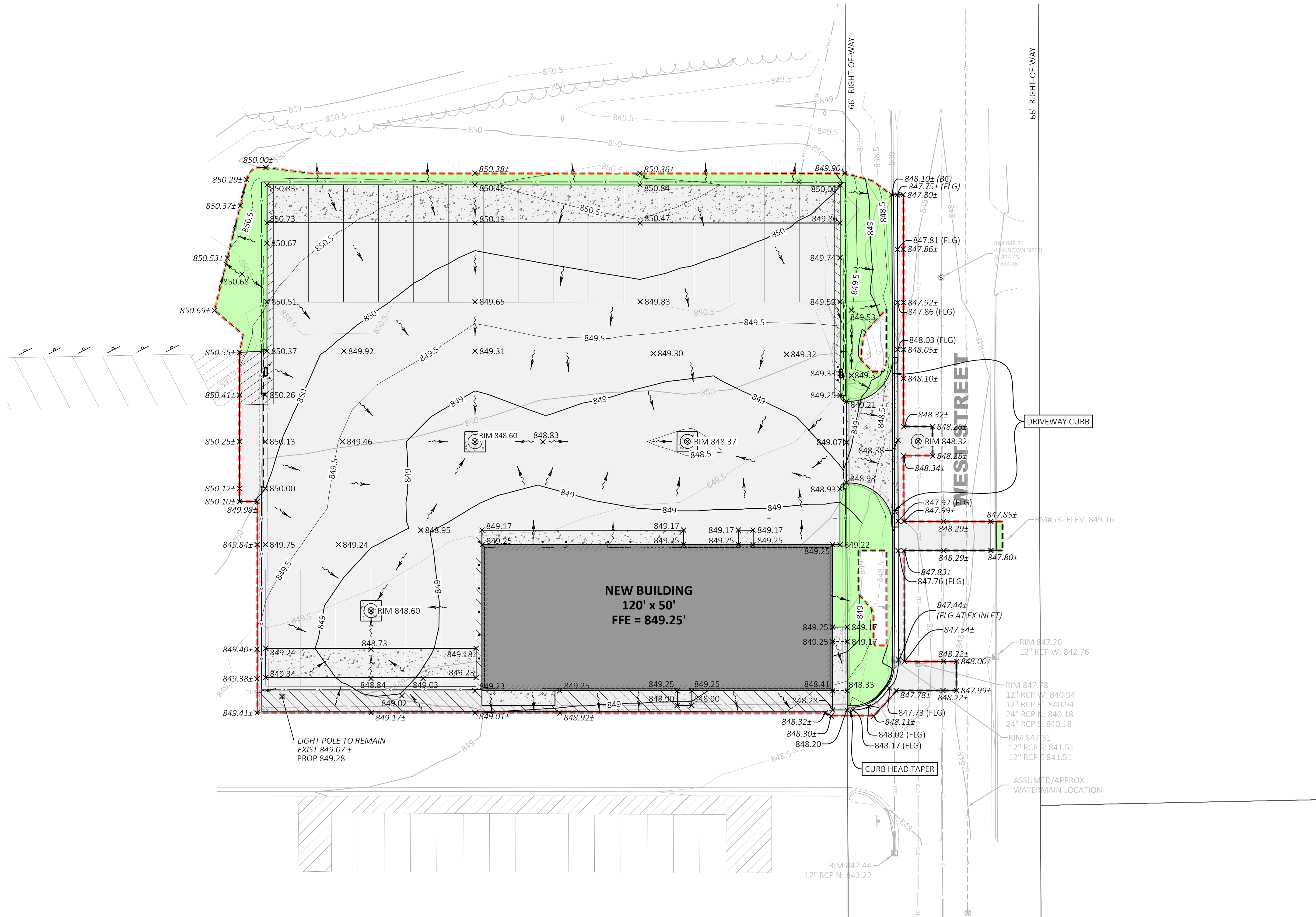
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UTILITY PLAN



EXISTING LEGEND

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR SECTION OR 1/4 SECTION CORNER AS DESCRIBED
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- BOLLARD
- SOIL BORING/MONITORING WELL
- FLAGPOLE
- MAILBOX
- SIGN
- BILLBOARD
- AIR CONDITIONER
- CONTROL BOX

- TRAFFIC SIGNAL
- RAILROAD CROSSING SIGNAL
- CABLE PEDESTAL
- POWER POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- SPOT/YARD/PEDESTAL LIGHT
- HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- MARKED FIBER OPTIC
- GAS VALVE
- GAS METER
- GAS WARNING SIGN

- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT / SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- WATER SURFACE
- WETLANDS FLAG
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB

- EDGE OF TREES
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BUREAU ELEC. SERV.
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- EXIST CONTOUR ELEVATION
- EXIST SPOT ELEVATION
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE

GENERAL PLAN SYMBOLS

- APPROXIMATE LIMITS OF DISTURBANCE
- PROPOSED DRAINAGE FLOW ARROW
- CONTOUR - PROPOSED
- CONTOUR - EXISTING
- SPOT ELEVATION - PROPOSED
- SPOT ELEVATION - MATCH EXISTING

STANDARD GRADING ABBREVIATIONS

ASPH	ASPHALT	EX	EXISTING	MIN	MINIMUM
BC	BACK OF CURB	EXIST	EXISTING	PAVT	PAVEMENT
BLDG	BUILDING	FG	FINISHED GRADE	P	PROPOSED
BM	BENCHMARK	FL	FLOW LINE	PROP	PROPOSED
BOT	BOTTOM OF CURB/WALL	FLG	FLANGE	RT	RIGHT
C&G	CURB AND GUTTER	GRAV	GRAVEL	SS	STORM SEWER
C/L	CENTERLINE	GG	GRAVEL GRADE	SW	SIDEWALK
CO	CLEANOUT	HP	HIGH POINT	SWL	BOTTOM OF SWALE
CONC	CONCRETE	INV	INVERT ELEVATION	TC	TOP OF CURB
EG	EDGE OF GRAVEL	LP	LIGHT POLE	TOP	TOP OF CURB / WALL
EL	ELEVATION	LT	LEFT	TYP	TYPICAL
EP	EDGE OF PAVEMENT	MH	MANHOLE	TW	TOP OF WALL

PLAN NOTES

- EXISTING SPOT ELEVATIONS ON THIS SHEET ARE CONSIDERED APPROXIMATE. THE PROPOSED GRADING SHALL MATCH FLUSH TO THE ACTUAL EXISTING GRADES OBSERVED IN THE FIELD AT ALL GRADING LIMITS UNLESS SPECIFIED OTHERWISE.
- SPOT ELEVATIONS SHOWN FOR CURB & GUTTER SPECIFY THE FLANGE ELEVATION UNLESS SPECIFIED OTHERWISE ON THE PLAN.

SITE PLAN DESIGNER:

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raSmith Project No.:

2245402

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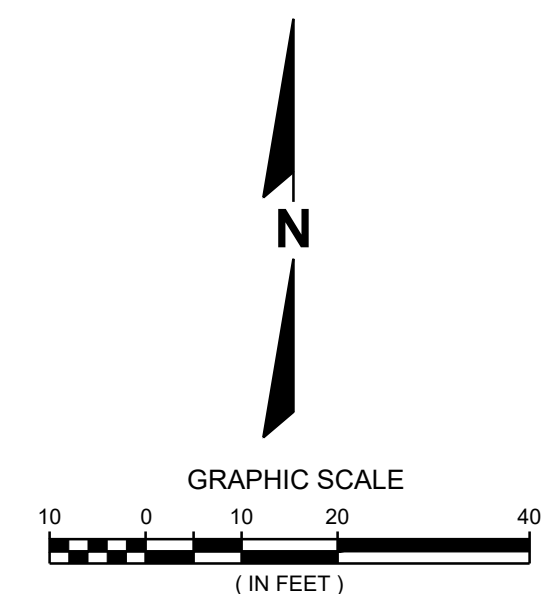
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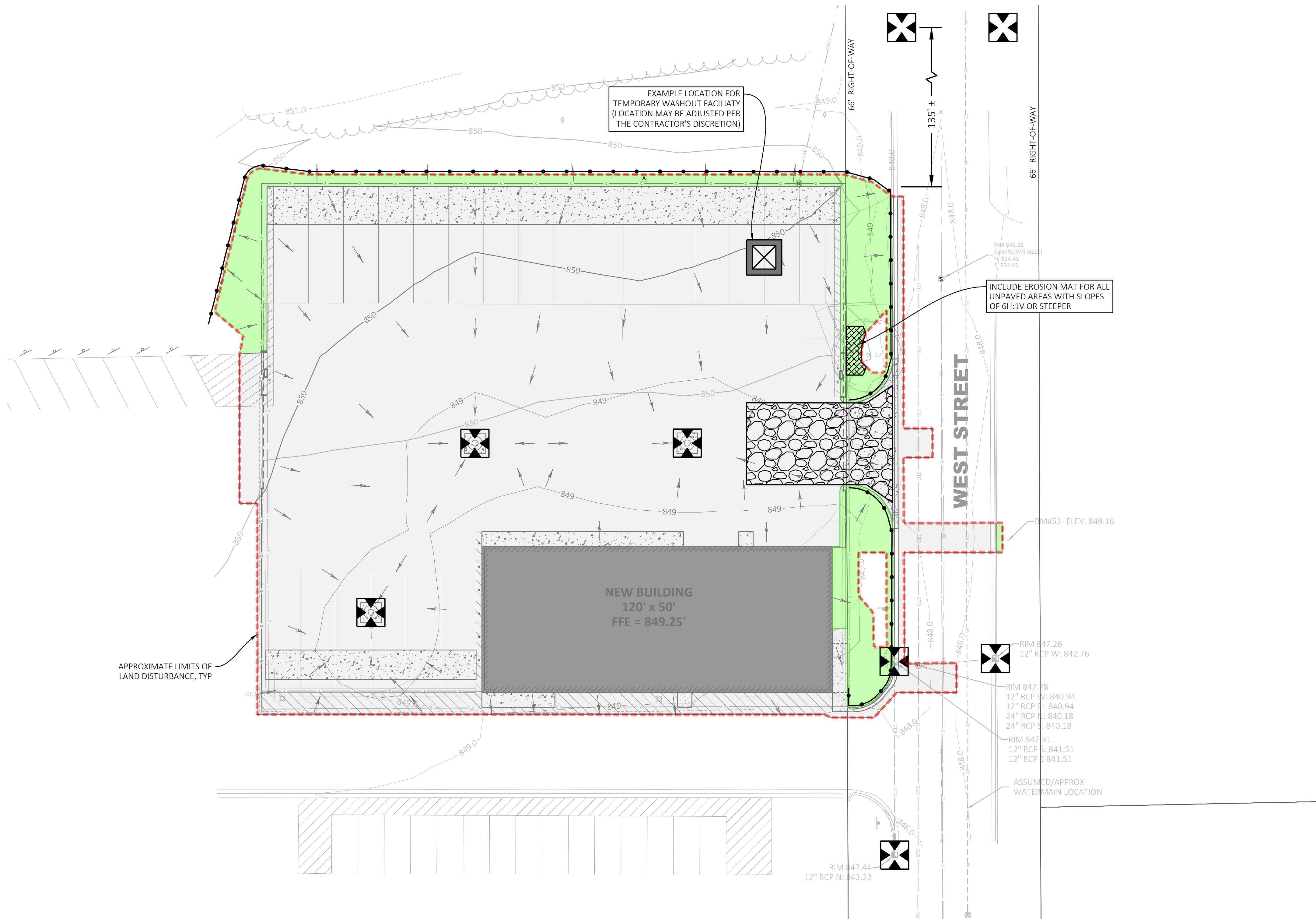
GRADING PLAN



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EXISTING LEGEND

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OR SECTION OR 1/4 SECTION CORNER AS DESCRIBED

1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)

1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)

BOLLARD
SOIL BORING/MONITORING WELL
FLAGPOLE

MAILBOX
SIGN

BILLBOARD
AIR CONDITIONER

CONTROL BOX

TRAFFIC SIGNAL
RAILROAD CROSSING SIGNAL

CABLE PEDESTAL
POWER POLE

GUY POLE
GUY WIRE

LIGHT POLE
SPOT/YARD/PEDESTAL LIGHT

HANDICAPPED PARKING
ELECTRIC MANHOLE

ELECTRIC PEDESTAL
ELECTRIC METER

ELECTRIC TRANSFORMER
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TELEPHONE PEDESTAL
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GAS METER

GAS WARNING SIGN

STORM MANHOLE

ROUND INLET
SQUARE INLET

STORM SEWER END SECTION
SANITARY MANHOLE

SANITARY CLEANOUT / SEPTIC VENT
SANITARY INTERCEPTOR MANHOLE

MISCELLANEOUS MANHOLE
WATER VALVE

HYDRANT
WATER SERVICE CURB STOP

WATER MANHOLE
WELL

WATER SURFACE
WETLANDS FLAG

MARSH
CONIFEROUS TREE

DECIDUOUS TREE
SHRUB

EDGE OF TREES

SANITARY SEWER

STORM SEWER

WATERMAIN

MARKED GAS MAIN

MARKED ELECTRIC

OVERHEAD WIRES

BUREAU ELEC. SERV.

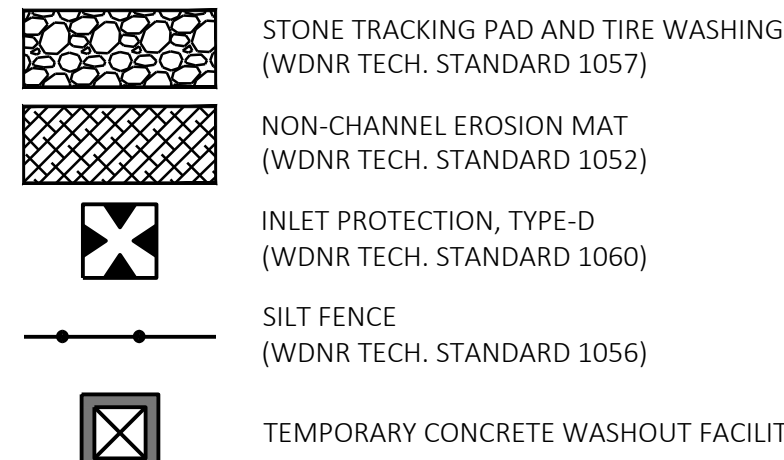
MARKED TELEPHONE

MARKED CABLE TV LINE
MARKED FIBER OPTIC

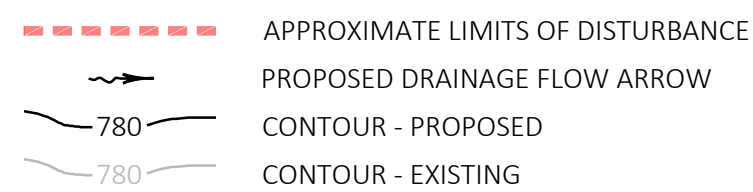
EXIST CONTOUR ELEVATION
EXIST SPOT ELEVATION

EXISTING PROPERTY LINE
EXISTING EASEMENT LINE

EROSION CONTROL PLAN KEY

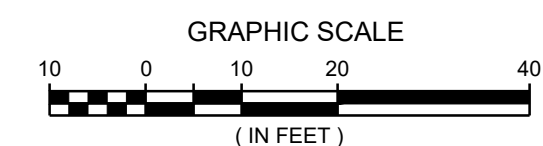


GENERAL PLAN SYMBOLS



PLAN NOTES

1. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE. STABILIZE AS INDICATED IN THE LEGEND.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
3. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
4. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH THE DNR WPDES GENERAL PERMIT.
5. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
6. ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
7. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS. USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
8. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
9. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT REACHES HALF THE HEIGHT OF THE FENCE. THE SILT FENCE SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
10. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
11. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
12. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
13. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
14. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
15. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.
16. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
17. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
18. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
19. INSTALL ADDITIONAL EROSION MAT PER WDNR TECHNICAL STANDARD 1053 AS NECESSARY TO COVER ALL UNPAVED DISTURBED AREAS WITH FINAL SLOPES EQUAL TO OR STEEPER THAN 6H:1V UNLESS SPECIFIED OTHERWISE.



Know what's below.
Call before you dig.

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SITE PLAN DESIGNER:

raSmith
100 West Townsend Street, Suite 300
P.O. Box 711, Troy, WI 53124
raSmith.com
raSmith Project No.: 2245402

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EAST TROY TRANSPORTATION BUILDING

2021 West St. East Troy, WI 53120

PSI PROJECT NO. 300-K24-3839

DATE: 05/01/26

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REVISIONS

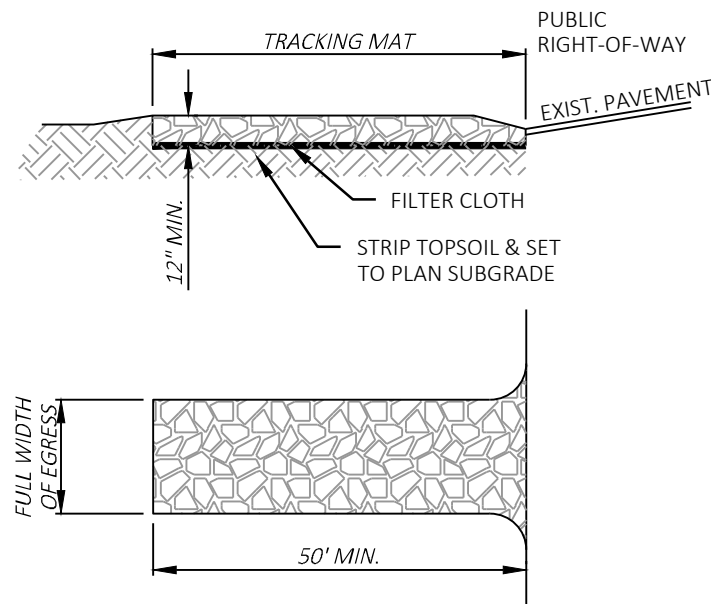
No. DATE DESCRIPTION

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C450

EROSION CONTROL
PLAN



CONSIDERATIONS:

1. TIRE WASHING AND TRACKING PAD TO CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1057.
2. VEHICLES TRAVELING ACROSS THE TRACKING PAD SHOULD MAINTAIN A SLOW CONSTANT SPEED.
3. THE BEST APPROACH TO PREVENTING OFF-SITE TRACKING IS TO RESTRICT VEHICLES TO STABILIZED AREAS.
4. IT IS ALWAYS PREFERABLE TO PREVENT SEDIMENT FROM BEING DEPOSITED UPON THE ROAD THAN CLEANING THE ROAD LATER. SEDIMENT ON A ROAD CAN CREATE A SAFETY HAZARD AS WELL AS A POLLUTION PROBLEM.
5. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.

STONE TRACKING PAD AND TIRE WASHING
(NOT TO SCALE)

NOTES:

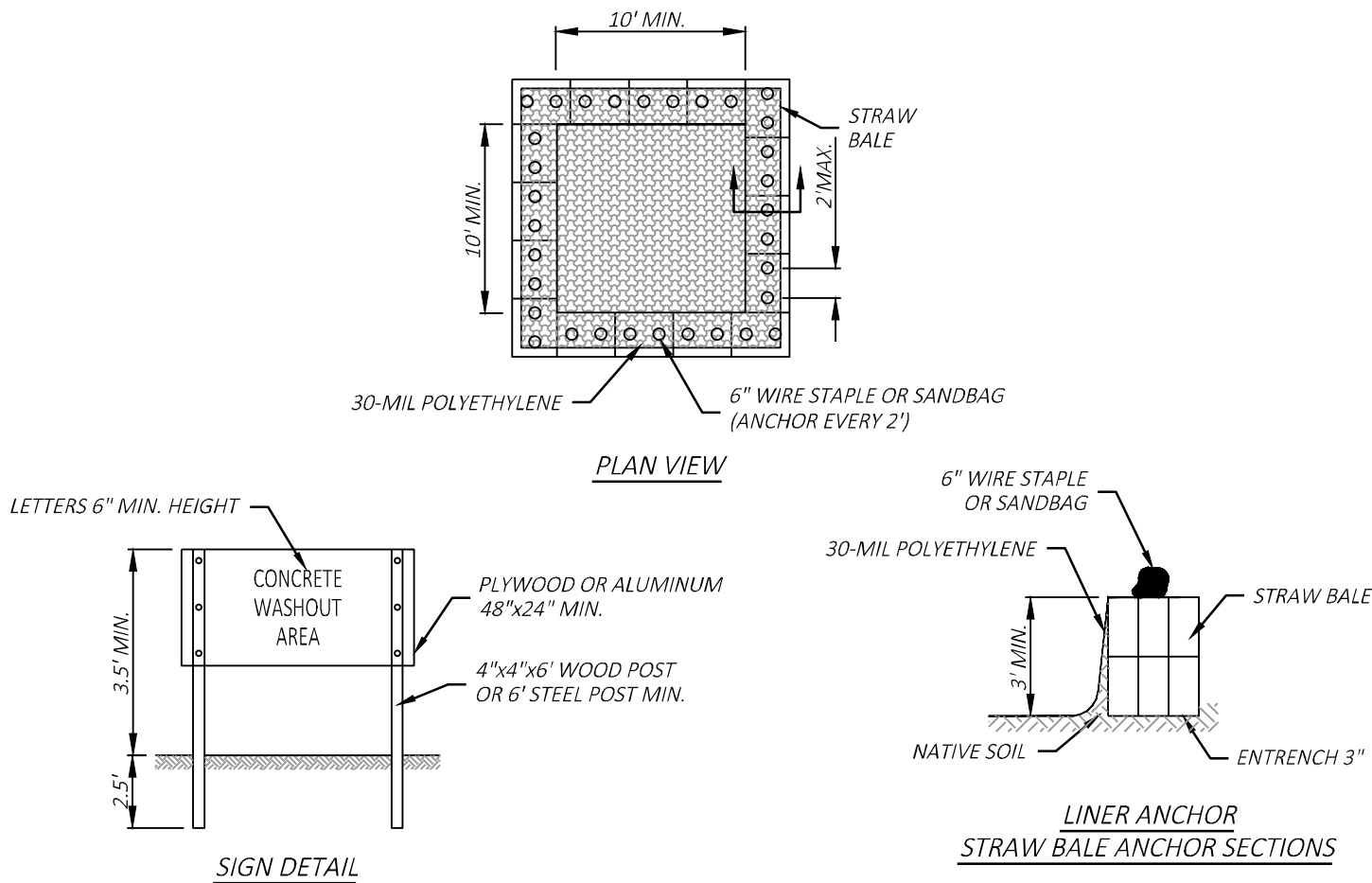
A. TRACKING PAD:

1. THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
2. THE AGGREGATE FOR THE TRACKING PAD SHALL BE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION OF TABLE 1 OF THE WISCONSIN DNR TECHNICAL STANDARD 1057. WHERE THIS GRADATION IS NOT AVAILABLE, MEET THE GRADATION IN WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) 2018 STANDARD SPECIFICATION, SECTION 312, SELECT CRUSHED MATERIAL.
3. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
4. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM OF 50 FEET LONG.
5. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR CONVEYED UNDER AND AROUND THEM BY USING A VARIETY OF PRACTICES, SUCH AS CULVERTS, WATER BARS, OR OTHER SIMILAR PRACTICES.

B. TIRE WASHING:

IF CONDITIONS ON THE SITE ARE SUCH THAT THE SEDIMENT IS NOT REMOVED FROM VEHICLE TIRES BY THE TRACKING PAD, THEN TIRES SHALL BE WASHED UTILIZING PRESSURIZED WATER BEFORE ENTERING A PUBLIC ROAD.

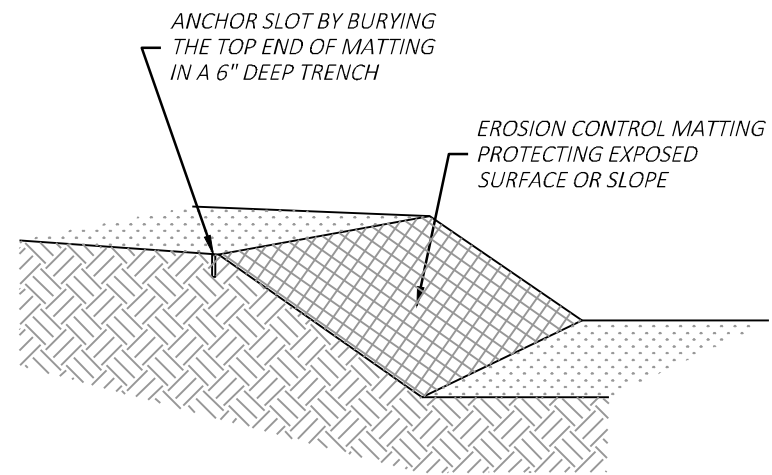
1. THE WASHING STATION SHALL BE LOCATED ON-SITE ON AN AREA THAT IS STABILIZED AND DRAINS INTO A SUITABLE SEDIMENT TRAPPING OR SETTLING DEVICE.
 2. THE WASH RACK SHALL CONSIST OF A HEAVY GRATING OVER A LOWERED AREA. THE RACK SHALL BE STRONG ENOUGH TO SUPPORT THE VEHICLES THAT WILL CROSS IT.
- C. MAINTENANCE
1. ROCKS LODGED BETWEEN THE TIRES IF DUAL WHEEL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE CONSTRUCTION SITE.
 2. TRACKING PADS AND TIRE WASHING STATIONS SHALL, AT AT MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 3. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
 4. A MINIMUM 12-INCH THICK PAD SHALL BE MAINTAINED.



NOTES:

1. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND/OR SLURRY AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION.
2. FACILITY SHALL BE CLEANED OR RECONSTRUCTED IN A NEW AREA ONCE WASHOUT BECOMES TWO-THIRDS FULL.
3. EACH STRAW BALE IS TO BE STAKED IN PLACE USING (2) 2"x2"x4" WOODEN STAKES.

**TEMPORARY CONCRETE WASHOUT
FACILITY - STRAW BALE**
(NOT TO SCALE)



NOTES:

1. PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MATTING, ALL ROCKS, DIRT CLOUDS, STUMPS, ROOTS, TRASH AND ANY OTHER OBSTRUCTIONS WHICH WOULD PREVENT THE MAT FROM LAYING IN DIRECT CONTACT WITH THE SOIL SHALL BE REMOVED.
2. EROSION CONTROL MATTING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 628 OF THE WISCONSIN DOT STANDARD SPECIFICATIONS, DNR TECHNICAL STANDARD 1052 (NON CHANNEL APPLICATIONS), DNR TECHNICAL STANDARD 1053 (CHANNEL APPLICATIONS), AND LATEST MANUFACTURER SPECIFICATIONS, ESPECIALLY NOTING REQUIRED STAPLE PATTERNS AND ANCHOR TRENCH REQUIREMENTS.
3. INSTALLATION PROCEDURES MUST INSURE THAT THE MAT WILL REMAIN IN CONTACT WITH THE SOIL.
4. THE MATTING SHALL BE ANCHORED PER MANUFACTURER REQUIREMENTS.
5. THE MATTING SHALL BE ANCHORED TO THE GROUND PER MANUFACTURER REQUIREMENTS.
6. MATTED AREAS MUST BE INSPECTED ON A WEEKLY BASIS, AND AFTER EACH SIGNIFICANT RAINFALL. BARE SPOTS, MISSING OR LOOSEENED MATTING MUST BE IMMEDIATELY REPLACED AND/OR RE-ANCHORED.
7. FOR CHANNEL APPLICATIONS, EXTEND MAT UPSLOPE ONE FOOT MINIMUM VERTICALLY FROM DITCH BOTTOM OR SIX-INCHES HIGHER THAN DESIGN FLOW, WHICHEVER IS GREATER.

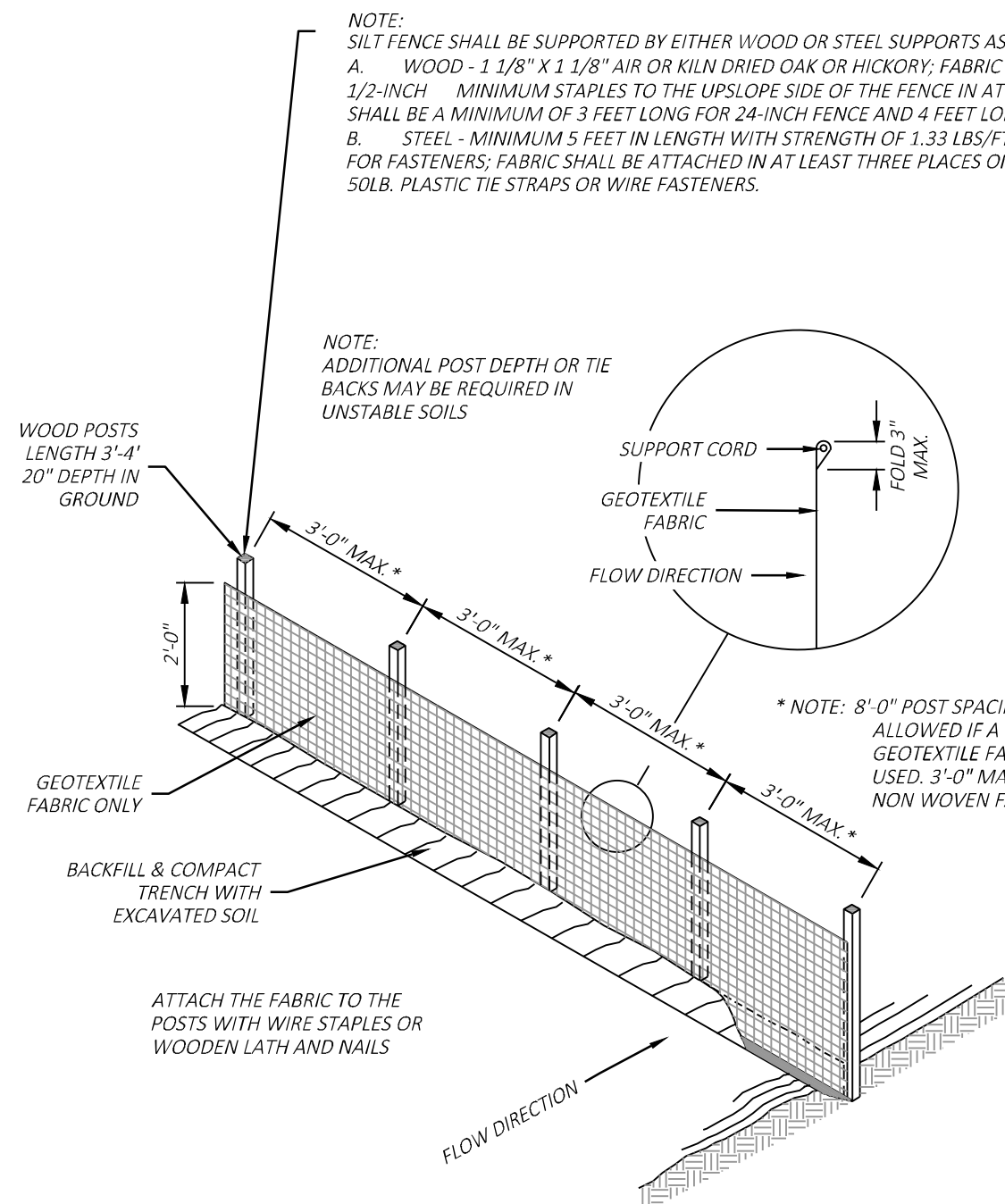
EROSION CONTROL MATTING
(NOT TO SCALE)

NOTES:

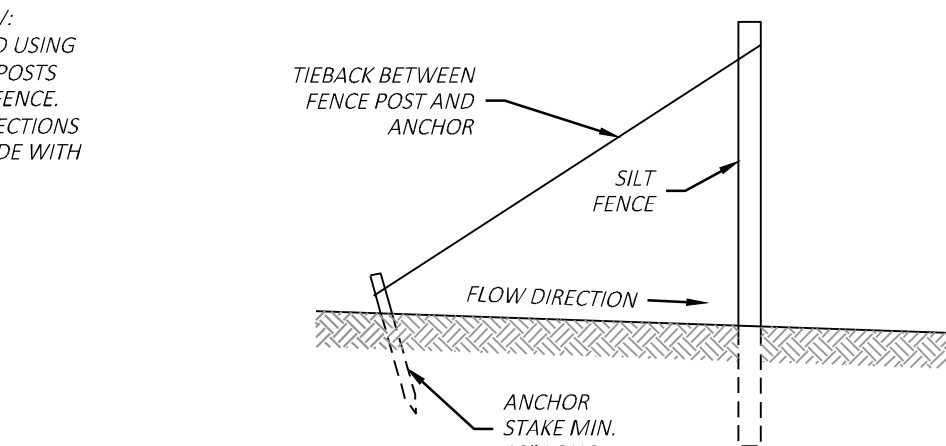
1. SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO WDNR CONSERVATION STANDARD 1056
2. SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW:

SLOPE	FENCE SPACING
<2%	100 FEET
2 TO 5%	75 FEET
5 TO 10%	50 FEET
10 TO 33%	25 FEET
> 33%	20 FEET

4. INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
5. A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
6. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH WIDE BY 6-INCH DEEP TRENCH, OR 6-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.
7. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
 - A) TWIST METHOD--OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.
 - B) HOOK METHOD--HOOK THE END OF EACH SILT FENCE LENGTH.
8. SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
9. DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
10. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
11. SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.

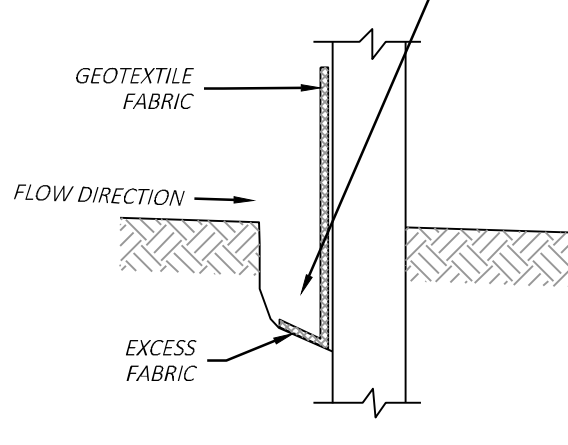


SILT FENCE
(NOT TO SCALE)

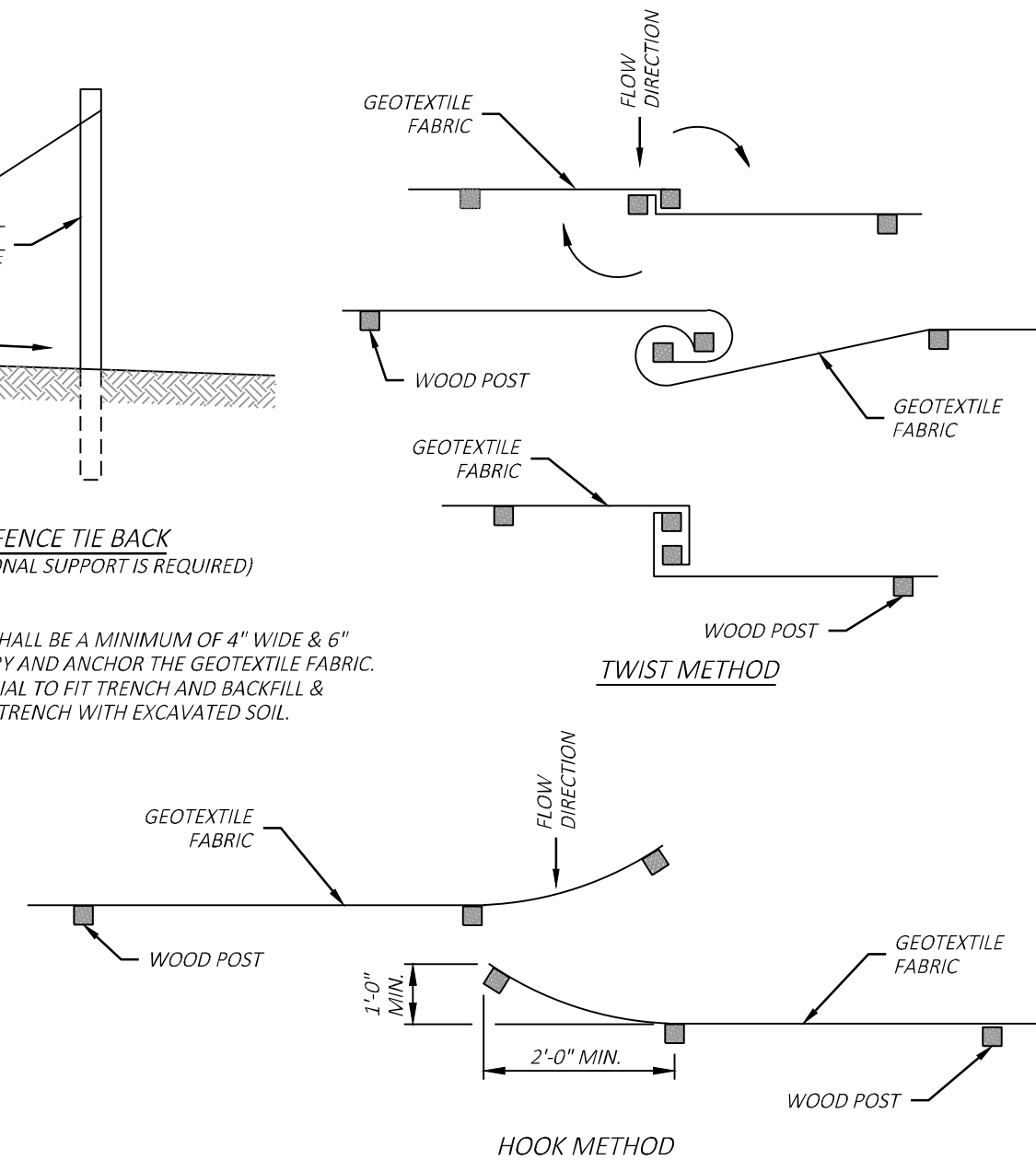


SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT IS REQUIRED)

- NOTES:
1. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.



TRENCH DETAIL



JOINING TWO LENGTHS OF SILT FENCE

SITE PLAN DESIGNER:

100 West Lawrence Street, Suite 300
PO Box 7713499
rsmith.com
raSmith Project No.: 2245402

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EAST TROY TRANSPORTATION BUILDING

2021 West St. East Troy, WI 53120

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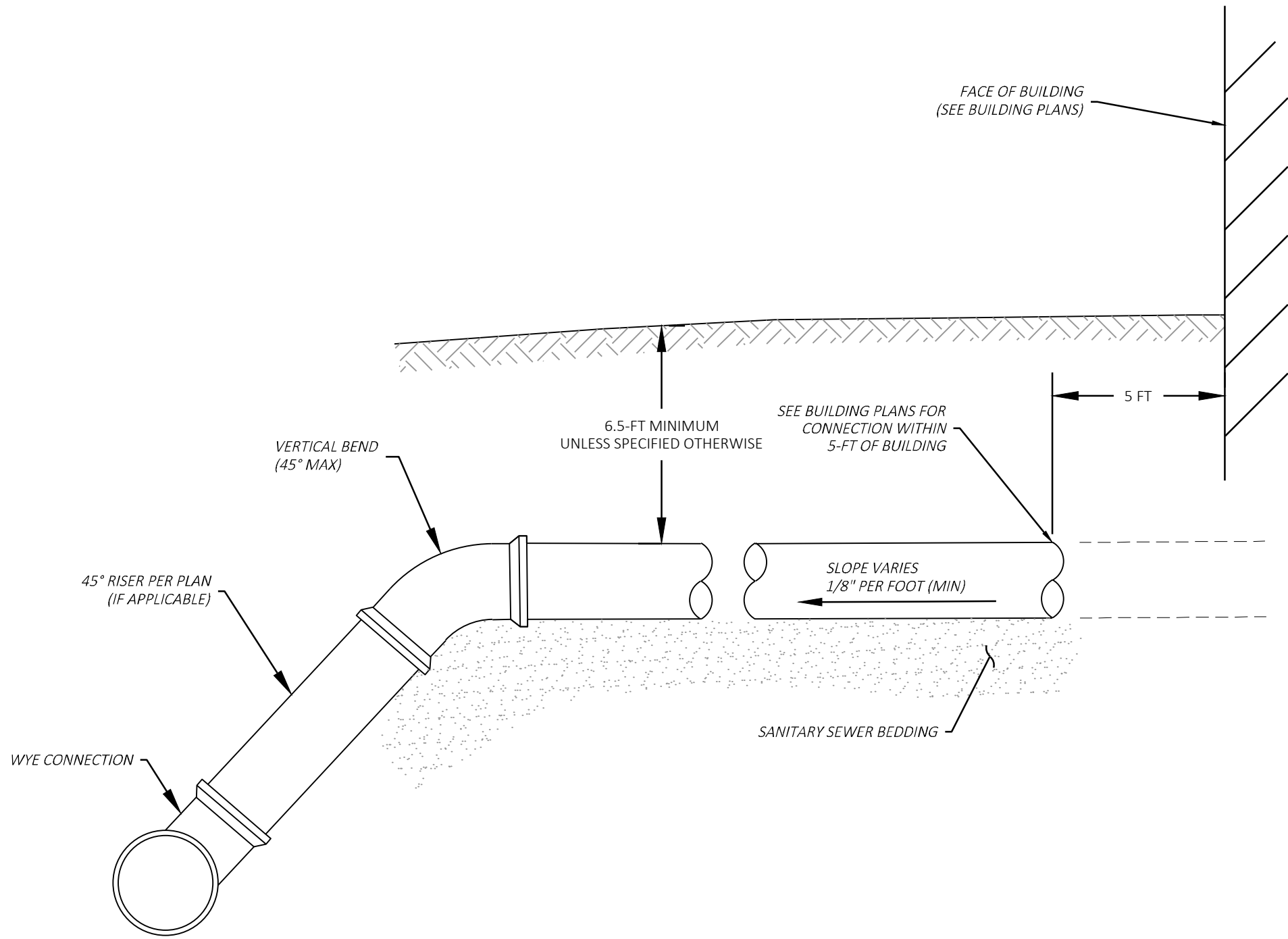
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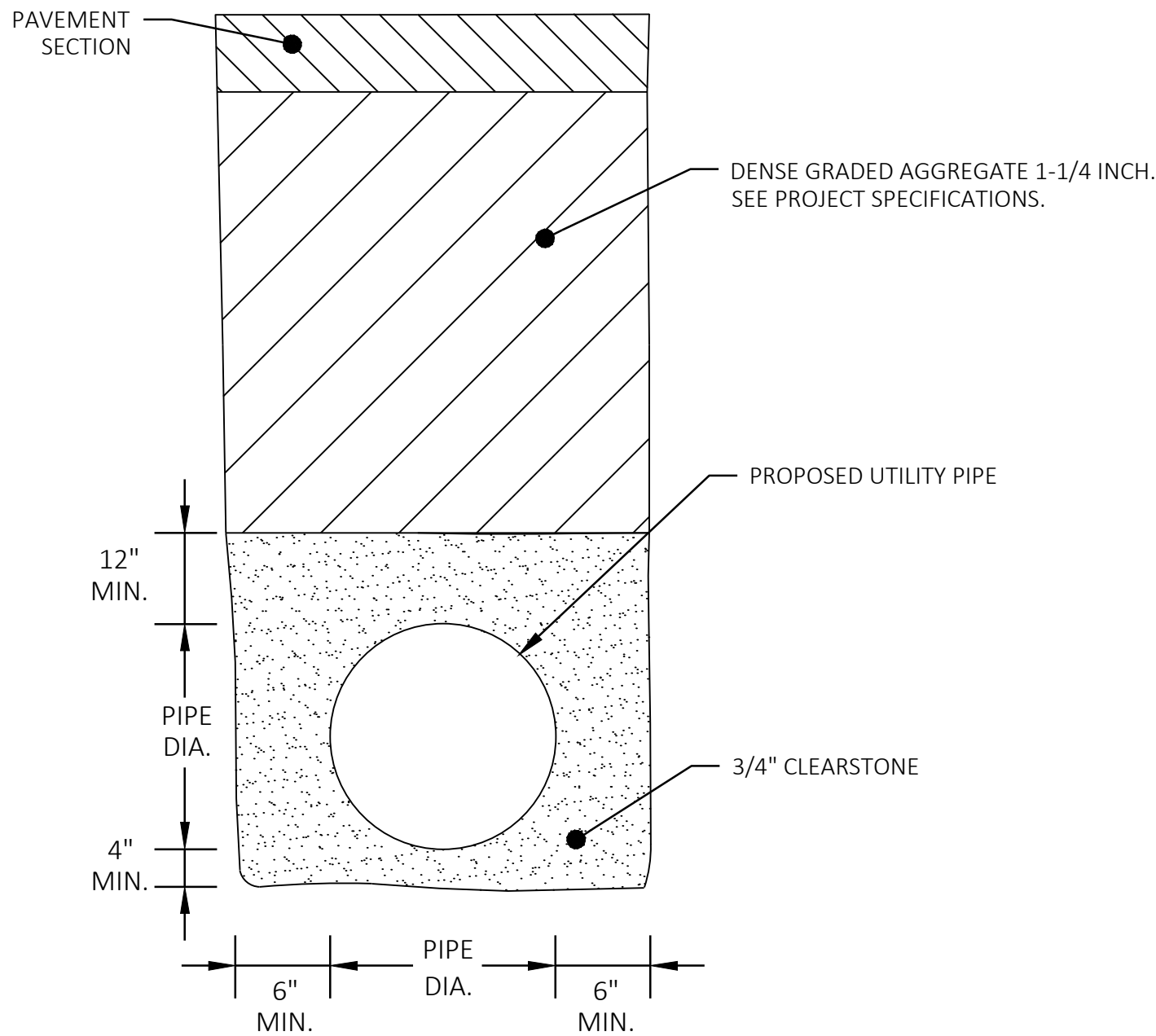
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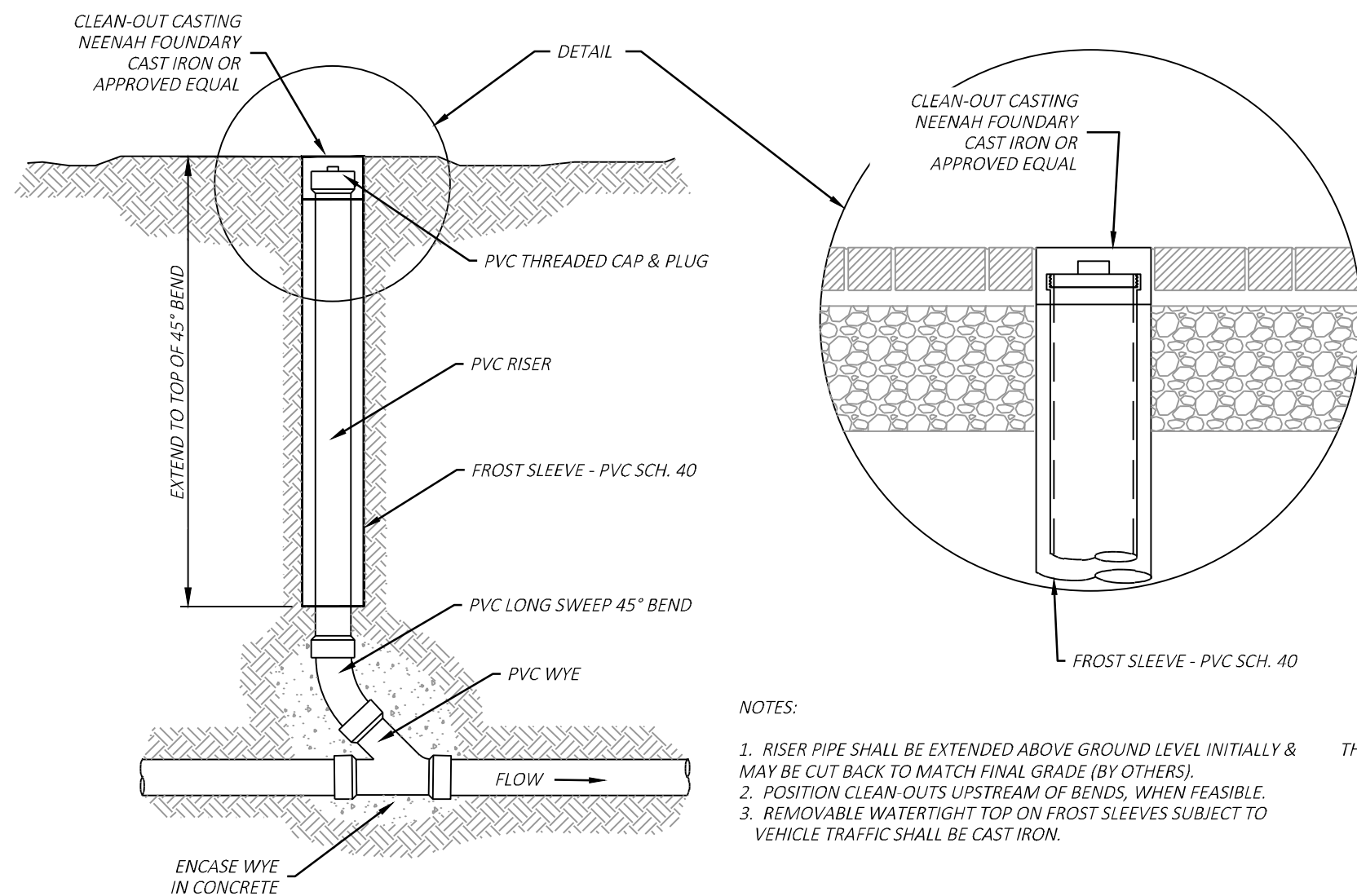
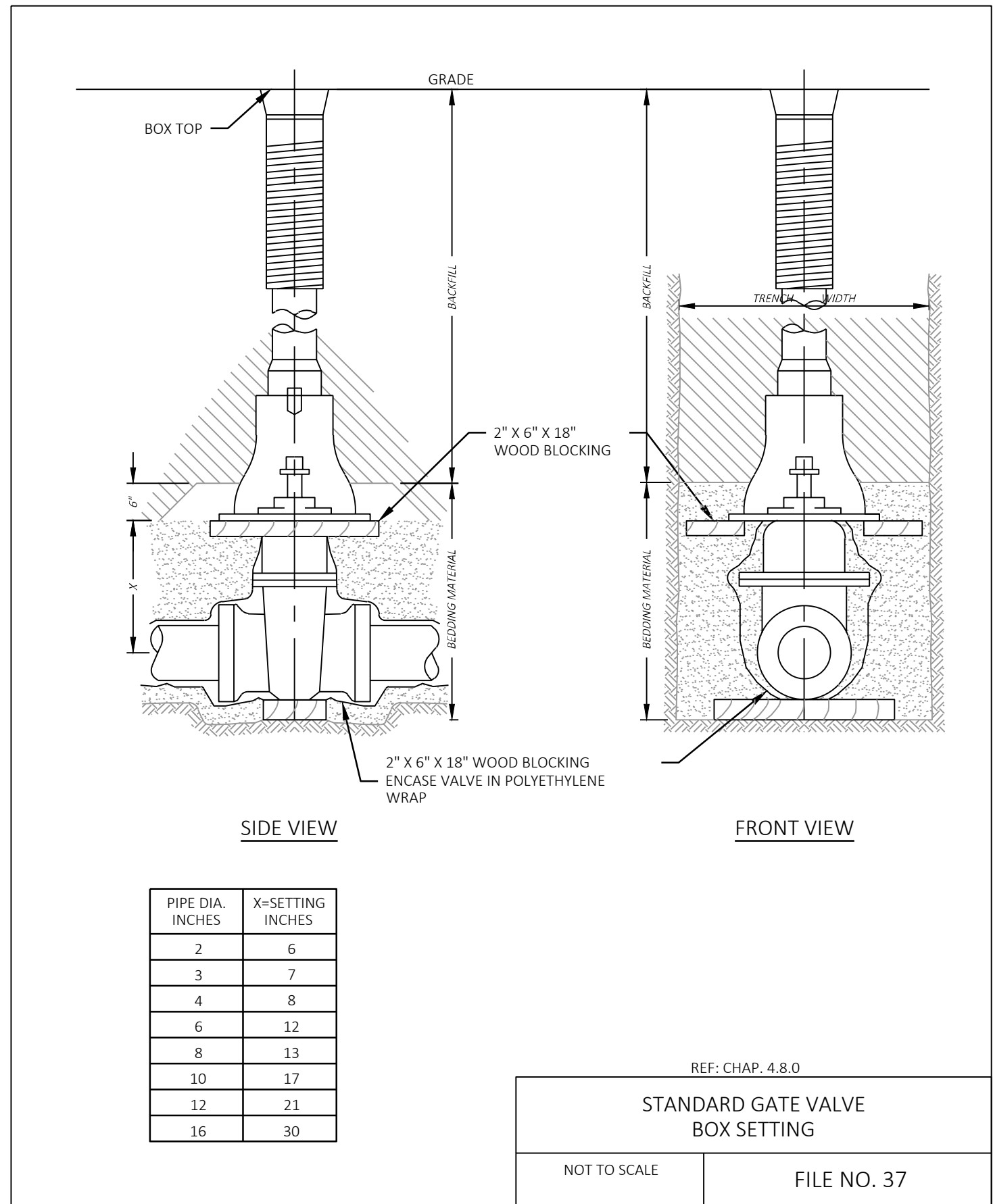
CONSTRUCTION
DETAILS



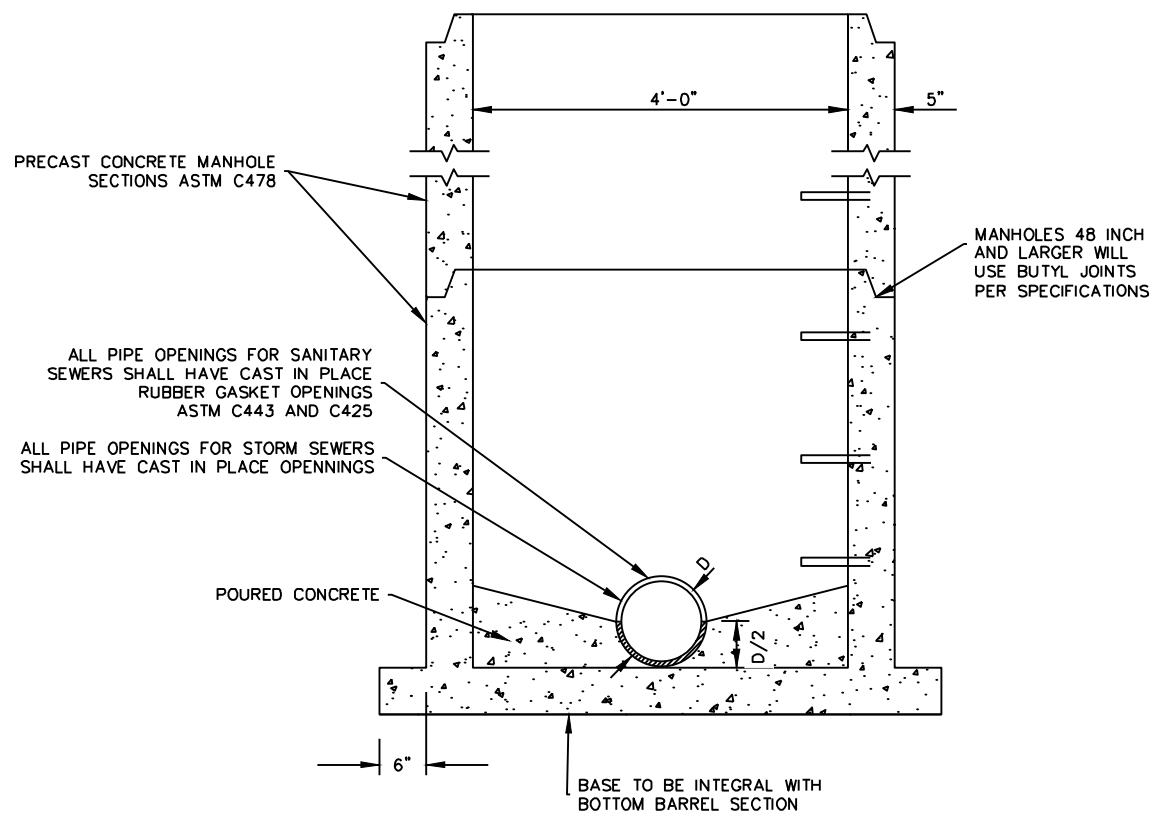
SANITARY SERVICE DETAIL
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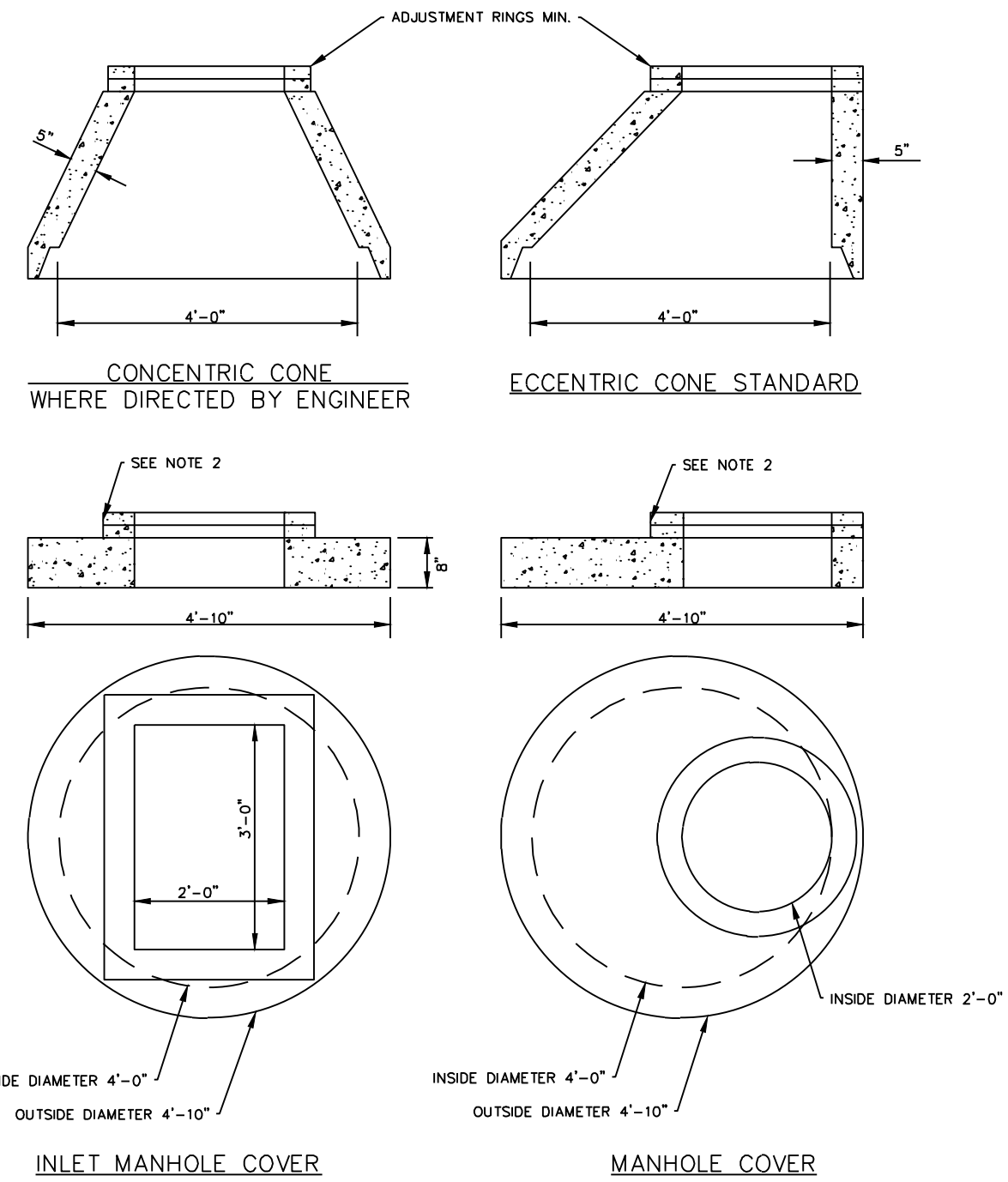
TYPICAL TRENCH SECTION
(NOT TO SCALE)



CLEAN-OUT STRUCTURE DETAIL
(NOT TO SCALE)



- NOTE:
1. THE TOP ADJUSTING RING (MINIMUM OF 2" AND MAXIMUM OF 3") ON ALL MANHOLES AND INLETS THAT FALL WITHIN THE PAVEMENT SHALL BE RUBBER RISER RINGS.
 2. ASPHALT STREET:
 - MIN. 2-2" ADJUSTMENT RINGS, BOTTOM RING CONCRETE AND THE TOP RING RUBBER.
 - MINIMUM 2" RUBBER RING ON TOP WITH CONCRETE VIBRATED UNDER RUBBER RING OR AN ADDITIONAL 2" CONCRETE RING.



48" DIA. INLET STRUCTURE
(NOT TO SCALE)

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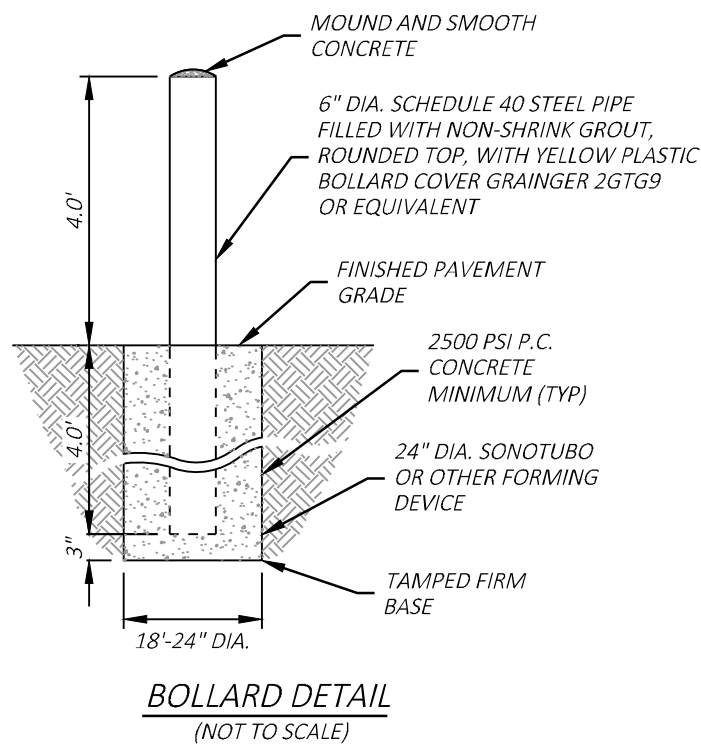
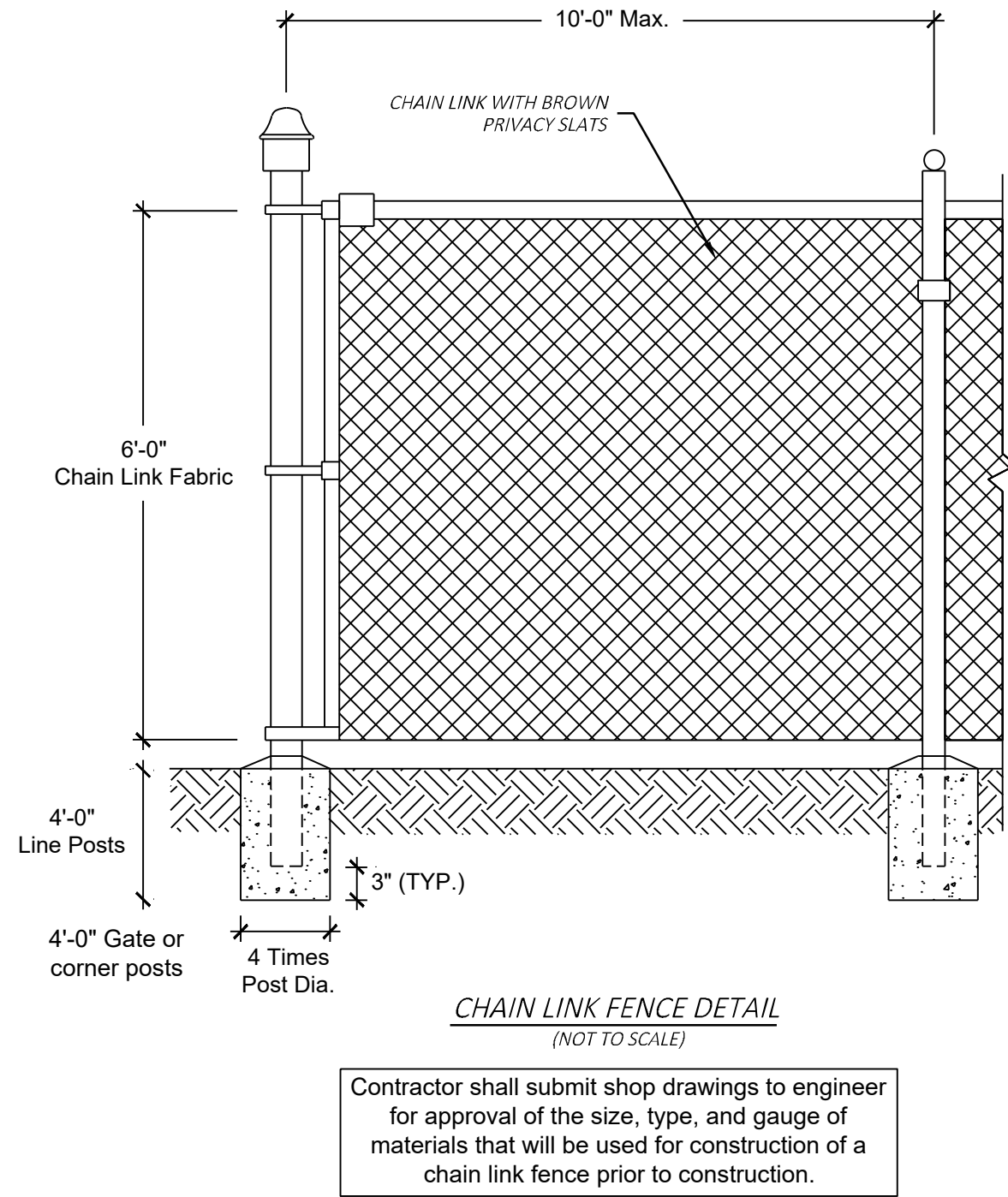
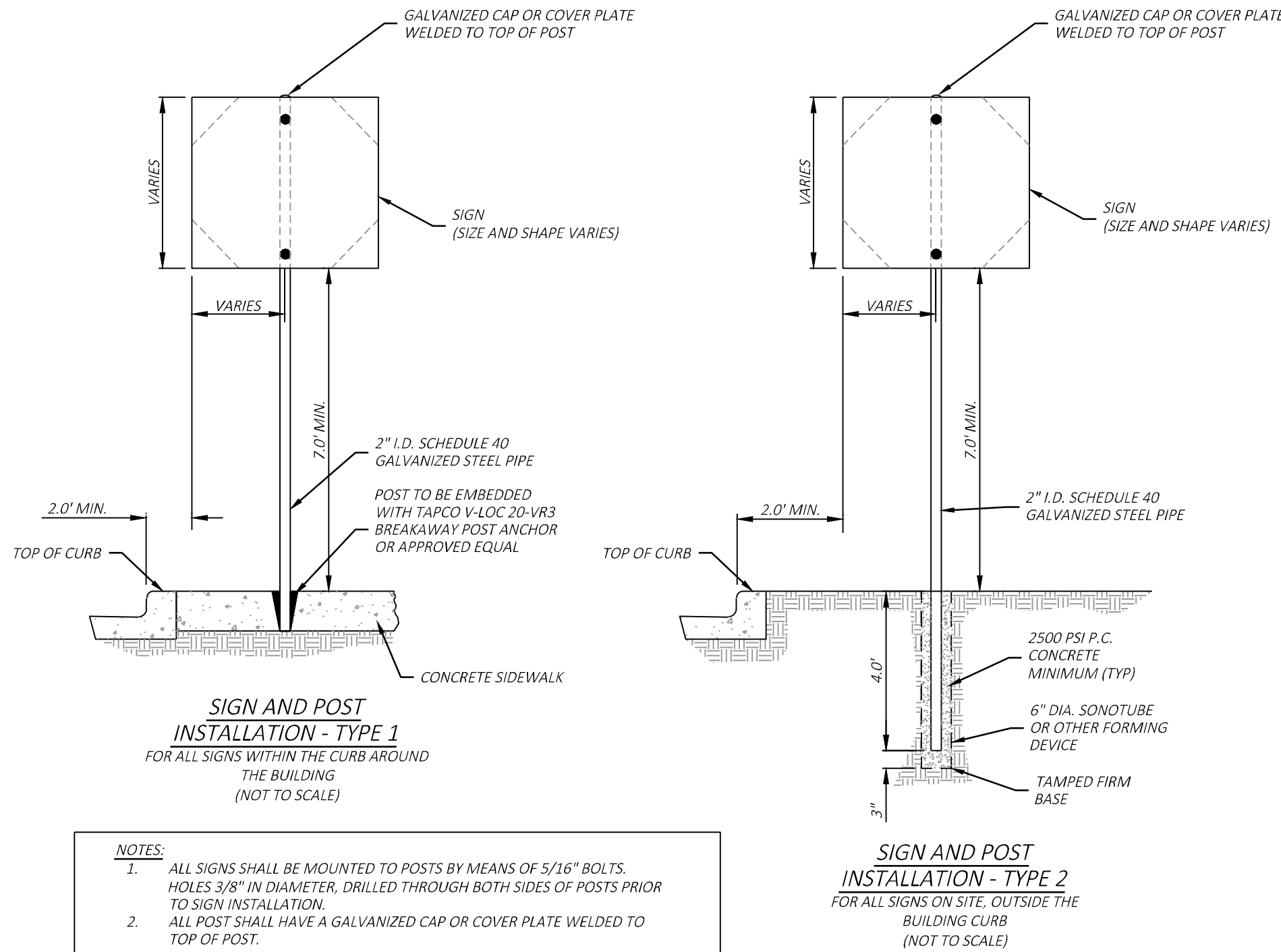
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CONSTRUCTION
DETAILS



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**CONSTRUCTION
DETAILS**

Nice

Transmitters Era One & Inti



Era One

2 and 4-channel transmitters with visor clip

Ideal and sleek design solution to control multi-user systems



Visor clip standard on both
ON2E/A and ON4E/A

Inti Transmitters

The colorful line of 2-channel
miniaturized transmitters,
available in six colors. Ideal for
multi-user systems



Self-learning and built-in proximity receiver with 72 bit O-Code encoding. 433.92 MHz rolling code transmitters with management of Identity Codes and Certificates.

Increase security using data processing and recognition systems that increase its degree of security and deliver a threefold reduction in automation response times.

Easy memorization using a transmitter already programmed in the receiver

Model	Description
ON2E/A	Era One Transmitter, 2 channels, 433.92 MHz
ON4E/A	Era One Transmitter, 4 channels, 433.92 MHz
INTI2Y/A	Inti Transmitter, 2 channels, 433.92 MHz, Yellow
INTI2R/A	Inti Transmitter, 2 channels, 433.92 MHz, Red
INTI2L/A	Inti Transmitter, 2 channels, 433.92 MHz, Lilac
INTI2G/A	Inti Transmitter, 2 channels, 433.92 MHz, Green
INTI2B/A	Inti Transmitter, 2 channels, 433.92 MHz, Blue
INTI2/A	Inti Transmitter, 2 channels, 433.92 MHz, Black

Transmitter Technical Specifications							
Model	Carrier frequency	Estimated range	Encoding	Power supply	Battery life	Protection class	Dimensions and weight
ON2E/A ON4E/A	433.92 MHz	Outdoor: 656 ft (200 m) Inside building: 115 ft (35 m)*	O-Code 72 bit; rolling code**	3VDC; type CR2032 lithium battery	2 years (with 10 transmissions per day)	IP40 (use in protected environments)	1.7w x 2.1d x 0.4h inch 0.02 lb
INTI2/A all colors	433.92 MHz	Outdoor: 492 ft (150 m); Inside building: 98 ft (30 m)*	O-Code 72 bit; rolling code**	3VDC; type CR2032 lithium battery	2 years (with 10 transmissions for day)	IP40 (use in protected environments)	1.2w x 2.2d x 0.3h inch 0.03 lb

* Transmitter range and receiver reception capacity may be affected by any devices operating on the same frequency in the area.
** Not compatible with European products.



800-321-9947 • www.hysecurity.com

Manufacturer of ultra-reliable rural/ranch, residential, commercial,
solar, and parking gate operators and accessories.

D0825 082919

Nice

Receivers OXI/A & 318N



OXI/A Receiver

Multi-channel plug in receiver, compatible with 936, 1050 and XBA3 boards. Advanced features with Era One and Inti Transmitters.

Management: Receivers can receive and memorize up to 1000 codes/transmitters.

Memorization: An unique receiver output can be associated to each transmitter key.

Versatile: Receiver outputs can be customized through board programming to perform several different functions.

These receivers are not compatible with Homelink®



OXI/A Receiver
multi-channel plug in

318N Receiver

2-channel receiver with normally open relay contacts.

Management: Receivers can receive and memorize up to 63 codes/transmitters.

Memorization: An unique receiver output can be associated to each transmitter key.

Versatile: Operating voltage is 12/24V AC/DC

These receivers are not compatible with Homelink®



318N
Universal receiver

Code	Description
OXI/A	Receiver; 4 channels, 433.92 MHz, 1000 code memory
318N	Receiver, 2 channels, 433.92 MHz, 63 code memory

Receiver Technical Specifications							
Model	Reception frequency	Decoding	Number of channels	Power supply	Absorption	Relay contact	Dimensions
318N	433.92 MHz	Digital 52 bit	2	12 - 24V AC/DC	15 mA	Normally Open	3.8w x 1.6d x 0.9h inch
OXI/A	433.92 MHz	Digital 52 Bit	15 - 1050/XBA3 board 2 - 936 board	n/a	30 mA (max)	--	1.9w x 0.7d x 1.7h inch

SYSTEM DESIGN SUPPORT: Contact Nice/HySecurity for help with custom site requirements, CAD drawings, tech manuals or other specifications support.

VISIT WWW.HYSECURITY.COM for installation manuals, parts diagrams, wiring diagrams, specifications, image gallery, videos, training and much more.



Contact Nice/HySecurity for an operator/parts distributor near you.

phone 253-867-3700 | 800-321-9947

www.hysecurity.com | sales@hysecurity.com

D0825 082919

SITE PLAN DESIGNER:

100 West Lawrence Street, Suite 305
Troy, WI 53120
P509 713 3499
raSmith.com
raSmith Project No.: 2245402

raSmith

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EAST TROY TRANSPORTATION BUILDING

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C550

GATE DETAILS

SlideSmart[®] HD

Cycle big, heavy gates



Heavy duty. Commercial.

Quick and easy install

Long life slide gate operator with best in class controller and battery backup.



Move up to 3,000 lb/50 ft gate



Rodent proof heavy duty enclosure



Keep your gate moving after power loss: up to 4,000 ft/standard batteries and 25,000 ft/extended batteries



Field Programmable to specific site requirements



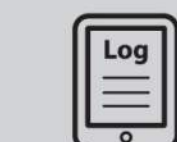
Real time system security alerts with optional HyNet[™] Gateway



HD15F moves your gate fast



Intelligent charging system, monitors battery condition to maximize battery life



Easy system troubleshooting with onboard event log



Easily retrofit similar profile operators out-of-the-box



5 year warranty



Optional base extension and retrofit adapter

Family Traits

- Best in class Smart DC[™] controls
- 24VDC with battery backup
- Seamless operation with HySecurity accessories
 - HyNet[™]
 - Hy5B[™]
- 5 year warranty

Distinctive Features

- For BIG gates up to 3,000 lb
- Sturdy steel enclosure
- Side mount posts
- Fast model available



Nice 7251/7351 Residential



SlideSmart CNX Commercial



SlideSmart HD Commercial/Industrial



SlideDriver Industrial

SITE PLAN DESIGNER:

raSmith
CREATIVE. RESILIENT. INNOVATIVE.
raSmith Project No.: 2245402

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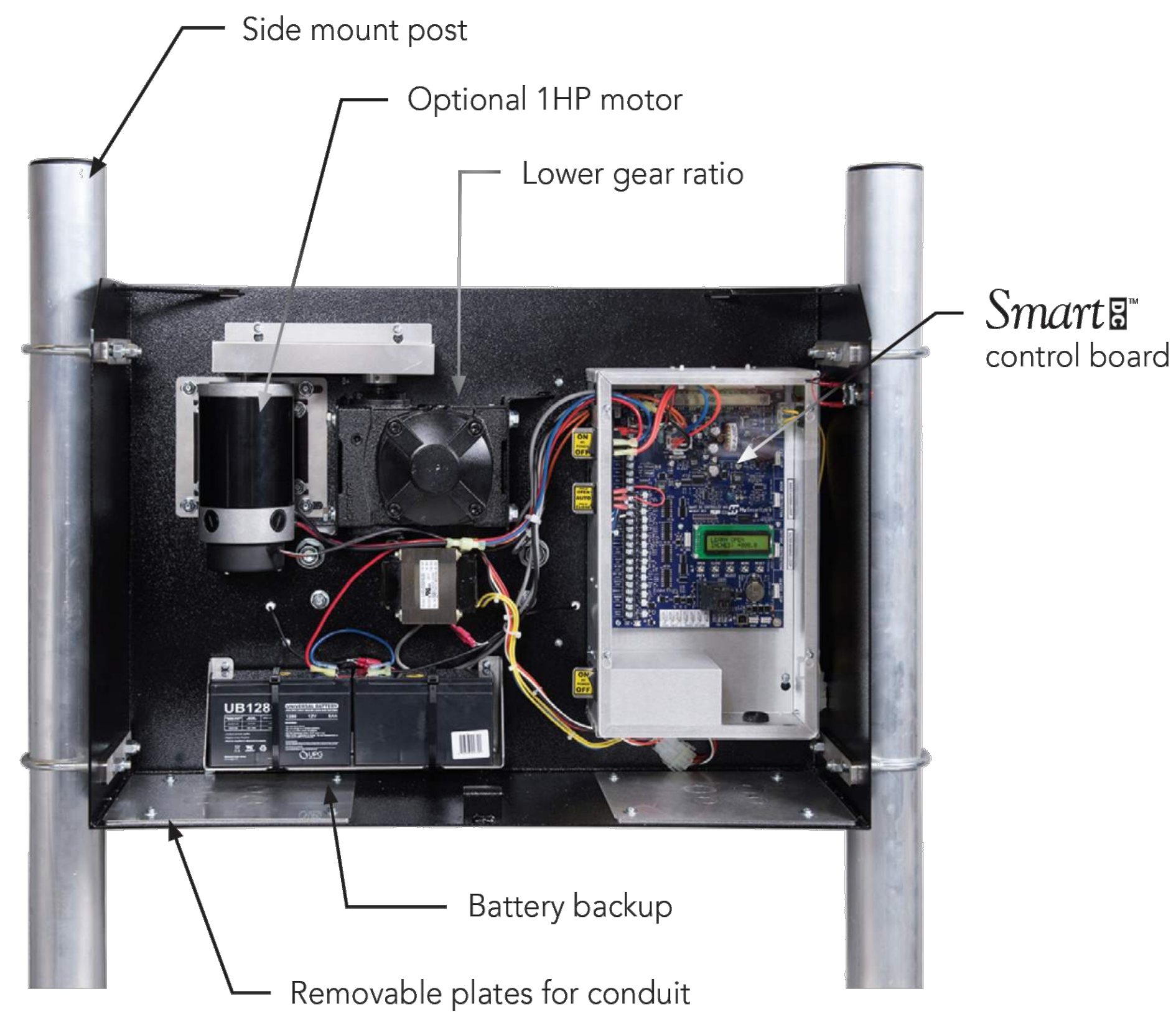
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SHEET
C552

GATE DETAILS

Battery Backup. Low maintenance.



Residential and Commercial

SYSTEM DESIGN SUPPORT: Contact Nice/HySecurity for help with custom site requirements, CAD drawings, tech manuals or other specifications support.

VISIT HYSECURITY.COM for installation manuals, parts diagrams, wiring diagrams, specifications, image gallery, videos, training and much more.



3 SlideSmart™ HD Models

	FAST		
Model	SlideSmart DC HD15F	SlideSmart DC HD25	SlideSmart DC HD30
Gate Weight Max.	1,500 lb (680 kg)	2,500 lb (1,134 kg)	3,000 lb (1,361 kg)
Gate Length Max.	50 ft (15 m)		
Pull Force*	300 lb	450 lb	500 lb
Rate of Travel	1.75, 2 or 2.25 ft/s (53, 61 or 69 cm/s) Open/Close speed set independently	0.75, 1 or 1.25 ft/s (23, 30 or 38 cm/s) Open/Close speed set independently	
Duty Cycle	Continuous		
Horsepower	1 hp	1/2 hp	1 hp
Drive	Electromechanical		
UPS Battery Backup Cycles †	Field configurable to fail open or secure when batteries deplete. Standard battery backup gate travel: Two 8Ah batteries. Up to 4,000 ft (1,219 m) after AC power loss. Extended battery backup gate travel: Two 50Ah batteries. Up to 25,000 ft (7,620 m) after AC power loss.		
Temperature Rating	-13° to 158° F (-25° to 70° C)		
Operating Voltage	24VDC		
Input Voltage	115V or 208-230V, 60/50 Hz		
Accessory Power	12VDC and 24VDC 1A each		
Communication	USB, RS-232, RS-485. Ethernet/fiber using optional HyNet™ Gateway accessory		
User Controls	Smart DC Controller with 70+ configurable settings. 32 character LCD display and 5 tact buttons or a PC using S.T.A.R.T. software.		
Relays	Two configurable user relays: 30VDC, 3A solid state and 250VAC, 10A electromechanical; Optional Hy8Relay™ for 8 additional relay outputs		
Finish	Zinc rich primer and black powder coated steel cover/chassis		
ETL Listed (UL 325)	Usage Class III, IV***	Usage Class I, II, III, IV**	
Cycle Tested	500,000 cycles		
Warranty	5 year w/product registration	5 year (7 year single-family residential) w/product registration	

* HySecurity manufacturers only reliable and powerful gate operators and provides an extra margin of power to be certain the gate works in adverse conditions. Some manufactures overstate the length and weight capacity of their operators, but HySecurity rates conservatively. Note that our pull force ratings are substantial and that extra margin of power is part of the HySecurity reputation for reliability.

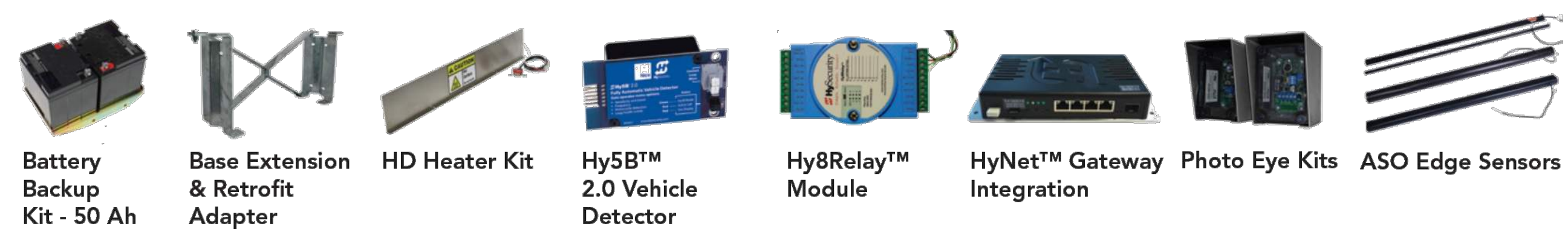
** Speed setting cannot be configured to exceed 1 ft/s for Class I and II usage.

***Not for residential use or applications intended to serve the general public.

† The actual number of gate cycles available from battery depends upon gate resistance to travel, cycle length, battery size, state of charge and health, ambient temperature, accessory power draw and frequency of gate cycles during power outage.

To enable fully automatic operation, all SLIDE gate operators require a minimum of TWO monitored external entrapment protection sensors (one for each direction) to protect entrapment zones in both the open and close direction of travel. Visit www.hysecurity.com/gatesafety for more information on UL 325 standards and gate safety.

Optional Accessories - See website for complete list



Contact Nice | HySecurity for an operator/parts distributor near you.
phone 253-867-3700 | 800-321-9947
hysecurity.com | sales@hysecurity.com



SITE PLAN DESIGNER:

100 West Lawrence Street, Suite 300
Troy, MI 48060
P: 248.713.2499
F: 248.713.2499
raSmith Project No.: 2245402

SIGNATURE

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Performance
Services

EAST TROY TRANSPORTATION BUILDING
2021 West St. East Troy, WI 53120

PSI PROJECT NO. 300-K24-3839
DATE: 05/01/26
DRAWN BY: SMB
CHECKED BY: BLH

REVISIONS
No. DATE DESCRIPTION

PERMIT SET

SHEET
C553

GATE DETAILS