

Date: May 26, 2026

To: Town of Mukwonago Plan Commission and Town Board

From: Ben Greenberg, AICP - Town Planner

Subject: Special exception requests to exceed the allowable detached accessory building floor area and allowable building height; Dawson Greenwald and Brooke Zander, owners; Josh Obert – Walters Buildings, agent;

Property Location: S96 W32528 Valley Court Rd. Tax Key No. MUKT1986999004

Application: 2026-18; <https://s.zoninghub.com/PID4KGAEHD>

Meeting: June 3, 2026, Plan Commission and Town Board meeting

Description

The subject property is a 6.4-acre parcel located at S96 W32528 Valley Court Road and is zoned R-H Rural Home District. The property is developed with a two-story single-family residence with an attached garage and an existing detached accessory structure of approximately 1,400 square feet located behind the residence. Surrounding properties are characterized primarily by rural residential development patterns with scattered single-family residences on similarly sized lots. Portions of the surrounding area are also subject to the Environmental Corridor (EC) Overlay District.

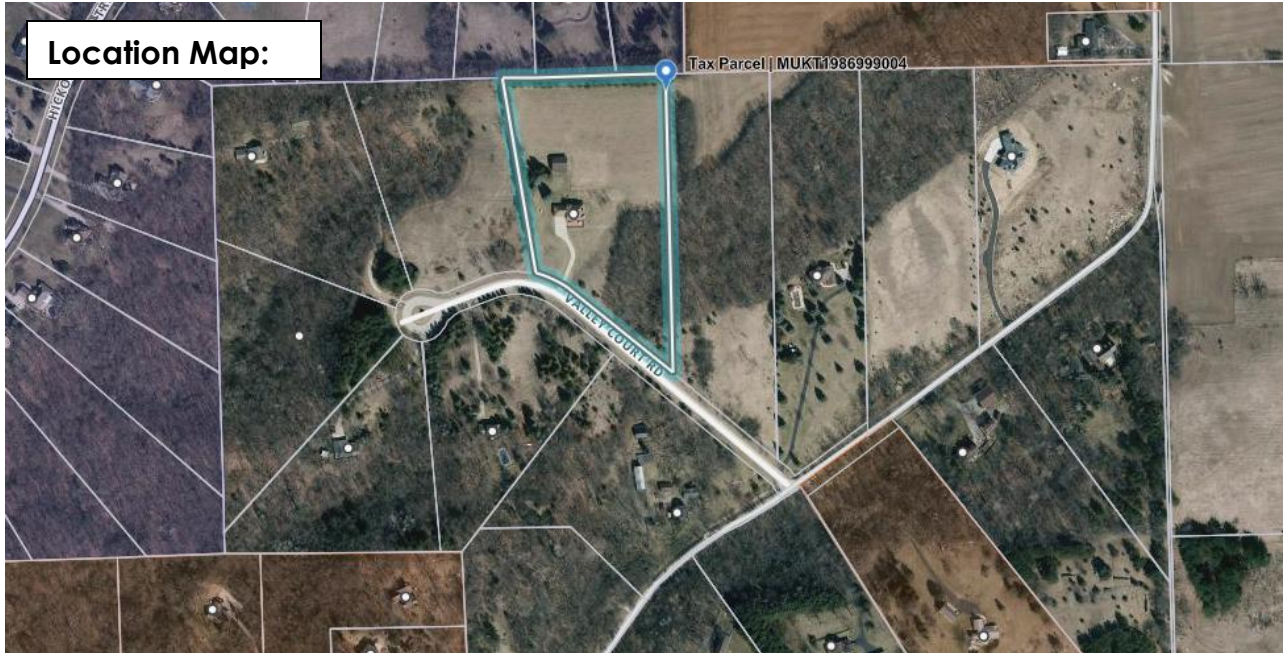
In May 2026, the applicant submitted a special exception request to construct a substantially larger detached accessory structure that would have resulted in approximately 6,426 square feet of total detached accessory building area on the property. Following review, the Town Board denied the prior request based primarily on concerns regarding the overall scale and compatibility of the proposed structure relative to the surrounding rural residential development pattern.

The applicant has now submitted a new zoning permit application and special exception request to construct a reduced accessory structure for personal residential storage purposes, including storage of recreational vehicles, enclosed trailers, and related personal property. The current proposal consists of an approximately 50-foot by 80-foot detached accessory building totaling approximately 4,000 square feet.

Based on the submitted materials, the current proposal would result in a total detached accessory building floor area on the property of approximately 5,400 square feet, inclusive of the existing 1,400 sq. ft. detached accessory structure. The revised structure is proposed to be located behind the existing residence and existing detached accessory building, similar to the prior request. Existing topography, vegetation, and the placement of the structure toward the rear of the parcel may provide some degree of visual buffering from Valley Court Road and adjoining properties. The applicant also notes that the structure would be located within an existing open field area.

The revised proposal continues to require special exception approval to exceed the maximum allowable detached accessory building floor area permitted within the R-H Rural Home District. The proposal also requires special exception approval related to building height. Although

portions of the submitted plan set reference a peak height measurement, Town zoning regulations measure detached accessory building height to the midpoint of the roof rather than the highest peak elevation. Based on the submitted plans, the structure appears to be approximately 21.9 feet in height as measured pursuant to the zoning code.



The proposed accessory building complies with the **R-H Rural Home District** standards as follows:

	Allowed/Required	Existing	Proposed	Complies? Yes/No
Maximum Building Coverage	27,878 sq. ft. (10%)	~3,850 sq. ft. (1.4%)	~7,850 sq. ft. (2.8%)	Yes
Max. Floor Area of Detached Accessory Buildings	2,100 sq. ft. (0.7%)	1,398 sq. ft. (0.5%)	5,400 sq. ft. (1.9%)	No - Special Exception Required
Max. Detached Accessory Building Height	18 ft.	n/a	~21.9 ft.	No - Special Exception Required
Total Allowable Accessory Buildings	2	1	2	Yes
Minimum Offsets	50 ft.	n/a	54 ft. (side) 83 ft. (rear)	Yes

As noted in the table, the property currently exceeds the allowable detached accessory building floor area and height and will require a special exceptions to exceed those limits.

Analysis

The subject property is located within the R-H Rural Home District, which is intended to accommodate primarily single-family residences on scattered lots to foster and maintain the rural character and lifestyle of the surrounding area. The proposed use of the detached accessory structure for personal residential storage is generally consistent with the types of accessory uses contemplated within the district.

The request would result in a total detached accessory building floor area of approximately 5,400 square feet (inclusive of the existing garage to remain), whereas 2,100 square feet is allowed by right. The revised proposal represents a reduction of approximately 1,000 sq. ft. in overall building area from the applicant's prior request considered by the Town in May 2026. The overall scale of the proposed structure and its compatibility with the surrounding rural residential development pattern remain primary considerations in evaluating the request.

Overall building coverage on the property would remain relatively low in relation to the overall parcel size. The building's location behind the principal structure, combined with existing vegetation, setbacks, and slight variations in topography, may provide some degree of visual buffering from adjoining properties and Valley Court Road; however, the extent to which these site characteristics mitigate the visual presence and perceived scale of the structure remains a factor for consideration.

With respect to building height, the proposed structure exceeds the maximum permitted accessory building height under the zoning code. Based on the submitted plans and the Town's height measurement methodology, the structure appears to be approximately 22 feet in height as measured to the midpoint of the roof structure. The applicant has provided setbacks that exceed the minimum required setbacks, consistent with the ordinance provisions relating to increased height. The degree to which the additional setbacks mitigate the impacts associated with the increased building height remains a relevant consideration.

Portions of the surrounding area are subject to the Environmental Corridor (EC) Overlay District. Based on available mapping, the proposed building location does not appear to be within mapped environmental corridor areas. Any land disturbance associated with the project will remain subject to applicable Waukesha County stormwater management and erosion control permitting requirements.

Required Standards

A special exception for additional detached accessory building floor area is only allowed when:

1. The detached accessory building has no more than four side-by-side vehicles facing the right-of-way from which the dwelling unit has street access;
2. The detached accessory building is not used for any commercial or industrial purposes, except as otherwise allowed by the chapter;
3. The detached accessory building complies with all other requirements of this chapter.

A special exception for additional detached accessory building height is only allowed when:

1. The setback is increased one foot for each additional foot in height (up to a maximum of 10 additional feet).
2. For height special exceptions, the Plan Commission may require screening to break up

the view of the building from adjacent properties or from a public road.

Notice requirements Aside from being shown on the meeting agenda, no other public notice is required.

Review procedure The Plan Commission is advisory and the Town Board makes the final decision. In reviewing this matter, the Plan Commission and Town Board need to consider the following factors as set forth in s. 36-424 of the zoning code:

- (1) the size of the subject property in comparison to other properties in the area;
- (2) the extent to which the issuance of the special exception permit would be in keeping with the overall intent of this chapter;
- (3) whether there are any unique circumstances and the nature of those circumstances that warrant the issuance of the special exception permit;
- (4) the nature and extent of anticipated impacts to the natural environment that could potentially occur if the special exception permit was granted;
- (5) the nature and extent of anticipated positive and negative effects on properties in the area;
- (6) actions the applicant will undertake to mitigate the negative effects, if any, of the proposed special exception;
- (7) a factor specifically listed under a section of this chapter authorizing the issuance of a special exception permit; and
- (8) any other factor that relates to the purposes of this chapter as set forth in s. 36-5 or as allowed by state law.

To approve the special exception, the following determinations are also required:

1. The architecture of the proposed detached accessory building is compatible with the dwelling unit;
2. The proposed detached accessory building will not be adverse to the public health, safety or welfare;
3. The proposed detached accessory building will not be in conflict with the spirit or intent of this chapter; and
4. The proposed detached accessory building will not otherwise be detrimental to the town or the immediate neighborhood where the structure would be located.

Imposition of conditions In approving a special exception, the Plan Commission may recommend and the Town Board may impose one or more conditions deemed necessary to further the intent and purposes of this chapter. Such conditions, for example, may relate to landscaping and screening.

Possible Motion by Plan Commission: Recommend to the Town Board approval of the special

exception requests to exceed the maximum allowable accessory building floor area and maximum allowable accessory building height based on the findings and conditions listed below.

Required Findings:

1. The architecture of the proposed detached accessory building is compatible with the dwelling unit;
2. The proposed detached accessory building will not be adverse to the public health, safety or welfare;
3. The proposed detached accessory building will not be in conflict with the spirit or intent of this chapter; and
4. The proposed detached accessory building will not otherwise be detrimental to the town or the immediate neighborhood where the structure would be located.

Required Conditions of Approval:

1. Prior to the issuance of a zoning permit, the property owner shall obtain all required permits from the Waukesha County Land Resources Division for stormwater management and erosion control. Documentation of such approvals shall be submitted to the Zoning Administrator.
2. Prior to the issuance of a zoning permit, the property owner shall submit a grading and drainage plan for review and approval by the Town Engineer. The plan shall demonstrate that post-construction drainage patterns will not adversely impact adjacent properties or public rights-of-way and shall be consistent with any approvals issued by the Waukesha County Land Resources Division.
3. The property owner shall file a deed restriction, in a form approved by the town attorney, with the Waukesha County register of deeds office, prior to issuance of the building permit indicating that special exception approval has been granted for the detached accessory building and recording any conditions of approval, including a statement that the accessory building may only be used for personal use and cannot be used for any type of commercial or industrial purpose unless otherwise permitted by this chapter.
4. Prior to the issuance of the Special Exception, the property owner must sign the decision notice to acknowledge the terms of the approval and return the same to the zoning administrator within six (6) months of the decision. Prior to the expiration of the previously specified time period, the property owner may submit a petition to the town clerk requesting an extension and the town board may, with cause, extend the period within which the decision notice must be signed. If the signed decision notice is not returned within the initial or extended time period, if any, the decision shall automatically become null and void without any further action by the town at the expiration of such time limit. The decision notice shall only become effective when all required signatures have been obtained and the original signature copy is returned to the town clerk.
5. If the zoning administrator determines that substantial work as authorized by a special

exception approval did not commence within twelve (12) months of the date of approval or if substantial work did commence within twelve (12) months of the date of approval but has not continued in good faith to completion, he or she shall initiate the process to terminate the approval pursuant to division 8 of this article. Upon written petition and with cause, the zoning administrator may grant a one-time extension not to exceed six (6) months.

Possible Motion by Town Board: Accept the Plan Commission's recommendation

Attachments:

1. Application materials



Special Exception
Town of Mukwonago

Version: February 10, 2022

Town of Mukwonago
W320 S8315 Beulah Road
Mukwonago, WI 53149

Overview: The Town Board may, on a case-by-case basis, grant a special exception for those development standards specifically noted as special exceptions in the zoning code. (See section 4 of this application for a listing). In making its decision, the Town Board must consider a variety of factors. General evaluation criteria apply to all special exceptions and special evaluation criteria may also apply as listed for the special exception.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the Town's zoning code (Chapter 36).

General instructions: Application materials should be submitted to the Town Clerk at the mailing address shown above or online at <https://townofmukwonago.zoninghub.com/tools/OnlineApplication.aspx>. If you have any questions, do not hesitate to contact the Town Planner at (262) 204-2350 or via email at ben.greenberg@cedarcorp.com.

1. **Applicant and agent contact information.** Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	<u>Applicant</u>	<u>Agent (if any)</u>
Name	Dawson Greenwald / Brooke Zader	Josh Obert
Company		Walters Buildings
Street address	596 W 32528 Valley Ct. Rd.	EIKHORN WI 53121
City, state, zip code	MUKWONAGO WI 53149	
Daytime telephone number	414/659-0526	262/707-0366
Email	boldt heating@gmail.com	Jobert@ewaltersbuildings.com

2. **Subject property information**

Physical address 596 W 32528 Valley Court Rd. Mukwonago

Tax key number(s) MUKT- 1986999004 MUKT- _____ MUKT- _____ MUKT- _____

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Town Clerk.

Parcel size 6.4 acres OR square feet

Is the subject property currently in violation of the Town's Zoning Code?

- No
- Yes

If yes, please explain.

Comment: Pursuant to Section 36-136 of the Town's zoning code, the Town may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, or other required payment that are specifically related to the subject property?

- No
- Yes

If yes, please explain.

Comment: Pursuant to Section 36-137 of the Town's zoning code, the Town may not issue a permit or other approval that would benefit a parcel of land where taxes, assessments, or other required payments are delinquent and due.

3. Zoning information

The subject property is located in the following zoning district(s). (check all that apply)

- C-1 Conservancy
- R-1 Residential
- EC Environmental corridor (overlay)
- A-1 Agricultural
- R-2 Residential
- HS Hydric soils (overlay)
- RH Rural home
- B-2 Local business
- SE Suburban estates
- P-1 Public

Is the subject property located within Waukesha County's shoreland jurisdiction (generally defined as being within 300 feet of a stream or 1,000 feet of a lake)?

- Yes
- No

4. Type of special exception. Select the special exception(s) you are requesting as referenced in the zoning code.

- s. 36-686(b) Parking of trucks and equipment as an ancillary use to a residential use
- s. 36-702 Reasonable accommodations
- s. 36-713 Modify depth-to-width ratio for lots
- s. 36-718 Increase in maximum attached garage size
- s. 36-719 Increase in maximum detached accessory building
- s. 36-726(b) Reduction in separation to EC overlay zoning district
- s. 36-733 Allow detached accessory building in front of principal building
- s. 36-764 Allow a second driveway
- s. 36-773(b)(4) Modification of requirements for decorative facing on the side of a principal building
- s. 36-773(b)(12) Allow overhead doors to face a public street
- s. 36-1504 Allow construction within an offset area
- Appendix B (1.03) Modify minimum lot area for intensive animal production
- Appendix B (4.01) Modify requirements for exterior materials for duplexes
- Appendix B (4.02) Modify requirements for exterior materials for multifamily buildings
- Appendix B (4.03) Modify requirements for exterior materials for single-family dwellings
- Appendix B (9.04) Modify offset requirements for commercial kennels
- Appendix B (9.20) Modify offset requirements for veterinary clinics
- Appendix B (13.14) Modify provisions for home occupations for operator with a disability
- Appendix B (13.25) Modify offset and setback requirements for a free-standing solar energy system
- Appendix B (13.25) Modify placement requirements for a free-standing solar energy system
- Appendix B (14.01) Grant an extension of time for an earth materials stockpile
- Appendix C Increase height of detached accessory building (Footnote #14)

5. Previous special exception applications for the subject property. Describe any special exception applications that have been submitted for the property; include the year, a general description, and whether the application was approved or not.

Applied for a larger building than this request. the building size we requested was 5056 s.f. This request was presented to The board on the May 2026 meeting.

6. **Proposed project.** Describe what you would like to do if the special exception is granted.

Updated request is for a 50'x80'x16' building for a total of 4000 sq. ft.

7. **General evaluation criteria.** The following general factors are considered in reviewing your application:

- (1) the size of the subject property in comparison to other properties in the area;
- (2) the extent to which the issuance of the special exception permit would be in keeping with the overall intent of the zoning regulations;
- (3) whether there are any unique circumstances and the nature of those circumstances that warrant the issuance of the special exception permit;
- (4) the nature and extent of anticipated impacts to the natural environment that could potentially occur if the special exception permit was granted;
- (5) the nature and extent of anticipated positive and negative effects on properties in the area;
- (6) actions the applicant will undertake to mitigate the negative effects, if any, of the proposed special exception;
- (7) a factor specifically listed under a section of this chapter authorizing the issuance of a special exception permit; and
- (8) any other factor that relates to the purposes of this chapter as set forth in s. 36-5 or as allowed by state law.

In the space below, address each of these to the extent necessary to show why you believe the special exception should be granted. Add additional pages if necessary.

- 1
- 2
- 3
- 4 - The area where this accessory structure would be built is currently a grass field that is unable to be seen from Valley Court of by any neighbors. The new structure would have zero impact on the environment.
- 5) By being able to store my personal items inside a nice shed would only benefit other properties in my area. Make my property look clean and well taken care of.
- 6) needed landscaping would be properly planted to up keep the area

8. **Specific evaluation criteria.** In addition to the general evaluation criteria listed in section 7 above, specific evaluation criteria are often listed in the zoning code for each of the different types of special exceptions (refer to section 4 above for the corresponding zoning code section number). In the space below, list those factors and why you believe the special exception should be granted. Add additional pages if necessary.

The property at 596 W 375th Valley Court Rd is located on a deadend road in a rural neighborhood. The requested structure would be located in the back of the property and will NOT be able to be seen from the road due to the elevation changes. This structure would be used to store my camper and enclosed trailers inside ~~instead~~ instead of having to pay for storage or leave outside.

9. **Project map.** Attach a project map. It can consist of a single page or multiple pages depending on the complexity of the features that need to be depicted.

The following items need to be included *as appropriate* to the project and the special exception that is being requested.

Background Project Information

- Project name
- Applicant name
- Preparation date

Buildings and Outdoor Storage/Activity Areas

- Existing and proposed
- Existing within 50 feet of subject property

Survey Information

- North arrow and graphic scale
- Address of subject property or legal description
- Property boundaries
- Acreage of subject property

Required Setbacks

- Yard setbacks (front, side, rear and shore)
- On-site septic systems
- On-site wells and off-site wells within 10 feet of the perimeter of the subject property

Project Development Information

- Easements/rights-of-ways (location, width, purpose, ownership)

Utilities (existing and proposed)

- Location
- Type (sewer, telephone, etc.) (buried or overhead, if applicable)

Setting

- Property boundaries within 50 feet of the subject property
- Land uses within 50 feet of the subject property
- Zoning district boundaries within 50 feet of the subject property
- Municipal boundaries within 50 feet of the subject property

Transportation Facilities (existing and proposed)

- Streets
- Driveways and road access onto public and private roads
- Parking lots
- Sidewalks / trails
- Fire lanes (i.e., fire apparatus access)
- Clear visibility triangles (location and dimensions)

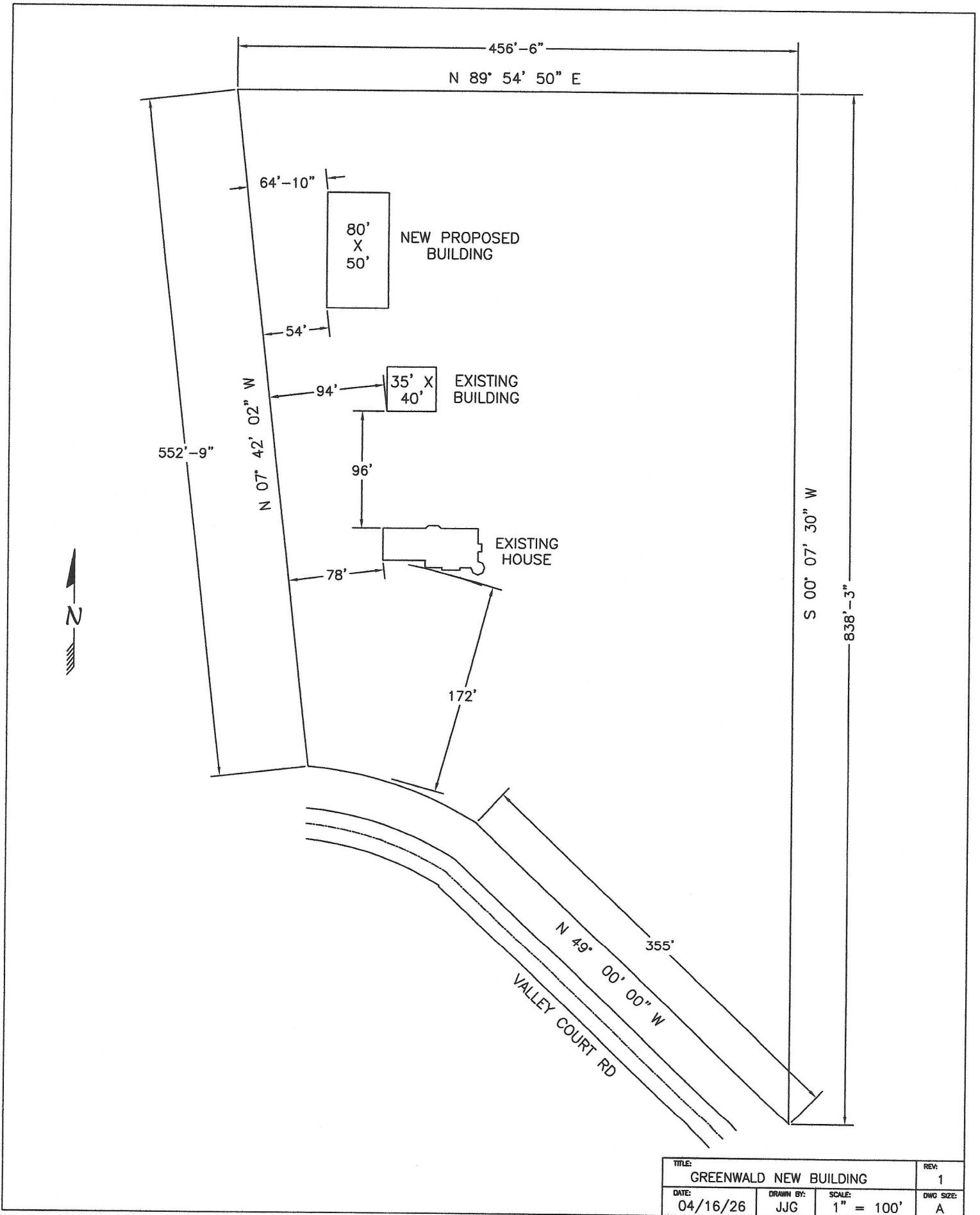
Site Features (existing and proposed)

- Ground contours when any slope exceeds 10 percent
- Wetlands
- Woodlands
- Wildlife habitat, including critical wildlife habitat
- Environmentally sensitive features
- Water resources (rivers, ponds, etc.)
- Floodplain boundaries
- Environmental and manmade development constraints and hazards including brownfields, contaminated sites, unstable soils, high groundwater, bedrock, and high-pressure natural gas lines

10. **Attachments.** List any attachments included with your application.

- 1) revised site map / survey
- 2) Building plans

11. **Other information.** You may provide any other information you feel is relevant to the review of your application.



TITLE: GREENWALD NEW BUILDING			REV: 1
DATE: 04/16/26	DRAWN BY: JJG	SCALE: 1" = 100'	DWG SIZE: A

12. Applicant certification

- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with sections 2-2 and 2-3 of the Town of Mukwonago municipal code.
- I understand that submission of this application authorizes town officials, Plan Commission members, Town Board members, employees, and other designated agents to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the Town Planner will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner Signature:

Date:

Dawson Granwald

5/16/2006

Brooke Zuder

5/16/06



Zoning Permit Application
Town of Mukwonago

Version: December 28, 2020

Town of Mukwonago
W320 S8315 Beulah Road
Mukwonago, WI 53149

OFFICE USE ONLY

Application Number: Fee Paid: \$ Fee Received By: Date Received:

Parcel Number: MUKT-1926999004 Property Address: 596 W 32528 Valley Court Rd. Mukwonago

Property Owner: Dawson Greenwood / Brooke Zader
Agent (if any): Josh Obert / Walters Buildings
Street address: 596 W 32528 Valley Court Rd.
City, state, zip code: Mukwonago WI 53149
Daytime telephone: 414/659-0526
Email address: boldt heating@gmail.com

General description of proposed project: Detached 50x80x16 accessory structure

Zoning Information

Zoning District(s) (check all that apply)

- C-1 Conservancy
A-1 Agricultural
[X] RH Rural home
SE Suburban estates
R-1 Residential
R-2 Residential
B-2 Local business
P-1 Public
PUD:
EC Environmental corridor (overlay)
HS Hydric soils (overlay)

Setbacks and Offsets

Front-yard setback: 481 feet from building foundation to base setback line (road right-of-way)
Side-yard offset: 54 feet from building foundation to West property boundary line
Side-yard offset: 352 feet from building foundation to East property boundary line
Rear-yard offset: 70 feet from building foundation to North property boundary line
EC setback: feet from building foundation to Environmental Corridor District (if any)
C-1 setback: feet from building foundation to Conservancy District (if any)

For assistance in the zoning districts please visit: https://townofmukwonago.zoninghub.com/home.aspx

Floor Area of Buildings (in square feet from exterior wall to exterior wall)

Table with 3 columns: Building Type, Existing, Proposed. Rows include Principal building (first floor), Principal building (second floor), Attached garage, Detached building (#1), Detached building (#2), and Total.

Sanitary Permit No. (Buildings requiring sanitation only):

New Building with a Basement

Elevation of top of foundation (This should be shown on the grading plan.)
Elevation of top of basement floor (This should be shown on the grading plan.)
Elevation of top of footing (This should be shown on the grading plan.)
Elevation of seasonal high-water table (This is listed in the Seasonal High Groundwater Determination Report.)

Note: The top of the basement floor must be one foot or more above the seasonal high-water table.

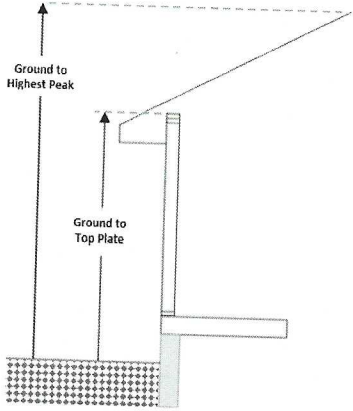
Height of Proposed Building(s)

New proposed
Building 1

Building 2

Building 3

	Ground to Top Plate	Ground to Highest Peak	Ground to Top Plate	Ground to Highest Peak	Ground to Top Plate	Ground to Highest Peak
Front	17'2"	25'10'1/2"				
Left						
Right						
Rear						



Applicant certification

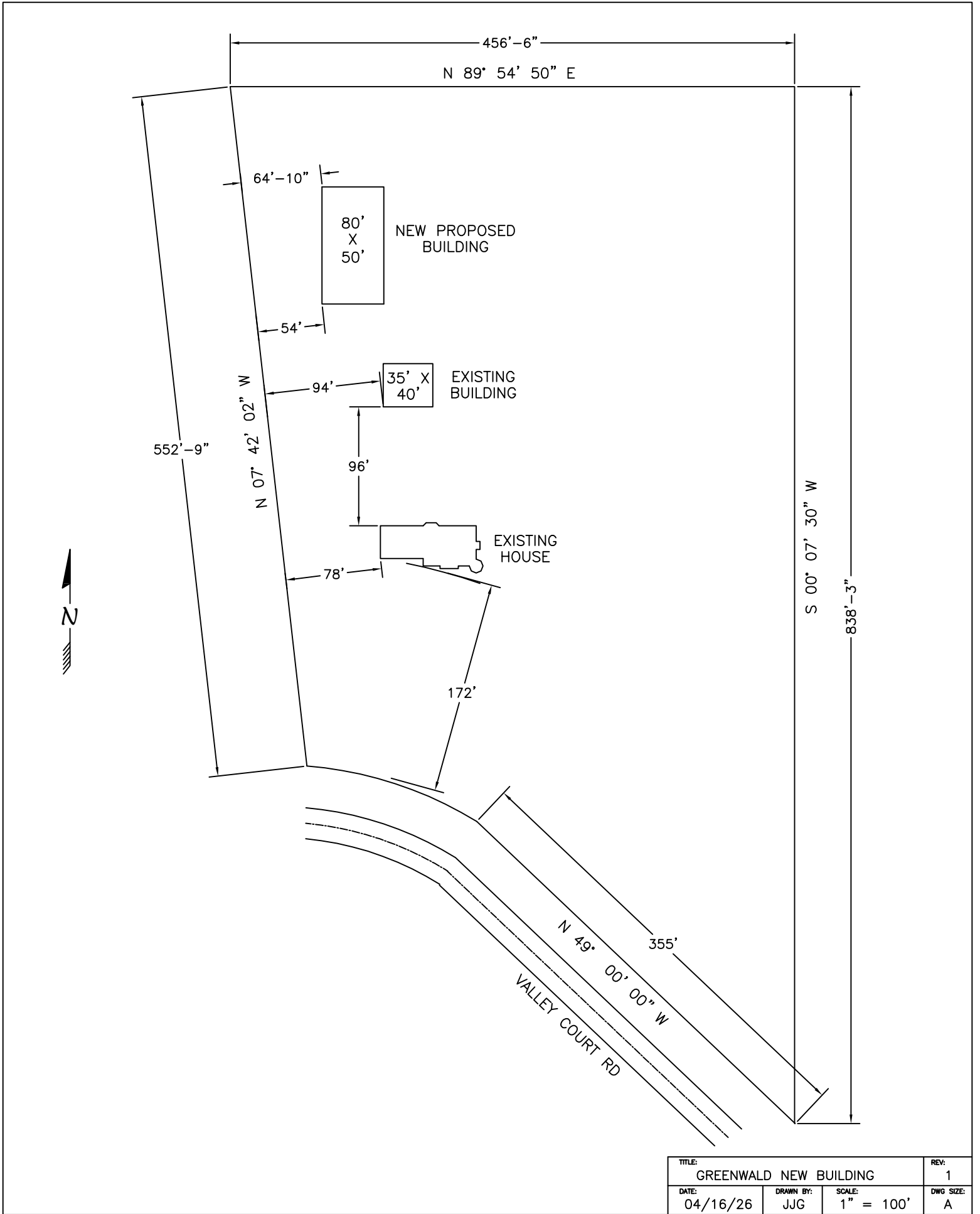
- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the Zoning Administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner Signature(s):

Dawn Greenwood
Brooke Zoller

Date:

5/17/21
5/17/21



TITLE: GREENWALD NEW BUILDING			REV: 1
DATE: 04/16/26	DRAWN BY: JJG	SCALE: 1" = 100'	DWG SIZE: A

GENERAL NOTES AND SPECIFICATIONS

GENERAL NOTES

DEVIATION FROM PLANS - Any deviation from these plans shall have been consulted with and documented by the supervising professional.

NON-CONTRACT ITEMS - Items may appear on these plans that are done by others and are not part of the Walters Buildings' contract.

STRUCTURAL PERFORMANCE - Walters Buildings and the Certifying Engineer's responsibility is limited to the structural performance of the post frame shell and listed items. The parties are not acting as the supervising professional of record for onsite supervision of construction, installation, or inspection. Check with local municipality for any special requirements.

SPECIFICATIONS

SITE WORK - The building site shall be graded to provide drainage away from the building. Maintain the grade levels shown on the plan around the building.

FOUNDATION PLACEMENT NOTES - All footings or Sakrete shall be placed on undisturbed virgin soil remaining consistent with the soil bearing capacity as noted in the 'LOADS' Table. If any loose soil is found at footing locations notify engineer at once so adjustments to footings can be made accordingly, as may be necessary.

Column holes are dug per the dimensions shown on the foundation plan (S1) and ready-mix concrete pads or dry concrete pads are poured in place (Note plans for size and type). Additional concrete-mix is poured around the base of the column.

Backfill around columns above footings shall be placed in 8" maximum depth layers and thoroughly compacted. Backfill material shall remain consistent with the presumed lateral soil pressure noted in the 'LOADS'. Typical soil types meeting the requirements include firm sand and loose sandy gravel. Backfill of excavated holes in soil around wood columns may be made with concrete at contractors option.

Foundations shall not be placed prior to confirmation of the soil type at a depth of 5 feet below the bottom of the footing.

CONCRETE (if applicable) - Concrete placement shall be in accordance with ACI 318-14.

Design mixes shall be obtained from the following:

- 1.Strength to be a minimum of 3000 PSI at 28 days for walls and footings.
- 2.Strength to be a minimum of 3500 PSI at 28 days for floor slabs.
- 3.Slump not to exceed 4 inches.

REINFORCING STEEL (if applicable) - Reinforcing steel shall be placed in accordance with CRSI Standards.

Steel reinforcing shall meet the requirements of the "Standard Specifications" for:
 1.Billet-Steel Concrete Reinforcing Bars Grade 60 (ASTM designation A-615).
 2.All steel bars shall meet the requirements of ASTM designation A-615. All welded wire mesh for concrete reinforcement shall meet the requirement shall meet the requirements set forth in Standard Specification (ASTM designation A-185). The reinforcement shall not be painted and must be free from grease, dirt or deep rust when placed in the work. To prevent rust, the material must be protected from moisture. The reinforcement shall be protected by the proper thickness of concrete.

Where not otherwise shown, the thickness of concrete over the reinforcement shall be:
 1.Where concrete is deposited against the ground without the use of forms, the thickness of concrete shall not be less than 3 inches.
 2.Where concrete is exposed to weather, the thickness of concrete shall not be less than 1 1/2 inches.
 3.In columns or pedestals not exposed to weather or ground, the thickness of concrete shall not be less than 1 1/2 inches.

ANCHOR BOLTS (if applicable) - The contractor shall set all anchor bolts to receive the building. The bolts shall be the size as shown or required. They may be drilled into place as allowed.

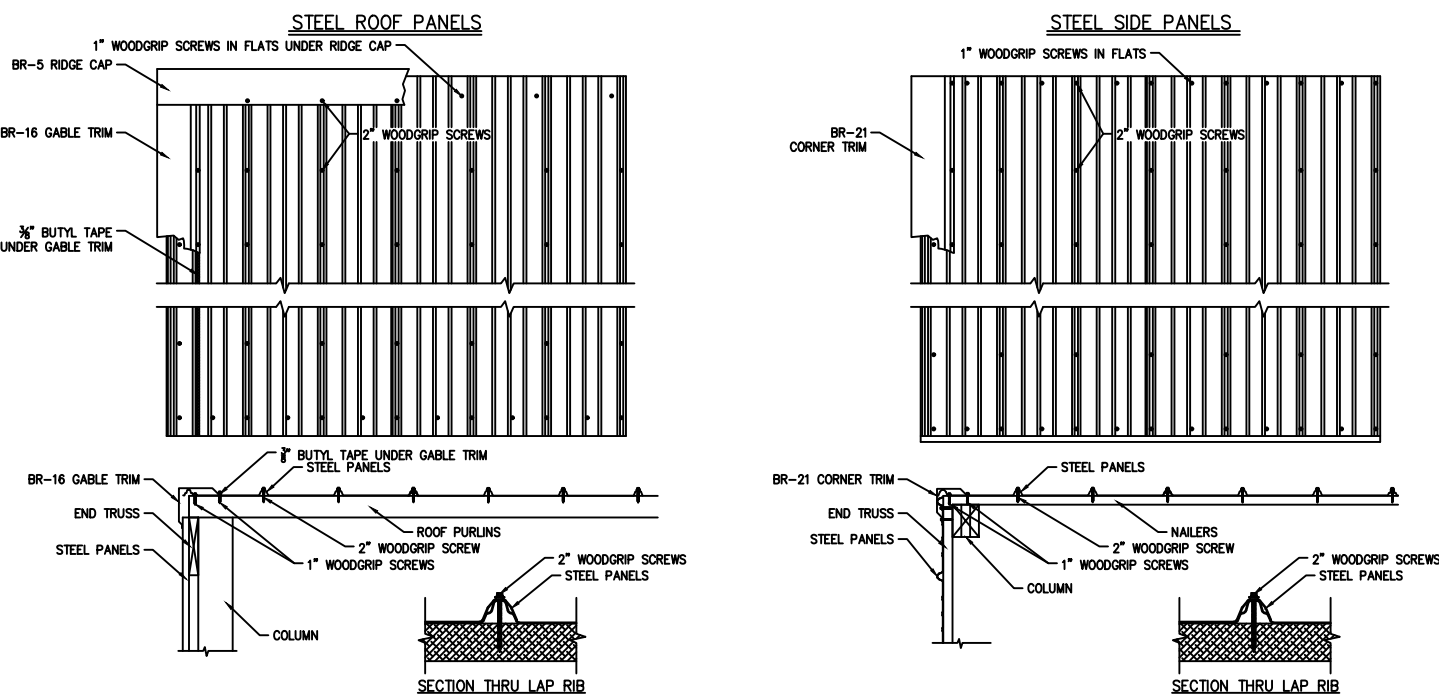
STRUCTURAL LAMINATED COLUMNS - The No. 2 or better southern yellow pine SPS structural columns used in this Walters Building shall consist of 3 or more members sized as shown on the plans, steel plate laminated, and designed to meet the structural load requirements. Column lumber is kiln-dried to a 19% moisture content.

The members for use in contact with the soil shall be pressure treated to a retention of 0.8 pounds of Copper Chromate Arsenate Type C, oxide type formulation, as listed in American Wood Preservers Assoc. Standard U1. The treatment process shall be as described in the current AWPFA Standard U1 Commodity Specification A, Use Category 4B.

Splices in columns shall conform to Jack Walters & Sons Corp. Standard details and the columns shall bear a permanent Jack Walters & Sons Corp. stamp in a visible location. Wisconsin DILHR Material Approval No. 201610-W.

SPLASHBOARDS - Splashboards are S4S #2 or better Southern Pine, pressure treated to a net retention of 0.15 pounds per cubic foot with MCA copper based treatment. Approved for G-90 galvanized protected connectors and for aluminum contact. Building code compliant - ESR #2240. One row is furnished for building on a level grade.

STEEL PANEL SCREWING PATTERN



STANDARD ROUGH OPENINGS FOR STANDARD PLYCO WALKDOORS

CALL SIZE	DOOR	ROUGH OPENING WIDTH (in.) x HEIGHT (in.)
3068	COMMERCIAL PLYCO 20 SERIES	40 3/4" x 81 3/4"
6068	COMMERCIAL PLYCO 20 SERIES	77 3/4" x 81 3/4"
3068	3-HOUR RATED PLYCO 22 SERIES	40 3/4" x 82 3/4"
6068	3-HOUR RATED PLYCO 22 SERIES	76 3/4" x 82 3/4"
3068	THERMAL BREAK PLYCO 92 TB ALUMINUM FRAME SERIES	40 3/4" x 82 3/4"
6068	THERMAL BREAK PLYCO 92 TB SERIES STANDARD W/ MULLION	78 3/4" x 82 3/4"
6068	THERMAL BREAK PLYCO 92 TB SERIES OPTIONAL W/ ASTRAGAL	77 3/4" x 82 3/4"

FASTENING SCHEDULE

FLOOR CONSTRUCTION		
Built-up Girders & Beams	20d common	32" o.c. direct
Bridging to Joists	8d common	2 ea. direct end
Floor Joists to Studs	10d common	5 direct or 3 direct
Floor Joists to Studs (W/ceiling joist)	10d common	2 direct
Floor Joists to Sill or Girder	8d common	3 toe nail
Ledger Strip	16d common	3 ea. direct joist
1" Subflooring (6" or less)	8d common	2 ea. direct joist
1" Subflooring (8" or more)	8d common	3 ea. direct joist
2" Subflooring	16d common	2 ea. direct joist
Particleboard Underlayment (1/4" - 3/4")	6d annular threaded	6" o.c. direct edges & 12" o.c. intermediate

WOOD STRUCTURAL PANEL SUBFLOORING		
1/2" or less	6d common or 6d annular/spiral thread	6" o.c. direct edges & 12" o.c. intermediate
19/32" - 3/4"	8d common or 6d annular/spiral thread	6" o.c. direct edges & 12" o.c. intermediate
7/8" - 1-1/8"	10d common or 8d ring shank 8d annular or spiral thread	6" o.c. direct edges & 7" o.c. intermediate
1/2" or less	16ga galvanized wire staples	4" o.c. edges & 7" o.c. intermediate
19/32, 5/8"	3/8" min. crown, 1-5/8" length	2-1/2" o.c. edges & 4" o.c. intermediate

WALL CONSTRUCTION		
Stud to sole plate	16d common	4 toe nail
Stud to cap plate	16d common	2 direct nail
Double studs	10d common	2 toe nail or 2 direct nail
Corner studs	16d common	12" o.c. direct
Sole plate to joist or blocking	16d common	24" o.c. direct
Interior-braced wall sole plate-parallel joist	16d common	16" o.c.
Double cap plate	10d common	12" o.c.
Cap plate laps	10d common	2 direct nail
Ribbon strip, 6" or less	10d common	2 ea. direct bearing
Ribbon strip, 6" or more	10d common	3 ea. direct bearing
Diagonal brace (to stud & plate)	8d common	2 ea. direct bearing
Interior-braced wall top plate-joist/blocking	10d common	12" o.c.
Tail beams to headers (nailing permitted)	20d common	1 ea. end 4 sq.ft. floor area
Header beams to trimmers (nailing permitted)	20d common	1 ea. end 8 sq.ft. floor area
Continuous header to stud	8d common	4 toe nail
Continuous header, two pieces	16d common	16" o.c. direct

ROOF & CEILING CONSTRUCTION		
Ceiling joists to plate	16d common	3 toe nail
Ceiling joists (laps over partition)	10d common	3 direct nail
Ceiling joists (parallel to rafter)	10d common	3 direct nail
Collar beam	10d common	3 direct
Roof rafter to plate	8d common	3 toe nail
Roof rafter to ridge	16d common	2 toe nail or direct nail
Jack rafter to hip	10d common	3 toe nail
1" roof decking (6" width or less)	16d common	2 direct nail
1" roof decking (over 6" width)	8d common	2 ea. direct rafter
	8d common	3 ea. direct rafter

WALL & ROOF SHEATHING		
1" wall sheathing (<8")	8d common	2 ea. direct stud
1" wall sheathing (over 8" width)	8d common	3 ea. direct stud
1-1/2" fiberboard sheathing	1-1/2" GV roofing nail or 6d common or 16ga staple, 1-1/8" w/min. crown of 7/16"	3" o.c. exterior edge, 6" o.c. intermediate
25/32" fiberboard sheathing	1-3/4" GV roofing nail or 8d common or 16ga staple, 1-1/2" w/min. crown of 7/16"	3" o.c. exterior edge, 6" o.c. intermediate
Gypsum sheathing	12ga 1-1/4" large head, corrosion resistant	4" o.c. on edge, 8" o.c. intermediate
Gypsum sheathing (seismic tracing)	11ga 1-3/4" long 7/16" head	4" o.c. all bearing points
Particleboard wall sheathing (1/2" or less)	6d common	6" o.c. direct edges & 12" o.c. intermediate
Particleboard wall sheathing (5/8" or less)	8d common	6" o.c. direct edges & 12" o.c. intermediate

WOOD STRUCTURAL PANEL ROOF & WALL SHEATHING		
1/2" or less	6d common (walls); 8d common (roofs)	6" o.c. direct edges & 12" o.c. intermediate
19/32"-1"	8d common	6" o.c. direct edges & 12" o.c. intermediate
1" or greater	10d common	6" o.c. direct edges & 12" o.c. intermediate
1/2" or less	16ga GV wire staples	4" o.c. edges & 8" o.c. intermediate
1/2" or less	3/8" min. crown 1" length + panel thickness	2-1/2" o.c. edges & 5" o.c. intermediate
19/32", 5/8"	same as immediately above	intermediate
Shingles	#14 B&S ga corrosion resistant	2 ea. bearing
Weatherboarding	#14 corrosion resistant	2 ea. bearing

Note A: Single nails shall penetrate not less than 3/4" into nailing strips, sheathing or supporting construction except as otherwise provided for in Section 1507.0.

Note B: For regions having a basic wind speed of 90 mph or greater where the main roof height is less than 25 ft. and for regions having basic wind speed of 80 mph or less, nails which attach wood structural panel roof sheathing to gable end wall framing shall be spaced 6" o.c. Where basic wind speed is greater than 80 mph, nails which attach panel roof sheathing to intermediate supports shall be spaced 6" o.c. of a minimum of a 48" distance from ridges, eaves & gable end walls; & 4" o.c. to gable end wall framing.

Note C: For regions having a basic wind speed of 90 mph greater, 8d deformed shank nails shall be utilized to attach wood structural panel roof sheathing to framing within a minimum 48" distance from gable end walls provided the mean roof height is between 25' and 35'. For roof heights greater than 35' in a 90 mph or greater wind region, attachment of wood structural panel roof sheathing shall be designed for the wind loads in Section 1609.0.

Note D: Nails shall be spaced 6" o.c. direct to panel edges and 6" o.c. to intermediate supports where panel spans are 48" o.c. or greater.

Note E: 1" = 25.4mm, 1" = 304.8mm.

ABBREVIATIONS

ABV	Above	F.D.	Floor Drain
AFF	Above Finish Floor	F.E.	Fire Extinguisher
BBP	Blocking Between Purlins	F.O.	Framed Opening
B.O.S.	Bottom Of Splashboard	FT	Feet
BRG	Bearing	GA	Gage, Gauge
B.S.	Both Sides	GTE	Grade To Eave
€	Centerline	GTH	Grade To Heel
CFT	Cubic Foot	GTP	Grade To Peak
C.H.	Ceiling Height	GV	Galvanized
CLOS	Closet	IN.	Inch
COM	Common	PL	Property Line
CMU	Concrete Masonry Unit	PSF	Pounds per Square Foot
d	Penny	PSI	Pounds per Square Inch
DBL	Double	P.T.	Pressure Treated
Ea.	Each	R.C.	Raised Chord
E.E.	Each End	R.O.	Rough Opening
E.F.	Each Face	R.P.	Straight Chord
E.W.	Each Way	STP	Steel Transfer Plate
LAM	Laminated	T&G	Tongue & Groove
L.A.V.	Lavatory	T.O.G.	Top of Ledger
MIL	Millimeter(s)	T.O.W.	Top of Wall
NBW	Not By Walters Buildings	T.O.C.	Top of Concrete
N.T.S.	Not To Scale	T.O.F.	Top of Floor
O.C.	On Center(s)	TYP	Typical(y)
O.C.E.W.	On Center Each Way	TRTD	Treated
OHD	Overhead Door	WH	Water Heater
O/O	Out to Out	WWM	Welded Wire Mesh



PROJECT NAME & LOCATION

OWNER NAME:	PROJECT ADDRESS:
Dawson Greenwald	S96W32528 Valley Court Road, Mukwonago, WI, 53149

PROJECT LOAD SUMMARY

International Building Code 2021	
Wisconsin Uniform Dwelling Code	
OCCUPANCY TYPE:	Residential
BUILDING AREA:	4800 sq ft
RISK CATEGORY II	
CONSTRUCTION TYPE : VB	
Ground Snow Load :	35 PSF
Design Snow Load :	26.95 PSF
Unbalanced Snow Load per SPS 362.1608 :	32.9 PSF
Balanced Snow Load Used :	26.95 PSF
Roof Live Load (reducible)	20 PSF
Total Load Used :	36.95 PSF
Wind Speed :	115 mph
Exposure Category :	C
Design Wind Load :	15.9
Wind Load Used :	16 PSF
Seismic Design Category :	B
Seismic Base Shear :	1080 #
Presumed Soil Bearing Capacity :	2000 PSF
Presumed Lateral Soil Pressure :	150 PSF

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SALES REP / DEALER:
JOSH OBERT

DRAFTER:
David Merkel

ESTIMATOR:
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ENGINEER:
Caynen Klessig

JOB NUMBER:
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PROJECT ID:
2026000394

SHEET NUMBER:

G1

DOOR & WINDOW SCHEDULE

MAINTAIN LEVEL APPROACH TO ALL WALKDOORS *FIELD VERIFY ALL WINDOW SILL HEIGHTS*
 SEE PAGE G1 FOR PLYCO ROUGH OPENING SIZES

TAG	DESCRIPTION	QUANTITY
①	OVERHEAD DOOR OPENING: 10'x10'	1
②	OVERHEAD DOOR OPENING: 12'x14'	2
③	3'x6'-8" PLYCO 92 SERIES THERMAL BREAK WALK DOOR W/LEVERSET WITH DEADBOLT	2
Ⓐ	4'x3' WINDGATE SINGLE VENT SLIDER WINDOW W/HALF SCREEN & BUILT-IN "J"-CHANNEL	9



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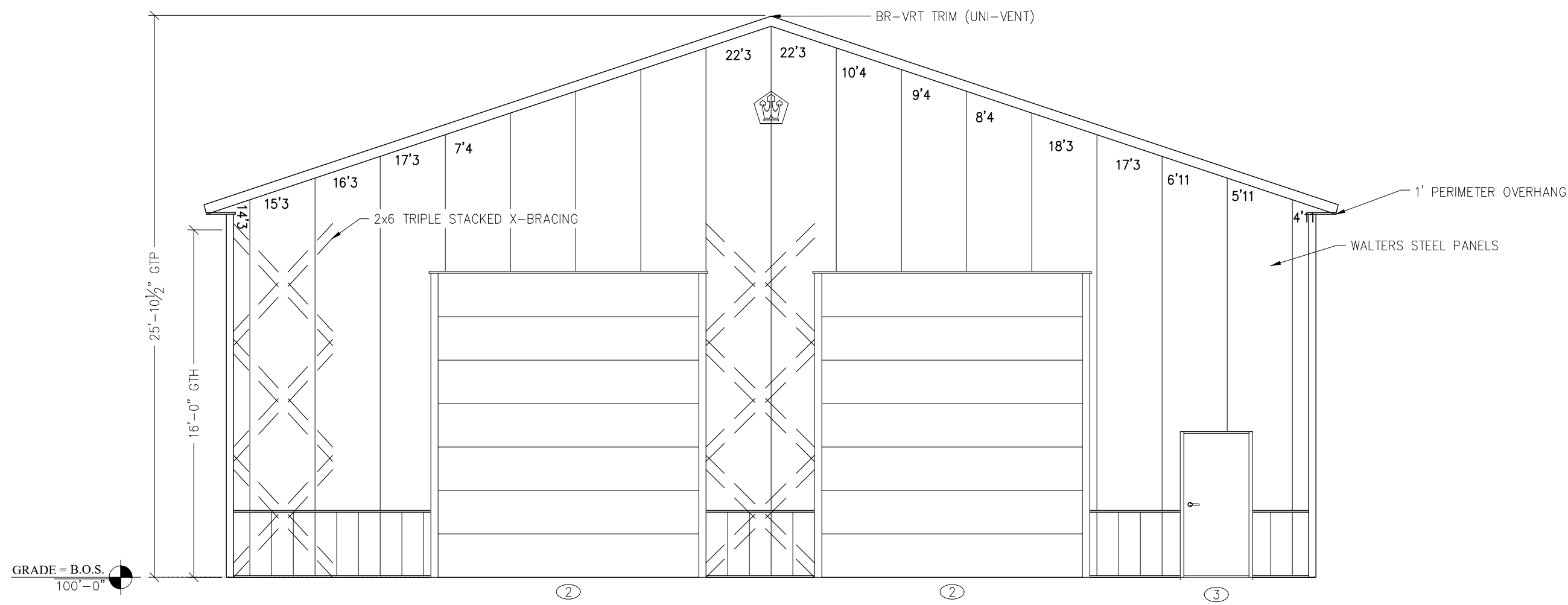
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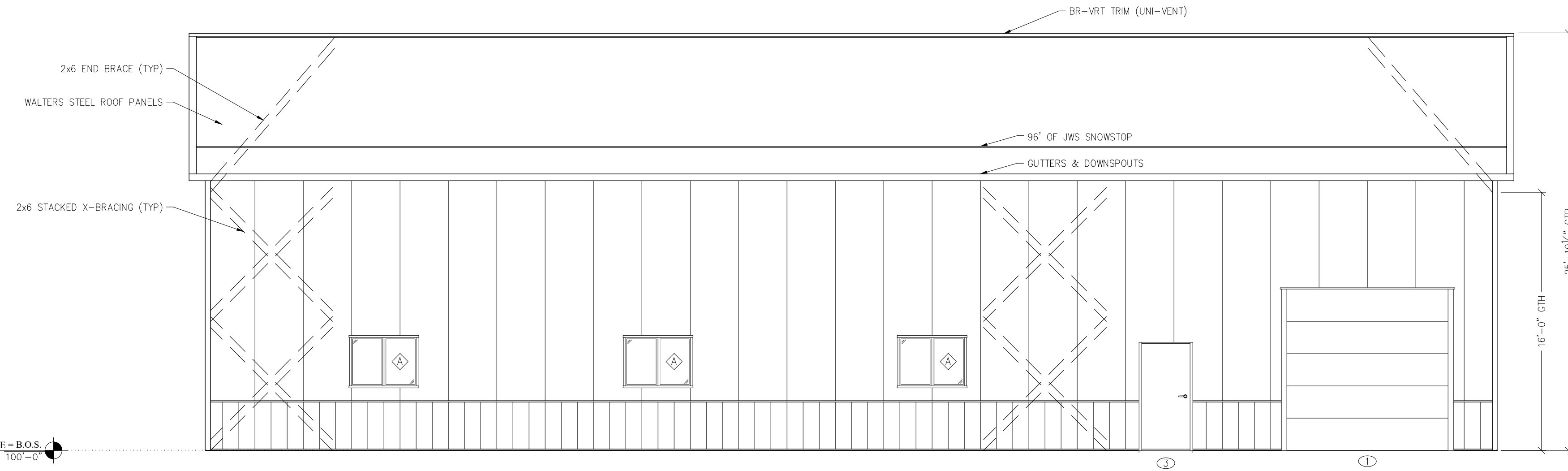
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SHEET NUMBER:

A1



1 LEFT END ELEVATION
 A1 SCALE: 3/16" = 1'-0"



2 FRONT SIDE ELEVATION
 A1 SCALE: 3/16" = 1'-0"

DOOR & WINDOW SCHEDULE

MAINTAIN LEVEL APPROACH TO ALL WALKDOORS *FIELD VERIFY ALL WINDOW SILL HEIGHTS*
 SEE PAGE G1 FOR PLYCO ROUGH OPENING SIZES

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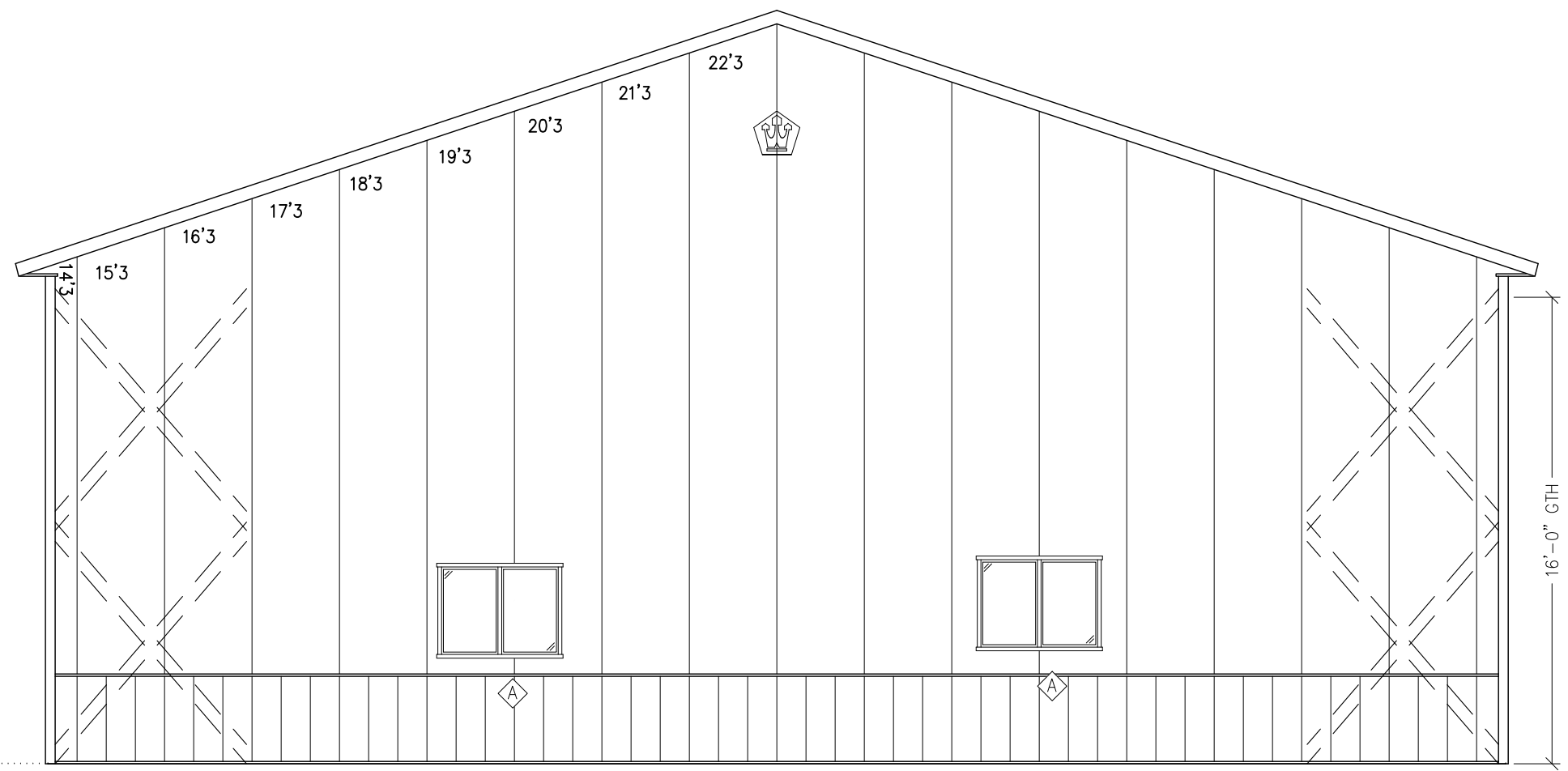
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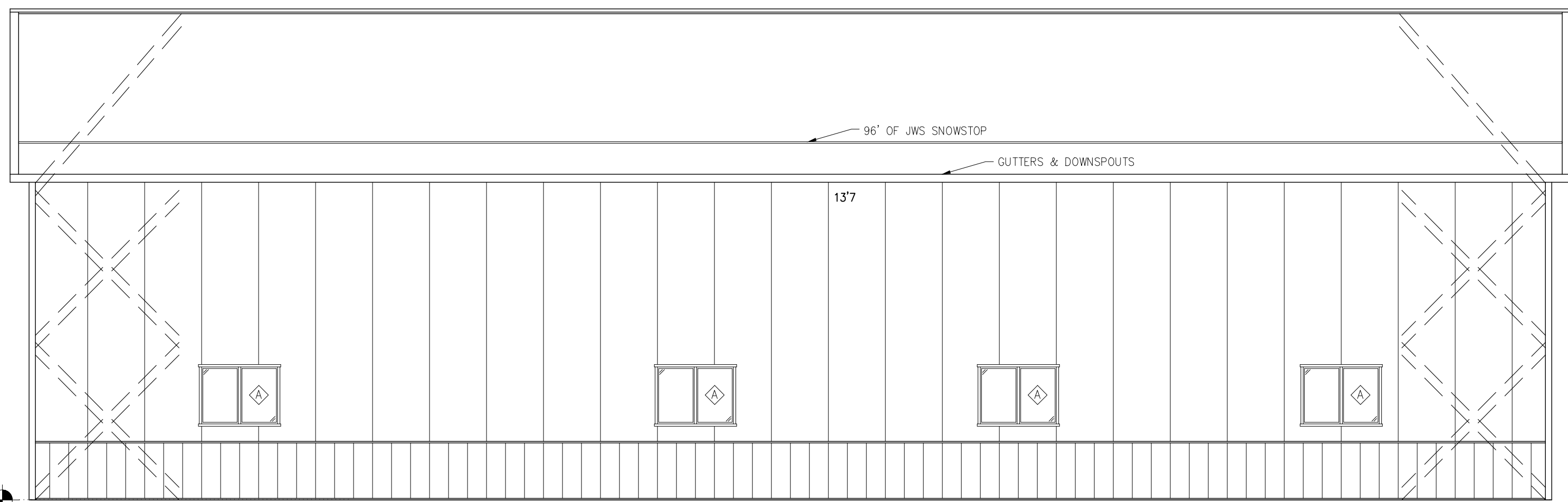
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NOTE:
 SAME AS SHEET A1
 EXCEPT FOR ITEMS NOTED

GRADE = B.O.S.
 100'-0"

1 RIGHT END ELEVATION
 A1.1 SCALE: 3/16" = 1'-0"



GRADE = B.O.S.
 100'-0"

2 BACK SIDE ELEVATION
 A1.1 SCALE: 3/16" = 1'-0"

A1.1



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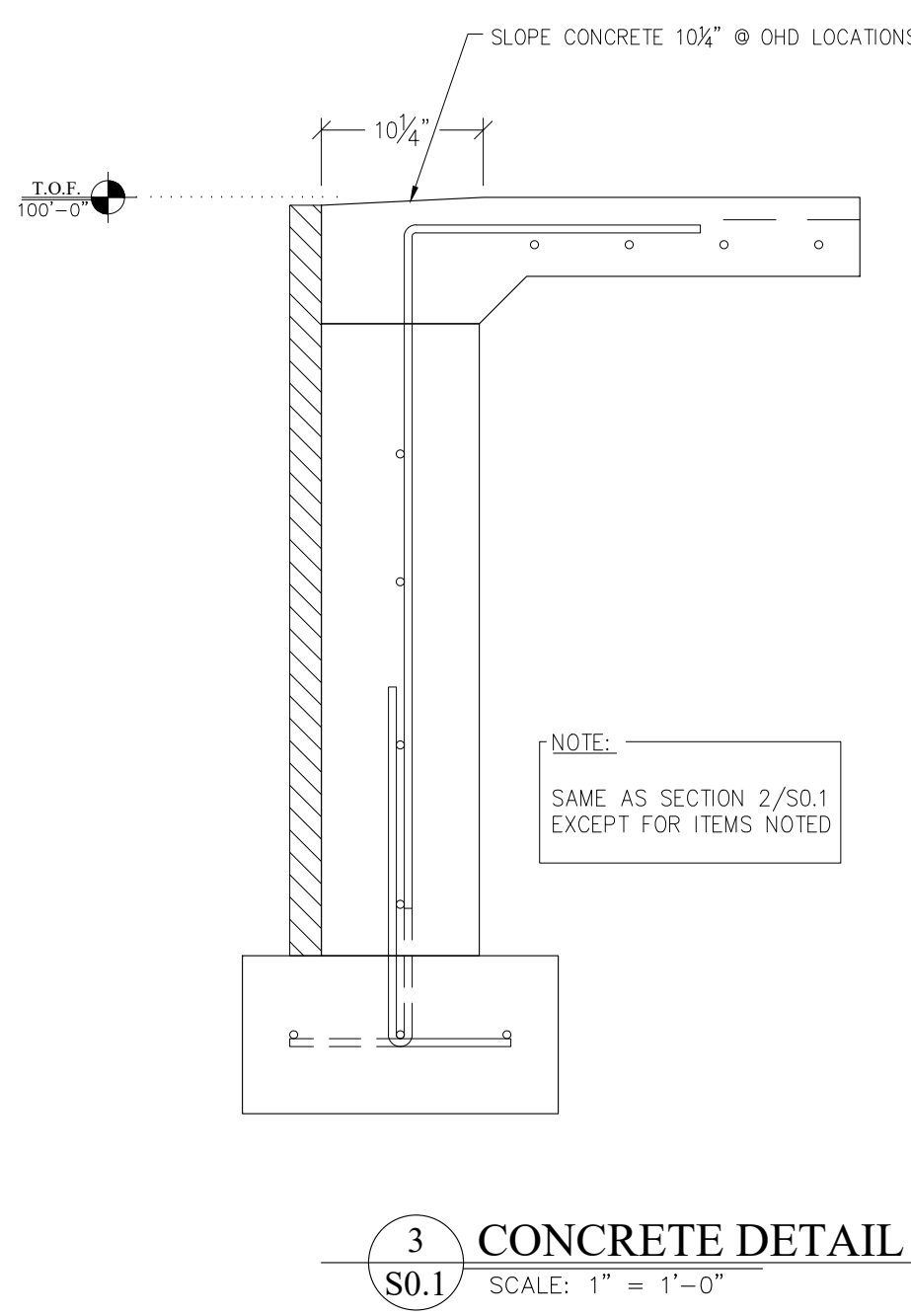
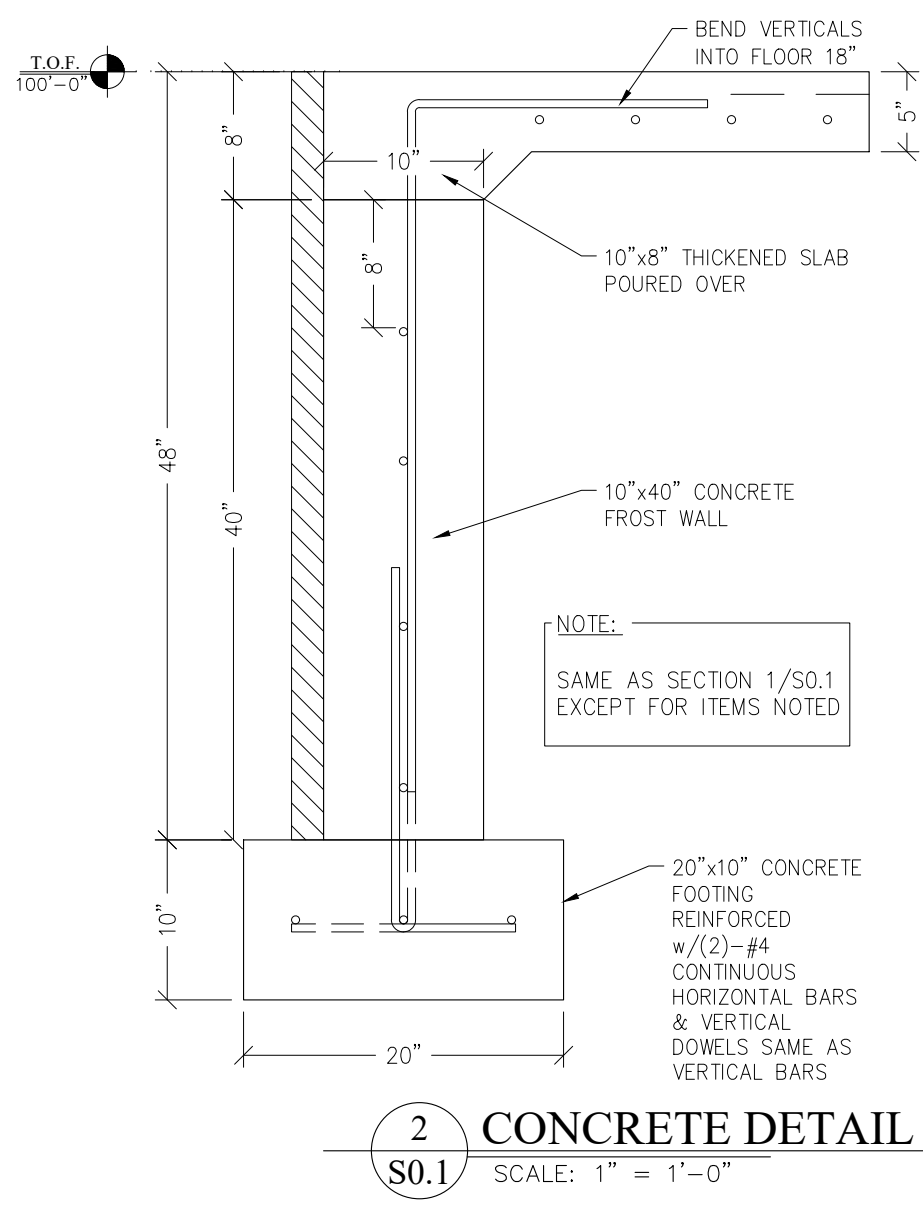
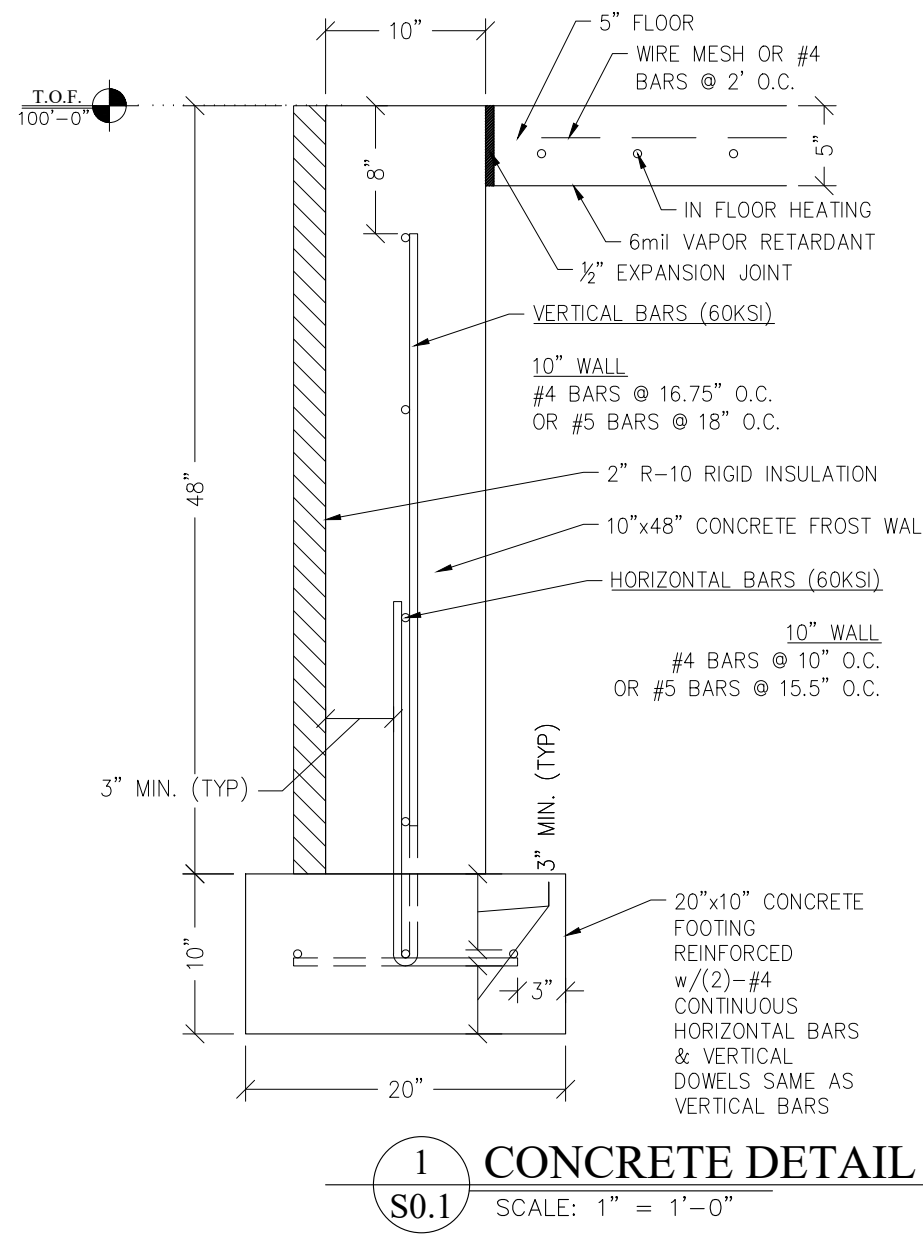
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S0.1



COLUMN SCHEDULE

TAG	COLUMN TYPE
①	(3)-PLY 2x8 #1 SYP STP LAM COLUMN



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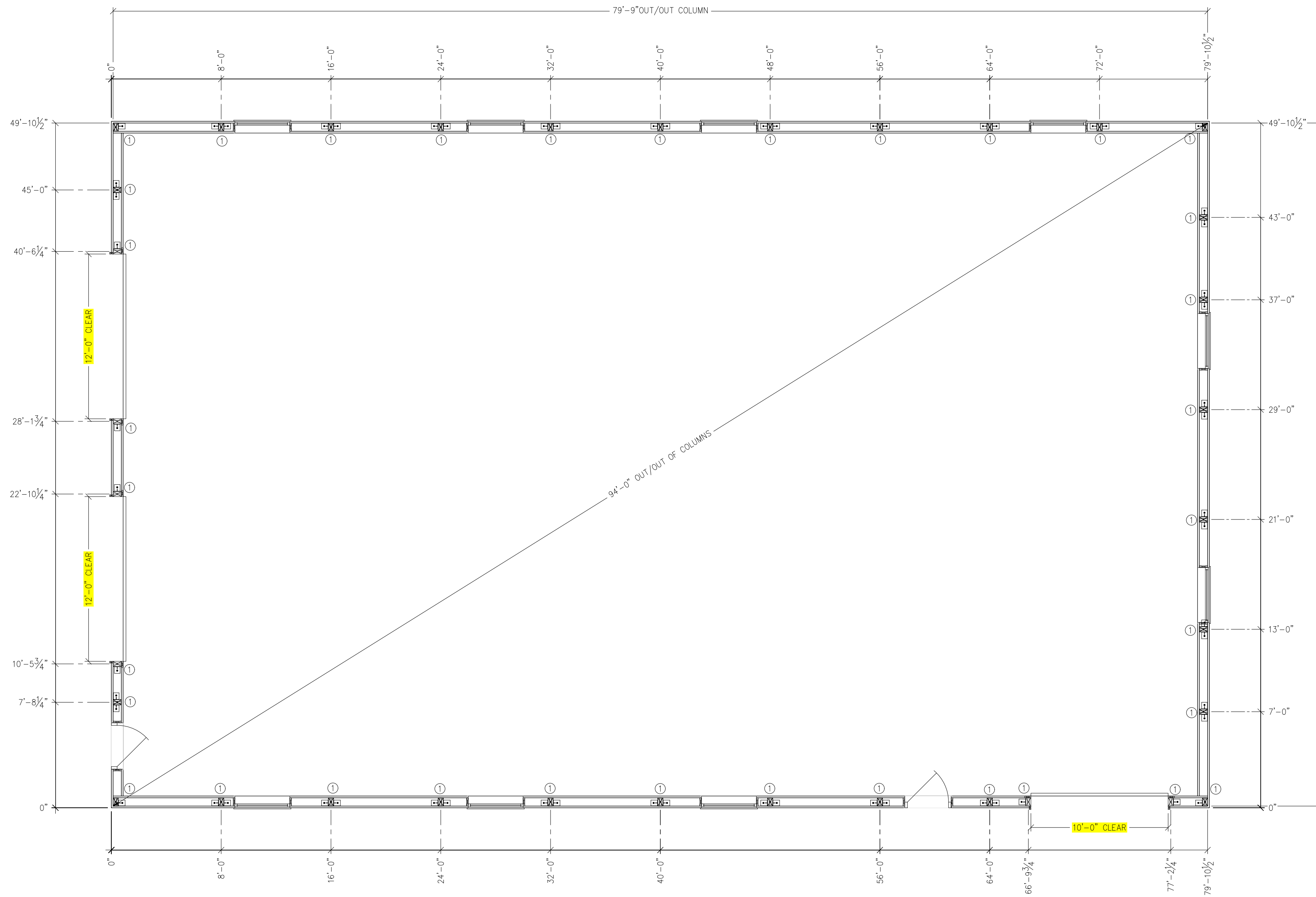
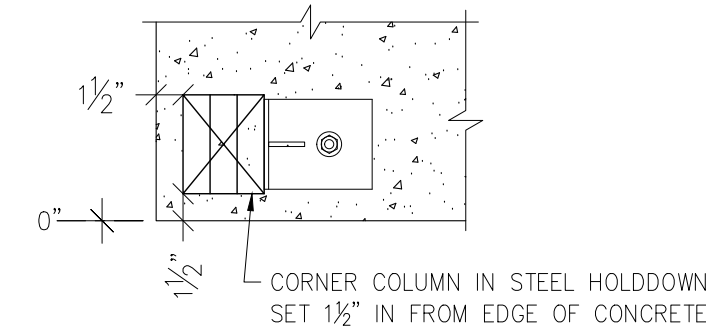
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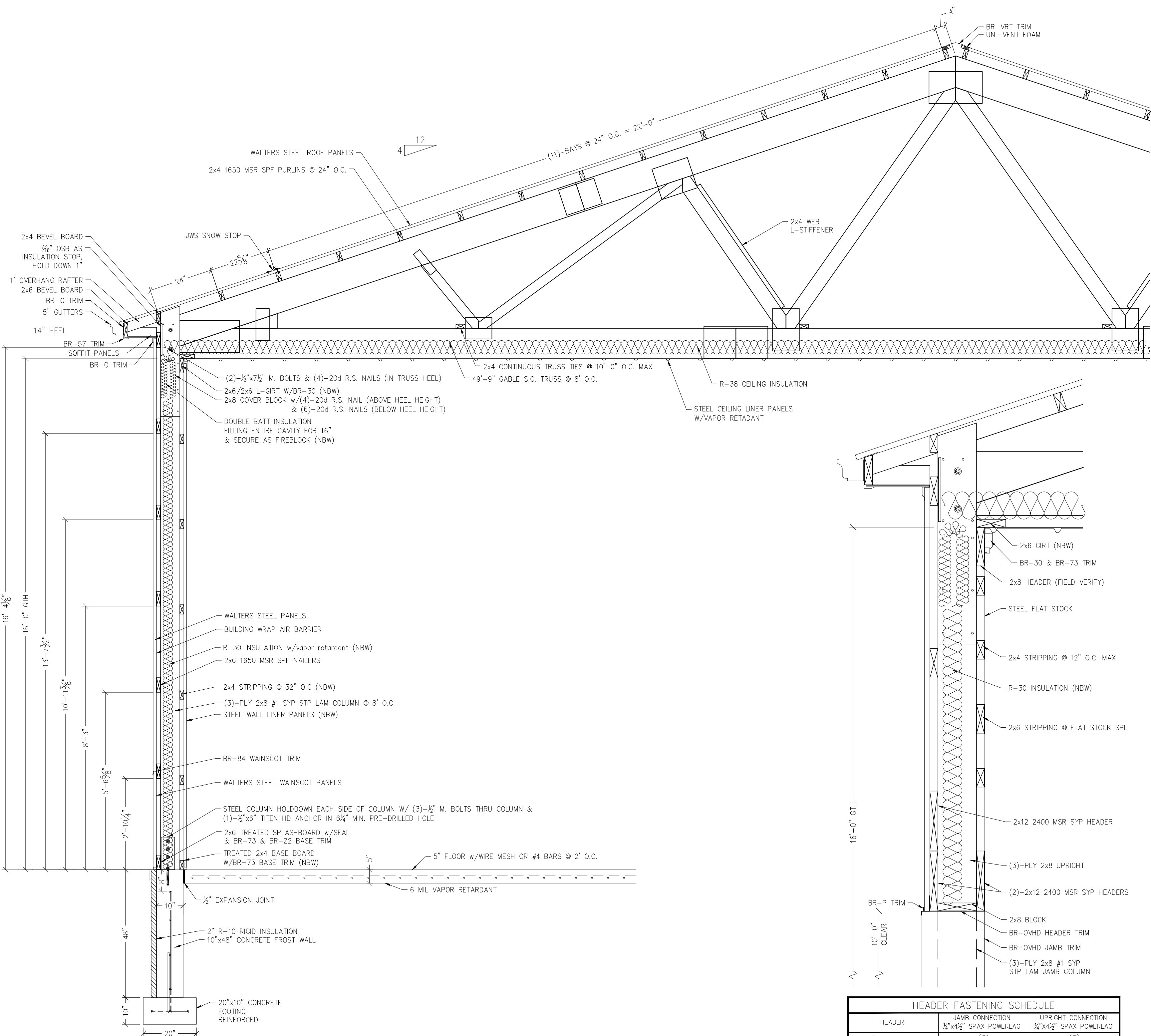
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SHEET NUMBER:

S3



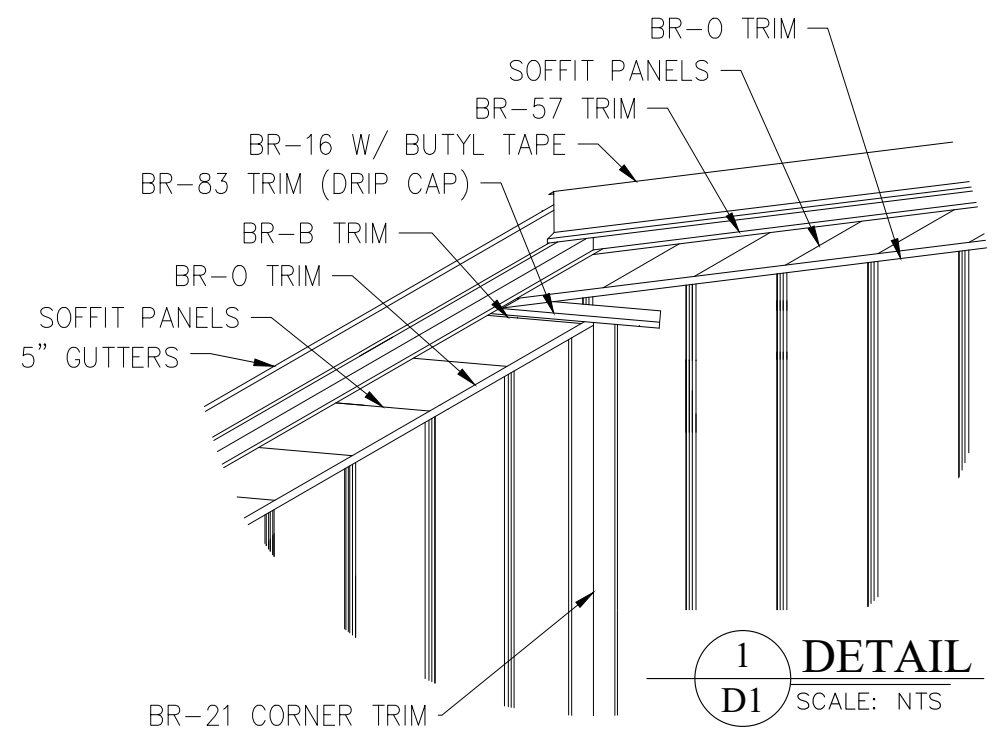
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100'-0"

1 CROSS SECTION
SCALE: 1/2" = 1'-0"

HEADER FASTENING SCHEDULE		
HEADER	JAMB CONNECTION	UPRIGHT CONNECTION
(EA) 2x12 HEADERS	1/2" x 4 1/2" SPAX POWERLAG (5)	1/2" x 4 1/2" SPAX POWERLAG (7)

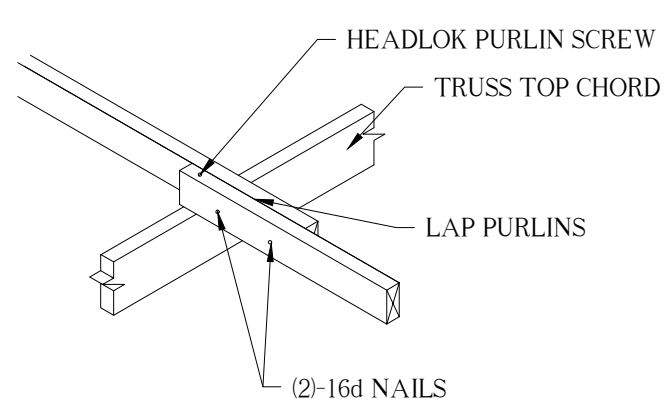
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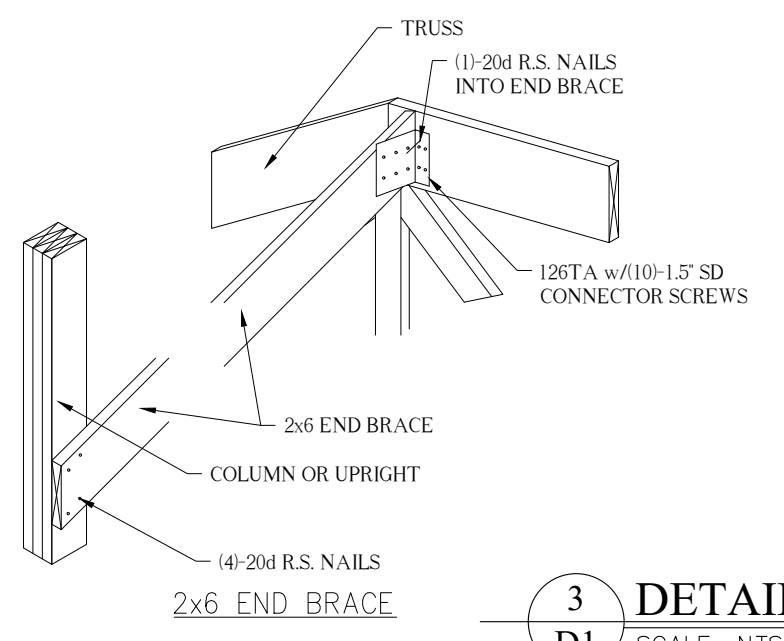
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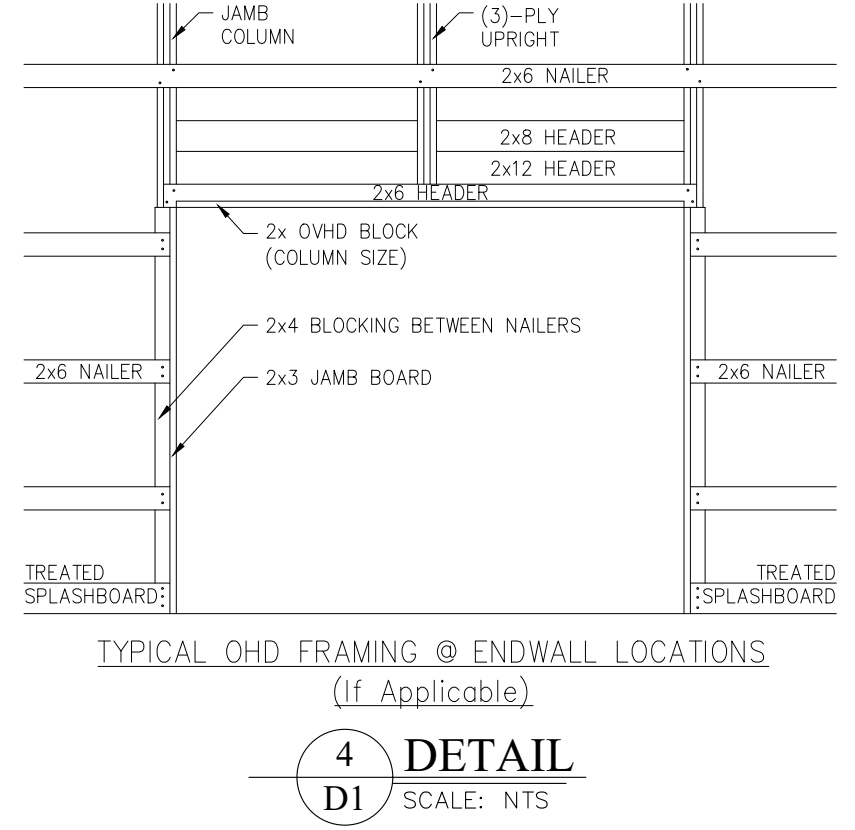


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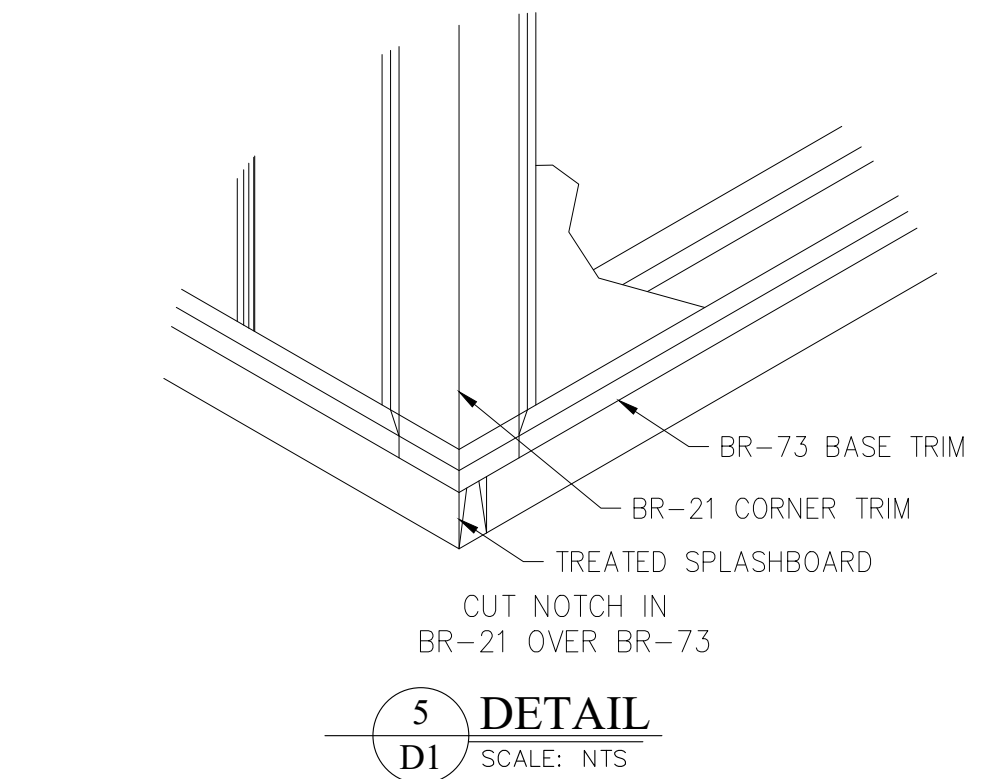
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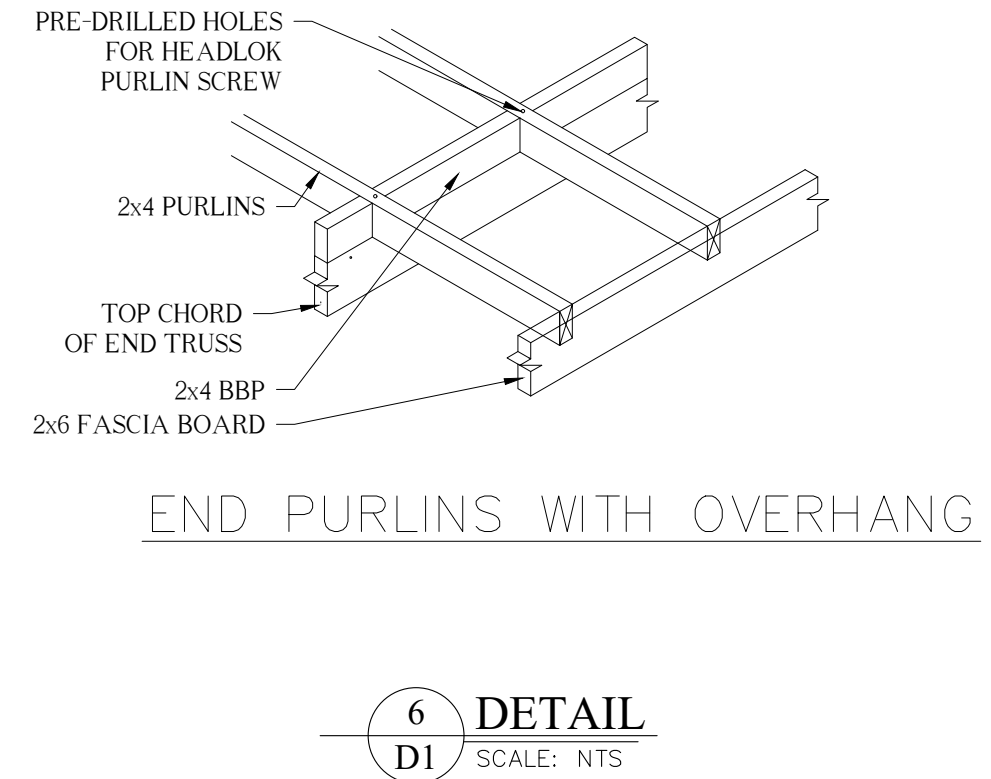
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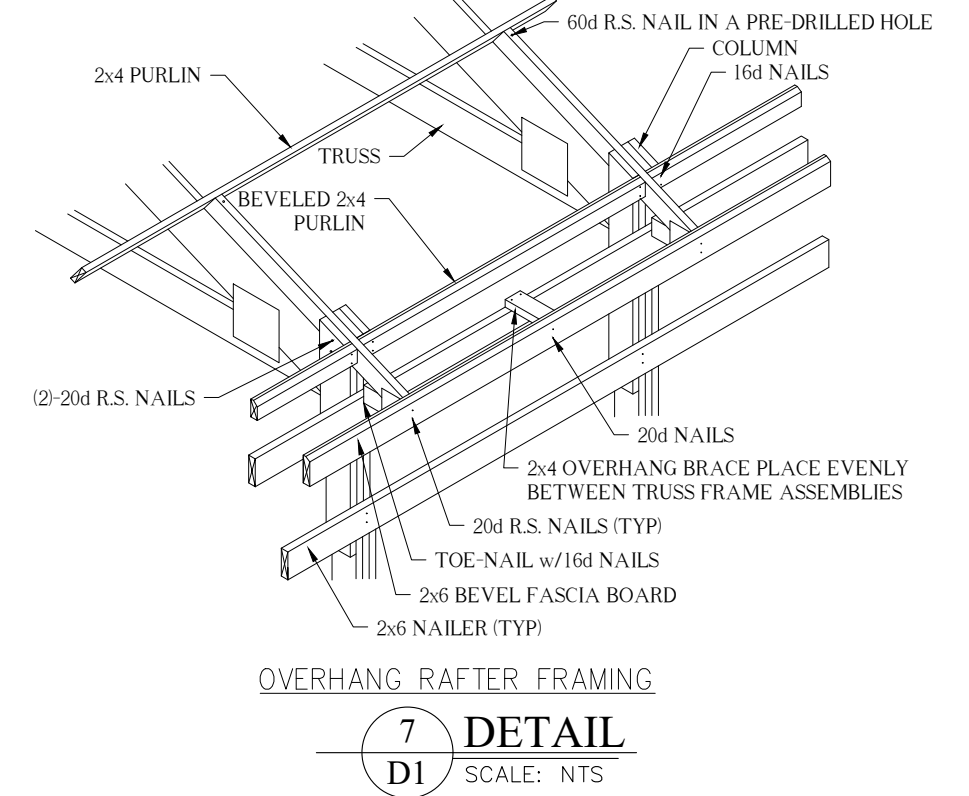
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D1 SCALE: NTS

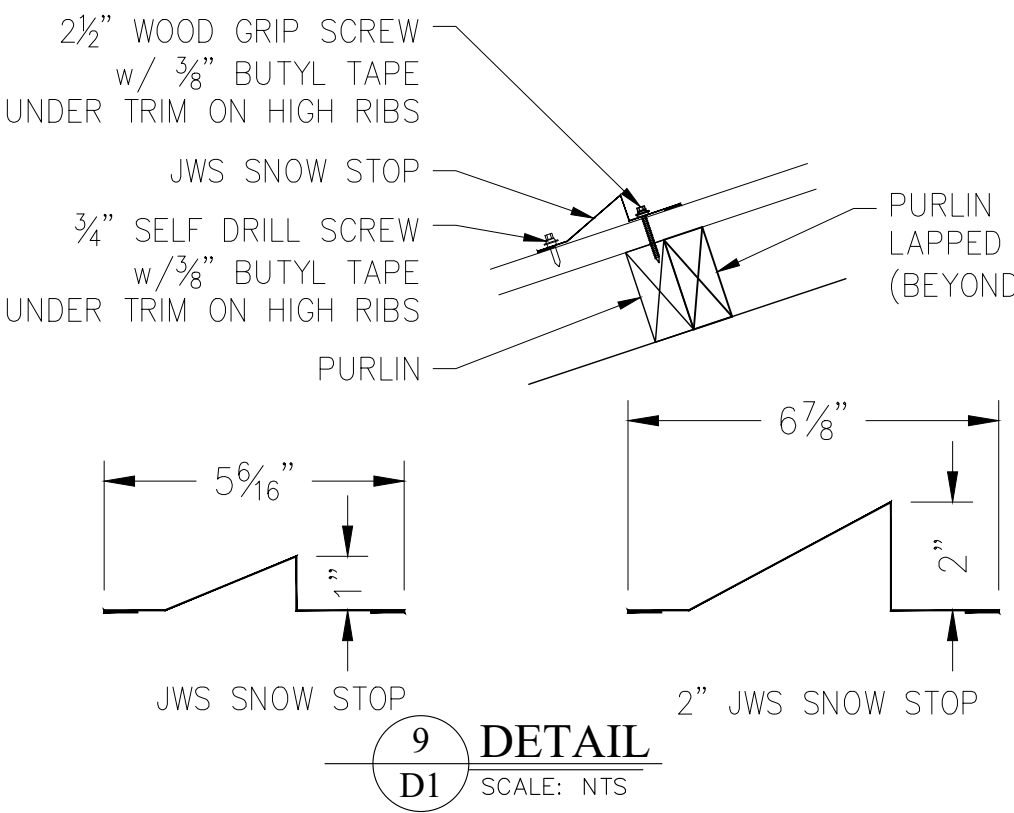


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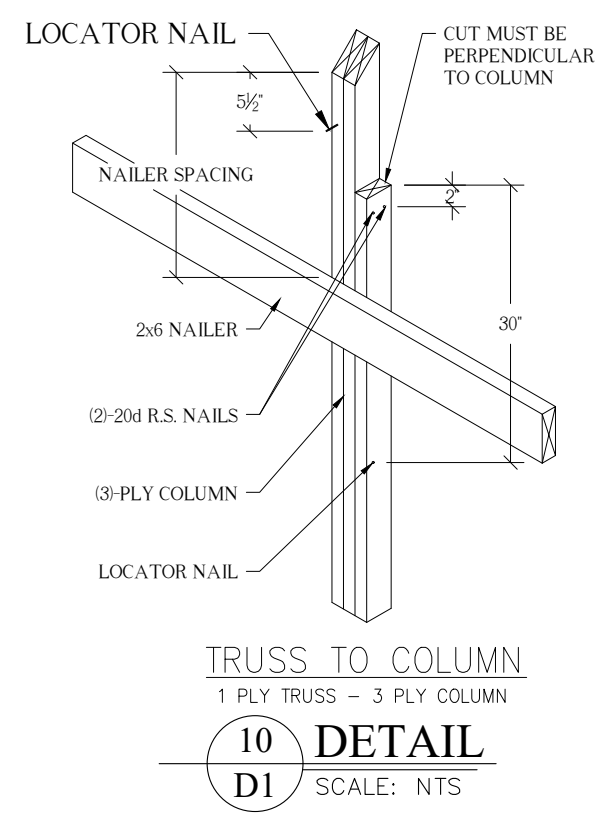


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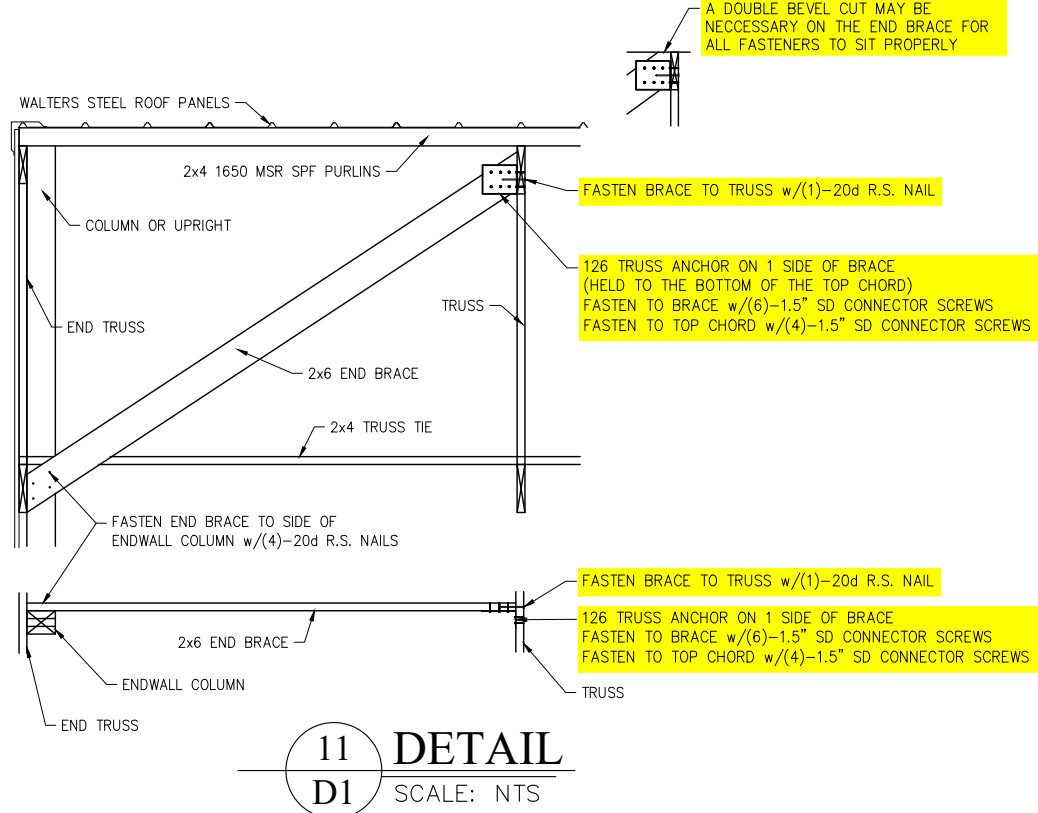
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9
D1 SCALE: NTS



10
D1 SCALE: NTS



11
D1 SCALE: NTS

12
D1 SCALE: NTS

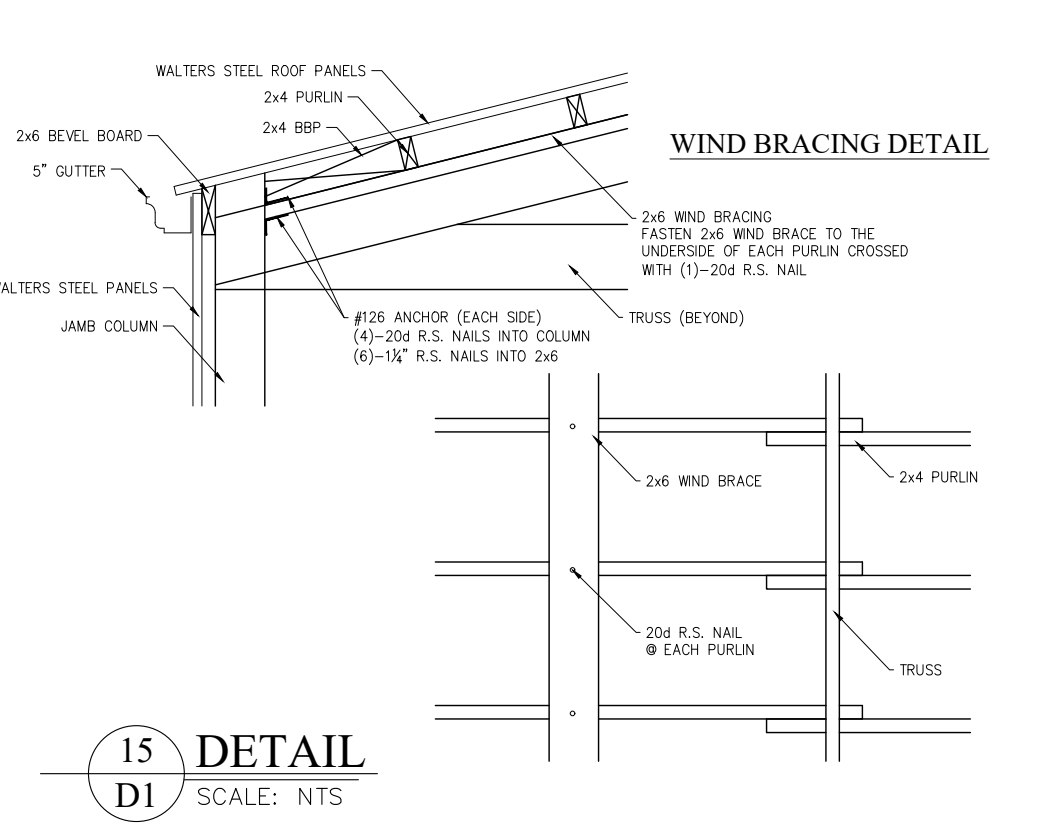
ADDITIONAL DETAILS



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D1 SCALE: NTS



14
D1 SCALE: NTS



15
D1 SCALE: NTS

16
D1 SCALE: NTS

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ESTIMATOR:
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SHEET NUMBER:

D1



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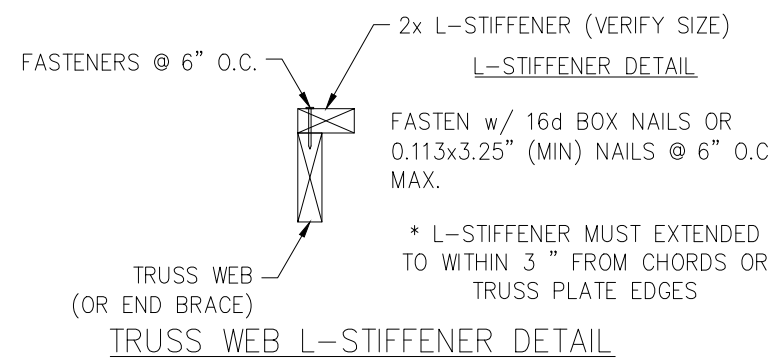
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JOB NUMBER:
94-0852 R1

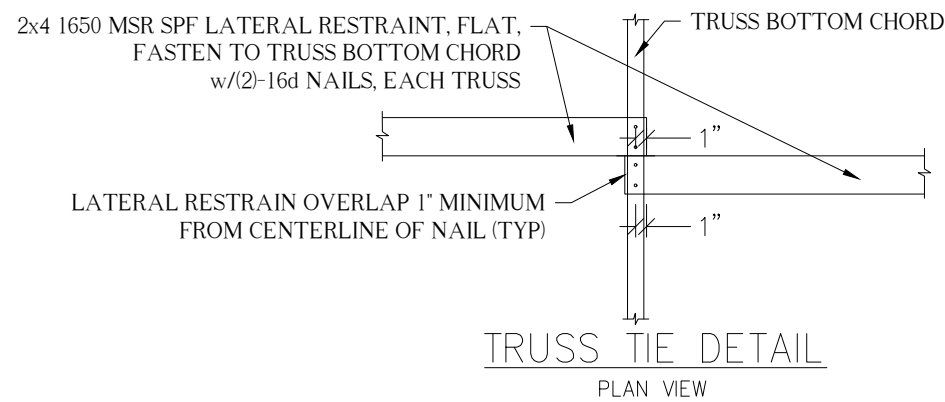
PROJECT ID:
2026000394

SHEET NUMBER:

T1



1
T1
SCALE: NTS



2
T1
SCALE: NTS

EAGLE METAL TRUSS TIE NOTE
PER EAGLE METAL PRODUCTS,
THE BOTTOM CHORD OF METAL PLATED WOOD
TRUSSES USED IN POST FRAME CONSTRUCTION MAY
BE Laterally BRACED AT A SPACING THAT DOES
NOT EXCEED 10'-0" O.C. UNDER SPECIFIC CONDITIONS.

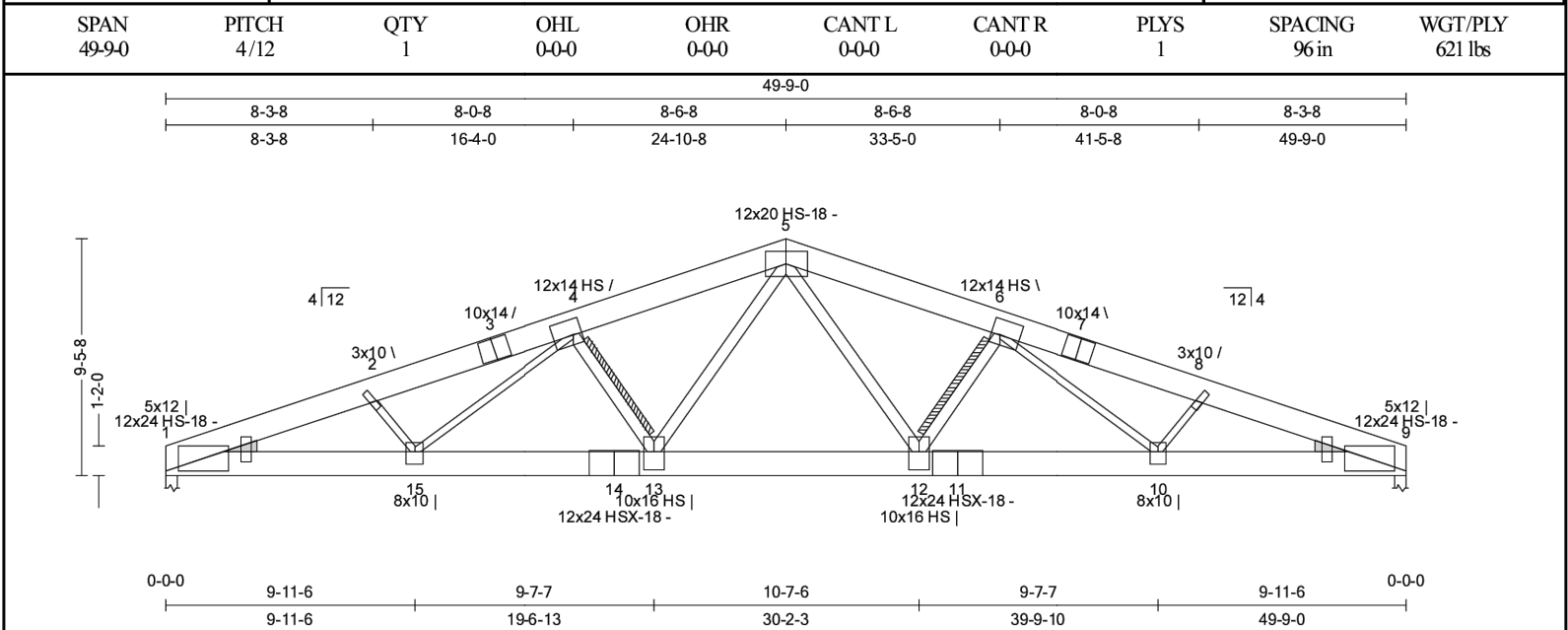
A LIST OF THESE SPECIFIC CONDITIONS & EAGLE
METAL LETTER ARE AVAILABLE UPON REQUEST FROM
WALTERS BUILDINGS.

3
T1
SCALE: NTS

4
T1
SCALE: NTS

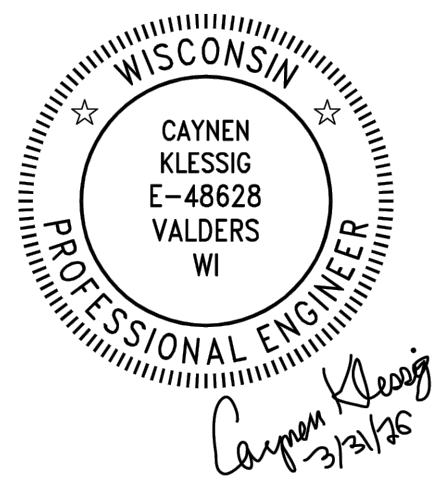
STANDARD TRUSS FRAMING DETAILS

Greenwald Mukwonago, WI. 94-0852	Walters Buildings PO Box 388 Allenton, WI 53002 Main: (262) 629-5521; Fax: (262) 629-5233;	Truss: 50ft 412 - Heavy Job: STANDARD TRUSSES Date: 09/17/25 10:48:53 Page: 1 of 1
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LOADING (psf)	General	CSI	Deflection	L/	(loc)	Allowed
TC.LL: 45	Bldg Code: IBC 2021/	TC: 0.99 (6-8)	Var LL: 1.38 in	L/424	(1243)	L/120
CSL: 50	TP1 1-2014	BC: 0.90 (9-10)	Var LL: 0.92 in	L/659	(1243)	L/180
TC.DL: 4 (nkt)	Rep Mtr: No	WB: 0.49 (6-10)	Horz LL: 0.42 in			
BC.LL: 0	Lumber D.O.L.: 115%					
BC.DL: 6						

Reaction	JT	Brg Combo	Brg Width	Rpd Brg Width	Max React	Max Grav Uplift	Max MWFRS Uplift	Max C&C Uplift	Max Uplift	Max Horiz
1	1	5.5 in	8.77 in	10,592 lbs	-1,889 lbs	-1,889 lbs	-1,889 lbs	173 lbs		
9	1	5.5 in	8.77 in	10,592 lbs	-1,889 lbs	-1,889 lbs	-1,889 lbs			



Material
TC: SYP 2400/2.0 2 x 12
BC: SYP 2400/2.0 2 x 12
WB: SYP #1 2 x 4 except
SYP 2400/2.0 2 x 6: 4-13, 5-13, 5-12, 6-12

Bracing
TC: Purlins at 24" OC, Purlin design by Others.
BC: Sheathed as Purlins at 5-10, Purlin design by Others.
WB: T Brace: 4-13, 6-12

Loads
1) This truss has been designed for the effects of balanced (42 psf) and unbalanced sloped roof snow loads in accordance with ASCE 7-16 with the following user defined input: 50 psf GSL, Terrain C, Exposure (Ce = 1.0), Thermal (Ct = 1.20), DOL = 1.15. Ventilated. If the roof configuration differs from hipped/gable, Building Designer shall verify snow loads.
2) This truss has been designed for the effects of wind loads in accordance with ASCE 7-16 with the following user defined input: 115 mph (factored), Exposure C, Enclosed, Gable, Risk Category II, 1-9-4, 15 ft, End Zone Truss, Both end webs considered, DOL = 1.60.
3) Non-enclosed minimum storage static loading has been applied in accordance with IBC 1607.1

Member Forces Table indicates: Member ID, max CSI, max tension force, (max compression force). Only forces greater than 300 lbs are shown in this table.

TC	1-2	0.688	4,712 lbs	(25,584 lbs)	4-5	0.662	4,037 lbs	(20,064 lbs)	6-8	0.989	4,554 lbs	(24,302 lbs)
BC	9-10	0.896	23,847 lbs	(4,134 lbs)	12-13	0.474	15,786 lbs	(2,241 lbs)	15-1	0.896	23,847 lbs	(4,134 lbs)
	10-12	0.815	20,826 lbs	(3,382 lbs)	13-15	0.815	20,826 lbs	(3,382 lbs)				
Web	2-15	0.335	877 lbs	(2,200 lbs)	4-13	0.395	1,358 lbs	(5,364 lbs)	5-12	0.425	6,216 lbs	(830 lbs)
	4-15	0.485	2,930 lbs	(340 lbs)	5-13	0.425	6,216 lbs	(830 lbs)	6-12	0.395	1,358 lbs	(5,364 lbs)
				(340 lbs)				(2,200 lbs)				(340 lbs)
				(2,200 lbs)				(830 lbs)				(340 lbs)

- Notes**
- 1) Unless noted otherwise, do not cut or alter any truss member or plate without prior approval from a Professional Engineer.
 - 2) The fabrication tolerance for this roof truss is 20% (Ct = 0.80).
 - 3) Building Designer shall verify self weight of the truss and other dead load materials do not exceed TC.DL 4 psf.
 - 4) Design assumes minimum 2x (vertical orientation, visually graded) purlins attached to the TC at purlin spacing shown with at least 2-10d nails.
 - 5) Brace bottom chord with approved sheathing or purlins per Bracing Summary.
 - 6) Least bracing shown is for illustration purposes only and may be placed on other edge of truss member.
 - 7) A safety factor of 3.0 has been applied for this truss analysis.
 - 8) The "SYP" label shown in the "Material Summary" above indicates the new SPB design values effective June 1, 2013 were used.
 - 9) At least one web is braced with a L-brace. L-braces shall be min. 2x stud grade and shall extend to within 3" of the chord at both ends. Attach L-braces to web using 16d nails at max. 6" on center spacing. Brace by others. See BCSH3 for additional information.
 - 10) □ Indicates non-structural members.
 - 11) Listed wind uplift reactions based on MWFRS & C&C loading.

WARNING: Verify all design parameters and follow all notes on this drawing and in the Eagle Metal Design Notes. This design is for an individual building component (a truss), not a truss system, and is based only on parameters shown and provided by the Building Designer. The applicability of the design parameters must be verified by the Building Designer and should properly incorporate this design into the overall building design before use. Bracing shown is only to prevent buckling of individual truss web and/or chord members. Additional temporary and permanent bracing is always required to prevent collapse and provide stability. Design valid only when Eagle Metal connectors are used. A seal on this drawing indicates acceptance of professional engineering responsibility solely for the truss component design shown.

TrueBuild® Truss Software v5.8.5
Eagle Metal Products