



Meeting Date: February 23, 2026

Item No. **5A**

PLAN COMMISSION REPORT

Proposal: Building, Site, & Operation Plan Review

Description: Review a building, site, and operation plan for the renovation of a ±16,121-square-foot commercial building to be utilized as a children's surgery center on the parcel located at 8049 E Frontage Road.

Applicant(s): Raquelle Kemnitz

Address(es): 8049 E Frontage Road

Suggested Motion: That the Plan Commission recommends to the Village Board that the building, site, and operation plan for the renovation of a ±16,121-square-foot commercial building to be utilized as a children's surgery center on the parcel located at 8049 E Frontage Road be approved for the following reasons:

1. The proposed use is permitted under the underlying zoning district and complies with the building, site, and operation plan review requirements.
2. The proposal is consistent with the 2035 Comprehensive Plan land use designation of Commercial.

Owner(s): 2900 Russet, LLC

Tax Key(s): 104-04-22-06-064-000

Lot Size(s): ±3.11 acres

Current Zoning District(s): A-2, Agricultural / B-3, Highway Business

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Commercial

Background: The applicant is requesting approval of a building, site, and operation plan for the renovation of a ±16,121-square-foot commercial building to be utilized as a children's surgery center on the parcel located at 8049 E Frontage Road.

Building Exterior/Design

The building will feature shingle and metal roofing, along with fiber-cement board-and-batten siding and a masonry base on all elevations. On the south façade, however, the masonry base extends along only half of the façade. The plans indicate that the existing brick details on the north, east, and west façades will be maintained. The proposed design meets zoning requirements mandating that at least 75% of the visible building perimeter be clad in acceptable exterior materials.

The primary building entrance is located on the north façade and includes a metal-roofed canopy extending along the central portion of the building. The proposed exterior colors include light brown siding with neutral stone and brick belllines.

Site Design

The existing building complies with all B-3 District setback and height requirements. The proposed use is permitted within the B-3 District and is consistent with the Village's Comprehensive Plan.

A generator is proposed on the west side of the building, closer to the I-94 ramp, enclosed by a 6-foot-tall wood security fence designed to be compatible with the building's architectural character. A dumpster enclosure is also proposed on the southeast side of the parcel, closer to E. Frontage Road, and will consist of a 6-foot-tall wood fence of similar design to provide screening from the roadway. Both enclosures are located within the required street yard setback.

Per Village Code, Title 15, Chapter 5, fences on commercial properties must not exceed four feet in height when located within the required street yard setback. The Plan Commission has the discretion to allow additional height, up to eight feet, if deemed necessary for screening, security, or other relevant purposes.

In accordance with design standards, dumpster areas, loading areas, service entries, and mechanical equipment must be screened or attractively designed to minimize visual impact. Acceptable screening methods include densely planted trees or shrubs, opaque fencing, and/or garden walls at least 7 feet tall (plant material must reach 7 feet within 2 years). Staff recommends that additional screening with trees or shrubs be installed surrounding both the dumpster and generator enclosures, particularly along sides facing the road, to further reduce visual impact.

Per code, the business is required to provide sixteen parking spaces. The site contains an existing paved asphalt parking lot with twenty-two standard spaces and two ADA-compliant spaces, all meeting code for quantity, dimensions, and setbacks.

Landscaping

No changes to existing landscaping are proposed. Per Design Guidelines, street edge landscaping must include a rhythmic planting (2 to 3 different species) of trees spaced no more than 50 feet on the center of the tree trunk. Staff recommends the planting of six (6) trees along E. Frontage Road to meet this standard.

Lighting

The applicant submitted a photometric plan demonstrating compliance with the Village's lighting ordinance, including the requirement that no more than ½ foot-candle of light crosses the lot line. All light fixtures must comply with exterior lighting standards and be installed to prevent glare onto neighboring properties.

Signs

No signage is being proposed as part of this review. Any future signage requests will need to comply with Village Zoning Sign Code and be issued a sign permit prior to installation.


Engineering/Fire Department

Prior to any building permits being issued, the applicant will need to get approvals for stormwater management, erosion control, and grading plans from the Water Utility Department and Engineering Department. The Fire Department indicated no concerns regarding the proposed site plan; however, they will work with the applicant to ensure compliance with fire codes for this building type.

Suggested Motion

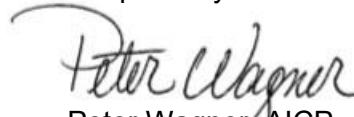
If the Plan Commission is comfortable with the proposed development, staff has drafted a suggested motion recommending approval of the ±16,121-square-foot commercial building for use as a children's surgery center for the property located at 8049 E Frontage Road.

Prepared by:

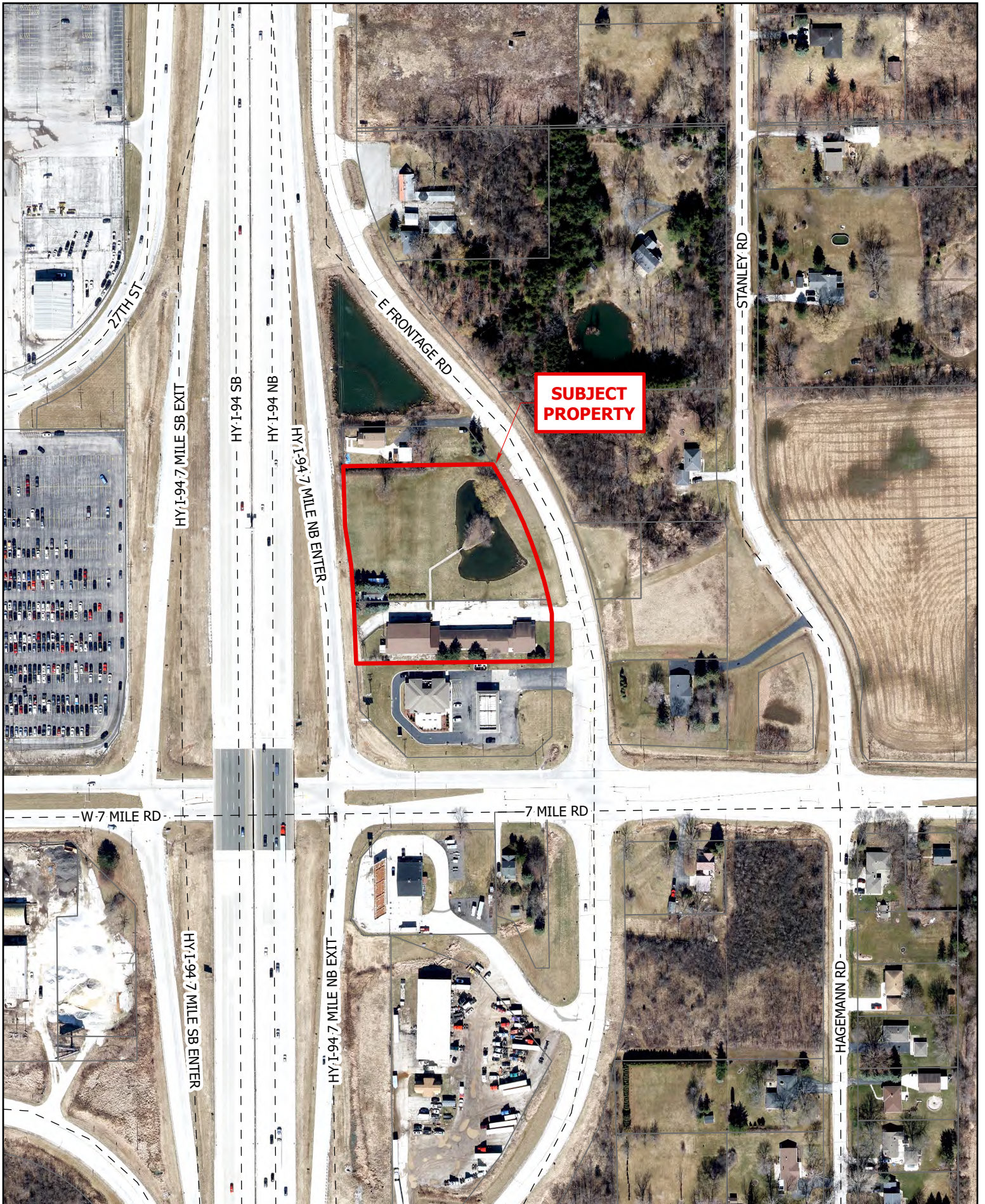


Natalia Nery de Farias
Planner & Zoning Administrator

Respectfully submitted:



Peter Wagner, AICP
Development Director



BSO NARRATIVE

**Wisconsin Children's Surgery Center
8049 Frontage Road, Caledonia, WI 53108**

1. Full Name and Contact Information of the Petitioner and / or Agent, and Property Owner (if different):

Property Owner:
2900 Russet, LLC
2714 4 ½ Mile Road
Racine, WI 53402

Developer:
Wisconsin Childrens Surgery Center, LLC
8049 Frontage Road
Caledonia, WI 53108
Phone: 480-302-0204

Authorized Agent:
Apex Design Build
9550 W Higgins Road
Suite 170
Rosemont, IL 60018
Phone: 847.288.0100

2. Full Name and Contact Information of Engineers, Surveyors, Architects, and Other Design Professionals:

Architect of Record:
Susan L. Skibell, Architect
1360 N. Sandburg Terrace, Suite 1902
Chicago, IL 60610
Phone: 312.350.7161

Design Builder:
Apex Design Build
9550 W. Higgins Road, Suite 170
Rosemont, IL 60018
Phone: 847.288.0100

Civil Engineer:
(N/A)

Surveyor:
TBD

MEP Engineers:
McGuire Engineers
300 S Riverside Plaza, Suite 350
Chicago, IL 60606
Phone: 312.930.2206

3. Existing Zoning District(s) and Proposed Zoning District(s), if Different:

The subject property is currently zoned OFF – Office / Commercial.

No zoning change is proposed as part of this application. The existing zoning district permits the continued commercial use and building improvements proposed.

4. Current Land Uses Present on the Subject Property:

The subject property is currently developed with:

- One existing commercial building totaling approximately 16,121 square feet
- 24 Surface parking areas, including ADA-compliant spaces
- Existing vehicle access from Frontage Road
- Existing utilities include gas, electrical, well, and septic systems
- Landscaped areas, berms, and mapped wetland areas

The site is fully developed and has historically functioned as a commercial property.

5. Proposed Land Uses for the Subject Property:

The proposed project maintains the existing Office/Commercial service use of the site.

The scope of work consists of exterior building renovations and site enhancements intended to modernize the building, improve functionality, and enhance architectural character.

No residential, industrial, or outdoor storage uses are proposed.

6. Land Use Designation(s) as Depicted on the Adopted Comprehensive Plan:

The proposed use is consistent with the Village of Caledonia's adopted Comprehensive Plan, which designates this area for commercial and office development along the Frontage Road and Highway 41 corridor.

The project represents reinvestment in an existing developed site and does not expand development into undeveloped land.

7. Description of Existing Environmental Features:

Environmental features on or adjacent to the site include:

- Existing mapped wetlands
- Landscaped buffer areas and berms
- Previously disturbed and developed areas associated with the existing building and parking

All proposed improvements are confined to existing developed areas. No wetland disturbance or environmental encroachment is proposed.

8. Projected Number of Residents, Employees, and / or Daily Customers

- Residents: Not applicable (non-residential project)
- Employees: 12
- Daily Customers / Visitors: 8

9. Proposed Amount of Dwelling Units, Floor Area, Open Space Area, and Landscape Surface Area

- Dwelling Units: None proposed
- Building Floor Area: Approximately 16,121 square feet (existing building)
- Open Space Area: All Existing; 97,493.47 SF / 2.24 Acres
- Landscape Surface Area: All Existing; 4,872.56SF / .11 Acres

All quantities will be expressed in square feet and acreage to the nearest one-hundredth of an acre with the final civil submittal.

10. Resulting Site Density, Floor Area Ratio, Open Space Ratio, and Landscape Surface Area Ratio

All existing:

- Site Density: 5,163 SF /Acre
- Floor Area Ratio (FAR): 0.12
- Open Space Ratio: 72%
- Landscape Surface Area Ratio: 3.6%

11. Operational Items Relating to Hours of Operation, Water Usage, and Sanitary Sewer or Septic Loadings

- Hours of Operation: Monday-Friday 06:00AM-04:00PM
- Water Usage: Final domestic water demand and sanitary loading calculations will be prepared by the project's mechanical and plumbing engineers and submitted to the Village and applicable utility agencies for review and approval prior to permit issuance.
- Sanitary Sewer / Septic: Existing septic system to remain unless modified per agency approval

12 and 13. Traffic Generation and Nuisance Considerations

Traffic and operational impacts have been evaluated as follows:

- Vehicular access is maintained from existing Frontage Road driveways
- No new access points are proposed
- Parking is provided in surface lots with standard stall and aisle dimensions
- No loading docks, or industrial activity
- No vibration, odor, air pollution, electromagnetic radiation, glare, heat, fire, explosion, or hazardous material impacts beyond normal commercial use
- Drainage patterns remain consistent with existing developed conditions

The project is not expected to create traffic or nuisance impacts beyond existing conditions.

14. Exterior Building and Fencing Materials

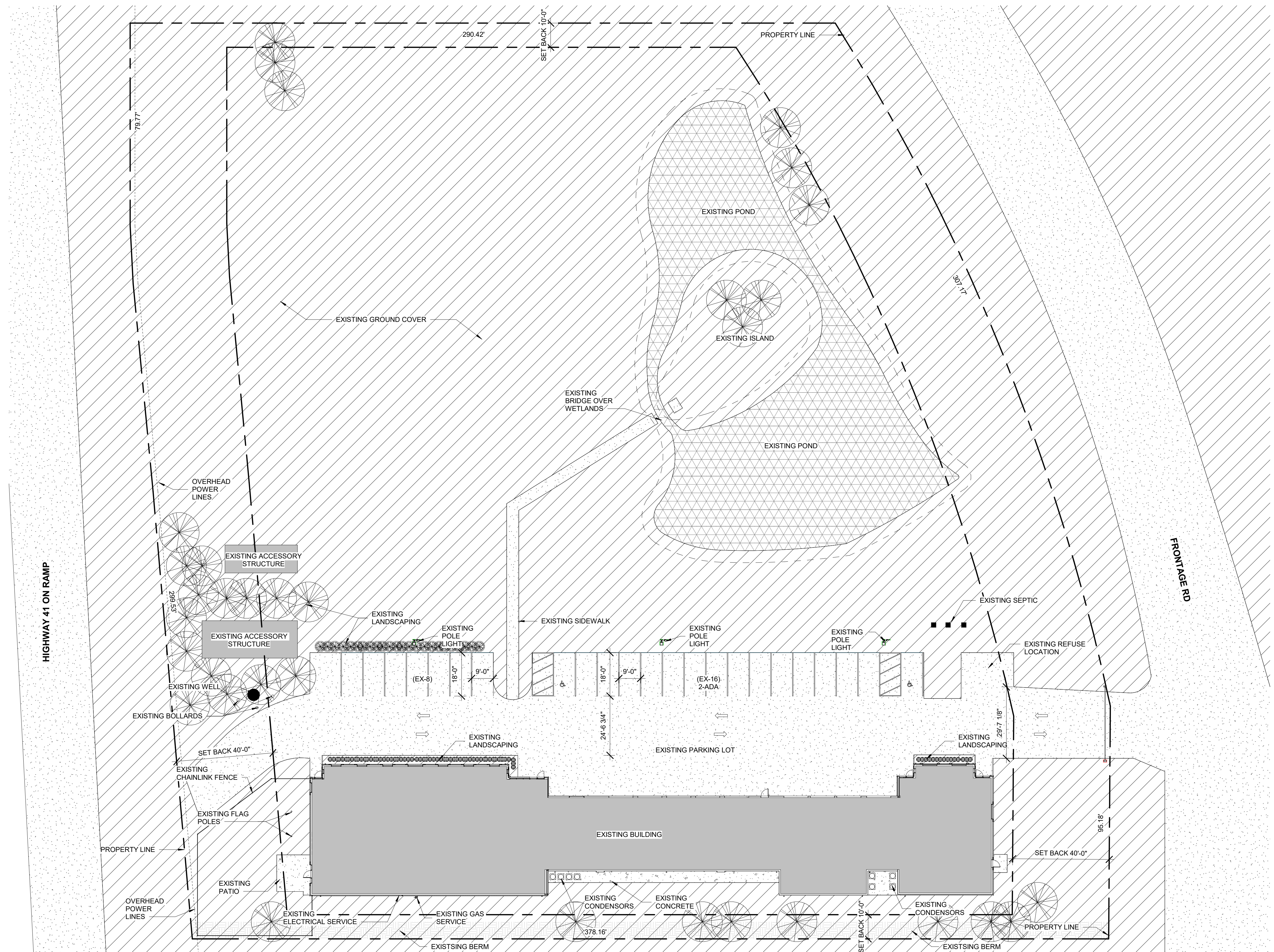
Exterior building materials include:

- Existing brick masonry to remain
- New Fiber-cement board-and-batten siding
- New Stone accent materials
- New Metal and asphalt shingle roofing systems
- Painted and stained trim elements
- New Timber posts at covered canopy areas

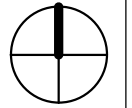
Any fencing proposed (such as generator screening) will be compatible with the building's architectural character.

15. Any Other Information Pertinent to Understanding the Intended Use and Its Relation to Nearby Properties

The project enhances the architectural quality and functionality of an existing commercial property while maintaining compatibility with surrounding commercial development. The improvements support reinvestment along the Frontage Road corridor and align with the Village's long-term planning goals.



1 EXISTING SITE PLAN
 3/64" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



9550 W. Higgins Rd. 170
 Rosemont, IL 60018

NEW CORE - CALEDONIA

8049 FRONTAGE RD.
 CALEDONIA, WI 53108

ARCHITECT OF RECORD:
 SUSAN L. SKIBELL, ARCHITECT
 1360 N. SANDBURG TERRACE #
 1902 CHICAGO, IL 60610
 312.350.7161
 DESIGN FIRM #: 184.008912-0001
 SEAL:

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No.	Description	Date

EXISTING SITE PLAN

Project number 14625

GA1-1

Scale 3/64" = 1'-0"

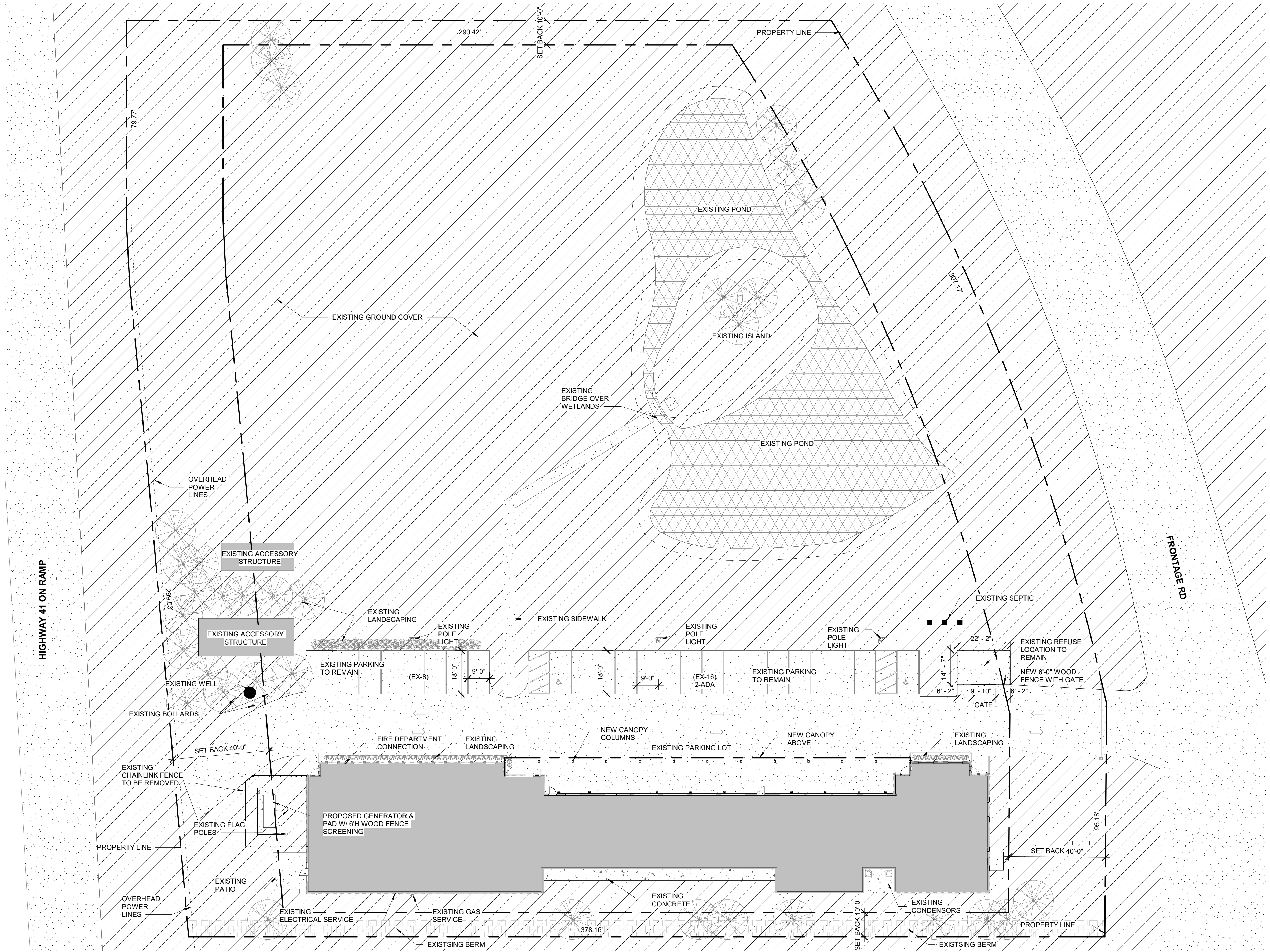
ZONE: OFF (OFFICE) - COMMERCIAL

EXISTING BUILDING SQFT:
16,121 SQFT (FIRST BUILDING)

PARKING REQUIREMENTS:
DENTAL CLINIC:
3 PER DOCTOR PLUS 1 PER EMPLOYEE
TOTAL DOCTORS = 2 - 6 TOTAL
TOTAL EMPLOYEES = 10 - 10 TOTAL
16 SPACES REQUIRED

24 EXISTING SPACES
1-25 SPACES - 1 ADA SPACES REQ.

PARKING SIZES:
REGULAR 90 DEGREES = 9' - 0" W X 18' - 0" L
TWO WAY DRIVE AISLE = 24' - 0" REQ.
PROVIDED 24' - 0"



apex
DESIGN > BUILD

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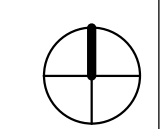
PROPOSED SITE PLAN

Project number 14625

GA1-2

Scale 3/64" = 1'-0"

1 PROPOSED SITE PLAN
3/64" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

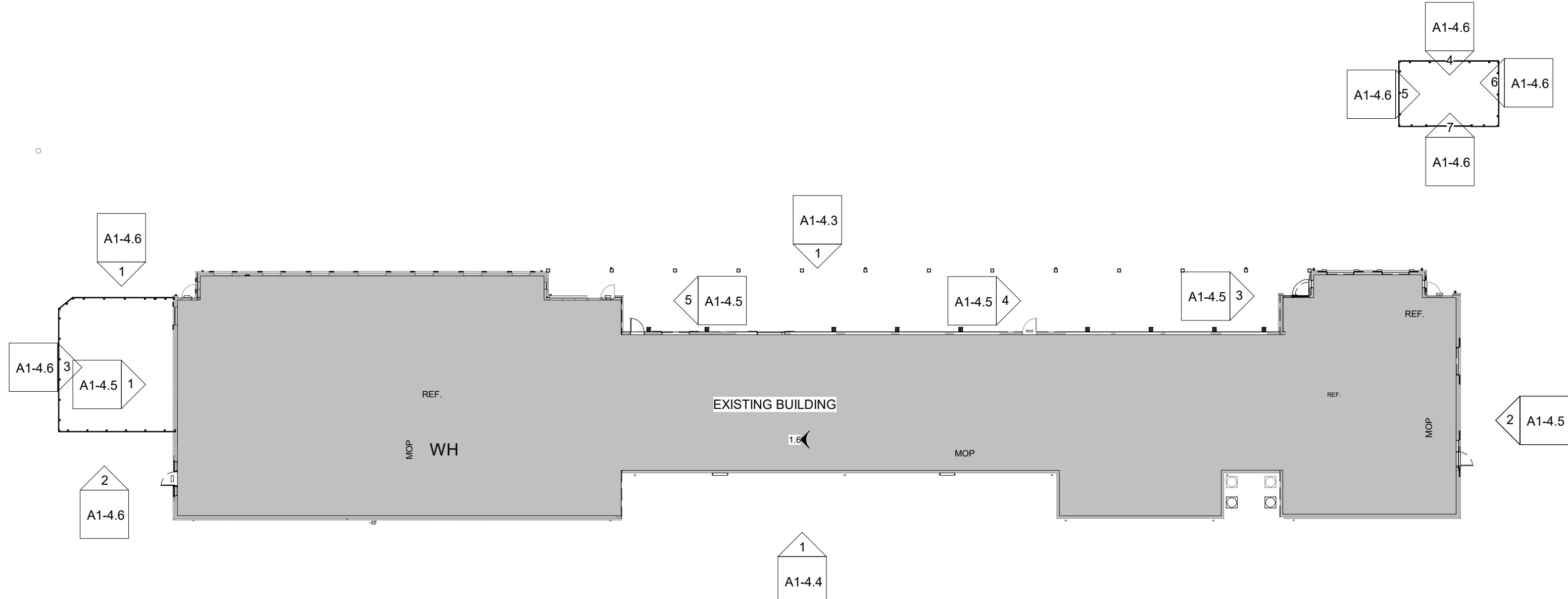


EXTERIOR FINISH SCHEDULE

1. EQUAL PRODUCTS ARE ACCPETABLE AFTER IT HAS BEEN SUBMITTED & APPROVED BY ARCHITECT.

2. ALL PRODUCTS TO BE INSTALLED PER MANUFACTURER REQUIREMENTS

TAG	MATERIAL	MFG.	SPECIFICATION / DESCRIPTION	LOCATION	REMARKS
EXT. CU-1	CUPOLA	CUPOLAS DIRECT	PROFILE: 18" CUPOLAS CARLISLE CUPOLAS (S3CV) : FINISH: BLACK ROOF FINISH, BONE WHITE EXTERIOR FINISH	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. DE-1	CANOPY SOFFIT	TBD	PROFILE: 1X TOUNGE AND GROOVE CEDAR DECKING: FINISH: STAIN W/ WS-1 SW 3532 HILL COUNTY STAIN	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. DS-1	DOWNSPOUTS	PAC-CLAD	PROFILE: PAC TITE LT DOWNSPOUT CORRUGATED : FINISH BONE WHITE	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. EX-BR	EXISTING BRICK	N/A	PROFILE: EXISTING MODULAR BRICK: FINISH: EXISTING	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. FA-1	FACIA	QUALITY EDGE	PROFILE: TRULINE FASCIA 8" TRULINE WOODGRAIN : FINISH: 280 WHITE	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. FE-1	FENCING	TBD	PROFILE: STANDARD WOOD FENCE SYSTEM FINISH: STAIN W/ WS-1 SW 3532 HILL COUNTY STAIN	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. FG-1	FENCING GATE	TBD	PROFILE: STANDARD WOOD FENCE GATE SYSTEM FINISH: STAIN W/ WS-1 SW 3532 HILL COUNTY STAIN	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. GT-1	GUTTERS	PAC-CLAD	PROFILE: GUTTERS 5" PAC-TITE LT GUTTER K- STYLE : FINISH: BONE WHITE	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. HB-1	BOARD AND BATTEN SIDING	JAMES HARDIE	PROFILE: HARDIE PANEL (4'x10') W/ TRIM BATTEN BOARDS(2.5"W X 3/4" THICKNESS) RUSTIC GRAIN PRIMED FOR PAINT: FINISH: PAINTED W/ P-1 CC-500 RANCHWOOD	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. P-1	EXTERIOR PAINT	BENJAMIN MOORE	PROFILE: EXTERIOR GRADE PAINT : FINISH: CC-500 RANCHWOOD	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. R-1	SHINGLE ROOFING	GAF	PROFILE: SHINGLE ROOF TIMBERLINE HDZ : FINISH: APPALACHIAN SKY	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. R-2	METAL ROOFING	PAC-CLAD	PROFILE: SNAP CLAD METAL ROOFING PANELS: FINISH: ANTIQUE BRONZE	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. SH-1	SHUTTERS	ALSIDE	PROFILE: SHUTTERS COLLECTION BATTEN STYLE SHUTTERS 2' W X 6'-2" H: FINISH: DEEP MOSS	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. SH-2	SHUTTERS	ALSIDE	PROFILE: SHUTTERS COLLECTION BATTEN STYLE SHUTTERS 1' W X 4' H: FINISH: DEEP MOSS	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. SH-3	SHUTTERS	ALSIDE	PROFILE: SHUTTERS COLLECTION BATTEN STYLE SHUTTERS 2' W X 4' H: FINISH: DEEP MOSS	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. SP-1	CUPOLA SPIKE	CUPOLAS DIRECT	PROFILE: 24" H DALVENTO "KYOTO" FINIAL : FINISH: BLACK MATTE (MEDIUM)	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. SS-1	STONE SILL	CDI	PROFILE: SI 135 S 23-5/8: FINISH: LIMESTONE W110	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. ST-1	STONE	EDEN VALDERS	PROFILE: EDEN WINDSOR TUMBLD : FINISH: EDEN THIN STONE	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. T-1	TIMBER	N/A	PROFILE: TIMBER POSTS : FINISH: STAINED W/ WS-1	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. TR-1	TRIM	JAMES HARDIE	PROFILE: EXTERIOR HARDIE TRIM ROUGHSAWN PRIMED FOR PAINT 7.25" X 3/4" THICKNESS: FINISH: PAINT W/ P-1 CC-500 RANCHWOOD	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. WS-1	WOOD STAIN	SHERWIN WILLIAMS	PROFILE: SHERWIN EXTERIOR GRADE WOOD STAIN : FINISH: SW 3532 HILL COUNTY	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL



1 EXTERIOR VIEWS KEY
3/64" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

LIGHT FIXTURE SCHEDULE

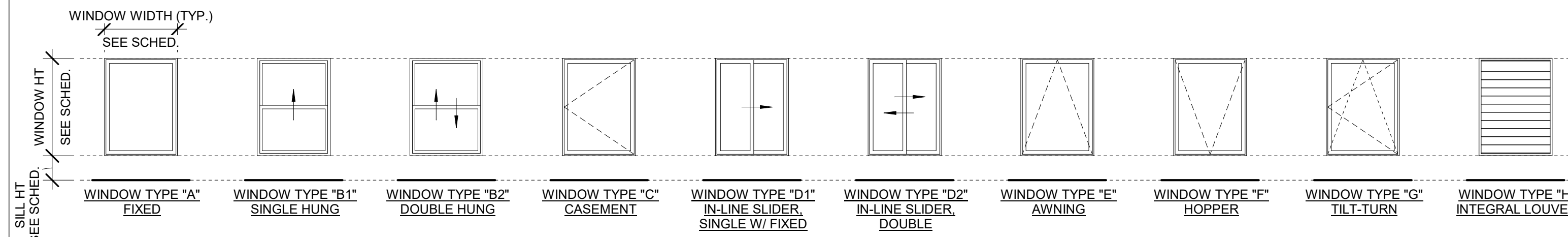
TAG	DESCRIPTION	MANUFACTURER	MODEL	LAMP	WATTAGE	COLOR TEMPERATURE	QTY	IMAGE	REMARKS	LOCATION
EXT. LT-1	EXTERIOR SCNCE	LIGHTING STUDIO BERKELEY	THE LANTERN OF TIME	BULB	60 W	4000K	9		INSTALL PER ELEVATION	
EXT. LT-2	INDOOR/OUTDOOR EMERGENCY LIGHT	EXIT LIGHT CO.	EL-XDL; 4000K; FINISH:	LED BUILT IN	60 W	4000K	5		W/ EM BATTERY BACK-UP	

EXTERIOR WINDOW SCHEDULE

1. REFER TO APPROVED COMPONENT BOOK FOR MORE DETAILED WINDOW SPECIFICATION INFORMATION.

WINDOW NO.	WIDTH	HEIGHT	SILL HEIGHT	WINDOW TYPE	WINDOW MATERIAL	FRAME MATERIAL	REMARKS
A	6' - 2"	2' - 3"	7' - 1"	A	GT	COMPOSITE	EXT WINDOW: ANDERSEN: 100 SERIES PICTURE WINDOW, WHITE EXTERIOR AND WHITE INTERIOR, WITH GRILLES AS SHOWN ON ELEVATIONS, LOW-E GLASS
B	6' - 2"	4' - 1"	3' - 0"	A	GT	COMPOSITE	EXT WINDOW: ANDERSEN: 100 SERIES PICTURE WINDOW, WHITE EXTERIOR AND WHITE INTERIOR, WITH GRILLES AS SHOWN ON ELEVATIONS, LOW-E GLASS
C	2' - 0"	2' - 0"	1' - 10"	A	GT	COMPOSITE	EXT WINDOW: ANDERSEN: 100 SERIES PICTURE WINDOW, WHITE EXTERIOR AND WHITE INTERIOR, WITH GRILLES AS SHOWN ON ELEVATIONS, LOW-E GLASS
D	2' - 0"	3' - 0"	1' - 10"	A	GT	COMPOSITE	EXT WINDOW: ANDERSEN: 100 SERIES PICTURE WINDOW, WHITE EXTERIOR AND WHITE INTERIOR, WITH GRILLES AS SHOWN ON ELEVATIONS, LOW-E GLASS
E	6' - 2"	4' - 1"	2' - 4"	A	GT	COMPOSITE	EXT WINDOW: ANDERSEN: 100 SERIES PICTURE WINDOW, WHITE EXTERIOR AND WHITE INTERIOR, WITH GRILLES AS SHOWN ON ELEVATIONS, LOW-E GLASS
F	6' - 2"	2' - 1"	5' - 0"	A	GT	COMPOSITE	EXT WINDOW: ANDERSEN: 100 SERIES PICTURE WINDOW, WHITE EXTERIOR AND WHITE INTERIOR, WITH GRILLES AS SHOWN ON ELEVATIONS, LOW-E GLASS

WINDOW TYPES



DOOR/WINDOW SCHEDULE ABBREVIATIONS

MATERIALS

(FL) -	FRAMELESS (FOR GLASS DOORS)
G -	GLASS, VISION
GF -	GLASS, FROSTED
GT -	GLASS, TEMPERED
GTF -	GLASS, TEMPERED & FROSTED
HM -	HOLLOW METAL
HMI -	HOLLOW METAL, INSULATED
WD -	WOOD
WSC -	WOOD VENEER, SOLID CORE
PSC -	PAINT GRADE, SOLID CORE
LSC -	LAMINATE FINISH, SOLID CORE

SUBCONTRACTOR NOTES

- A. PROVIDE WEATHER BARRIER OVER ALL EXTERIOR SHEATHING PRIOR TO THE INSTALLATION OF ANY EXTERIOR FINISH MATERIAL.
- B. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND PROVIDE ALL MANUFACTURER'S ACCESSORIES TO FULLY FLASH AND COUNTER-FLASH AT ALL WINDOWS, DOORS, AND EXTERIOR PENETRATIONS.
- C. PROVIDE A WEATHER TIGHT BARRIER AT ALL SURFACES.
- D. COORDINATE FLASHING WITH WINDOW, DOOR, VENT, ETC. MANUFACTURER'S FOR A WEATHER TIGHT SEAL AT ALL OPENINGS.
- E. TAPE FLASH AROUND ALL OPENINGS AND ON WALL JOINTS PER MANUFACTURER REQUIREMENTS.



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PROJECT ENERGY CODE INFORMATION

CLIMATE ZONE ZONE 5A
DOES THE BUILDING INCLUDE GROUP R OCCUPANCY? NO

OPAQUE ENVELOPE ITEM	REQUIRED R-VALUE	ACTUAL R-VALUE
ROOF (ATTIC AND OTHER)	R49	R49
WALLS ABOVE GRADE (WOOD FRAMED AND OTHER)	R13 + R7.5ci OR R20 + R3.8ci	R20 + R3.8ci
WALLS BELOW GRADE	R7.5ci	R7.5ci
SLAB-ON-GRADE FLOORS (UNHEATED SLABS)	R15 FOR 24" BELOW	R15 FOR 24" BELOW
OPAQUE DOORS (NONSWINGING)	0.31 U-VALUE	0.31 U-VALUE
OPAQUE DOORS (SWINGING)	0.37 U-VALUE	0.37 U-VALUE

ENVELOPE FENESTRATION	REQUIRED	ACTUAL
FIXED FENESTRATION	0.36	0.36
OPERABLE FENESTRATION	0.45	0.45
ENTRANCE DOORS	0.63	0.63
SHGC - NORTH ORIENTATION (PF < 0.2)	0.61	0.61
SHGC - SEW ORIENTATION (PF < 0.2)	0.36	0.36
SKYLIGHTS U-FACTOR	0.50	N/A
SKYLIGHTS SHGC	0.40	N/A

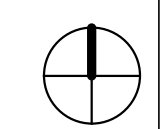
No.	Description	Date

EXTERIOR SCHEDULES

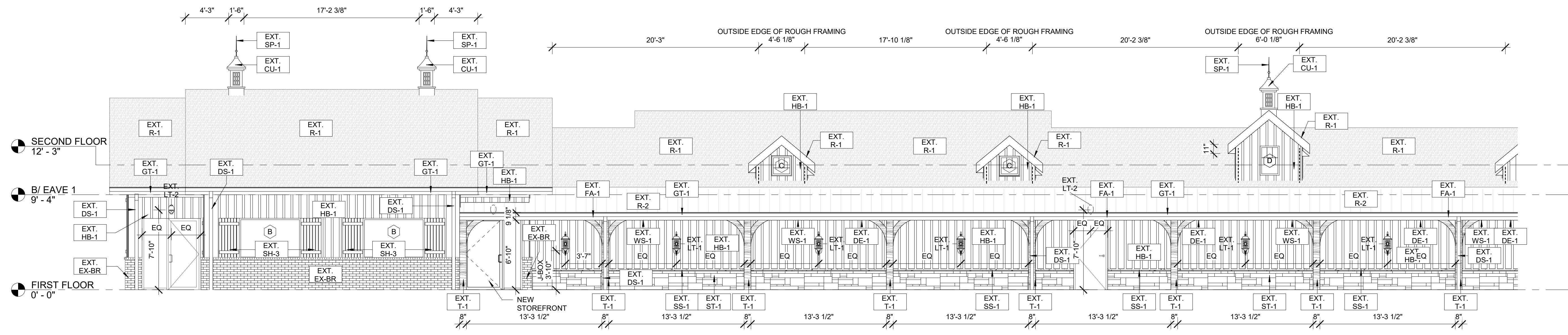
Project number **14625**

A1-2.0

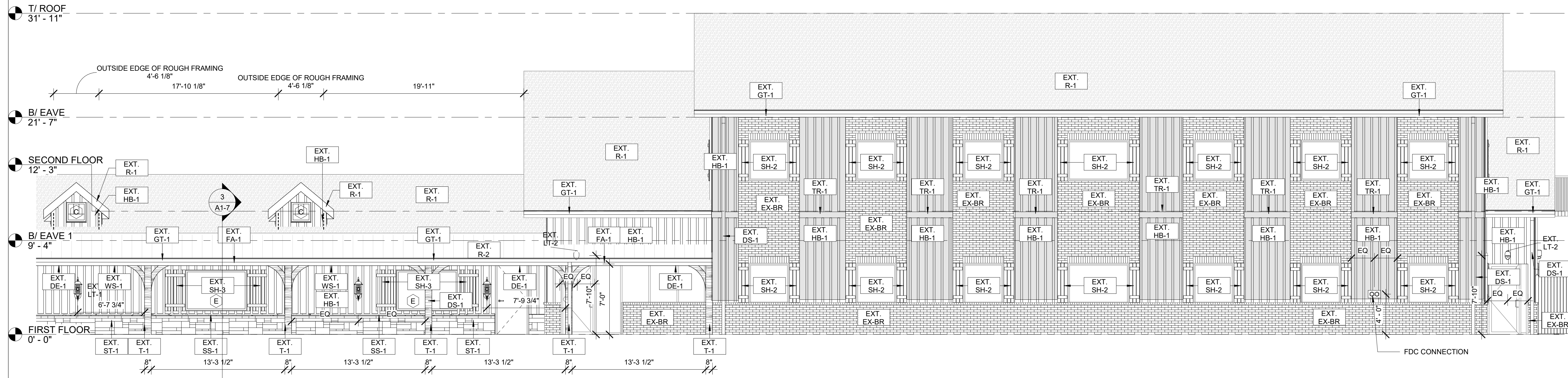
Scale **As indicated**



NEW SIDING TAKEOFF (NORTH ELEVATION A + B):
 HB-1 TOTAL (INCLUDES DORMERS) = 2,035 SQFT
 ST-1 = 275 SQFT



1 NORTH ELEVATION - (A)
 3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



2 NORTH ELEVATION - (B)
 3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



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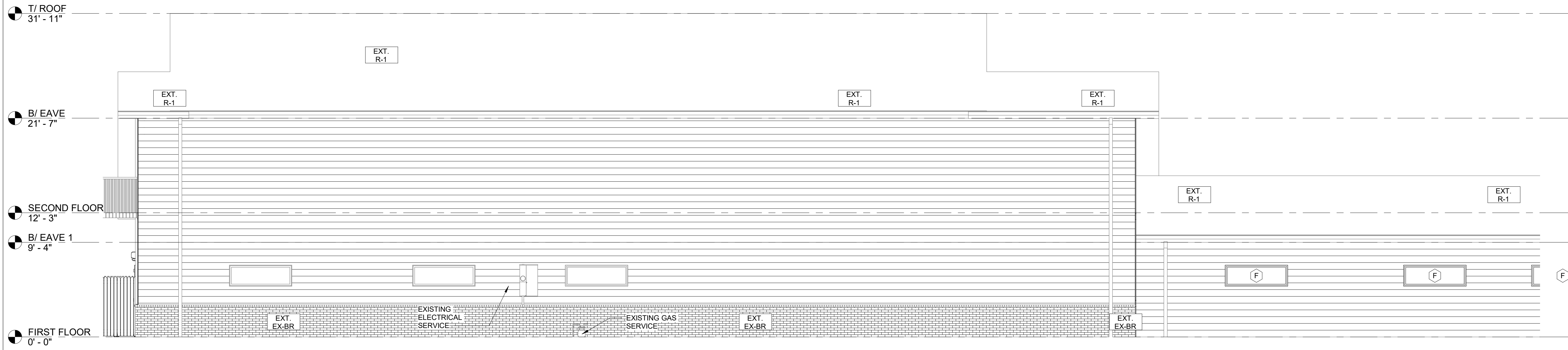
No.	Description	Date

EXTERIOR NEW ELEVATIONS

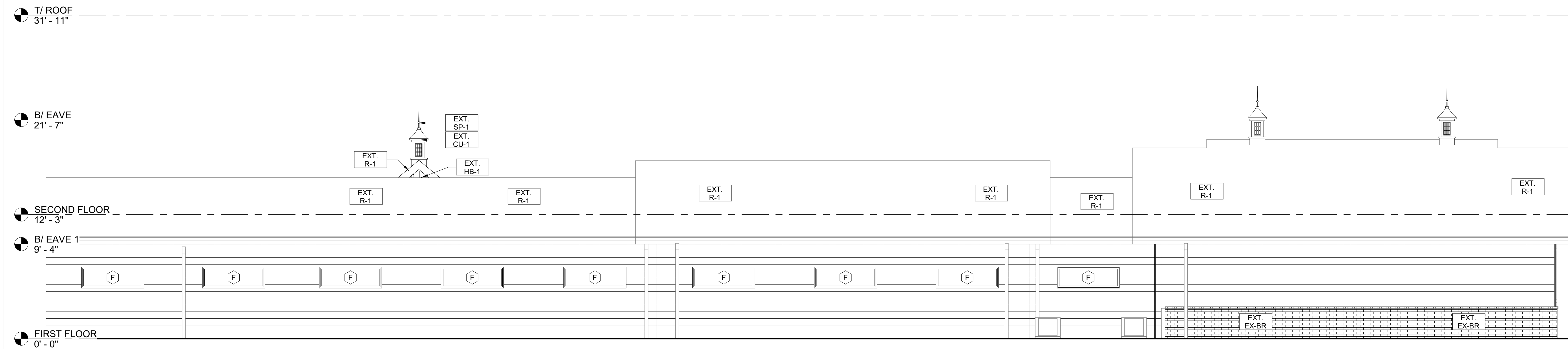
Project number 14625

A1-4.3

Scale 3/16" = 1'-0"



1 SOUTH ELEVATION - (A)
 3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



2 SOUTH ELEVATION - (B)
 3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



9550 W. Higgins Rd. 170
 Rosemont, IL 60018

NEW CORE - CALEDONIA

8049 FRONTAGE RD.
 CALEDONIA, WI 53108

ARCHITECT OF RECORD:
 SUSAN L. SKIBELL, ARCHITECT
 1360 N. SANDBURG TERRACE #
 1902 CHICAGO, IL 60610
 312.350.7161
 DESIGN FIRM # 184.008912-0001
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No.	Description	Date

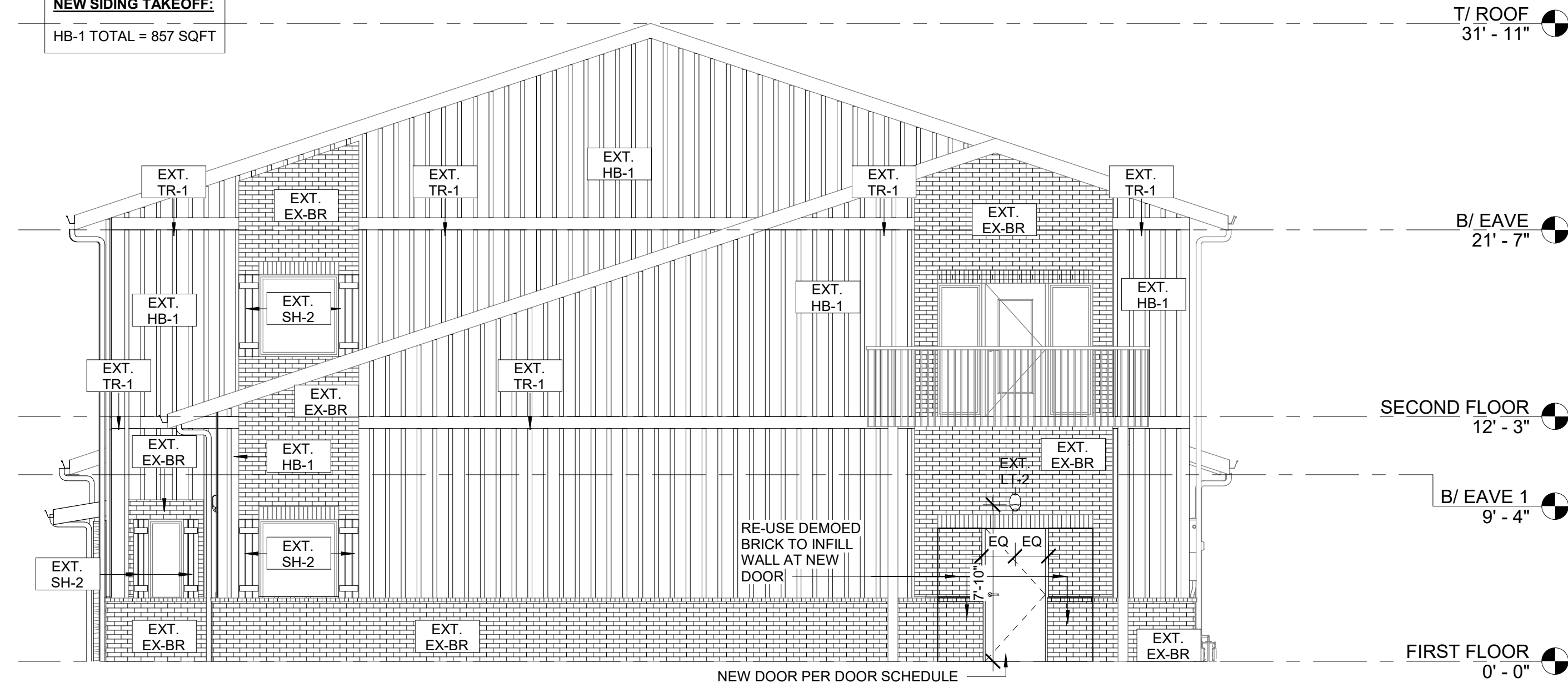
EXTERIOR NEW ELEVATIONS

Project number 14625

A1-4.4

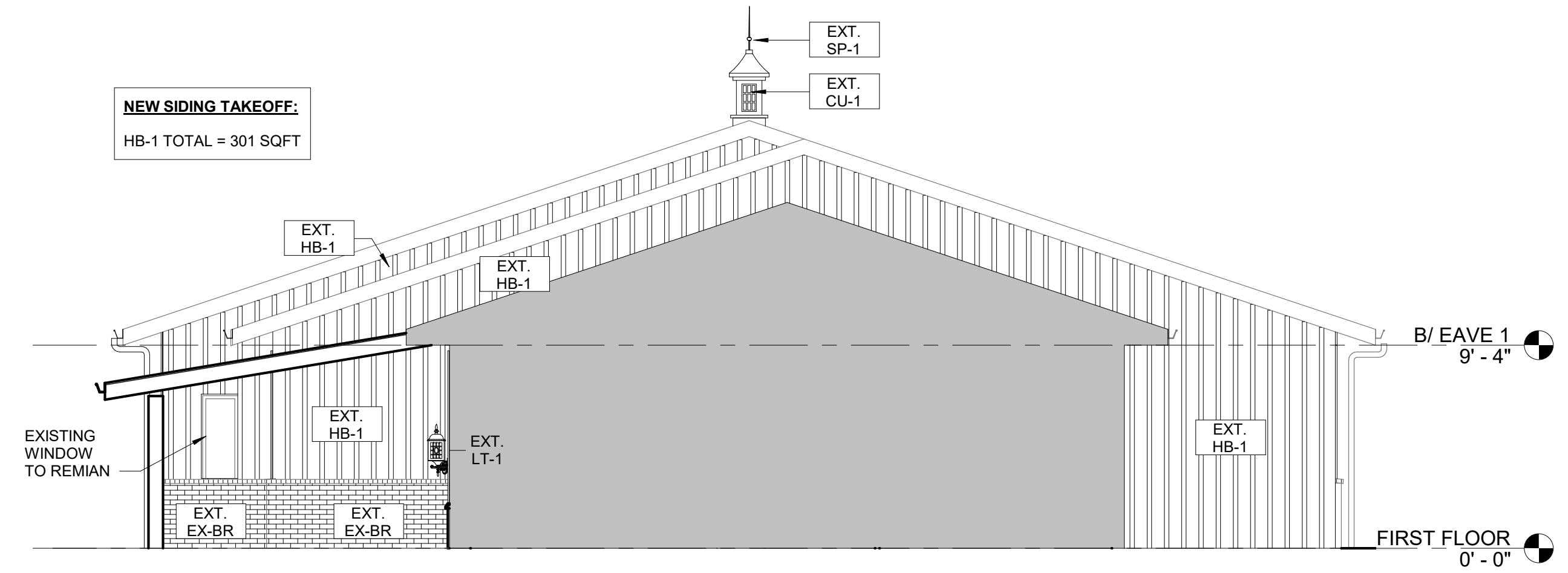
Scale 3/16" = 1'-0"

NEW SIDING TAKEOFF:
HB-1 TOTAL = 857 SQFT

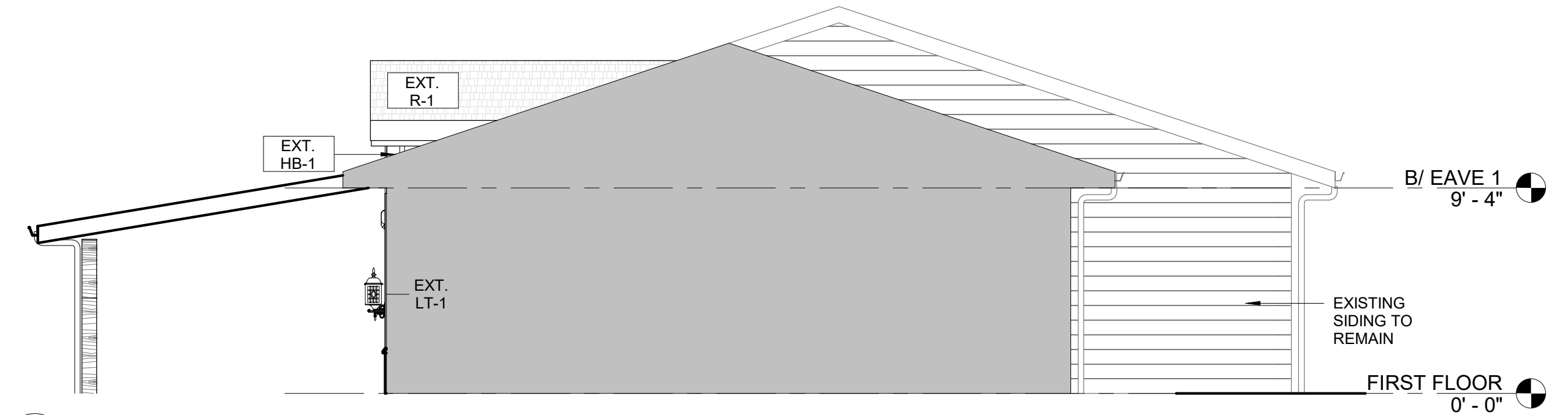


1 WEST ELEVATION - NEW
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

NEW SIDING TAKEOFF:
HB-1 TOTAL = 301 SQFT

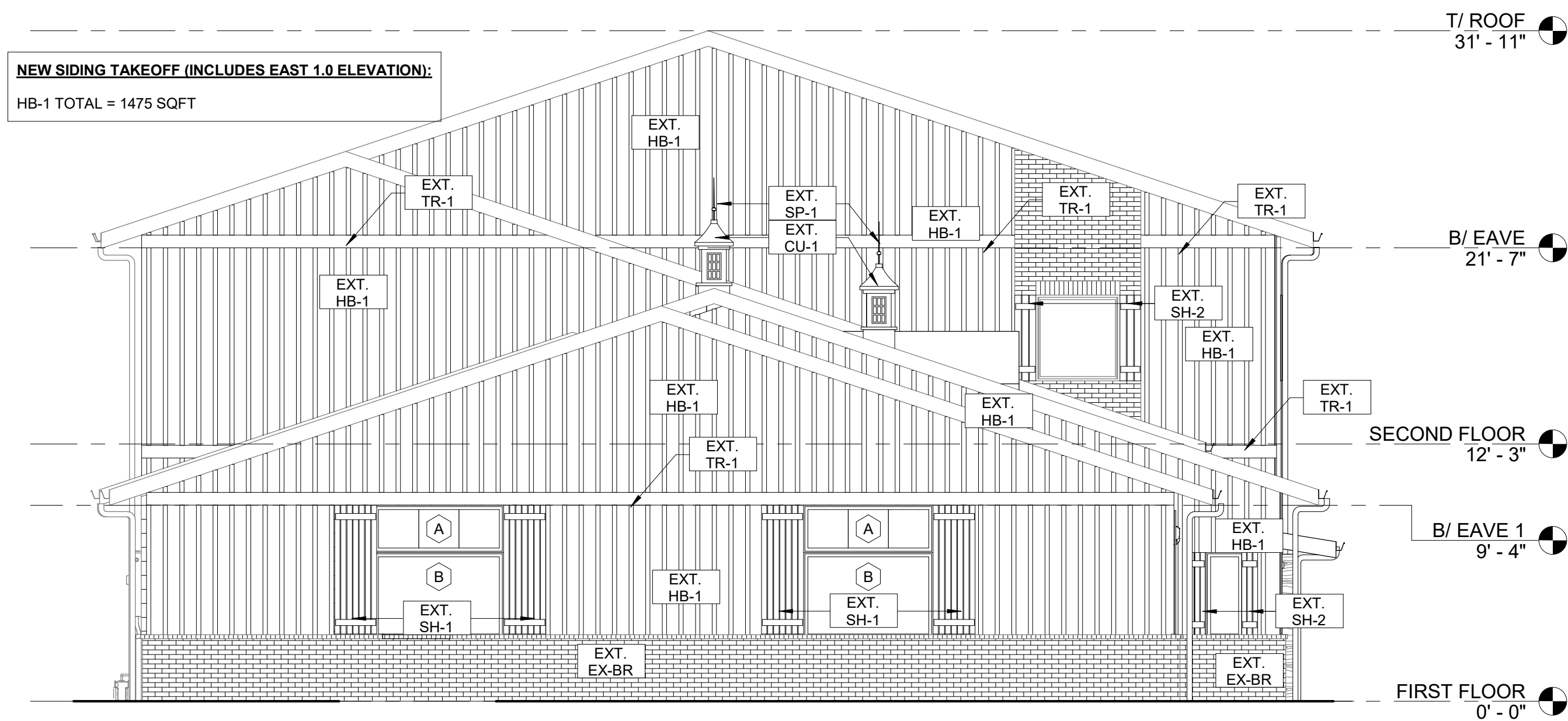


3 WEST ELEVATION - NEW (1.0)
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

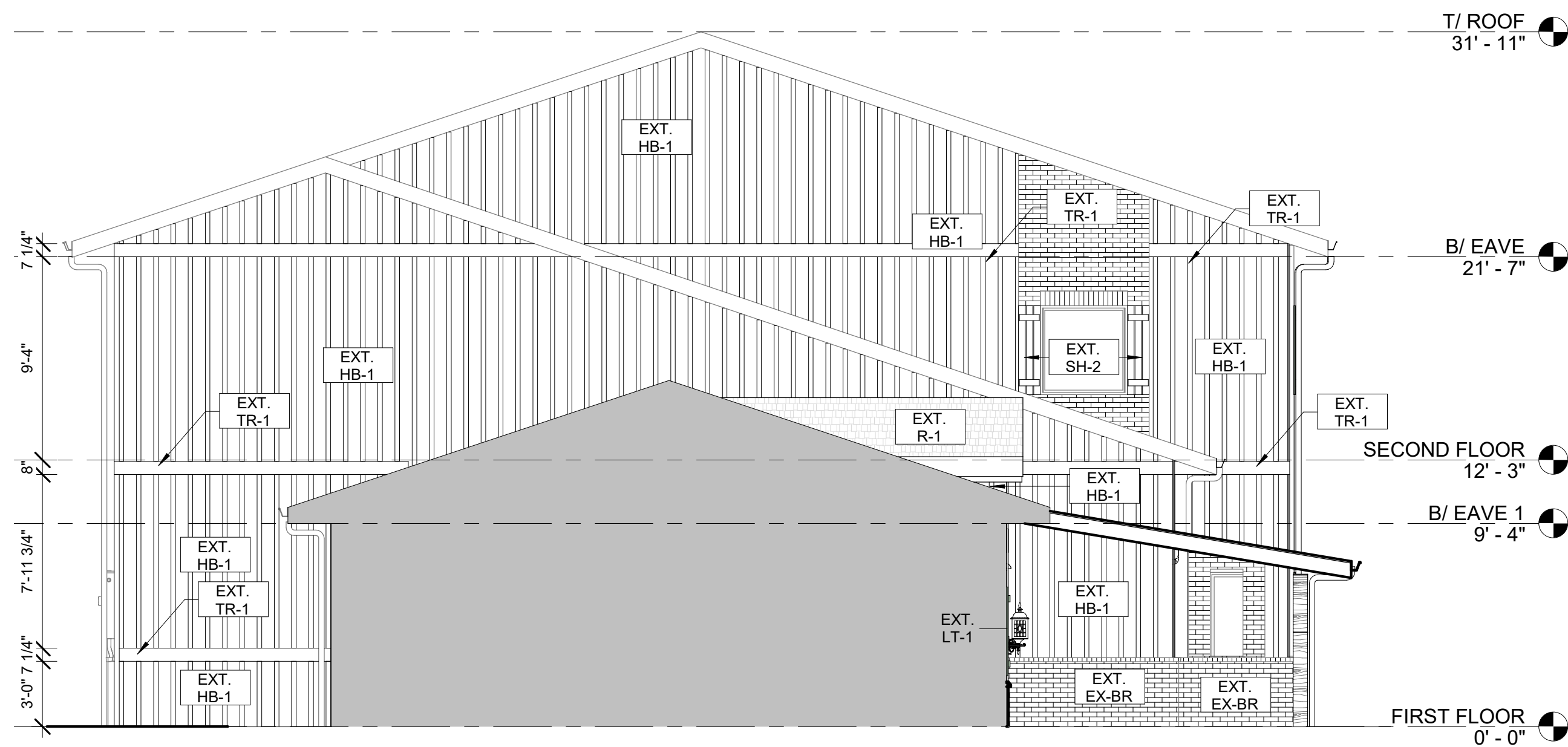


4 WEST ELEVATION - NEW (2.0)
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

NEW SIDING TAKEOFF (INCLUDES EAST 1.0 ELEVATION):
HB-1 TOTAL = 1475 SQFT



2 EAST ELEVATION - NEW
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



5 EAST ELEVATION - NEW (1.0)
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



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Rosemont, IL 60018

NEW CORE - CALEDONIA

8049 FRONTAGE RD.
CALEDONIA, WI 53108

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1360 N. SANDBURG TERRACE #
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312.350.7161
DESIGN FIRM #: 184.008912-0001
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No.	Description	Date

EXTERIOR NEW ELEVATIONS

Project number 14625

A1-4.5

Scale 3/16" = 1'-0"

**NEW CORE -
CALEDONIA**

8049 FRONTAGE RD,
CALEDONIA, WI 53108

ARCHITECT OF RECORD:
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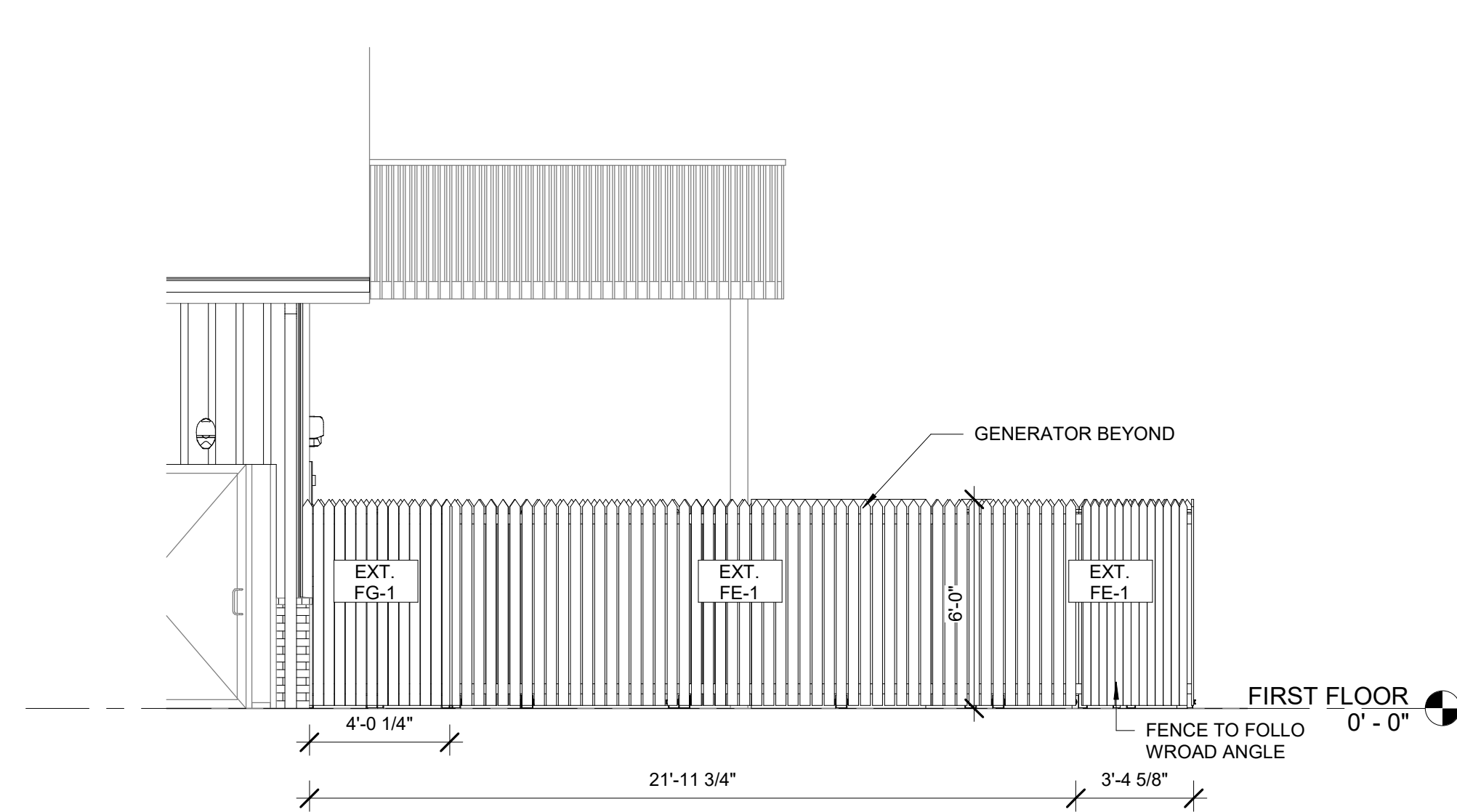
No.	Description	Date

**EXTERIOR
NEW
ELEVATIONS**

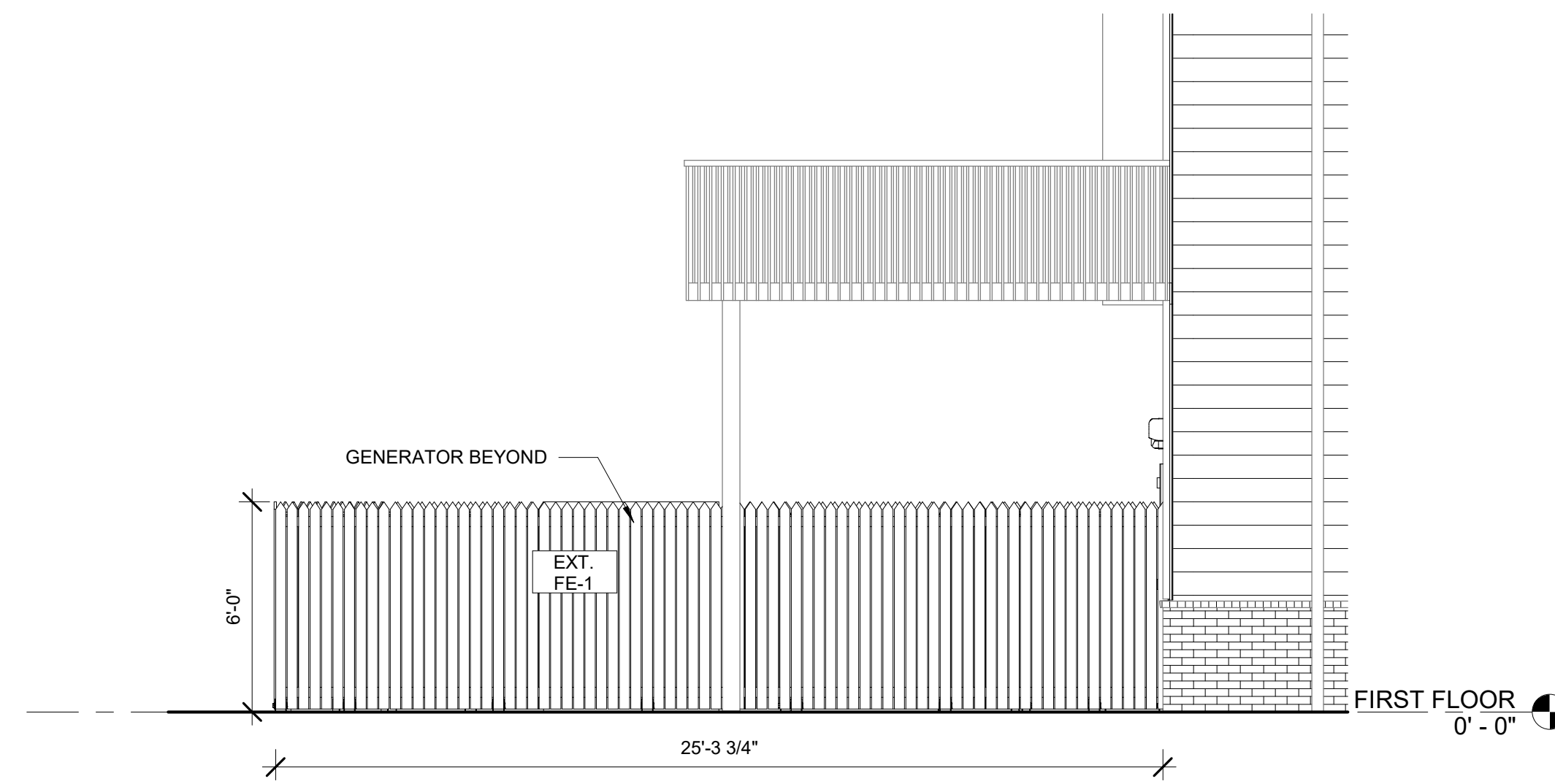
Project number 14625

A1-4.6

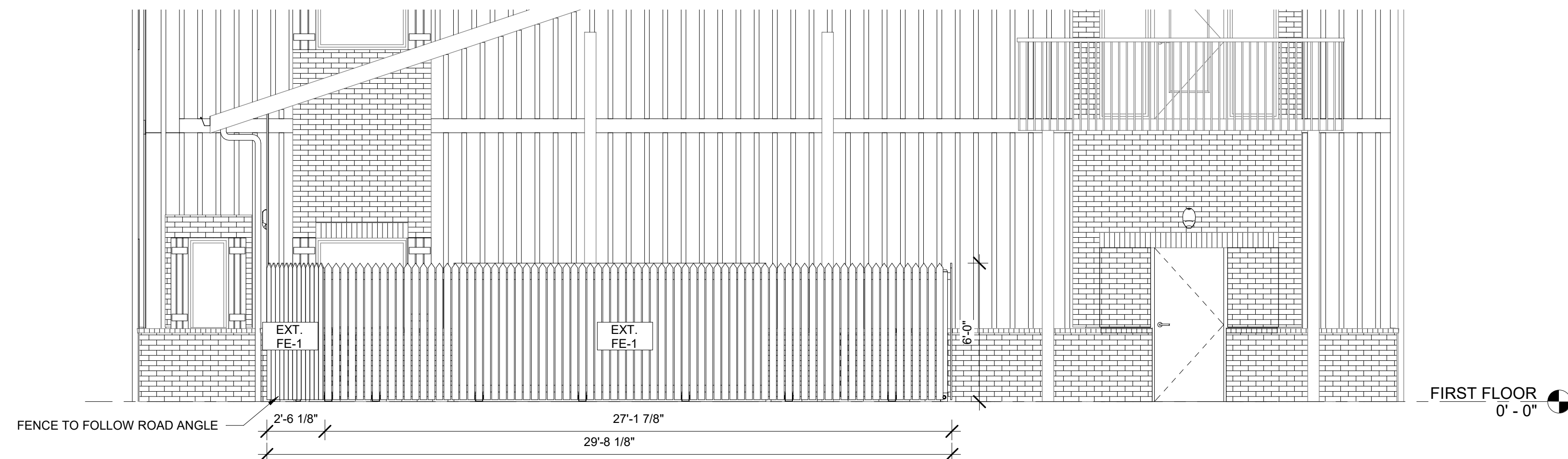
Scale 1/4" = 1'-0"



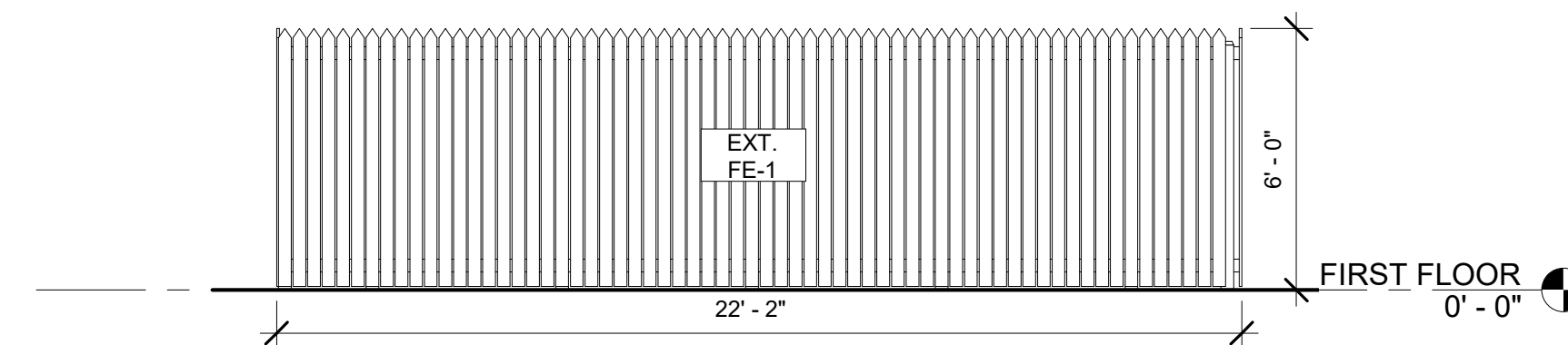
1 NORTH ELEVATION - FENCE
1/4" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



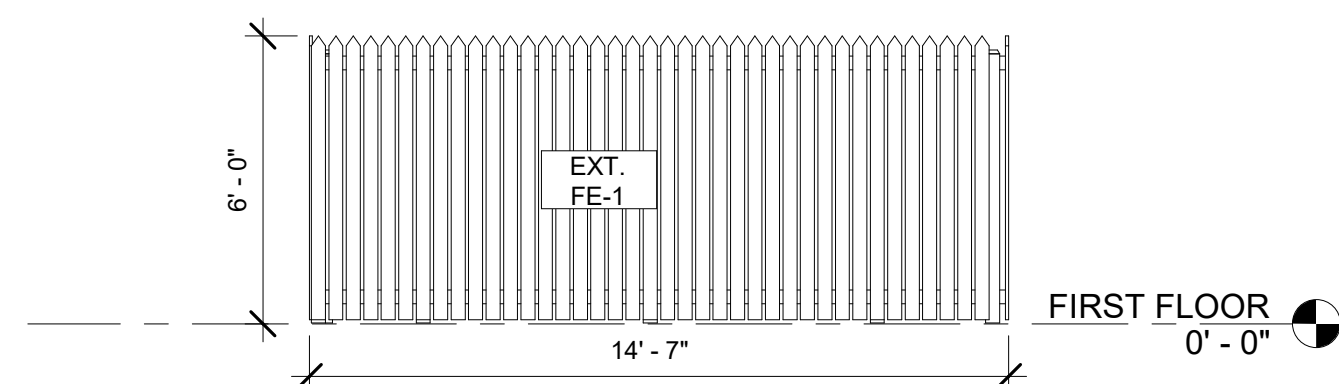
2 SOUTH ELEVATION - FENCE
1/4" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



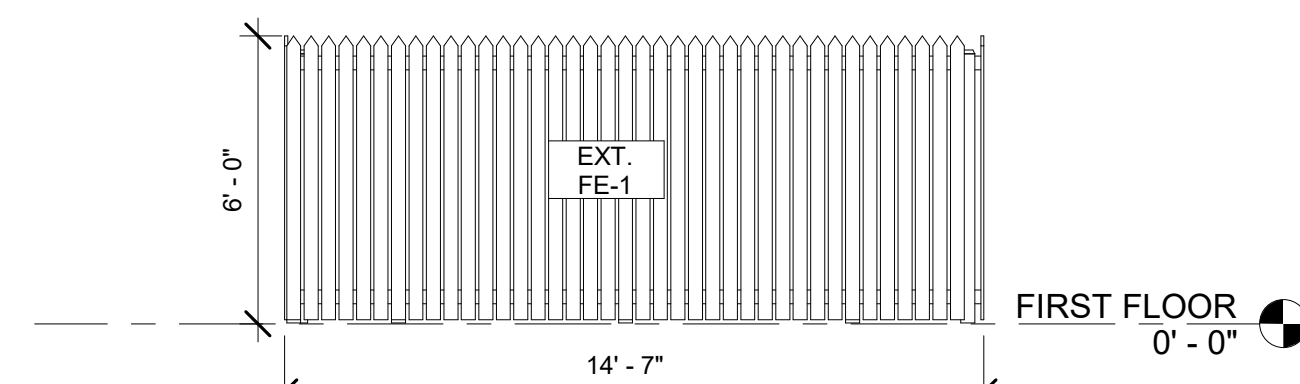
3 WEST ELEVATION - FENCE
1/4" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



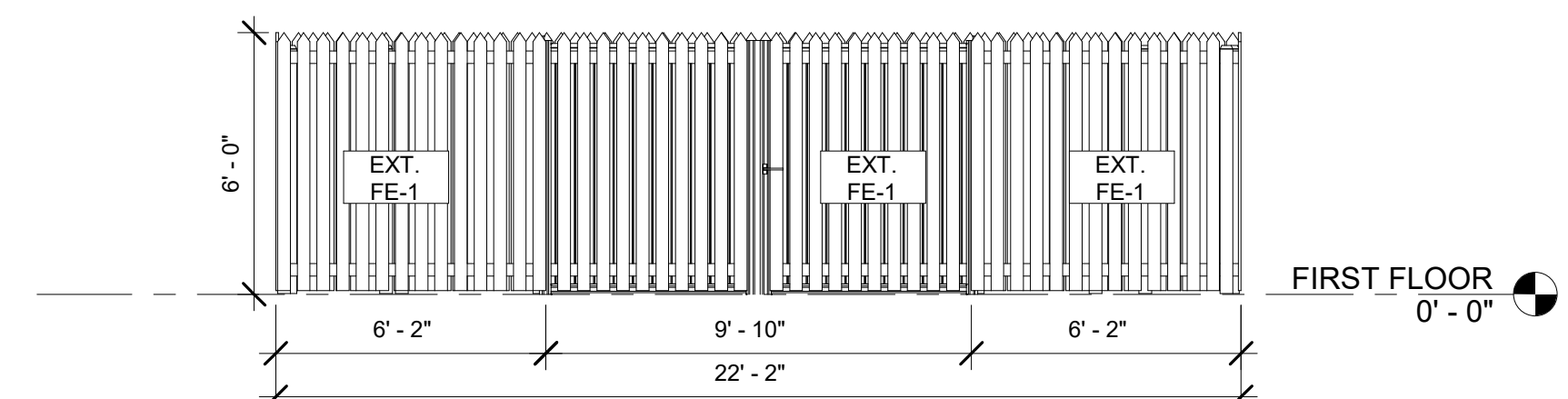
4 NORTH ELEVATION - TRASH ENCLOSURE FENCE
1/4" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



5 WEST ELEVATION - TRASH ENCLOSURE FENCE
1/4" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



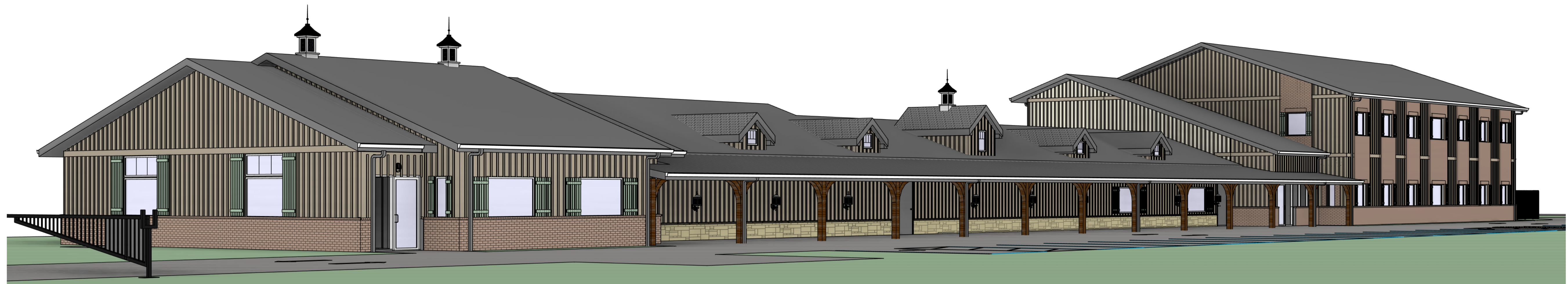
6 EAST ELEVATION - TRASH ENCLOSURE
1/4" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



7 SOUTH ELEVATION - TRASH ENCLOSURE FENCE
1/4" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



① DRIVEWAY EDGE VIEW
FOR REFERENCE ONLY



② STREET VIEW
FOR REFERENCE ONLY



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**NEW CORE -
CALEDONIA**

8049 FRONTAGE RD.
CALEDONIA, WI 53108

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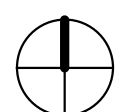
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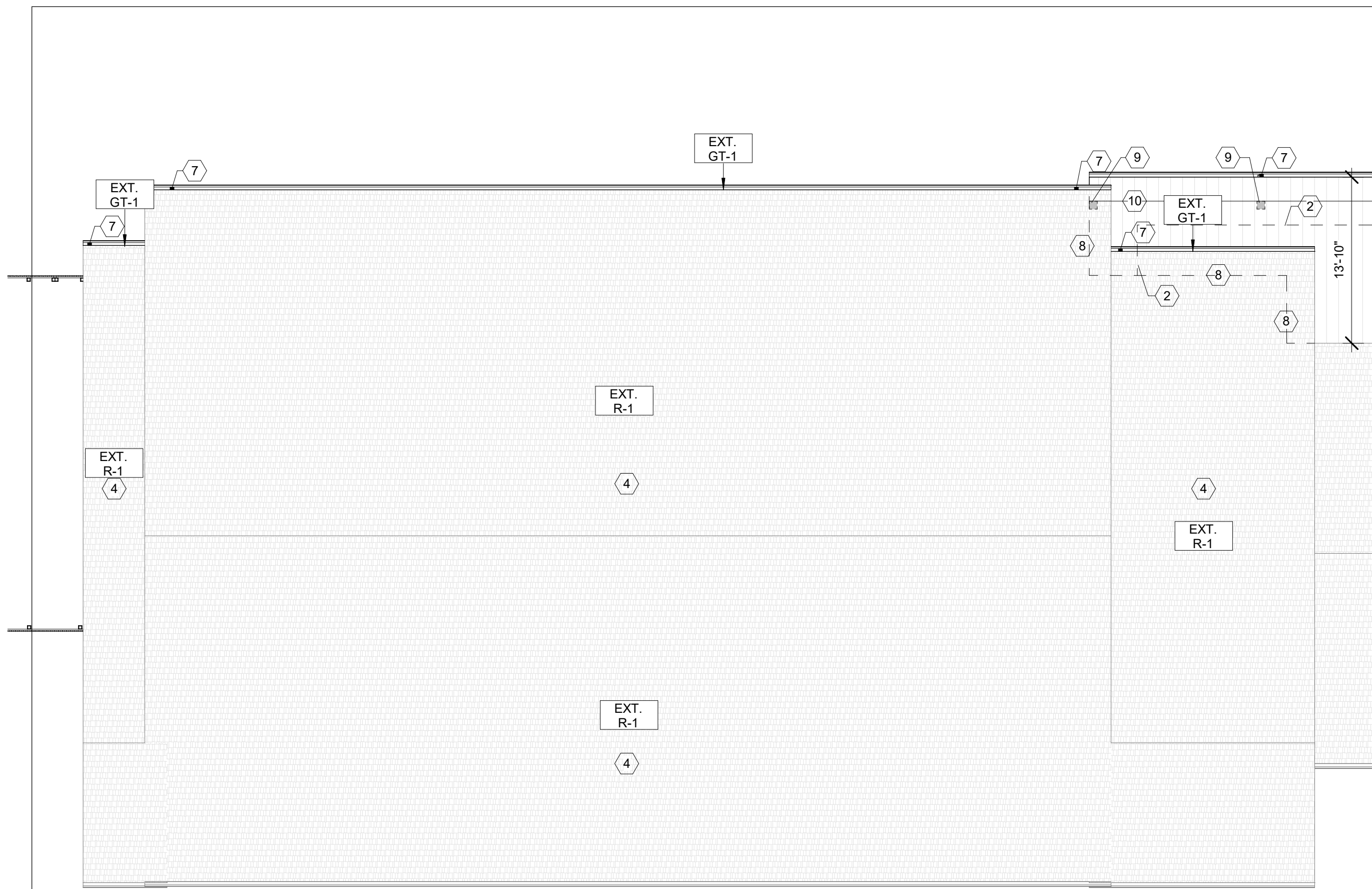
3D VIEWS

Project number 14625

A1-4.7

Scale





2 ROOF PLAN - (B)
1/8" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

ROOF PLAN KEYNOTES	
Number	Description
1	LINE VALLEY BY CENTERING 36 INCHES (915MM) WIDE WATER PROOFING UNDERLAYMENT OR EQUAL
2	PROVIDE ICE WATER SHIELD 4'-0" FROM ALL ROOF EDGES, AT ALL NEW ROOFS
3	MNFR. NON VENTED RIDGE
4	EXISTING ROOF STRUCTURE TO REMAIN, REPLACE EXISTING SHINGLES PER EXTERIOR SCHEDULE
5	NEW METAL ROOF RUNNING BELOW EXISTING STRUCTURE PER EXTERIOR SCHEDULES
6	PROVIDE CRICKET AT ROOF BEHIND DORMER WALL.
7	DOWNSPOUT LOCATION
8	NEW METAL ROOF BELOW EXISTING ROOF, NEW ROOF TO DIE AT EXISTING EXTERIOR WALL
9	NEW COLUMN LOCATION
10	<varies>

- GENERAL NOTES:**
- SEE EXTERIOR FINISH SCHEDULE FOR MATERIAL SPECIFICATIONS
 - PITCHED ROOFS TO FOLLOW SLOPE AND DIRECTION PER ROOF PLAN
 - ARROW ON PLAN DENOTES DIRECTION OF PITCH
 - SEE SHEET A1-2 FOR ROOFING MATERIALS
 1. SHINGLE ROOF THROUGHOUT
 2. METAL ROOF WHERE NOTED
 - **PROVIDE ICE WATER SHIELD 4'-0" FROM EDGE OF ROOF AS SHOWN ON PLAN**
 - PROVIDE SNOW STOP AT PERIMETER OF ROOF UP 2FT PAST ALL GUTTERS AND VALLEYS
 - AT VALLEYS: LINE VALLEY BY CENTERING 36 INCHES WIDE WINTERGUARD WATERPROOFING SHINGLE UNDERLAYMENT OR EQUAL DIRECTLY TO DECK
 - VERIFY ALL DIMENSION AFTER WALL FRAMING/ FOUNDATION WALL IS INSTALLED IN FIELD
 - EXISTING STRUCTURE TO REMAIN.



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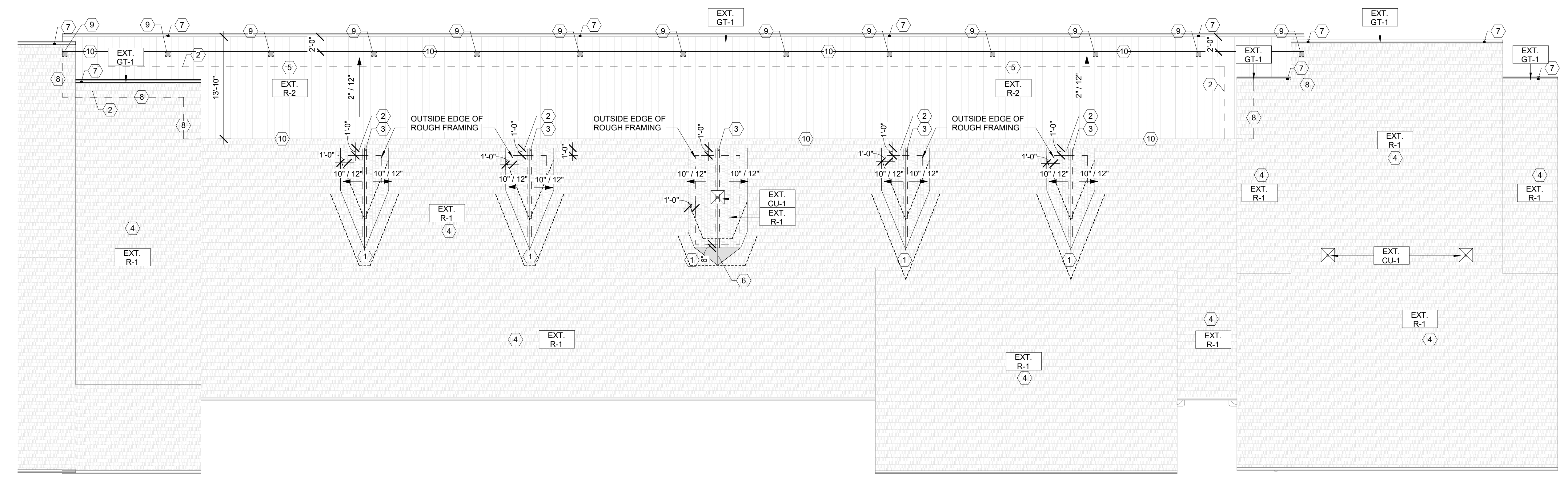
NEW CORE - CALEDONIA

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CALEDONIA, WI 53108

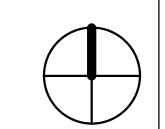
ARCHITECT OF RECORD:
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1 ROOF PLAN (A)
1/8" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



ROOF PLAN

Project number 14625

A1-5

Scale 1/8" = 1'-0"



Photometric calculations are being provided to the recipient per the following disclaimer. This light level analysis is an estimate only, and is based on standard interior reflectance values of 0.8 ceilings, 0.5 walls, and 0.2 floors, unless otherwise specified. Any variance from reflectance values, obstructions, light loss factors or dimensional data will affect the actual light levels obtained. This analysis is a mathematical model and can only be as accurate as is permitted by the third party software and the IES files provided by our manufacturers.

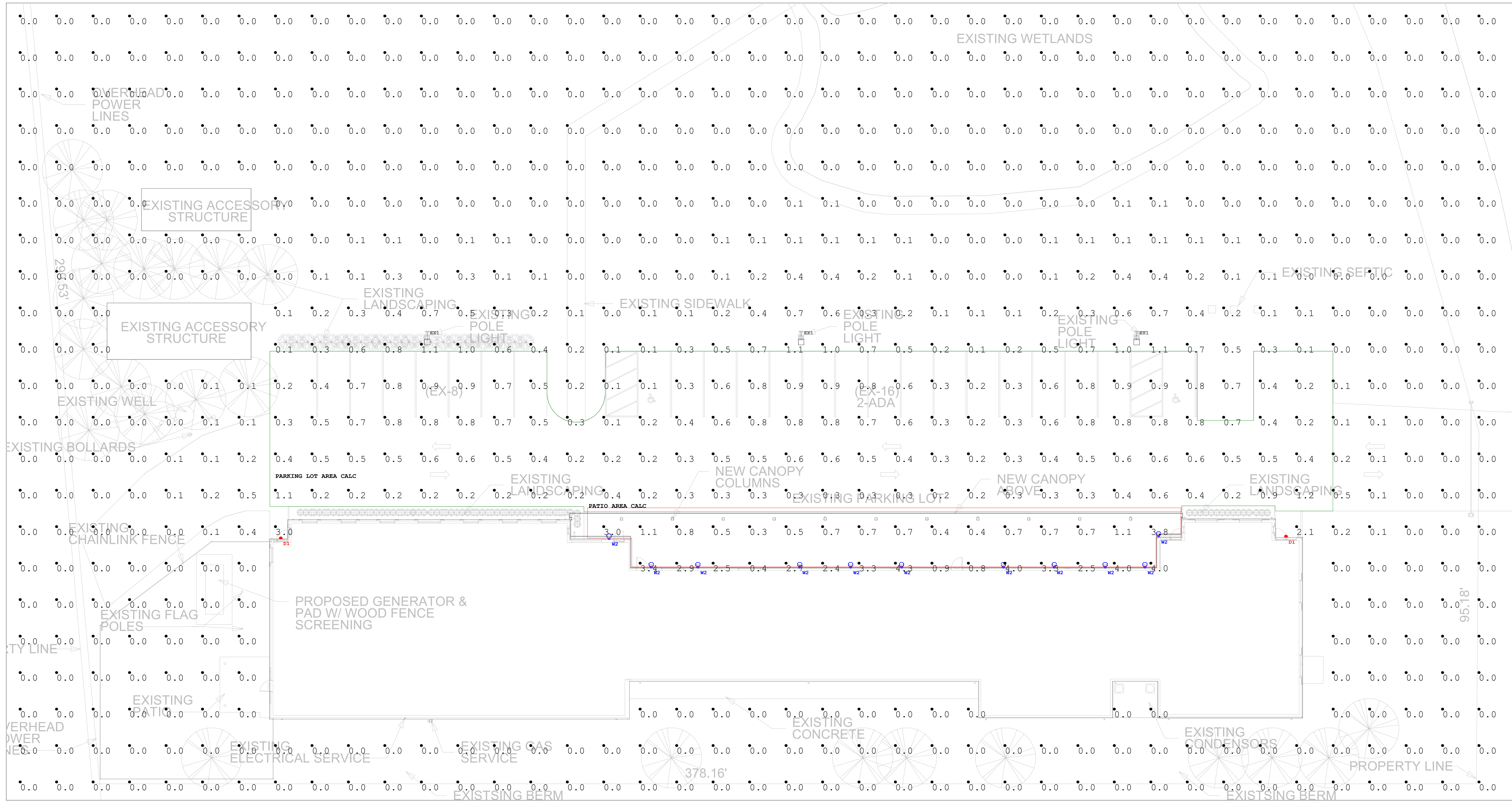
Calculation by:
Josh Burge
 Email:
 applications@amirep.com

REVISIONS
 COMMENTS

DATE

Architectural Designer | Apex Design Build

Project:
**NEW CORE - CALEDONIA, WI
 8049 FRONTAGE RD, CALEDONIA, WI 53108**



Luminaire Schedule							
Symbol	Qty	Tag	Manufacturer	Description	Luminaire Lumens	Luminaire Watts	LLF
	2	D1	LSI	CSL-ACEM-CT	1080	14.7	0.900
	11	W2	LSB	LANTERN OF TIME	615	9.369	0.900
	3	EX1	OLD	EXISTING	5823	39	0.500

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
FULL AREA CALC	Illuminance	Fc	0.08	4.3	0.0	N.A.	N.A.	
PARKING LOT AREA CALC	Illuminance	Fc	0.49	1.2	0.1	4.90	12.00	
PATIO AREA CALC	Illuminance	Fc	1.85	4.3	0.3	6.17	14.33	