



Site Plan

Village of East Troy, Wisconsin

Version: Sept. 18, 2025

Village of East Troy
2015 Energy Drive
East Troy, WI 53120

Overview: The site plan review process ensures that proposed land uses and development activity complies with the requirements of the Village's zoning regulations. This review must occur before any building, occupancy, and building permits can be issued; except that development activity associated with an approved final plat of subdivision or certified survey map, and development activity associated with an approved final development plan of a planned development, is exempt from this requirement.

Governing regulations: The procedures and standards governing the review of this application are found in § 510-160 of the Village's zoning code.

General instructions: Complete this application and submit one copy to the Village Clerk at the mailing address shown above. Before you formally submit your application, you are encouraged to meet with the zoning administrator who can answer any questions you may have. If you have any questions, do not hesitate to contact the zoning administrator at (414) 336-7915 or via email at orrin.sumwalt@foth.com. You may download this form at <https://villageofeastroy.zoninghub.com/highlights/procedures/procedure.aspx?id=142>.

When you fill out this application, you should think about how your business operation may expand or be different in the future. For example, if your business will have 5 employees to start and you hope to have 25, tell us. Also, if you foresee an expansion to a building or a parking lot, your site plan should show that. If you invest time to do this now, you will end up with a more thoughtful plan. Not only that, you will save time and the expense of having to submit a new site plan sometime in the future. So, think ahead.

Application fee: none

Application submittal deadline: Applications must be submitted by the second Monday of the month by 12:00 pm at the Village Hall.

1. Applicant and property owner information

	Applicant	Property owner
Name		
Street address		
City, state, zip code		
Daytime telephone number		
Email		

2. Agent contact information.

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name		
Company		
Street address		
City, state, zip code		
Daytime telephone number		
Email		

3. Type of application (select one)

- ☐ New site plan
- ☐ An amendment of a previously approved site plan (i.e., revision and/or expansion)

4. Business information

Current business name	
Date business began	
Previous name, if any	

5. Subject property information

Physical address _____

Tax key number(s) _____

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the Village Clerk.

6. Zoning information (refer to the Village’s current zoning map)

The subject property is located in the following base zoning district(s). (check all that apply)

☐ RH-35 Rural Holding	☐ TR-8 Two-Family Residential	☐ NB Neighborhood Business
☐ SR-3 Estate Residential	☐ AR-9 Attached Residential	☐ HB Highway Business
☐ SR-4 Suburban Residential	☐ MR-10 Multi-Family Residential	☐ CB Central Business
☐ SR-5 Neighborhood Residential	☐ MHR-6 Mobile Home Residential	☐ BP Business Park
☐ SR-6 Traditional-Front Residential		☐ LI Light Industrial
☐ SR-7 Traditional-Rear Residential		☐ GI General Industrial

The subject property is also located in the following overlay zoning district(s). (check all that apply)

☐ PD Planned Development	☐ GP Groundwater Protection	☐ FP 100-Year Floodplain
☐ DD Downtown Design	☐ NFC Natural Features Conservancy	☐ FP 500-Year Floodplain
		☐ SW Shoreland-Wetland

7. Adjoining land uses and zoning

	Zoning district(s)	Current uses
North	_____	_____
South	_____	_____
East	_____	_____
West	_____	_____

Note: If the subject property abuts a property located in a different zoning district, a bufferyard may be required. You will need to submit a Landscaping and Bufferyard Worksheet if a bufferyard is required.

8. Current use. Describe the current use of the subject property.

9. Proposed use. Describe the proposed use or the proposed amendment.

10. Hours of operation. Describe when the proposed use will be open for business (i.e., hours and days).

11. Employees. Describe number by type, number on largest works shift, etc.

12. Customers / patrons of business. Describe the customers and patrons, including peak loads.

13. Miscellaneous

☐ Yes ☐ No Has the Village approved a variance for the subject property?

If yes, provide the year of issuance and a short description for each one.

☐ Yes ☐ No Is the subject property currently in violation of the Village's zoning code?

If yes, describe the nature of the violation and what is being done to bring the property into compliance.

☐ Yes ☐ No Are there any nonconforming buildings on the subject property? A nonconforming building does not meet the dimensional requirements for the zoning district in which it is located.

If yes, describe what building is nonconforming and the nature of the nonconformity.

☐ Yes ☐ No Will the proposed use create any detectable ground vibrations? (See § 510-99 of the zoning code.) If

yes, describe.

☐ Yes ☐ No Will the proposed use create any detectable noise beyond the property boundary lines? (See § 510-100 of the zoning code.)

If yes, describe.

☐ Yes ☐ No Will the proposed use create any air pollution? (See § 510-101 of the zoning code.)

If yes, describe.

☐ Yes ☐ No Will the proposed use create any detectable odor beyond the property boundary lines? (See § 510-102 of the zoning code.)

If yes, describe.

☐ Yes ☐ No Will the proposed use create any detectable glare or heat beyond the property boundary lines? (See § 510-104 of the zoning code.)

If yes, describe.

☐ Yes ☐ No Will the proposed use involve any materials which could detonate by any means? (See § 510-105 of the zoning code.)

If yes, describe.

☐ Yes ☐ No Will the proposed use involve any materials that are toxic or noxious or that are considered waste materials? (See § 510-106 of the zoning code.)
 If yes, describe.

☐ Yes ☐ No Will the proposed use involve any outdoor storage of materials?
 If yes, describe.

☐ Yes ☐ No If the proposed use involves processing or manufacturing of materials, will water be used in any of those processes?
 If yes, describe the nature of the activity and anticipated water demand and sanitary loading

☐ Yes ☐ No Is expansion of the proposed use or building anticipated?
 If yes, describe the nature of the expansion and potential timeline for such expansion

14. Utilities

Water ☐ Municipal ☐ Private well
 If private well, when was the well installed and approved?

Sewer ☐ Municipal ☐ On-site septic system
 If septic system, when was the system installed and approved?

15. Licenses and permits

Required

☐ Beer ☐ Have ☐ To Get
☐ Liquor ☐ Have ☐ To Get
☐ Cigarette ☐ Have ☐ To Get
☐ Food service ☐ Have ☐ To Get
☐ Amusement Device ☐ Have ☐ To Get
☐ Other: _____ ☐ Have ☐ To Get
☐ Other: _____ ☐ Have ☐ To Get
☐ Other: _____ ☐ Have ☐ To Get

16. Property access (refer to § 510-91 of the zoning code for details)

	<u>Current</u>	<u>New</u>
Local street	_____	_____
County highway	_____	_____
State highway	_____	_____

17. On-site parking (refer to § 510-91.1 of the zoning code for details)

	<u>Current</u>	<u>Required [1]</u>	<u>New</u>
Standard spaces	_____	_____	_____
Accessible spaces	_____	_____	_____

Notes:

[1] On-site parking is not required in the Central Business (CB) zoning district

☐ Yes ☐ No Are you proposing shared parking pursuant to § 510-93(G) of the zoning code?

If yes, attach a draft shared parking agreement.

18. Calculations for maximum building coverage and impervious surface coverage

- | | | |
|--|---------|-------|
| a. Area of subject property as determined by site survey | acres | _____ |
| b. Land located within proposed rights-of-ways of roads and within proposed boundaries of public facilities that are designated within the Village's comprehensive plan and/or required for dedication per subdivision regulations | acres | _____ |
| c. Land which, although part of the same parcel, is not contiguous to or is not accessible from the proposed road network serving the project | acres | _____ |
| d. Land which is proposed for a different development option or a different zoning district | acres | _____ |
| e. Navigable waters (lakes & streams not within a designated floodplain) | acres | _____ |
| f. Designated floodplains | acres | _____ |
| g. Wetlands | acres | _____ |
| h. Lakeshores | acres | _____ |
| i. Woodlands | acres | _____ |
| j. Steep slopes (12 percent or greater) | acres | _____ |
| k. Total of "b" through "j" | acres | _____ |
| l. Net developable area (subtract "k" from "a") | acres | _____ |
| m. Building coverage ratio (see the standard for the appropriate zoning district) | percent | _____ |
| n. Impervious surface coverage ratio (see the standard for the appropriate zoning district) | percent | _____ |
| o. Maximum building coverage on property (multiply "l" by "m") | acres | _____ |
| p. Maximum impervious surface coverage on property (multiply "l" by "n") | acres | _____ |

	<u>Maximum (acres)</u>	<u>Proposed (acres)</u>
Building coverage (For Maximum, enter calculated value for "o" from above table)	_____	_____
Impervious surface (For Maximum, enter calculated value for "p" from above table)	_____	_____

19. Supplemental materials. Attach each of the following as appropriate. Upon written petition, the Village Administrator, Village Engineer, Village Planner, or the Zoning Administrator may waive specific site plan requirements.

Site plan with the following information:

- Title block showing the name, address, and phone of the current property owner and/or agent(s) (i.e. developer, architect, engineer, or planner) for project.
- The date of the original plan and the latest date of revision to the plan.
- A north arrow and a graphic scale (at a minimum scale of 1" = 100').
- A legal description of the subject property.
- All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
- All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
- Ground contours when any slope exceeds 12 percent
- All required building setback lines.

9. All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls.
10. If the project is designed to be completed in phases or allow expansion of the building and other features, indicate these.
11. The location and dimension (cross-section and entry throat) of all access points onto public streets.
12. The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by this Chapter.
13. The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.
14. The location of all outdoor storage areas and the design of all screening devices.
15. Floodplains, wetlands, lakeshores, woodlands, steep slopes, and other environmentally sensitive lands.
16. The location, type, height, size, and lighting of all signage on the subject property.
17. The location and type of any permanently protected green space areas.
18. The location of existing and proposed drainage facilities.
19. Environmental and manmade development constraints and hazards including brownfields, contaminated sites, unstable soils, high groundwater, bedrock, and high-pressure natural gas lines
20. In the legend, the following data for the subject property: lot area, building coverage, building coverage ratio, floor area ratio, impervious surface area, impervious surface ratio, and building height.
21. Any additional information as requested by the Plan Commission or Village Board.

Landscaping plan prepared at the same scale as the main plan showing the location of all required bufferyard and landscaping areas, and existing and proposed landscape point fencing and berm options for meeting said requirements. The landscaping plan shall demonstrate complete compliance with the requirements of Article XIV of Chapter 510 of the zoning code. Be sure to show the individual plant locations and species, fencing types and heights, and berm heights. In addition to the drawing, include the Worksheet for Landscaping and Bufferyards.

Grading and erosion control plan prepared at the same scale as the main plan, showing existing and proposed grades, including retention walls and related devices, and erosion control measures.

Outdoor lighting plan (photometric plan) prepared at the same scale as the main plan that shows all existing and proposed exterior light fixtures. Calculations for the photometric plan shall be rounded to the nearest 0.10 foot-candles. A legend must be included to show the following information for each type of fixture: (1) manufacturer name, (2) product number, (3) mounting height, and (4) any other pertinent information. Be sure that current and proposed lighting will not exceed the 0.50 foot-candles threshold at the property boundary line. See § 510-95 of the zoning code for more details.

Plat of survey prepared by a registered land surveyor if in the judgment of the Zoning Administrator such accuracy is needed to ensure compliance with all dimensional standards, including setback requirements. The survey shall depict property lines, easements, and other existing and proposed improvements, and other information as may be needed to establish compliance with zoning requirements.

Architectural review application for any new buildings or for remodeling of existing buildings. The application must include elevation drawings showing finished exterior treatment, with adequate labels to clearly depict exterior materials, texture, color, and overall appearance. Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings. (Refer to § 510-90 of the zoning code for additional details.)

20. Attachments. List any attachments included with your application.

21. Other information. You may provide any other information you feel is relevant to the review of your application.

22. Applicant certification

- ◆ I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- ◆ I understand that I may be charged additional fees (above and beyond the initial application fee) consistent with § 510-149 (D) of the Village's municipal code to pay for the services of independent consultants the Village elects to retain to help review this application. Depending on the nature of the proposed project, such independent consultants may include planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts. I further understand, the Village may delay acceptance of the application as complete, or may delay final approval of the proposal, until all outstanding fees have been paid. I further understand that such fees must be paid even if this application is withdrawn or denied. If the applicant or the property owner does not pay such fees upon request, such fees may be assigned to the property owner as a special assessment to the subject property. [Please use the link above to download the form and visit FAQ for current year rates.](#)
- ◆ I understand that submission of this application authorizes Village officials and employees, Plan Commission members, Village Board members, and other designated agents, including those retained by the Village, to enter the property to conduct whatever site investigations are necessary

to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.

- ♦ I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- ♦ I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Name – print

Name – Signature

Date

Name – print

Name – Signature

Date

Applicant (if different than Property Owner):

Name – print



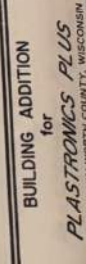
Name – Signature

Date

Name – print

Name – Signature

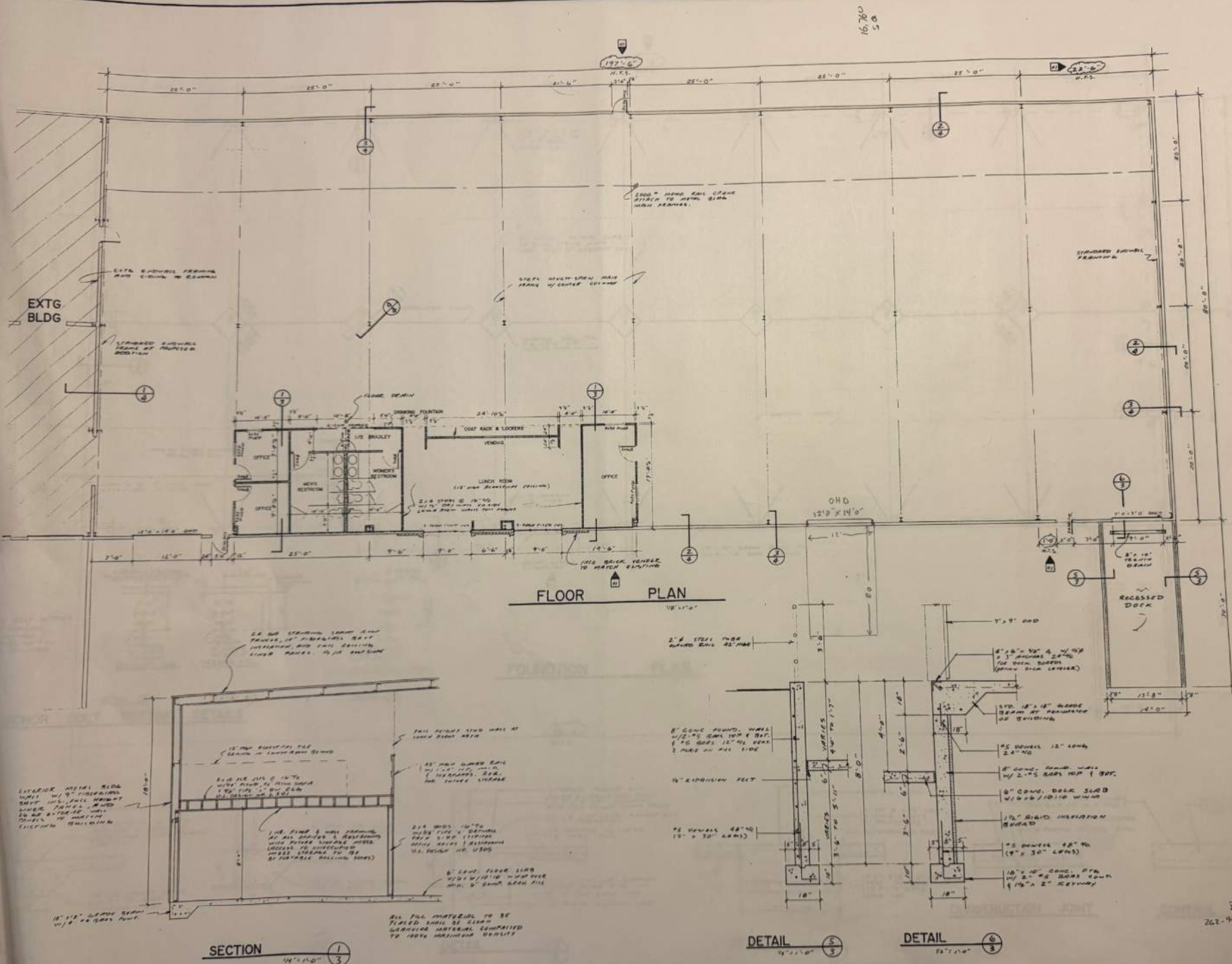
Date

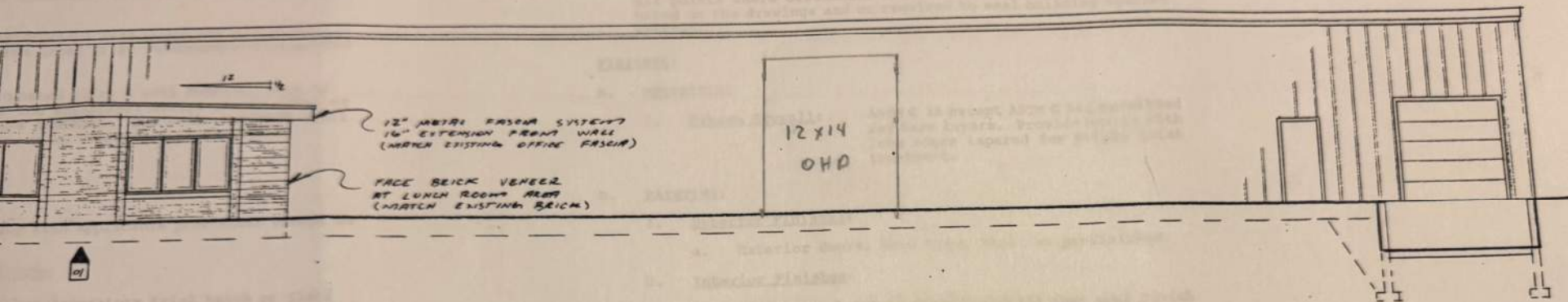


FLOOR PLAN
SECTION DETAILS

FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Ridgway Court P.O. Box 437
ELKHORN, WISCONSIN 53121
Office: (414) 723-2098
Fax: (414) 723-5886

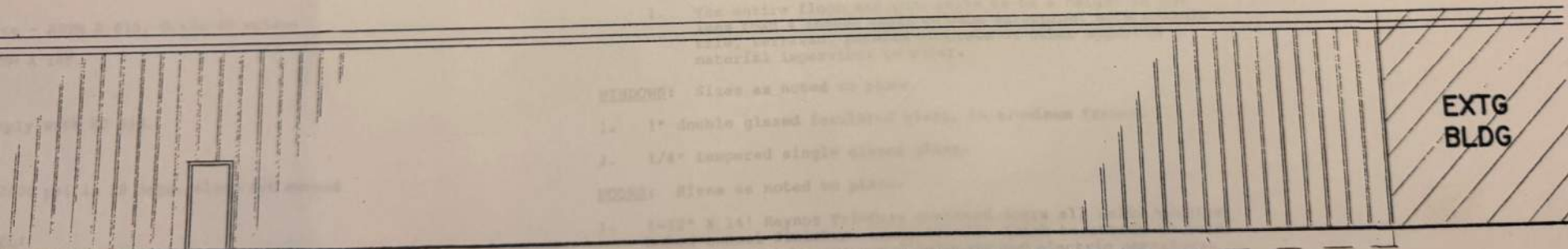
REVISIONS
REV. 1000 10-10-10
REV. 1000 10-10-10
REV. 1000 10-10-10





FRONT ELEVATION

1/8" = 1' 0"



BACK ELEVATION

1/8" = 1' 0"

PLUMBING SPECIFICATIONS

1. GENERAL REQUIREMENTS:

Provide complete operating, Electrical systems that comply with all governing codes, the provisions of this specification and the accompanying drawings.

2. PERMITS AND SALES TAXES:

This Contractor shall apply for all permits and pay all permit fees required to perform his portion of the work on this project.

This Contractor shall pay all taxes on materials which he furnishes for this project.

3. TEST AND INSPECTIONS:

All tests shall be conducted in the presence of and to the satisfaction of the Architect, or his authorized representative. This Contractor shall be responsible for providing tests and ordering inspections as required by STATE

FIXTURE SCHEDULE

FIXTURE

WATER CLOSET

LAVATORY

URINAL

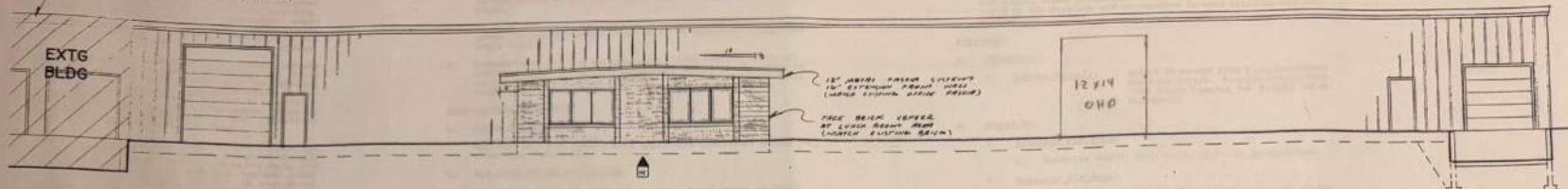
MAKE & MODEL

MANSFIELD #137-160
1.6 GAL ELONGATED
HANDICAPPED WATER CLOSET
W/BEMIS 1955.SC SEAT

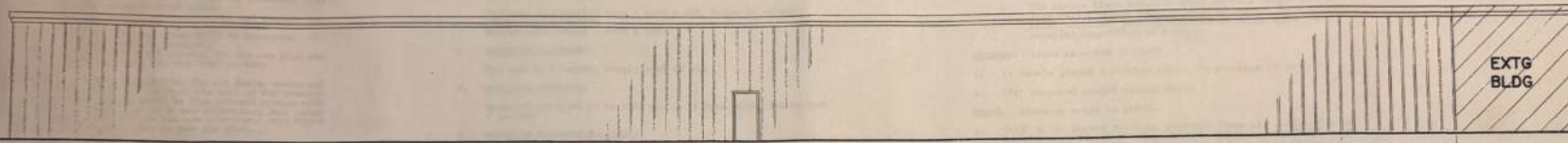
AM. STD. #0355.012
LUCERNE WALL HUNG
LAVATORY W/CHICAGO
#802A-317-255 SELF
CLOSING FAUCET

AM. STD. #6501.010
WASHBROOK URINAL W/
SLOAN ROYAL 186 FLUSH VALVE

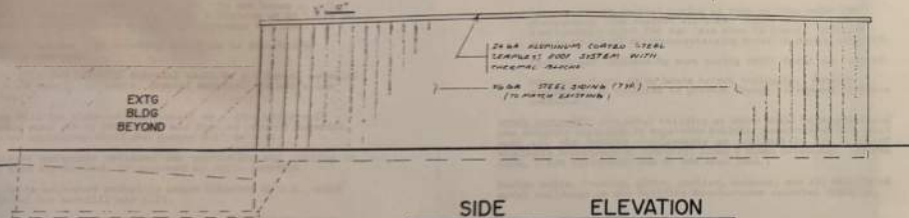
ORIGINAL BUILDING IS A CRAB/HATCHER
KITCHEN WITH A SLIT-SHOW FRONT, 5' HIGH,
STAINLESS STEEL BASE, 24" WIDE, 12" HIGH,
LATCH & EXISTING SINK, SINK & COILS



FRONT ELEVATION



BACK ELEVATION



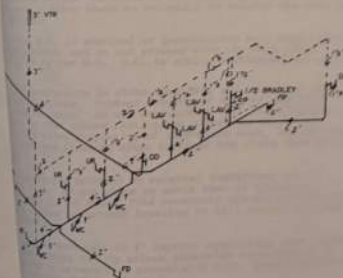
SIDE ELEVATION

GENERAL SPECIFICATIONS

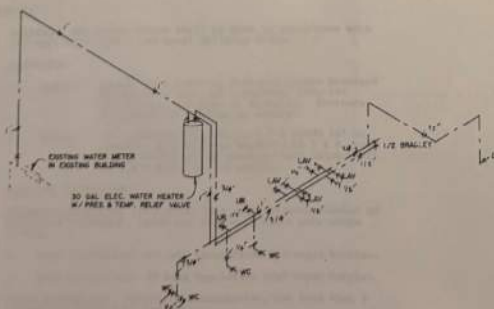
- GENERAL REQUIREMENTS:**
Provide complete operating, electrical systems that comply with all governing codes, the provisions of this specification and the accompanying drawings.
- PERMITS AND SITES SAVED:**
The Contractor shall apply for all permits and pay all permit fees required to perform the portion of the work on this project.
This Contractor shall pay all taxes on materials which be furnished for this project.
- TEST AND INSPECTIONS:**
All tests shall be conducted in the presence of and to the satisfaction of the Architect, or his authorized representative. The Contractor shall be responsible for supplying tests and observing inspections as required by these specifications. All work shall remain exposed until it has been tested, approved and approved.
- CUTTING, PATCHING AND FINISHING:**
All cutting and patching (except as noted on the drawings) shall be done and repaired by this Contractor under the direction and to the satisfaction of the Architect. No cutting of structural work shall be done without the written consent of the Architect, and all such work shall be done in accordance with the Architect's drawings and under his supervision.
Provide steel pipe sleeves 1" larger than O.D. of pipe which pass through masonry or concrete wall and floor slabs. Holes to be cut other necessary shall be drilled to avoid walling.
- USE OF SKIDS:**
The cutting of one work, or any part thereof, into one, even though with the Owner's consent, shall not be constructed to mitigate risk in any way, to accept improper work or defective materials.
- WORKING, SUPPORTS AND JACKING:**
All piping in the plumbing system shall be supported in accordance with the provisions of these specifications. The use of unapproved steel hangers shall not be acceptable.
- DRINKING WATER SERVICE:**
Provide shut-off valves at all shut-off valves, and at other locations in the piping system as may be required to emergency immediate operation of the system under all operating conditions.
- PLUMBING FIXTURES AND SINKS:**
All fixtures, appliances, etc., shall be set, fine and true, connected to all required piping services ready for use or future, traps, exposed supply valves, fittings and trim shall be chrome-plated over steel plating.
- WATER AND TRAP SINKS:**
Materials:
Pipe and fittings shall be cast iron to hub, Commercial Standard 150-150, service weight. Joints as approved by the State and installed in accordance with manufacturer's instructions. Schedule 40 PVC will be accepted.
- WATER FIXTURES:**
Materials:
Pipe shall be Type K copper underground and Type M above ground. Fittings shall be wrought copper. Joints shall be made by sweating pipe and fittings, applying flux, proper support at heat and solder.
- VALVES:**
General:
Provide valves at heater, hose bibb, and as required by code.
Provide independent valves at each fixture, provide access for all connected valves. All valves shall be 1/2" NPT, 1/2" working pressure. All valves shall be ball type.
- CLEANING OF PIPING SYSTEM AND BUILDINGS:**
At completion of the work, remove protective material from all surfaces. All joints and flanges, fastenings, and clean valves (except valves under this section of work) all times shall be left clean and ready for use.
- PIPE INSULATION:**
Insulate cold and hot water lines with fibrous glass, polyurethane, 1/2" thick, with PE vapor proof jacket. Insulate fittings and joints to provide vapor proof installation. Use tape adhesive, sealing strips, etc.

FIXTURE SCHEDULE

FIXTURE	MAKE & MODEL
WATER CLOSET	WATERCLOSET #117-140 1/4 GAL. ELONGATED HANDICAPPED WATER CLOSET WATERCLOSET 1975-SC B&B
LAVATORY	AM. STD. #2355-012 LAVATORY WALL HUNG LAVATORY MICHIGAN #802A-117-215 SELF CLOSING FLANGE
URINAL	AM. STD. #5301-010 WATERCLOSET URINAL W/ SHOWER NOZZLE, USE FLUSH VALVE
1/2 BRACKET	BRACKET TERRAZZO 1/4" DIA. 1/2" DIA. CIRCULAR WATER FOUNTAIN #1403
DRINKING FOUNTAIN	ELIAS ENCA-4
WATER HEATER	30 GAL. STATE ELECTRIC HOT WATER HEATER MODEL #888-30-187-2



WASTE ISOMETRIC



WATER SUPPLY ISOMETRIC

BUILDING ADDITION
for

PLASTRONICS PLUS

EAST TROT, WILMOUTH COUNTY, WISCONSIN

ELEVATIONS
ISOMETRICS
PLUMBING SPECIFICATIONS

FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
1111 North Wisconsin Ave., Suite 437
Eau Claire, WI 54601
Office: (608) 723-2698
Fax: (608) 723-2698

REVISIONS
REV. NO. DATE
1 08-19-94

PROJECT NO.
2355.94
DATE
04/07/94
SHEET NO.
2 of 5