



Sawyer's Excavating

W1540 Sawyer Lane, East Troy WI 53120

Cell (262) 378-0066

E-mail Karl@sawyersexcavating.com

To: Village of East Troy Zoning
For: CSM Approval for Parcel# Pet1600006D1
Owner: Sawyer Investments, LLC

Date 4-6-26

To, The Village Planner

Sawyer Investments is applying for a CSM approval for Parcel #PET1600006D1. We are looking to incorporate a parcel that was purchased from the DOT in 2024. I have included the original QCD from the DOT for the first purchase we made from the DOT, this parcel is currently included in the current parcel description. Our purpose in creating this CSM is to incorporate the original parcel, the first parcel that was purchased from the DOT and the second parcel that was purchased from the DOT to allow for a single simplified description. Please see the following answers to the checklist questions

Section II. The use of a septic tank.

This property is in the Town of East Troy and does not have a Sewer service available to it. The prospective buyer, RPM Motorsports is planning on running a Camper trailer sales and Repair service at this location. He has plans to install a holding tank for the floor drains in the shop portion of the building and a dump station for the trailers he is servicing. In addition to this holding tank he will be installing a septic tank and field for the discharge of his effluent from the business. Please see the attached prints and application for the Sanitary tank and the traditional septic.

Section V. Is the development traversed by a utility Corridor.

Yes, The force main from Miramar runs along the length of the property in the ditch parallel to Highway ES.

Thank you for your time
Karl Sawyer, Sawyer's Excavating



AGREEMENT OF REIMBURSABLE SERVICES

Project # _____

In accordance with Village ordinances the Village may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the Village's review of a proposal coming before the Village. A request for consideration, review, the submittal of a development application or other project application will require this agreement to reimburse the Village for charges incurred in the course of reviewing the submitted request.

The Village may chargeback the fees incurred for these services to the applicant as they are billed during the course of the project. The Village may delay final acceptance or approval of the application or petition until such fees are paid. Fees which are applied to an applicant, but which are not paid, may be assigned to the property owner as a special assessment to the subject property.

I, the undersigned, have been advised and agree, in accordance with Village ordinances, Sect. 510-149(D) <https://ecode360.com/27770149>, that in addition to those normal costs payable by a property owner/applicant (e.g. filing or permit fees, publication expenses, recording fees, impact fees, etc.), that in the event this action applied for requires the Village of East Troy, in the judgment of its staff, to obtain additional professional service(s) (e.g. engineering, surveying, planning, legal, etc.) to properly address or take appropriate action on this request that the property owner/applicant shall reimburse the Village for the costs incurred even if the request is not approved. I also understand that should I submit incomplete applications and/or plans this may increase the costs and/or timeframe of my project.

Tax Key Number: R- PET1600006D1

Name/Address/Mailing address of Property Owner:

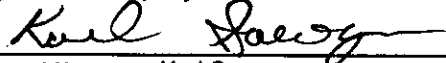
Name/Address/Mailing address of Applicant (if different from Owner):

Sawyer Investments, LLC

W1540 Sawyer Lane East Troy, WI 53120

Signature of Property Owner:

Signature of Applicant (if different):



Printed Name: Karl Sawyer 262-378-0066

Date: 4-6-2026

Date: _____

EMAIL: Karl@sawyersexcavating.com

.....
Date App Filed: _____ Fees Due \$ _____ Date Paid _____ Recd By: _____

Description of Project: CSM

2025 Rates: Planner \$144/hr, Engineer \$160/hr, Attorney \$190/hr

Please be sure you fully understand your responsibility for these fees and inquire with staff, if necessary, prior to submitting this form.

phone: (262) 642-6255 • fax: (262) 642-6259 • voet@easttroywi.gov • <http://easttroywi.gov/>



Land Division
Village of East Troy, Wisconsin

Village of East Troy Version: Sept. 18, 2025

Village of East Troy
2015 Energy Drive
East Troy, WI 53120

Overview: The Village of East Troy has adopted land divisions regulations (Chapter 495 of the municipal code) to regulate subdivisions, condominiums, and certified survey maps within the Village and within 1.5 miles of the municipal boundary (i.e., extraterritorial plat review in surrounding towns).

Governing regulations: The procedures and standards governing the review of this application are found in Chapter 495 of the Village's municipal code.

General instructions: Complete this application and submit five copies to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (414) 336-7915 or via email at ornn.sumwalt@foth.com. You may download this form at <https://data.zoninghub.com/viewfile.aspx?fileid=18321>

Application fee: \$150 plus \$5 per lot (per unit for condos) and charges for professional services

Application submittal deadline: Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

1. Petitioner:

	Property Owner	Developer
Name	Sawyer Investments, LLC	Same as Owner
Street Address	W1540 Sawyer Lane	
City, State, Zip Code	53120	
Daytime telephone number	2623780066	
Email	karl@sawyersexcavating.com	

2. Agent contact information: Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	Karl Sawyer	
Company	Sawyer's Excavating	
Street Address	W1540 Sawyer Lane	
City, State, Zip Code	53120	
Daytime telephone number	2623780066	
Email	karl@sawyersexcavating.com	

3. Type of application (select one)

- ☐ Certified Survey Map (CSM)
- ☐ Create Additional Parcels
 - ☒ Merge Two Adjoining Parcels
 - ☐ Modify The Loft Line Between Two Adjoining Parcels
- ☐ Preliminary Plat
- ☒ Extraterritorial

4. Subject property information

Physical Address US

Tax key number(s) PET1600006D1

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

5. Zoning information (refer to the Village's current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|---|---|---|
| ☐ RH-35 Rural Holding | ☐ TR-8 Two-Family Residential | ☐ NB Business Park |
| ☐ SR-3 Estate Residential | ☐ AR-9 Attached Residential | ☒ HB Highway Business |
| ☐ SR-4 Suburban Residential | ☐ MR-10 Multi-Family Residential | ☐ CB Central Business |
| ☐ SR-5 Neighborhood Residential | ☐ MHR-6 Mobile Home Residential | ☐ BP Business Park |
| ☐ SR-6 Traditional-Front Residential | | ☐ LI Light Industrial |
| ☐ SR-7 Traditional-Rear Residential | | ☐ GI General Industrial |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|---|---|---|
| ☐ PD Planned Development | ☐ GP Groundwater Protection | ☐ FP 100-Year Floodplain |
| ☐ DD Downtown Design | ☐ NFC Natural Features Conservan | ☐ FP 500-Year Floodplain |
| | | ☐ SW Shoreland-Wetland |

6. Adjoining land uses and zoning

	Zoning district(s)	Current Uses
North	<u>None</u>	<u>Town of East Troy, Highway Businesses</u>
South	<u>HB</u>	<u>Highway Business</u>
East	<u>LI</u>	<u>Airport</u>
West	<u>SR4</u>	<u>Single family residential</u>

7. Preliminary Checklist (§ 495-17 of the land division regulations)

(All yes answers must be explained in detail by attaching maps and supporting documentation describing the impacts of the proposed development.)

- | Yes | No | I Land resources. Does the site involve the following? |
|--------------------------|-------------------------------------|--|
| ☐ | ☒ | Changes in relief and drainage patterns (attach a topographic map showing, at a minimum, 2-foot contour intervals) |
| ☐ | ☒ | A landform or topographic feature of local or regional interest |
| ☐ | ☒ | A floodplain [if yes attach 2 copies of a typical stream valley cross section showing the channel of the stream, the 100-year floodplain limits and the floodway limits (if officially adopted) of each side of the channel and a cross section of area to be developed] |
| ☐ | ☒ | An area of soil instability: greater than 18% slope and/or organic soils, peats, or mucks at or near the surface |
| ☐ | ☒ | An area of bedrock within 6 feet of the soil surface |
| ☐ | ☒ | An area with the groundwater table within 10 feet of the soil surface |
| ☐ | ☒ | An area with fractured bedrock within 10 feet of the soil surface |

☐	☒	Prevention of gravel extraction
☐	☒	A drainageway for 5 or more acres of land
☐	☒	Lot coverage of more than 50% impermeable surfaces
☐	☒	Prime agricultural land
☐	☒	Wetlands and marshes
☐	☒	Land elevation above 950 (USGS datum)
☐	☒	Mapped environmental corridors
Yes	No	II Water resources. Does the proposed project involve any of the following?
☐	☒	Location within an area traversed by a navigable stream or dry run
☐	☒	Greater than 10% change in the capacity of a stormwater storage facility or flow of a waterway within 1 mile
☒	☐	The use of septic tank – soil absorption fields for on-site waste disposal
☐	☒	Lowering of water table by pumping or drainage
☐	☒	Raising of water table by altered drainage patterns
☐	☒	Lake frontage
Yes	No	III Biological resources. Does the proposed project involve any of the following?
☐	☒	Critical habitat for plants and animals of community interest
☐	☒	Endangered, unusual or rare species
☐	☒	Removal of over 25% of the present trees
Yes	No	IV Human and scientific interest. Does the proposed project involve any of the following?
☐	☒	An area of archaeological interest
☐	☒	An area of geological interest
☐	☒	An area of hydrological interest
☐	☒	Historic buildings or monuments
☐	☒	Buildings or monuments of unique architecture
☐	☒	An area of identified community recreation use
Yes	No	V Energy, transportation and communications.
☐	☒	Does the development increase the traffic flow in any collector system by more than 10%?
☒	☐	Is the development traversed by an existing or planned utility corridor? (gas, electricity, water, sewer interceptor, communications, storm sewer)
Yes	No	VI Population. Does the development increase by more than 10% the school population of any school serving the development?
☐	☒	
Yes	No	VII Additional information on any of the above that may have a significant environmental impact.
☐	☒	
Yes	No	VIII Appendices and supporting material.
☒	☐	

8. Applicant certification

♦ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.

♦ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with Section 510-149(D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property. Please select the procedure you are applying for and visit FAQ for current year rates.

♦ I understand that submission of this application authorizes Village officials and employees, Plan Commission members, Village Board members, and other designated agents, including those retained by the Village, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.

♦ I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.

♦ I understand if I receive final approvals, it is my responsibility to circulate any documents for appropriate signatures and record any official documents with the Walworth County Register of Deeds.

♦ I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

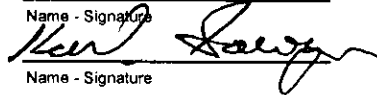
Sawyer Investments, LLC

Name - Print

Karl Sawyer

Name - Print

Name - Signature



Name - Signature

4-6-2026

Date

Date

Applicant (if different than Property Owner):

Name - Print

Name - Signature

Date

Name - Print

Name - Signature

Date

FARRIS, HANSEN & ASSOC. INC.

7 RIDGWAY COURT- P.O. BOX 437
ELKHORN, WISCONSIN 53121
PHONE (262) 723-2098
e-mail: office@farrishansen.com

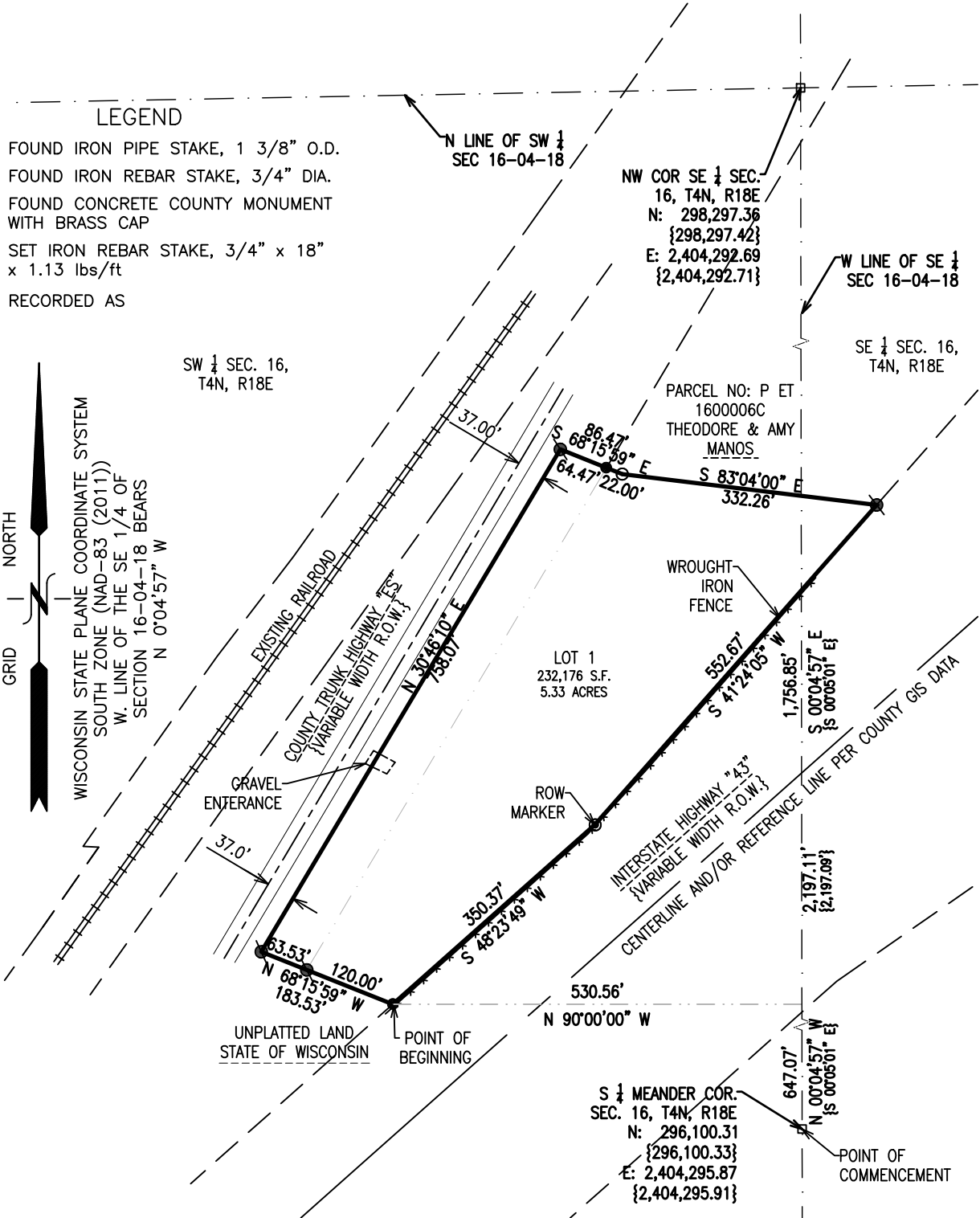
CERTIFIED SURVEY MAP NO. _____

SAWYER INVESTMENTS OF EAST TROY, LLC
N 8826 HWY ES
EAST TROY, WISCONSIN 53120

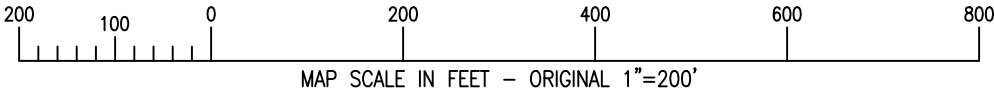
ZONING: A-1
SOILS: GP, CeC2, FsB, FoB

PART OF THE NE 1/4 AND SE 1/4 OF THE
SW 1/4 & PART OF THE NW 1/4 OF THE
SE 1/4 OF SECTION 16, TOWN 4 NORTH,
RANGE 18 EAST, TOWN OF EAST TROY,
WALWORTH COUNTY, WISCONSIN.

COMBINING TAX PARCEL NO: P ET1600006D1
AND EXCESS COUNTY HIGHWAY "ES" RIGHT
OF WAY



THIS INSTRUMENT DRAFTED
BY CHRISTOPHER A. HODGES
PROJECT: 6647.P
DATE: 09/10/2025
SHEET 1 OF 3



CERTIFIED SURVEY MAP NO. _____

PART OF THE NE $\frac{1}{4}$ AND SE $\frac{1}{4}$ OF THE
SW $\frac{1}{4}$ & PART OF THE NW $\frac{1}{4}$ OF THE
SE $\frac{1}{4}$ OF SECTION 16, TOWN 4 NORTH,
RANGE 18 EAST, TOWN OF EAST TROY,
WALWORTH COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, CHRISTOPHER A. HODGES, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT AT THE DIRECTION OF KARL SAWYER, OWNER, AND IN FULL COMPLIANCE WITH THE PROVISIONS OF SECTION 236.34 OF WISCONSIN STATUTES, THE LAND DIVISION ORDINANCE FOR THE VILLAGE OF EAST TROY, I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING DESCRIBED LANDS AND THAT THIS MAP IS A TRUE REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND OF THE DIVISION THEREOF TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF:

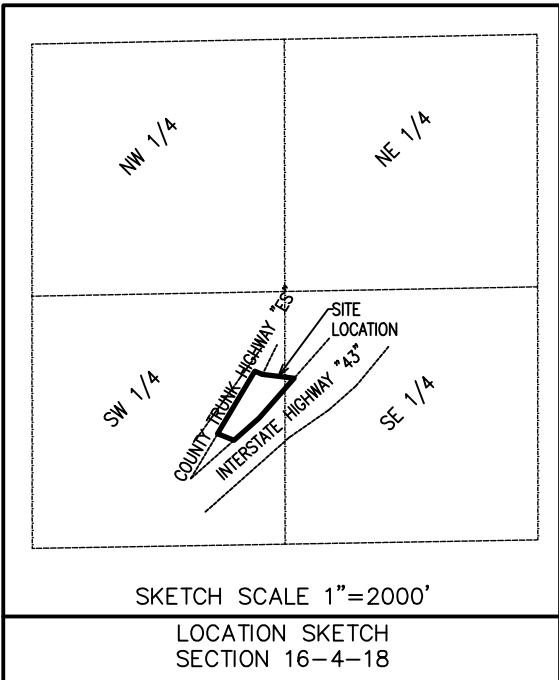
PART OF THE NORTHEAST $\frac{1}{4}$ AND SOUTHEAST $\frac{1}{4}$ OF THE SOUTHWEST $\frac{1}{4}$ AND PART OF THE NORTHWEST $\frac{1}{4}$ OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 16, TOWN 4 NORTH, RANGE 18 EAST, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH $\frac{1}{4}$ MEANDER CORNER OF SECTION 16, TOWN 4 NORTH, RANGE 18 EAST; THENCE N 00DEG 04MIN 57SEC W, A DISTANCE OF 647.07 FEET; THENCE N 90DEG 00MIN 00SEC W TO A FOUND IRON ROD, A DISTANCE OF 530.56 TO THE POINT OF BEGINNING; THENCE N 68DEG 15MIN 59SEC W TO A POINT ON THE EAST RIGHT OF WAY LINE OF COUNTY TRUNK HIGHWAY "ES", A DISTANCE OF 183.53 FEET; THENCE N 30DEG 46MIN 10SEC E ALONG SAID LINE, A DISTANCE OF 758.07 FEET; THENCE S 68DEG 15MIN 59SEC E TO A FOUND IRON PIPE, A DISTANCE OF 86.47 FEET; THENCE S 83DEG 04MIN 00SEC E TO A POINT ON THE WEST RIGHT OF WAY LINE OF INTERSTATE HIGHWAY "43", A DISTANCE OF 332.26 FEET; THENCE S 41DEG 24MIN 05SEC W TO A RIGHT OF WAY MARKER FOR SAID INTERSTATE HIGHWAY "43", A DISTANCE OF 552.67 FEET; THENCE S 48DEG 23MIN 49SEC W, A DISTANCE OF 350.37 FEET TO THE POINT OF BEGINNING, IN EAST TROY, WALWORTH COUNTY, WISCONSIN.

CONTAINING A TOTAL AREA OF 232,176 S.F., 5.33 ACRES (MORE OR LESS).

DATED: OCTOBER 24, 2025

CHRISTOPHER A. HODGES PLS 2760



THIS INSTRUMENT DRAFTED
CHRISTOPHER A. HODGES

PROJECT: 6647.P
DATE: 09/10/2025
SHEET 2 OF 3

CERTIFIED SURVEY MAP NO._____

PART OF THE NE ¼ AND SE ¼ OF THE
SW ¼ & PART OF THE NW ¼ OF THE
SE ¼ OF SECTION 16, TOWN 4 NORTH,
RANGE 18 EAST, TOWN OF EAST TROY,
WALWORTH COUNTY, WISCONSIN.

OWNER’S CERTIFICATE

AS OWNERS WE HEREBY CERTIFY THAT WE HAVE CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THE MAP. THIS MAP IS REQUIRED TO BE SUBMITTED TO AND APPROVED BY THE VILLAGE OF EAST TROY AND WALWORTH COUNTY.

_____ DATED
KARL SAWYER OWNER

STATE OF _____)
COUNTY OF _____) ss

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2025, THE ABOVE NAMED KARL SAWYER TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

_____ MY COMMISSION EXPIRES
NOTARY PUBLIC

TOWN OF EAST TROY BOARD APPROVAL

APPROVED BY THE TOWN BOARD OF THE VILLAGE OF EAST TROY, WALWORTH COUNTY ON THIS _____ DAY OF _____, 2025.

-TOWN REPRESENTATIVE

TOWN CLERK

VILLAGE OF EAST TROY BOARD APPROVAL

APPROVED BY THE TOWN BOARD OF THE VILLAGE OF EAST TROY, WALWORTH COUNTY ON THIS _____ DAY OF _____, 2025.

-VILLAGE REPRESENTATIVE

VILLAGE CLERK

WALWORTH COUNTY APPROVAL

APPROVED BY RESOLUTION OF THE WALWORTH COUNTY ZONING AGENCY THIS _____ DAY OF _____, 2025.

CHAIRPERSON