

Town of West Bend - Washington County, Wisconsin
APPLICATION for SITE PLAN REVIEW
(C-1, C-2, P-1, SPRO Districts)

Name of Property Owner: Girl Scouts of Wisconsin Southeast

Address: 2561 W. Decorah Rd West Bend WI 53095

Phone: 414-335-7249 Email: klaur@gswise.org

Name of Applicant (if different from Property Owner): Kathy Laur

Address: 2561 W. Decorah Rd West Bend WI 53095

Phone: 414-335-7249 Email: klaur@gswise.org

Property Description:

Address: (if different than Property Owner) _____

Is this a new site plan or an amendment to existing site plan? New: _____ Amendment: X

A. Tax Key # attached Current Zoning: P-1, C-1, C-2

B. Tax Key # _____ Current Zoning: _____

C. Tax Key # _____ Current Zoning: _____

D. Tax Key # _____ Current Zoning: _____
(if additional parcels, please attach as separate sheet)

Zoning of adjoining properties:

A. Tax Key # attached Current Zoning: _____

B. Tax Key # _____ Current Zoning: _____

C. Tax Key # _____ Current Zoning: _____

D. Tax Key # _____ Current Zoning: _____

E. Tax Key # _____ Current Zoning: _____
(if additional properties, please attach as separate sheet)

Plan of Operation:

Name of property/facility (if applicable): Camp Silver Brook

Address: 2561 W. Decorah Rd West Bend WI 53095

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General description of natural resources present onsite: This property is mostly rolling woodland containing a large centrally located lake (Lucas Lake), numerous brushy wetlands and Silver Creek flowing north through the property from Paradise Valley Lake, in and out of Lucas Lake, into Pick Lake.

(if additional space is required, please attach as separate sheet)

General description of park/recreation facilities onsite: There are 3 year round troophouses, 8 seasonal sites, a swimming waterfront, Archery and hatchet throwing range. and a timber playground for camper/customer use. The property also contains a residence for the Site Manager and an office/maintenance shop.

(if additional space is required, please attach as separate sheet)

Specific use of each building (building shall be identified on site plan as described below):

Building A: See attached

Building B: _____

Building C: _____

Building D: _____

(if additional buildings, please attach as separate sheet)

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Current Number of Employees: Full-time: 1 Part-time: 1 Seasonal: 7-9 (summer)

Days of operation (check all that apply): Mon-Fri: X Sat: X Sun: X

Hours of operation: Open: 24 : 7 Close: :

Method of building/grounds maintenance: Site Manager, Contractors, part time staff, annual budget

Method of property security: Entrance gate Control, locked buildings, fence along property lines. Security cameras

Exterior:

Outside storage: Yes X No

What will be stored and where: Canoes, trailers. See attached map

Dumpsters (location and screening shown on site plan)

Screening plan (shown on site plan or attached as addendum)

Lighting plan (attached as addendum)

Signage plan (attached as addendum)

Landscaping plan (shown on site plan or attached as addendum)

Erosion control / stormwater management plan (shown on site plan or attached as addendum)

Parking / Loading:

Total area all parking: acres 33,053 square feet

Construction: Pavement: X Gravel: X Grass: X Other:

Number off-street parking spaces: Employee: Visitor:

Off-street parking spaces (attach plan): 204 total

Is access permit required? Yes No X

If yes, has permit been secured? Yes No

Parking and loading plan (shown on site plan or attached as addendum)

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Other:

Will any type of music be part of this proposal? Yes _____ No X

If yes (check all that apply): Pre-recorded: _____ Live: _____

Indoor: _____ Outdoor: _____

Monday through Thursday
 Friday and Saturday
 Sunday

Proposed start time: ____:____ Proposed end time: ____:____
 Proposed start time: ____:____ Proposed end time: ____:____
 Proposed start time: ____:____ Proposed end time: ____:____

Living Quarters:

Living quarters onsite: Yes X No _____

Type: Owner-occupied ~~X~~ (Staff) Renter-occupied X (yes) GSWISE Staff

Total number occupants: 2 Regular in residence

Additional information to be considered during site plan review: Seasonal occupancy consists of campers and staff/volunteers who stay for short durations (1 night to 5 nights). Camp attendance varies by season with a maximum overnight occupancy of approximately 187 people.
 (if additional space is required, please attach as separate sheet)

Application Checklist (for all districts):

(This Application shall be completed in full. The Town of West Bend shall not accept any Application for Site Plan Review until all of the information below, as required under Chapter 17.10.03.D of the Zoning Ordinance, is submitted as an attachment to this Application. Please confirm inclusion of the required information by checking each item below).

Confirmation that the submitted site plan conforms with the requirements of Chapter 17.10.02 of the Zoning Ordinance.

Site plan drawn to a recognized engineering scale, scale of drawing, north arrow, and site size information (area in square feet or acres).

Name of project.

Existing and proposed topography shown at contour intervals of two feet or less. Topography shall extend 40 feet onto adjacent property or to the building on the adjacent lot, whichever is greater.

The characteristics of soils related to contemplated specific uses.

All building and yard setback lines.

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- Where applicable, both the 100 year recurrence interval floodplain and the floodway; environmental corridors and isolated natural resource areas; and wetland areas.
- The type, size, height, and location of all existing and proposed structures with all building dimensions shown.
- Existing and proposed street names, rights-of-way, and easements.
- Proposed stormwater management facilities, including detention/retention areas.
- Proposed location and type of all signs to be placed on the site.
- The location and type of all outdoor lighting.
- Existing isolated, individual trees and the boundary of woodlands.
- Landscape plan with the location, extent, and type of proposed plantings.
- Location of pedestrian sidewalks and walkways, and bicycle lanes or paths.
- A graphic outline of any development staging.
- Scaled architectural plans, color building elevations, and color perspective drawings and color sketches illustrating the design and character of proposed structures and relevant surrounding structures and properties within 300 feet.
- Detailed description of all exterior building materials and colors.
- The location and description of all existing and proposed personal energy systems.
- Additional Information as may be required by the Plan Commission, Zoning Secretary, or Zoning Administrator.

Application Checklist (for supplemental land use overly districts):

(Please confirm compliance with the Performance Standards requirements of Chapter 17.4.12 of the Zoning Ordinance by checking each item below)

- | | | |
|---|---|---------------------------------------|
| <input type="checkbox"/> Screening plan | <input type="checkbox"/> Vibration plan | <input type="checkbox"/> Heat plan |
| <input type="checkbox"/> Lighting plan | <input type="checkbox"/> Glare plan | <input type="checkbox"/> Parking plan |
| <input type="checkbox"/> Noise plan | | |

Substantive Changes


Any substantive change to the use of this parcel or the structures on it shall require an amendment to the site plan.

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Application Fee:
(\$1000.00)

Check Number: _____

Amount: \$1,000

Applicant Signature:  Date: 05/21/2026

Town Clerk Signature: _____ Date: _____

Professional Services Fee:

The Town of West Bend has determined that whenever the services of the Zoning Administrator, Building Inspector, Town Engineer, Town Attorney, or any other Town staff, as well as outside legal, planning, engineering, and other professional and technical advice results in a charge to the Town for professional time and services, the Town Clerk shall charge such services fees incurred by the Town to the property owner even if the request is not approved.

I have been advised that if the Zoning Administrator, Building Inspector, Town Engineer, Town Attorney, or any other Town staff provides services to the town because of my activities, or outside legal, planning, engineering, and other professional and technical advice is required, whether at my request or the request of the Town, I shall be responsible for the fees incurred by the Town, even if my request is not approved.

Owner Signature:  Date: 05/21/2026

Michelle Goetsch, CFO
Girl Scouts of Wisconsin Southeast

Camp Silver Brook Buildings including proposed site amendments in 2026

- Building A: JoAnn Mann Lodge- a year-round troop house for troop overnights and programming. Also serves as office space for any seasonal staff or volunteers for summer camp.
- Building B: Sandy Point- a year-round troop house for troop overnights and programming.
- Building C: North Star- a year-round troop house for troop overnights and programming. Amending plan to replace the existing deck in the exact footprint and replace the wood siding with either steel or smart side board and batten siding. We would retain the existing color scheme of brown and red as we have red metal fascia that we would not be replacing.
- Building D: Lucas Cabin- Potentially a year-round building, though generally shut down for winter. Used to house volunteers for 1-3 nights during events or for summer camp.
- Building E: Residence- Site manager and family reside there. Amending plan to add a small deck off the kitchen with stairs to the ground level. Deck would match existing exterior brown color.
- Building F: Ranger Station/Maintenance Shop- This is the location of my office and shop, year-round. This building has power and heat, but no water. Shop parking lot houses 2 garbage dumpsters and 1 recycling dumpster.
- Building G: Skyline- a seasonal building with heat and power, but no running water. Is used for programming and sleeping volunteers/seasonal staff if needed. Porta potty is rented for summer months.
- Building H: Outdoor Skills Building- this is a seasonal building used for programming. Has power and an outdoor hose spigot.
- Building I: Lakeside- this is a seasonal building used as our Trading Post. Has power.
- Building J: Ziggy- This is a seasonal building used for summer camp. One side has a walk-in cooler and freezers, the other side is storage for summer programming supplies. Power and water.
- Building K: Forrester- This is the seasonal "rec" building associated with the Lookout Peak Cabins. It has power and there is a hand pump outside for water. Latrine for bathrooms.
- Buildings L-T: Lookout Peak cabins- These are seasonal 2-person sleeper cabins. Hand pump for water, latrine for bathrooms, each cabin has power.
- Building U: The barn- Upper level barn is storage for property items, tractor, pier parts, etc. Lower barn is used for programming during summer camp. Has power.
- Building V: The OC- this is a small garage that is used as storage for summer camp programming supplies. Has power.
- Building W: Eagle Pavilion- This is an open air pavilion on the dam. It has a hand pump next to it for water and a latrine for bathrooms.

- Building X: Dell Pavilion- This is an open air pavilion. It has an exterior hose spigot for water and a latrine for water. The latrine has power for lighting at night.
- Building Y: Badger Pavilion- This is an open air pavilion. It has a hand pump nearby for water and a latrine for bathrooms. Has power and lights.
- Building Z: Adventure Waterfront- This building is a seasonal building that stores our kayaks, paddle boards, and boating gear. The canoes are stored outside on canoe racks and canoe trailers in this area.
- Buildings Z1-Z12: These are seasonal sleeper cabins that each house 3 bunk beds. Hand pump for water, basic electric service to each cabin for interior lighting and outlet use. Latrine for bathrooms. Surround Badger Pavilion (building Y)
- Buildings W1-W2: Site Plan amended in 2025 for future addition of two open-air pavilions near the dam in the space which currently houses Unit #4 and six King Canopy temporary shade flies.
- Building AA: Changing room- not on original site plan but has been on site for 40 plus years. A deck with a dozen changing stalls for girls and staff to change in/out of swimsuits at the swimming area. Amending Site plan to tear down 19' x 19' structure and rebuild a similar structure in the exact footprint. Deck and changing rooms would be built with treated lumber.
- Building BB: Proposed concrete bathroom which will double as a storm shelter. Exterior colors would include rock at the bottom, brown on the top of walls with green trim for fascia and doors. See attached picture.

Camp Silver Brook Building dimensions as 5.1.2026

Building A: (JAML) 129'x40'x25'

Building B: (SP) 40'x72'x17'

Building C: (NS) 35'x52'x16' Proposed replacement deck and siding

Building D: (LC) 31'x21'x19' with a 12'x13'x10' addition

Building E: (Residence) 32'x21'x20'

Building F: (RS/Shop) 42'x56'x16' Proposed deck

Building G: (Skyline) 32'x23'x1'

Building H: (ODS) 32'x32'x16'

Building I: (LS) 30'x20'x14'

Building J: (Ziggy) 49'x24'x12' middle section of 23'x24' is not enclosed

Building K: (Forrester) 42'x21'x10'

Building L-T: (LOP cabins) 16'x16'x10' each

Building U: (Barn) 40'x33'x42'

Building V: (OC) 21'x20'x13'

Building W-Y: open air pavilions

Building Z: (Adv. H2O) 32'x24'x16'

Building Z1-12 Trailside and Lakeside Cabins moved to camp in 2021. All are 16' x 16'x10'

Building AA: changing shelter by swimming area 19' x 19'

Building BB: Proposed concrete bathroom/storm shelter 21'4" x 44'8"

Additional information:

This property is rustic in use and changes with the season. The main year-round buildings are used in the off season for troop use (small groups of girls and leaders, one troop per building). The main roads and parking areas are plowed during the winter, but the gravel roads leading to seasonal buildings/areas are not. During high traffic events or summer camp, we park our key volunteers and staff in the parking lots while most campers are dropped off or ride the bus to camp. Our parking lots do not have line striping delineating the specific spaces, aside from one small area of angled parking (5 spaces) at Sandy Point. We utilize UTVs and golf carts to get around camp in busier times to cut down any traffic.

Most buildings during summer camp are used to house programming supplies/items, inclement weather programming spaces, and volunteer sleeping. Most times the campers sleep in the sleeper cabins and tents.

We do have a private trail system on-site. The Lucas Lake loop circles the lake and the Wetlands loop circles a wetland on the Southwest corner of the property. We also have the Ice Age Trail running through portions of our property on the West and South sections of property as marked on our Camp Map. I would like to note that our private Camp Map is not a scaled map for buildings or building placement.

The name for Project 1 is the **Shower house/Storm Shelter**. This pre-cast concrete building will provide restroom/shower facilities as well as tornado shelter for our campers on the southern end of camp. This will be a seasonal building available between May and early October to coincide with our seasonal outdoor camping season. It will be winterized and closed between mid-October and late April.

The name for Project 2 is **Changing Room**, Building AA. It is a replacement to the existing structure that is grandfathered in per the Washington County Shoreland Commission. It will be rebuilt in the exact footprint by the swimming area. 12 enclosed changing stalls will be built on a deck to afford campers privacy before entering/exiting swimming activities. There will not be a roof or any utilities.

The name for Project 3 is **Residence Deck**, Building E. The existing bay window in the dining room would be removed and a sliding patio door would replace it and would go out to a new deck with stairs to ground level. Total Approximate Deck Area: 48 sq ft (main platform) + 54 sq ft (lower section / landing) = ~102 square feet total.

The name for Project 4 is **Northstar Deck and Siding**, Building C. Northstar was built in 1994, and needs an exterior upgrade, which would include replacing the decks/railings and exterior siding. The wood is beginning to fail due to age and sun exposure. The deck would be replaced in the exact footprint but would be composite material with aluminum railings. The siding would be replaced with either steel siding or LP Smart side board and baton, in a similar color scheme to existing building.

Real estate property & tax search results

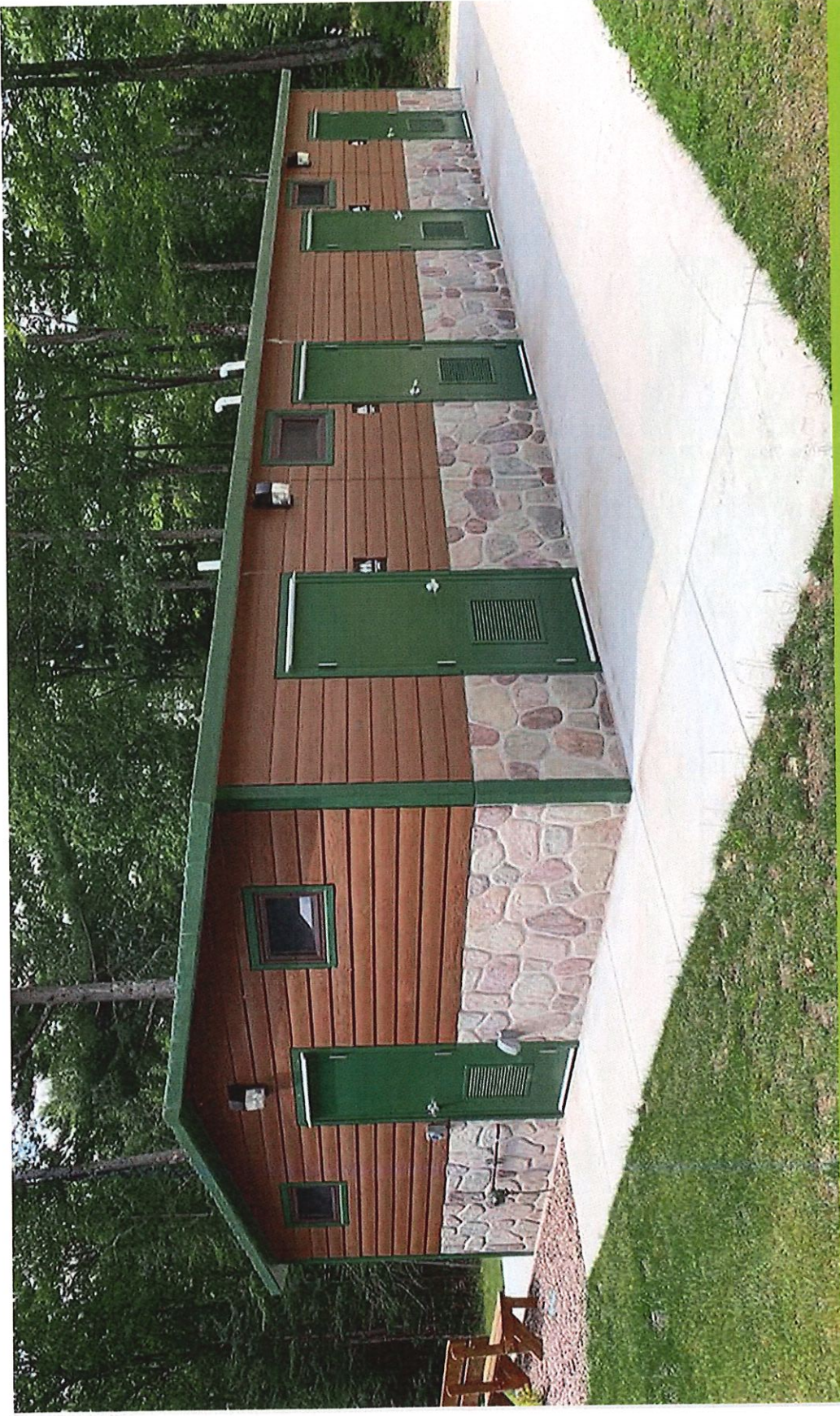
Parcel	Owner(s)	SiteAddress	TaxYears
0380300 - TOWN OF WEST BEND	GIRL SCOUTS OF WISCONSIN SOUTHEAST INC	18TH AVE	2015-2020
0380600 - TOWN OF WEST BEND	GIRL SCOUTS OF WISCONSIN SOUTHEAST INC	2561 W DECORAH RD	2015-2020
0380700 - TOWN OF WEST BEND	GIRL SCOUTS OF WISCONSIN SOUTHEAST INC	18TH AVE	2015-2020
0380800 - TOWN OF WEST BEND	GIRL SCOUTS OF WISCONSIN SOUTHEAST INC	18TH AVE	2015-2020
0380900 - TOWN OF WEST BEND	GIRL SCOUTS OF WISCONSIN SOUTHEAST INC	2601 W DECORAH RD	2015-2020
0381 - TOWN OF WEST BEND	GIRL SCOUTS OF WISCONSIN SOUTHEAST INC		2015-2020
0390100 - TOWN OF WEST BEND	GIRL SCOUTS OF WISCONSIN SOUTHEAST INC	DECORAH RD	2015-2020
0390200 - TOWN OF WEST BEND	GIRL SCOUTS OF WISCONSIN SOUTHEAST INC	DECORAH RD	2015-2020
0400700 - TOWN OF WEST BEND	GIRL SCOUTS OF WISCONSIN SOUTHEAST INC	DECORAH RD	2015-2016
0400700001 - TOWN OF WEST BEND	GIRL SCOUTS OF WISCONSIN SOUTHEAST INC	DECORAH RD	2017-2020

Adjoining Properties to Camp Silver Brook

1. 291_11191530002 R-1N
2. 291_11191530001 R-1N, C-1
3. T13_0070700 R-1N
4. T13_0321100 R-1R
5. T13_0330200 R-1R
6. T13_0350400 R-1R
7. T13_0360400 R-1R
8. T13_0390300 R-1R, C-2
9. T13_0390600 R-1R, C-1, C-2
10. T13_0390500 R-1R, C-1, C-2
11. T13_0400800 R-1R, C-2
12. T13_0400900 R-1R
13. T13_0400500003 R-1R, C-2
14. T13_0400500 R-1R, C-2
15. T13_0380210 R-1R, C-2
16. T13_0371 P-1
17. 291_11191540018 R-1R, C-1, C-2

Project 1 : Showerhouse / Storm Shelter

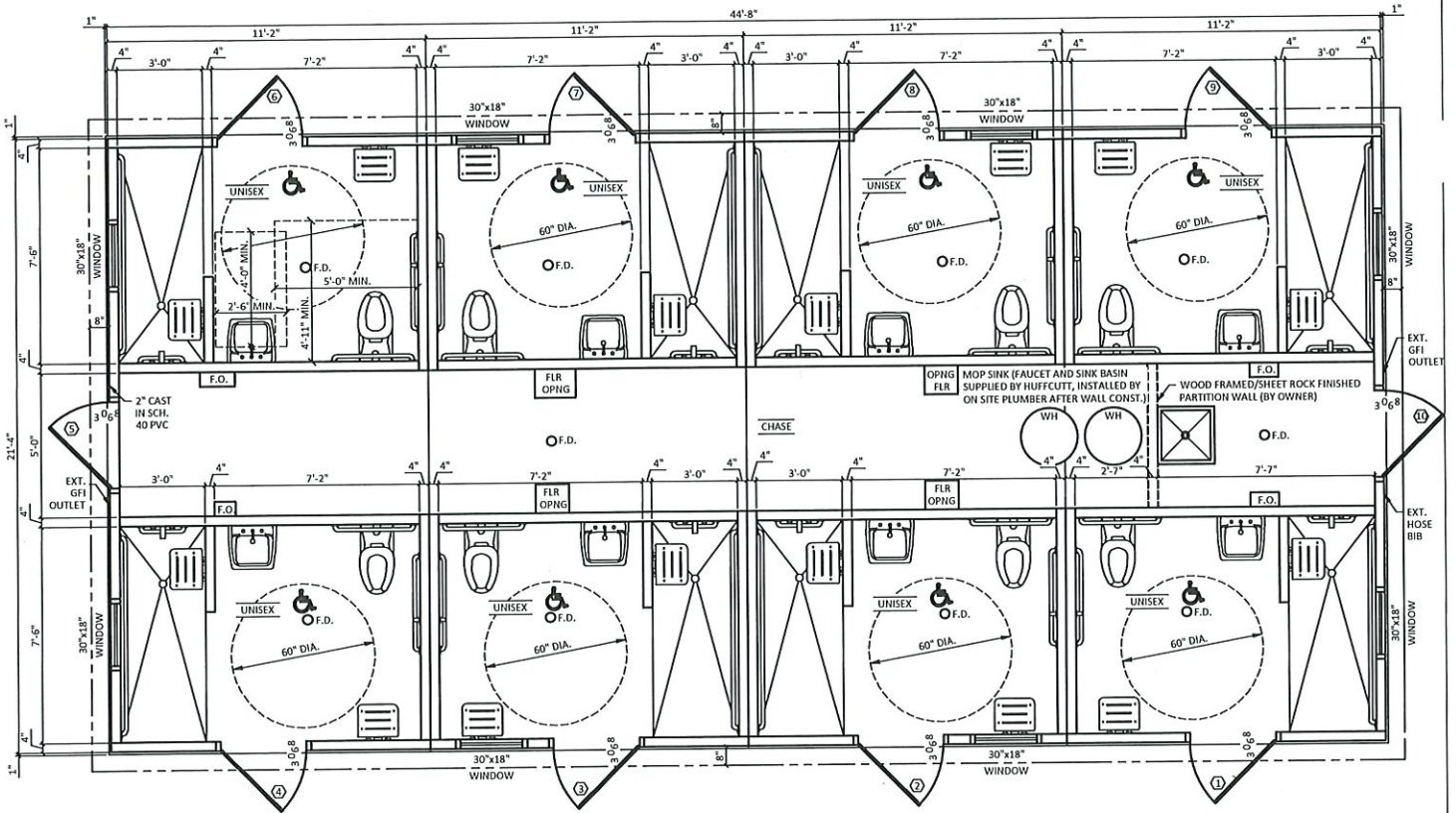
Cypress Shower Building Picture



CYPRESS

- MODULAR -

CYPRESS



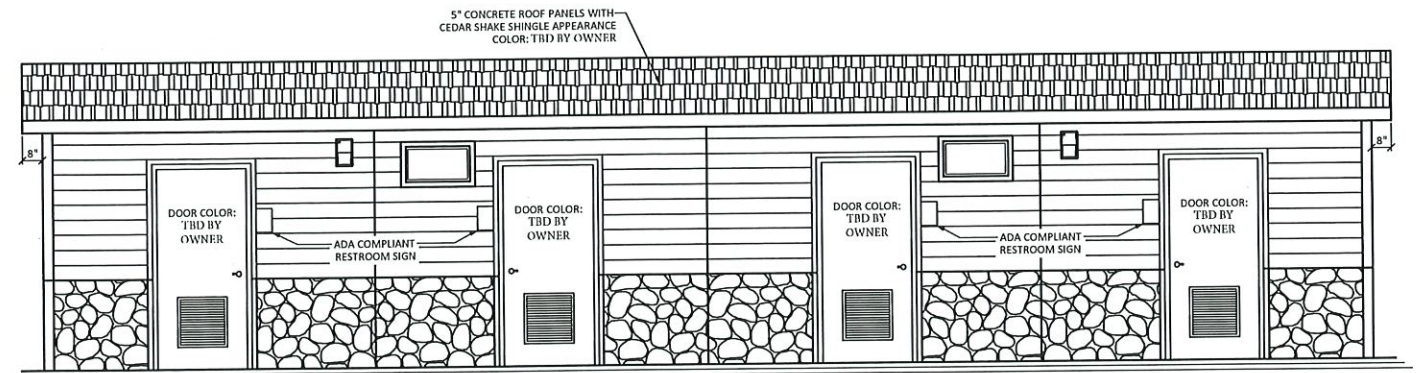
1 FLOOR PLAN
SCALE: 3/16" = 1'-0"



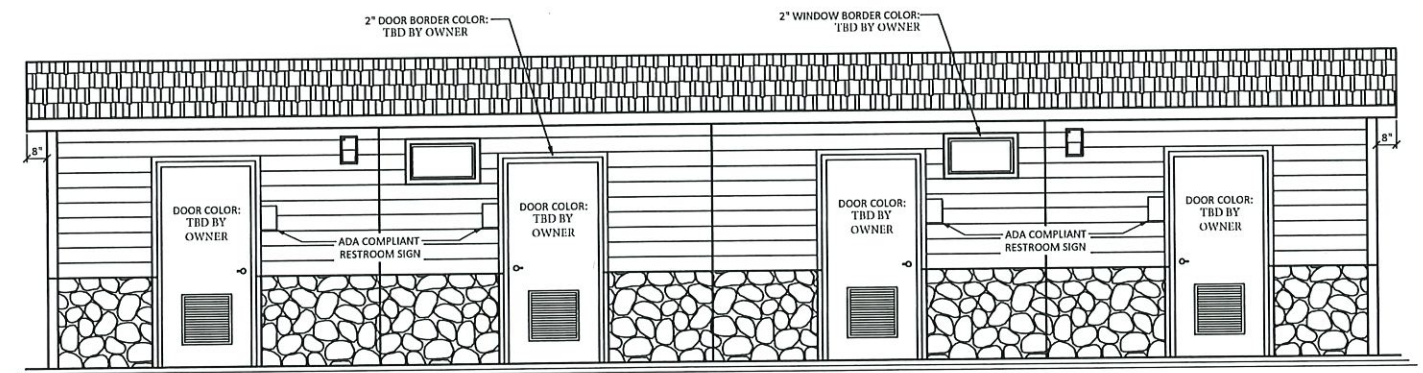
Floor plans are for reference only. This drawing shall not be copied or submitted to others without the consent of this company.

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1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



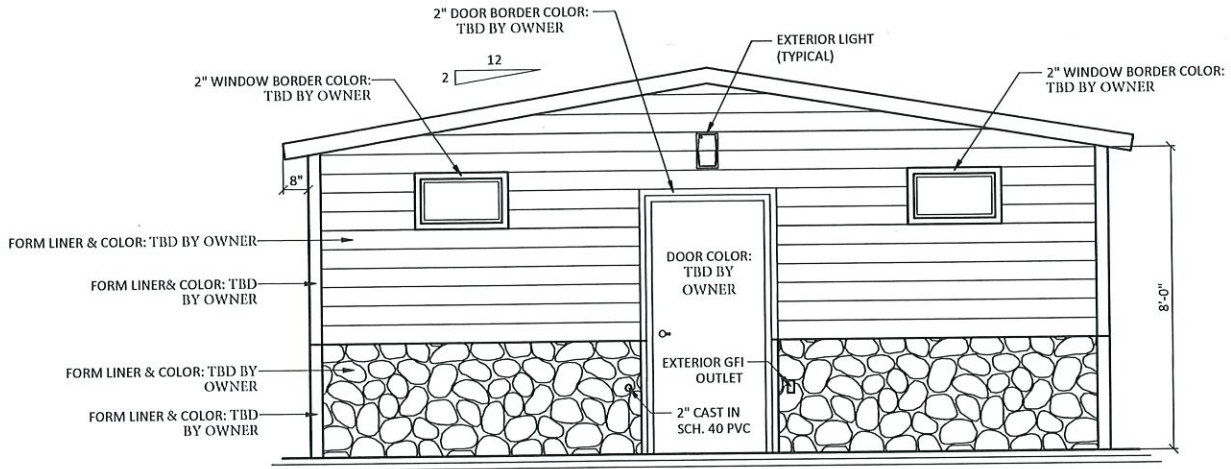
1 REAR ELEVATION
SCALE: 3/16" = 1'-0"



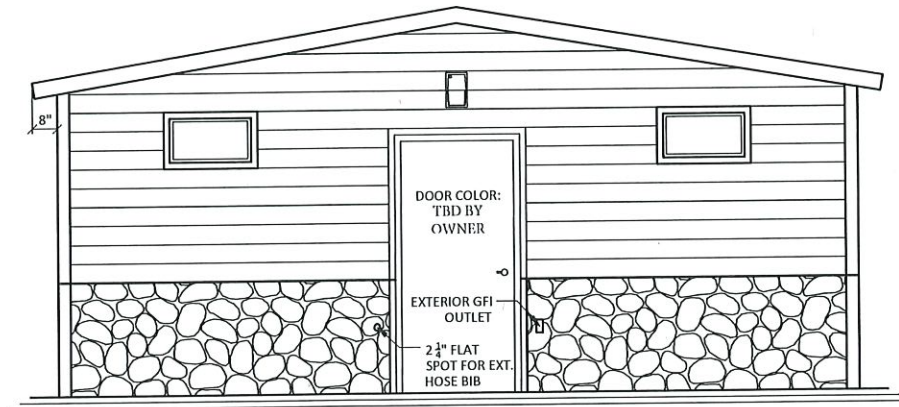
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1 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



1 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



Floor plans are for reference only. This drawing shall not be copied or submitted to others without the consent of this company.

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SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE

- 1.1. Construction and onsite placement of a prefabricated precast concrete family style restroom – shower building.

2. MANUFACTURER

- 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
- 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
- 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.

3. DESIGN

- 3.1. Building will be manufactured using precast concrete including the roof. Building's structural and foundation design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.

4. SUBMITTALS

- 4.1. Manufacturer shall provide submittals and engineering if requested.

PART 2 – PRODUCTS

1. MATERIALS

1.1. Doors and Frames

- 1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.

1.2. Door Hardware

- 1.2.1. Aluminum drip cap. Reese or equal.
- 1.2.2. Door closure with hold open. Cal-Royal or equal.
- 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
- 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
- 1.2.5. Brush style sweep. Reese or equal.
- 1.2.6. ADA compliant threshold. Reese or equal.

1.3. Windows

- 1.3.1. Vinyl frame, obscure glass, non-operable. Parco or equal.

1.4. Plumbing

1.4.1. Stools

- 1.4.1.1. Kohler porcelain wall mounted, ADA compliant, elongated bowl.

- 1.4.1.2. Sloan flush valve, concealed, hydraulic actuator.
- 1.4.2. Urinal
 - 1.4.2.1. Kohler porcelain wall mounted, ADA compliant.
 - 1.4.2.2. Sloan flush valve, concealed, hydraulic actuator.
- 1.4.3. Lavatories
 - 1.4.3.1. Kohler wall mounted sink, ADA compliant.
 - 1.4.3.2. Moen single handle ADA metering faucet.
- 1.4.4. Water Heater
 - 1.4.4.1. Bradford white electric water heater. Size to be sufficient for number of showers and lavatories.
- 1.4.5. Mixing Valve
 - 1.4.5.1. Honeywell thermostatic mixing valve, adjustable.
- 1.4.6. Shower
 - 1.4.6.1. Acorn Penal-Ware Series, ADA compliant.
- 1.4.7. Floor Drains
 - 1.4.7.1. Sioux Chief on grade adjustable floor drain.
- 1.4.8. Sediment Filter
 - 1.4.8.1. Rusco sediment filter.
- 1.5. Electrical
 - 1.5.1. Interior
 - 1.5.1.1. RAB Vandalproof Tuff Dome motion sensor.
 - 1.5.1.2. RAB VAN1 lights.
 - 1.5.1.3. GFI receptacles.
 - 1.5.1.4. Murdock super secure.
 - 1.5.2. Exterior
 - 1.5.2.1. RAB Tallpack lights.
 - 1.5.3. Chase
 - 1.5.3.1. 100amp loadcenter.
 - 1.5.3.2. (2) 2 bulb florescent lamps. (1 per modular section)
 - 1.5.3.3. Soler & Palau exhaust fan.
- 1.6. Interior Hardware
 - 1.6.1. Stainless 3 roll toilet paper dispenser.
 - 1.6.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.
 - 1.6.3. ADA showers shall have (1) 18" stainless vertical grab bar, (1) 30" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.
 - 1.6.4. Stainless frame 18" x 36" mirror.
 - 1.6.5. Bradley ADA compliant reversible phenolic shower seat.
 - 1.6.6. (2) coat hooks
- 1.7. Sealers

1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.

1.8. Caulks and Grout

1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface. Speed Crete Red Line or equal.

2. FINISHES

2.1. Interior

2.1.1. Smooth trowel finish.

2.2. Exterior

2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.

2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.

2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.

2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE FAMILY STYLE RESTROOM – SHOWER BUILDING

1.1. Building manufacturer shall construct, assemble, paint, install plumbing and electrical at their plant so that it may be transported to the jobsite in finished modules and placed using a crane.

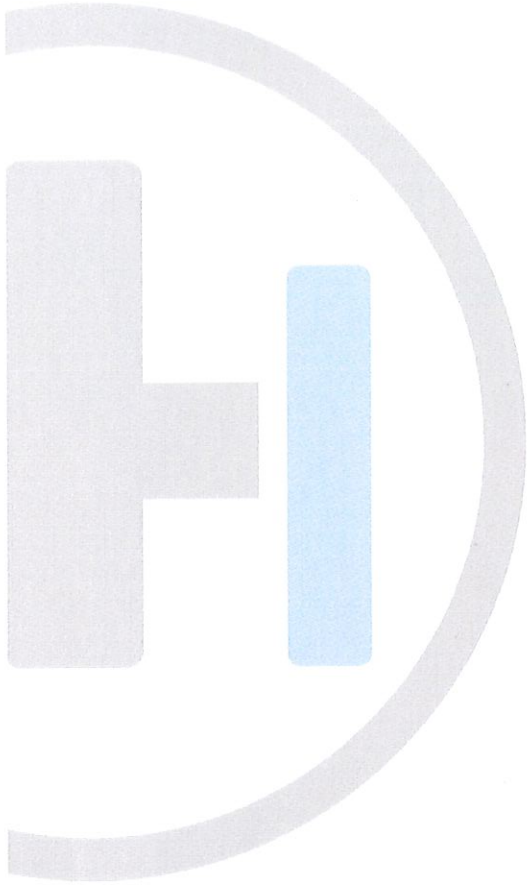
1.2. Building manufacturer shall provide mechanical rough in drawing showing where electrical, water supply line, waste line, and floor drains are to be located for hook up to building.

1.3. Contractor will make final mechanical connections after the building is placed by manufacturer.

1.4. Manufacturer will caulk interior and exterior seams between modules. Manufacturer will also perform any shipping and handling repairs during installation.

2. ONSITE

- 2.1. Contractor shall provide adequate access and a level pad for the crane and semis to sit side by side under their own power. Working radius shall be 35' from center pin on crane.
- 2.2. Contractor shall design and pour a foundation suitable for building to sit on. Foundation shall be level to within $\frac{1}{4}$ ".
- 2.3. Contractor shall rough in mechanicals according to mechanical rough in drawing provided by building manufacturer. Mechanicals shall be terminated at top of foundation. Final mechanical connections shall be done by contractor including floor drains.



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Camp Silver Brook Proposed Shower House/Storm Shelter Specifications

- **GENERAL REQUIREMENTS:**
 - **Site Safety Requirements** – Temporary safety barriers, fire extinguishers, safety labor.
 - **Jobsite Clean Up** – Dumpsters, clean up tools and labor.
 - **Temporary Facilities** – Site signage.
 - **Jobsite Work Requirements** – Temporary site fencing.
 - **Permits** – Building and occupancy permits.
- **GENERAL CONDITIONS:**
 - **Site Supervision approach** – Part-time Working & Supervising Staff
- **CONCRETE:**
 - Concrete footings around perimeter of building.
- **CARPENTRY:**
 - Framing
 - 2x lumber for utility room wall.
- **FINISHES:**
 - Drywall
 - Provide painted drywall on both sides of utility room wall.
- **SPECIALTIES:**
 - Fire Protection Specialties
 - Provide code required fire extinguishers on metal brackets.
 - Signage
 - Code required signage.
- **PREFABRICATED BUILDING:**
 - Provide Huffcutt Cypruss modular building.
- **PLUMBING:**
 - Provide water connection from existing well to building.
 - Provide sanitary underfloor for supplied building.
 - Provide sanitary connection to mound system.

Building Flourishing Communities Since 1928

- **ELECTRICAL:**
 - Provide electrical connections from WE Energies meter to building panel (pre-mounted).
- **SITE UTILITIES:**
 - Provide 4,800 SF mound septic system.
 - Includes 10,000-gallon tank and a 5,000-gallon chamber tank.
 - System designed by Kons and has a 4,800-flow rate.
- **EARTHWORK:**
- **LANDSCAPING ALLOWANCE:**
- **CONSTRUCTION CONTINGENCY:**
- **GENERAL LIABILITY INSURANCE:**

Building Flourishing Communities Since 1928

📍 6222 West State Street, Milwaukee, WI 53213 📞 414.258.9900 🌐 www.selzer-ornst.com

National Flood Hazard Layer FIRMette

88°13'13"W 43°24'22"N



Showerhouse + Storm Shelter

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
Zone A, V, A99
- With BFE or Depth Zone AE, AC, AH, VE, AR
- Regulatory Floodway

0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X

OTHER AREAS OF FLOOD HAZARD

- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes, Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- No SCREEN
- Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone X

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 5/19/2026 at 5:52 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

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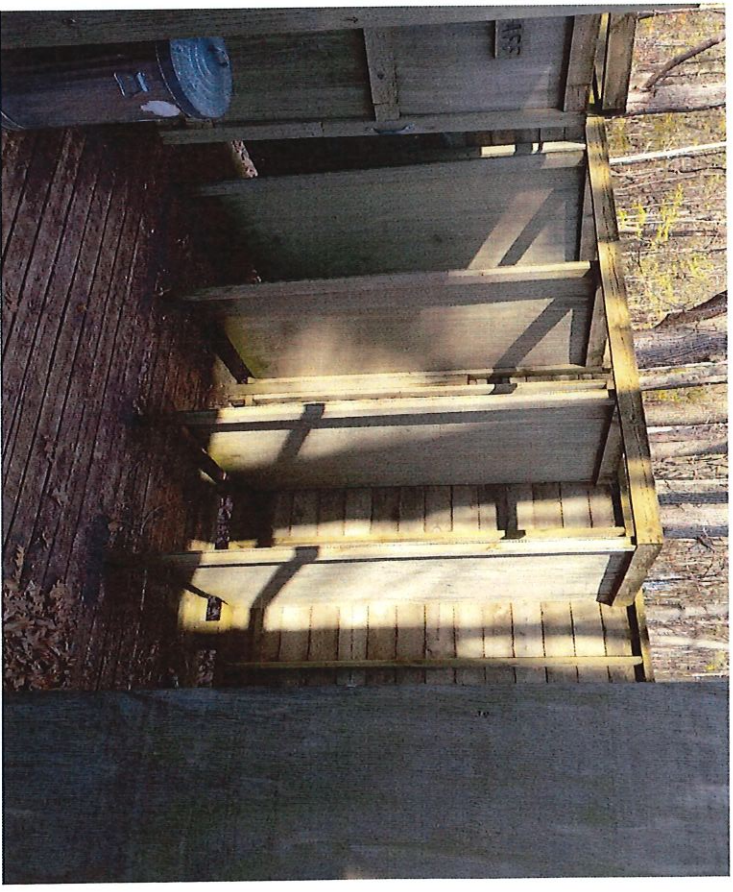
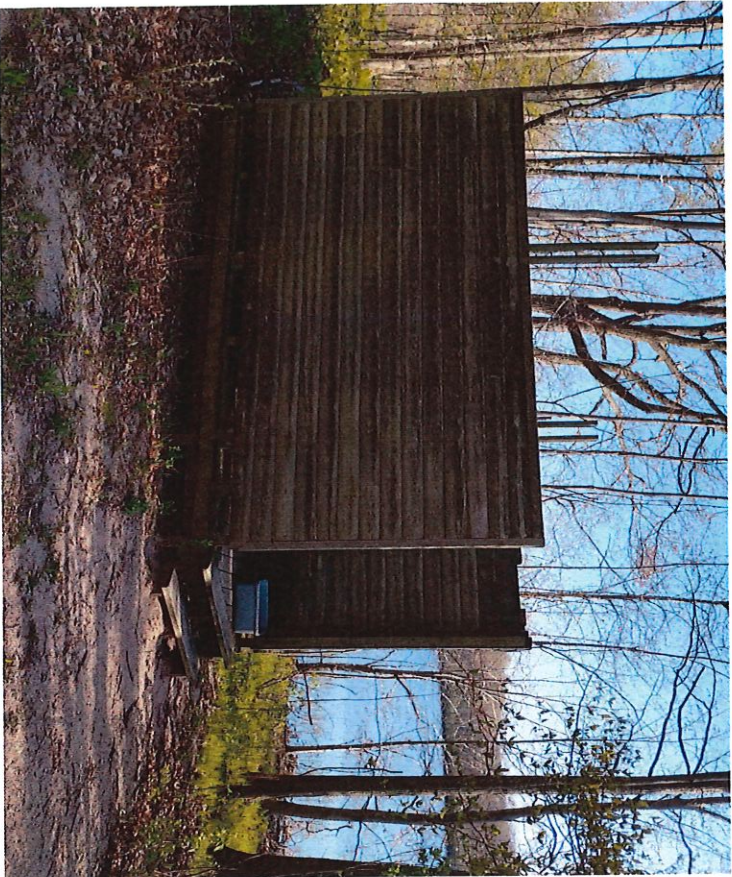


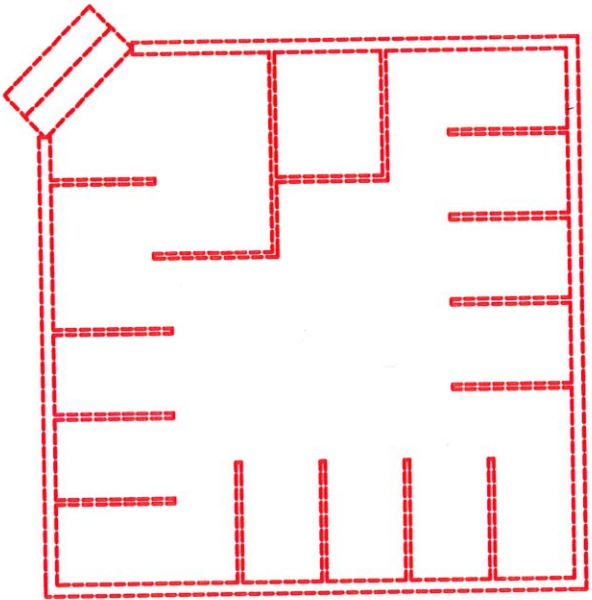
88°12'36"W 43°23'56"N



Changing Room : Project 2

Changing Rooms Existing condition

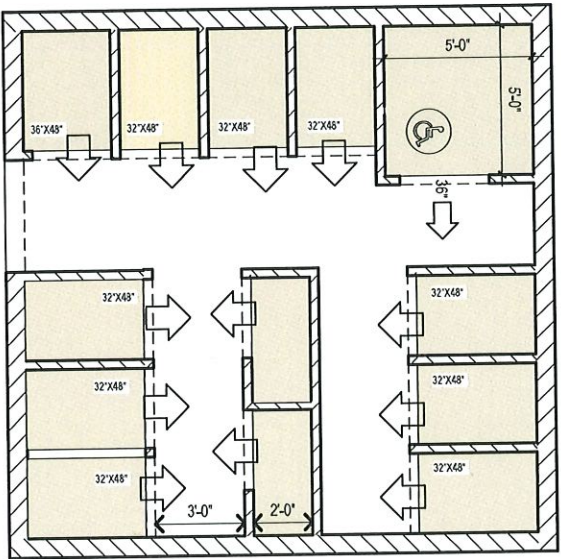




DEMOLITION PLAN

1/4" = 1'-0"

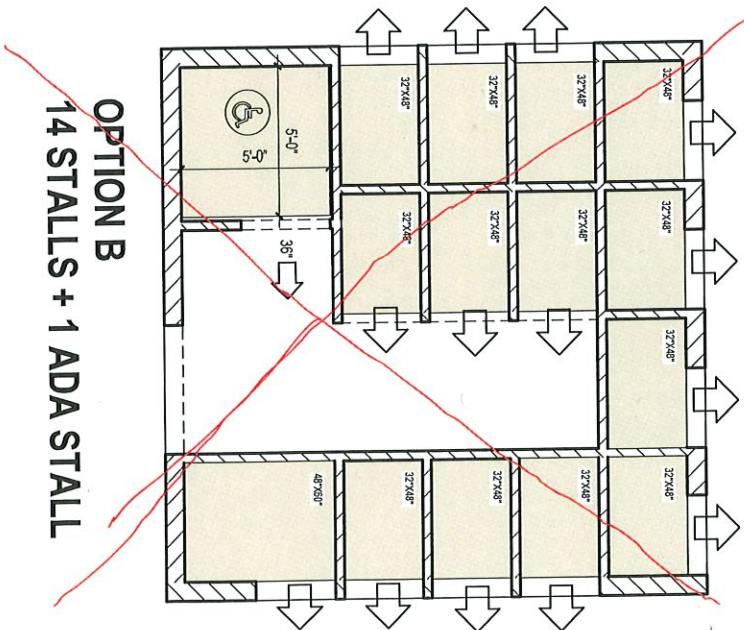
This is our proposed layout



OPTION A
12 STALLS + 1 ADA STALL

1ST FLR PLAN

1/4" = 1'-0"



OPTION B
14 STALLS + 1 ADA STALL

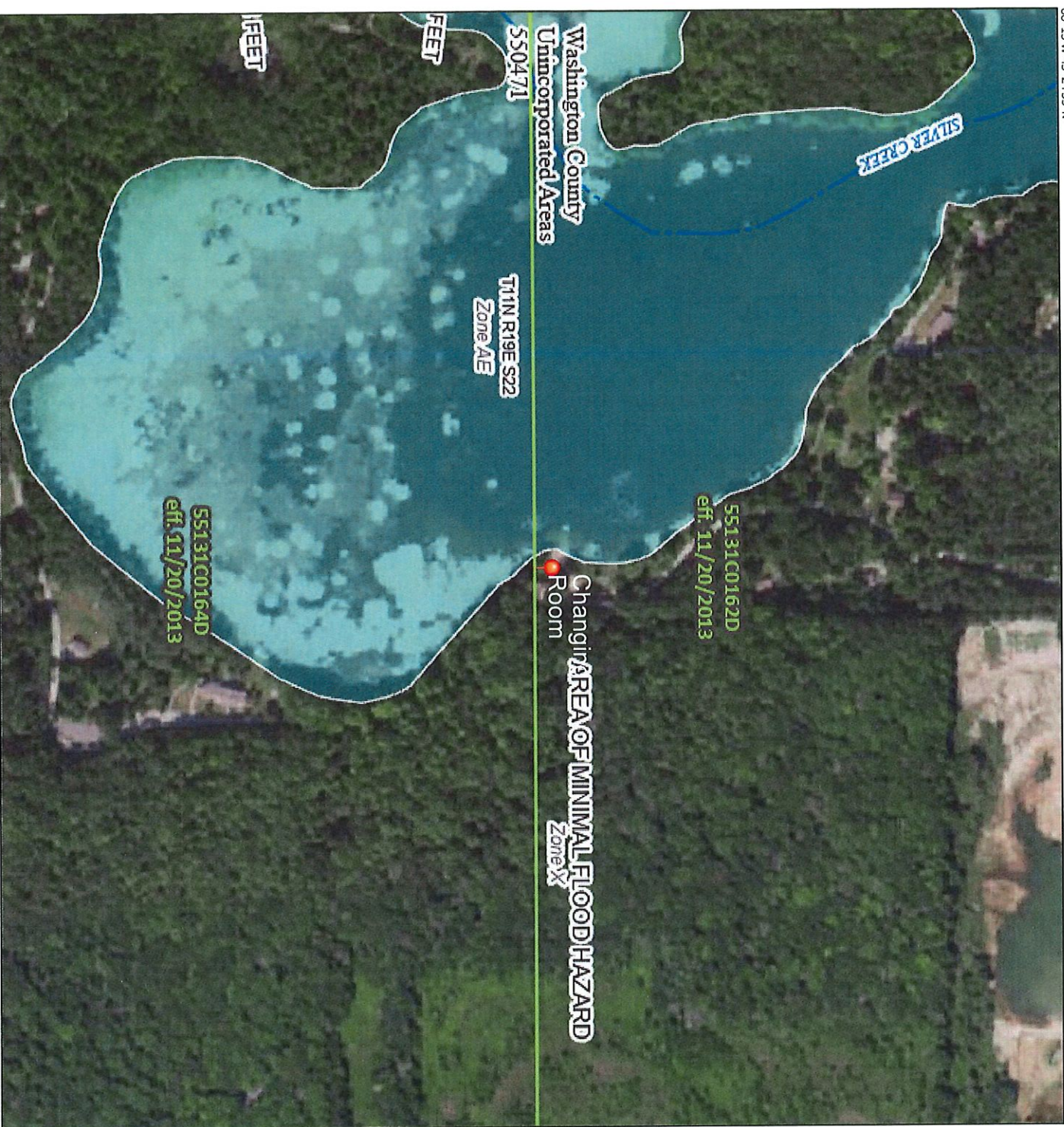
CHANGING ROOM

National Flood Hazard Layer FIRMeTte

Changing Room



88°13'W 43°24'35"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99 With BFE or Depth Zone AE, AO, AH, VE, AR Regulatory Floodway
	0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with draining areas of less than one square mile (Zone 2)
	Future Conditions 1% Annual Chance Flood Hazard (Zone X)
	Area with Reduced Flood Risk due to Levee. See Notes, Zone X
	Area with Flood Risk due to Levee (Zone D)

OTHER AREAS OF FLOOD HAZARD	No SCREEN Area of Minimal Flood Hazard Zone X
	Effective LOMRs
	Area of Undetermined Flood Hazard Zone

GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall
	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall

OTHER FEATURES	Cross Sections with 1% Annual Chance Water Surface Elevation
	20.2
	17.5
	Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature

MAP PANELS	Digital Data Available
	Digital Data Available
	No Digital Data Available
	Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

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Aerial View of the Changing Room from the Washington County Historical GIS map



Zoomed In Aerial Photo of Existing Changing Room



National Flood Hazard Layer FIRMette

Residence Deck + Northstar Deck/Siding



88°13'2"W 43°24'55"N



SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

Legend

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99 With BFE or Depth zone AE, AQ, AH, VE, AR Regulatory Floodway
-----------------------------------	--

0.2% Annual Chance Flood Hazard, Area of 1% annual chance Flood with average depth less than one foot or with draining areas of less than one square mile (Zone 2)
Future Conditions 1% Annual Chance Flood Hazard (Zone X)
Area with Reduced Flood Risk due to Levee. See Notes. Zone X
Area with Flood Risk due to Levee (Zone D)

OTHER AREAS OF FLOOD HAZARD	NO SCREEN Area of Minimal Flood Hazard Zone X
OTHER AREAS	Effective LOMRS Area of Undetermined Flood Hazard Zone

GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall
---------------------------	---

Cross Sections with 1% Annual Chance Water Surface Elevation	20.2 17.5
OTHER FEATURES	Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature

MAP PANELS	Digital Data Available No Digital Data Available Unmapped
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This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/19/2026 at 5:25 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

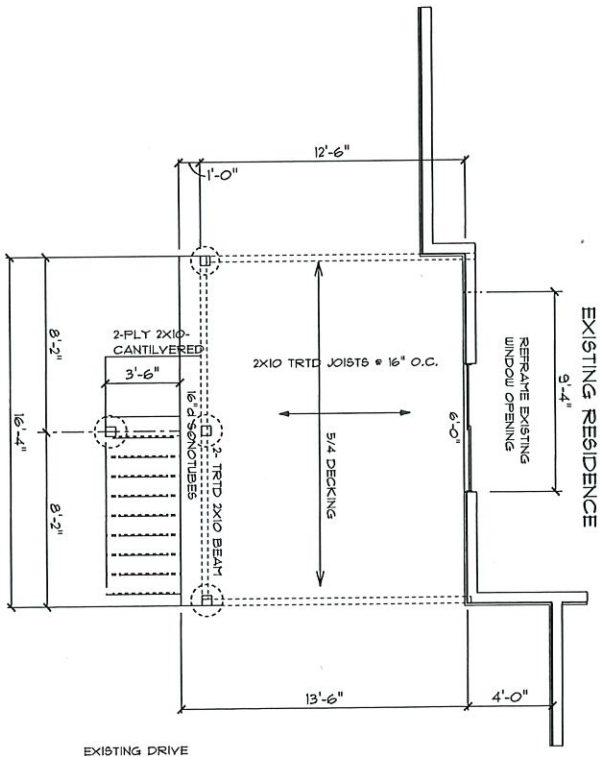
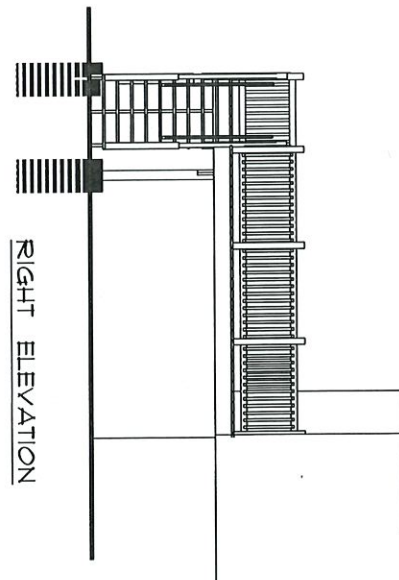
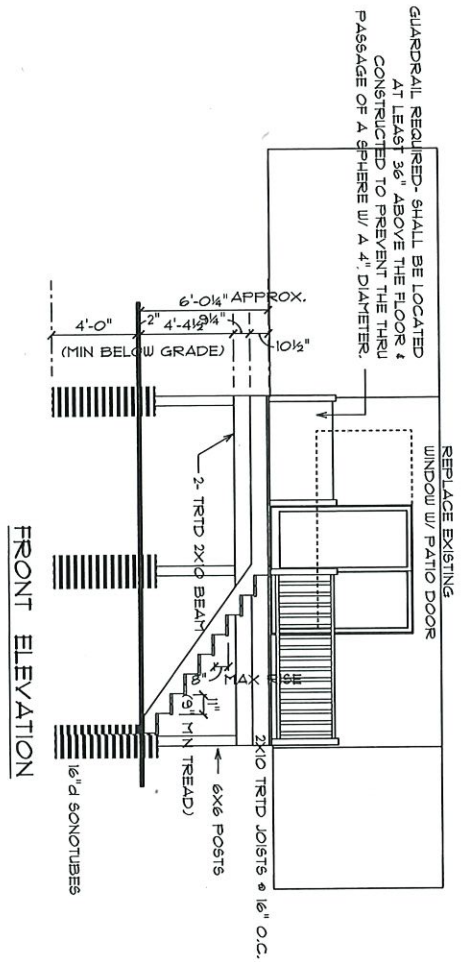
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Camp Silver Brook Residence Deck Project

Picture of rear of residence- the patio door would replace the bay window and the deck would bump off of the main floor by the bay window with steps to ground level.



Camp Silver Brook Proposed Deck Addition on Residence



NEW DECK

531/ 531A SCOTT ST.
MILWAUKEE, WI 53180

REVISIONS:
Final
4/29/26



499 Whitewater Street
Ph (262) 473-3538
www.homelumber.co

Whitewater, WI 53190
Cell (920) 728-4704
Email: ssllob@homelbr.co

DECK ADDITION

2561 W DECORAH RD
WEST BEND, WI 53095

SCALE: 1/4"=1'-0"
SHEET TITLE:
DRAWN BY: STEFANIE STIBB

SHEET NUMBER

1 of 1

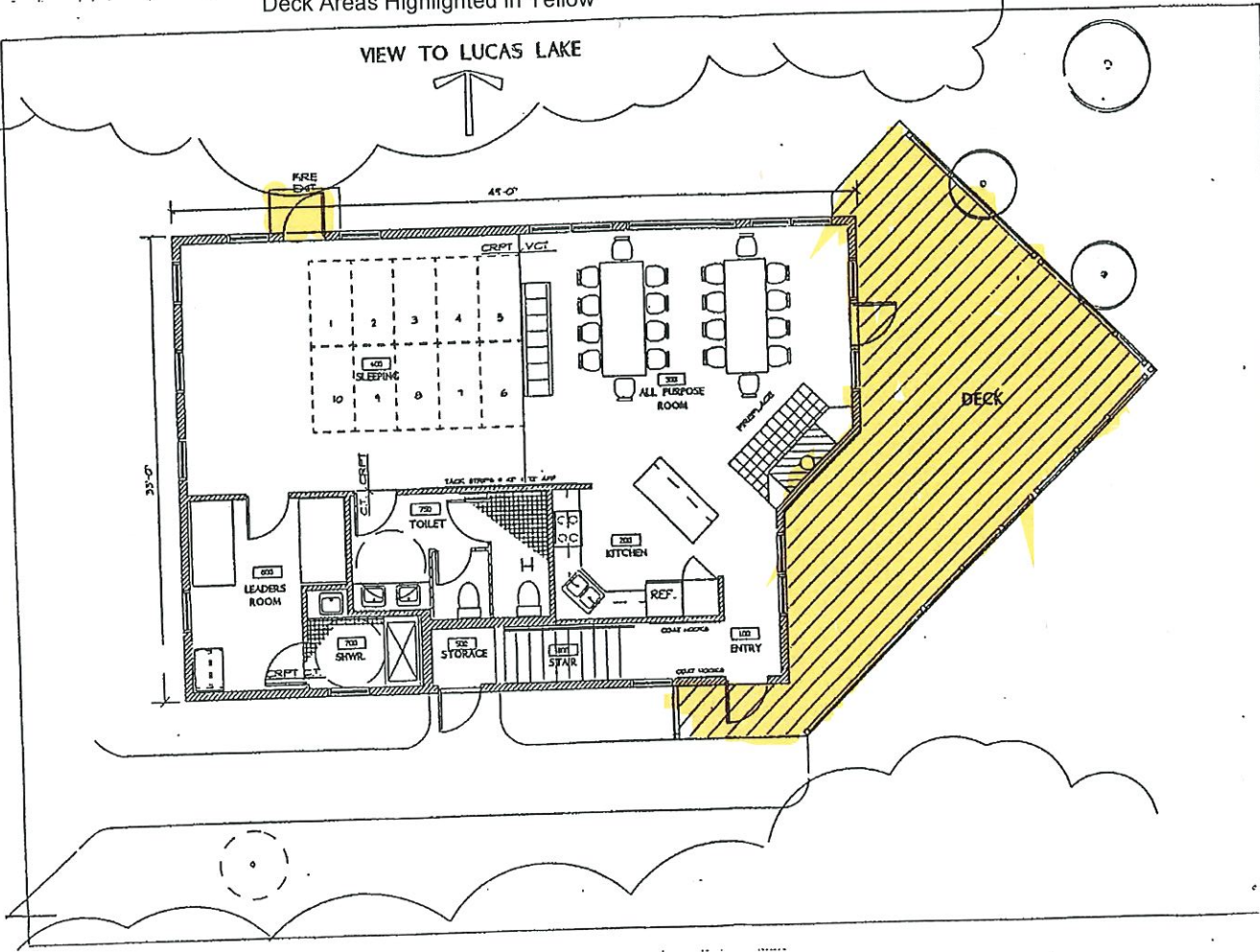
DATE

4/29/26

Image of Proposed Deck on Camp Silver Brook Residence



Deck Areas Highlighted in Yellow



REV	DESCRIPTION

P A C E
 ARCHITECTS
 INTERIOR DESIGNERS
 2223 E. Capital Dr.
 Milwaukee, WI 53211
 Tel: 414 332-0735
 Fax: 414 332-3369

PROPOSED FIRST FLOOR PLAN
 SILVERBROOK TROOP HOUSE
 GIRLS SCOUTS OF
 THE MILWAUKEE AREA, INC.
 WEST BEND, WISCONSIN

Date	30 MAR '93
Scale	1/4" = 1'-0"
Drawn	28/5/93
Sheet	1
Proj.	2

Project 4: Northstar Deck + Sitting

Northstar Deck

